

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7100 Sycamore Ave., Takoma Park	Meeting Date:	12/15/2021
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	12/8/2021
Applicant:	Marc Pfeuffer	Public Notice:	12/1/2021
Review:	HAWP	Tax Credit:	partial
Permit No.:	973888	Staff:	Dan Bruechert
Proposal:	Front Porch Alteration, Rear Demolition, and Rear Deck Construction		

STAFF RECOMMENDATION

Staff recommends the HPC **approve with two (2) conditions** the HAWP application:

1. The proposed front porch railing is incompatible with the subject property and the surrounding district. The replacement railing/knee wall needs to match the appearance and dimensions of the existing. Drawings showing this condition has been satisfied need to be submitted to Staff to verify that this condition has been met for final approval; and
2. The decking proposed for the front porch has to be wood. Final plans submitted to reflect the material requirement need to be submitted to Staff for final approval.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: 1923



Figure 1: 7100 Sycamore Ave., Takoma Park.

PROPOSAL

The applicant proposes to remove the existing parged CMU front porch guard wall and install a new railing and to demolish the rear porch and construct a new deck and sunroom at the rear.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a one-and-a-half-story Craftsman bungalow with a concrete foundation, clapboard first floor, and shingle second floor. The full-width front porch has a solid, parged knee wall and wood decking. At the rear of the subject property, there is a rear wood porch with a balcony.

The applicant proposes to remove the porch knee wall and decking and replace the knee wall with a new railing and replace the wood decking with Azek. Additionally, the applicant proposes to demolish the existing rear porch and to construct a new deck with a screened-in porch at the rear.

Front Porch Alteration

The applicant proposes removing the existing porch knee wall and porch decking and replacing both

elements. Structural elements will also be removed and replaced, however, those elements are not subject to HPC review. The structural repairs for both the porch column and the deck framing do not require a HAWP as they are replacements in-kind, but are eligible for the County Historic Preservation Tax Credit.

The existing porch knee wall is CMU block with a smooth parged finish. The finish matches the building's foundation. The knee wall appears to be in fair condition, but one of the porch columns needs to be removed and rebuilt, which may require removing a portion of the knee wall. The applicants' contractor also believes the weight of the knee wall is forcing the masonry column out of place. In place of the knee wall, the applicant proposes to install a new railing system constructed out of pressure-treated lumber with square aluminum balusters. The porch decking is wood and suffers from some rot; additionally the joist appears to be in poor condition and needs to be removed. The applicant proposes to reconstruct the porch structure and install an Azek deck.

Based on the information presented in the applicant and Staff's visit to the subject property, Staff finds that these elements need to be removed and replaced (see Fig. 2, below). The question becomes what is an appropriate replacement material.



Figure 2: Note the severe lean in the left porch column.

Staff finds that as a substitute feature, a new knee wall needs to blend into the house architecture and surrounding district. Staff does not find the proposed pressured-treated wood and aluminum balusters are architecturally compatible from either a design or material consideration. Pressure-treated wood typically cannot be painted and Staff finds that an unpainted finish would be inappropriate for the subject property. The proposed aluminum balusters would introduce an additional material on the front of the traditionally designed Craftsman house.

The existing knee wall matches the material and finish of the existing foundation, which allows it to blend in with the architecture of the house. Staff surveyed the surrounding neighborhood and found that the front porch railings generally fell into two types (Staff's survey photos are included at the end of this Staff Report). The first type utilized a material and configuration already on the house. Several continued the foundation material, while others continued the existing front floor siding to wrap around the porch. The second type of front porch railing is a traditionally designed wood railing with the balusters installed between the top and bottom rails. The one outlier porch was constructed out of stone with stone columns. That porch had a simply designed metal railing.

Staff finds that the proposed railing should replicate the appearance of the existing knee wall. This does not mean that the construction of a replacement knee wall needs to match the existing, only that the appearance does; meaning a skim coating on the wall with painted stone or concrete trim. This can be constructed in several ways and the Staff is primarily concerned with the exterior appearance and long-term preservation of the resource. Staff recommends the HPC include a condition to the approval of this HAWP that the replacement knee wall needs to match the exterior appearance and material of the existing condition and that plans that satisfy this condition need to be submitted to Staff for verification. Staff notes that because the appearance of the feature will be retained it is eligible for County Historic Preservation Tax Credits.

The second proposed alteration at the front porch is replacing the existing wood decking with Azek tongue and groove flooring. The Takoma Park Guidelines state that non-original materials are considered on a case-by-case basis, but does not provide additional guidance on what considerations go into analyzing a non-historic material. Staff instead relies on the Secretary of the Interior's Standards for Rehabilitation, specifically Standard 6, which states deteriorated materials should be replaced with materials that match the appearance, finish, dimensions, and material. Staff does not find that Azek decking is consistent with the finish or appearance of wood and is inappropriate. Staff recommends a condition be added to the approval of the front porch decking replacement that the replacement decking is painted wood. Staff notes that wood in this location will qualify for Historic Preservation Tax Credits. Staff also notes that because the entire porch is covered by the roof overhang, it will not be exposed to either significant precipitation or UV light degradation, and will last significantly longer than an exposed porch.

Rear Porch Alteration

At the rear of the subject property, there is a non-historic porch that provides access to the first floor. The porch supports a second-floor balcony.

The applicant proposes to remove the existing porch and balcony and construct a new full-width porch with a screened-in section. The porch will be supported by square wood piers and have an Azek decking with a pressure-treated wood and aluminum railing (discussed above). The structure of the screened-in section will be wood and will have a flat roof with a membrane roof. The screened-in section of the porch will project approximately four feet beyond the wall plane of the historic house; this is consistent with the location of the existing porch and obscured by a later bay addition.

Staff finds the existing porch is not a historic element that is minimally visible from the right-of-way and its demolition should be approved as a matter of course.

Staff finds that of the proposed rear deck and porch, only a small section will be partially visible from the right-of-way. The last bay of the screened-in porch will project beyond the historic wall plane to align with the non-historic rear bump out (see Fig. 3, below). The visible portions will consist of the wood framing, screen enclosure, and flat roof.



Figure 3: Image from August 2021, showing a portion of the porch and non-historic bump out.

Staff finds the proposed rear porch is consistent with the *Design Guidelines*, can be reversed as required by the Standards, and will not significantly alter the historic character of the resource under 24A-8(b)(1). Staff additionally finds that while the Azek decking and wood and metal railing were incompatible on the front porch, they are acceptable at the rear of Contributing resources because they will not have an impact on the surrounding district as they are not visible from the right-of-way. Staff recommends the HPC approve the proposed rear deck and porch.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with two (2) conditions** the HAWP application:

1. The proposed front porch railing is incompatible with the subject property and the surrounding district. The replacement railing/knee wall needs to match the appearance and dimensions of the existing. Drawings showing this condition has been satisfied need to be submitted to Staff to verify that this condition has been met final approval; and
2. The decking proposed for the front porch has to be wood. Final plans submitted to reflect the material requirement need to be submitted to Staff for final approval;

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), (4), and (d) of the *Takoma Park Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 6, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 973888
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Marc Pfeuffer
Address: 7100 Sycamore Avenue
Daytime Phone: 571-438-3770

E-mail: mspfeuffer@gmail.com
City: Takoma Park Zip: 20912
Tax Account No.: 01079235

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 37-03

Is the Property Located within an Historic District? ☒ Yes/District Name Takoma Park Historic District
☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application. NO

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as NO supplemental information.

Building Number: 7100 Street: Sycamore Ave

Town/City: Takoma Park Nearest Cross Street: Elm Ave

Lot: 17 Block: 21 Subdivision: 0025 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>Replace guard wall along front porch with wood railing</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Marc Pfeuffer
7100 Sycamore Avenue
Takoma Park, Maryland 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

DEVAUL DIAN LOUIS REV TRUST
7102 SYCAMORE AVE
TAKOMA PARK MD 20912

7101 Poplar Avenue
Takoma Park, MD 20912

BAND DAVID M & SUSAN C KLEIN
7101 SYCAMORE AVE
TAKOMA PARK MD 20912

BLOCKSTEIN DAVID E &
DEBRA A PRYBYLA
7016 SYCAMORE AVE
TAKOMA PARK MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Single family residence, 2 floors and cellar on lot that slopes toward the rear. The front of the property has a porch held up by four columns. Instead of railings providing fall protection, there is a CMU guard wall between the columns. There is an existing small walk out deck at the rear of the first floor and another walk out deck immediately above it serving the second floor.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Replacement of the front porch CMU guard wall with painted wood railing and metal pickets.

Extend existing rear bi - level deck to be demolished. A new deck to be constructed across the rear of the home, with a portion of the deck enclosed to create a sunroom.

Work Item 1: Front Porch

Description of Current Condition:

CMU guard wall.

Proposed Work:

New guardrail between the porch columns will be constructed of wood.

Work Item 2: Deck

Description of Current Condition:

Existing rear bi-level deck w/ small walkout landing on first floor with 2nd level walkout

Proposed Work:

New first floor deck with enclosed portion; wood material.

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Thornton/Pfeuffer Residence

7100 Sycamore Avenue

Takoma Park, MD 20912

Front Porch/Rear Deck Renovations and Improvements

Table of Contents

I.	Written Description	Page 1
II.	Site Plan	Page 3
III.	Plans/Elevations	Addendum 1
IV.	Material Specifications	Page 4
V.	Photographs	Page 9
VI.	Tree Survey	Not Included
VII.	Property Owner(s) Addresses	Page 11

Thornton/Pfeuffer Residence

7100 Sycamore Avenue

Takoma Park, MD 20912

Front Porch/Rear Deck Renovations and Improvements

Front Porch

Repairs to the existing front porch will consist of three main areas:

1. Repairs to the existing masonry support column – left side of house (as viewed from the street): the existing 20" x 20" masonry support column leans significantly outward due to poor soil conditions underneath the column's footing. We propose to temporarily support the existing roof on that side, then disassemble the masonry column, pour a new pad footing and rebuild the masonry column using like kind materials (masonry and stucco) to restore the column to its original condition
2. The existing "railing" structure around the outside perimeter of the front porch consists of 4" wide Concrete Masonry Units covered with stucco. We believe this was installed by a previous repairperson prior to when the current homeowner took possession of the house. We suspect that the weight of this "railing" is contributing to the leaning masonry column on the left side of the porch (as mentioned above). We propose to remove the existing masonry "railing" and replace with a new painted wood railing. Top rail would be standard Top Rail profile WM-8840 (see attached) – the bottom rail would be standard Bottom Rail profile WM-8841 (see attached). Balusters would be stock Square Edge profile WM-237S (1-1/4" x 1-1/4" – see attached).
3. Porch Floor – the existing porch floor was previously replaced by a contractor prior to the current homeowner's possession of the property. The existing porch flooring is deteriorated is in need of replacement. Furthermore, the existing floor joists supporting the porch flooring is in poor condition and does not meet current structural code. We propose to remove all porch flooring and support joists and rebuild them according to current code. We then propose to install new Azek 1x4 Tongue and Groove Porch Flooring (see attached spec sheet) on top of the newly installed support joists.
4. All elements will be painted to match existing colors – however, the owner has expressed interest in painting the entire exterior of the house, but a new color scheme has not yet been identified.

Thornton/Pfeuffer Residence

7100 Sycamore Avenue

Takoma Park, MD 20912

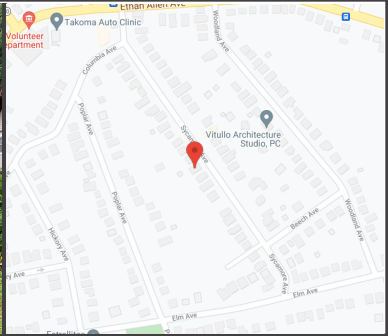
Front Porch/Rear Deck Renovations and Improvements

Rear Deck

1. Existing 2-level (1st and 2nd floor) rear deck is in deteriorating condition. We propose to demolish and remove the existing 2-level wood deck and stairs. In its place, we propose to build a new deck on the 1st floor level only with new stairs leading to the rear yard at grade.
2. The new 1-level deck will include a portion of screened-in porch with a new flat roof overhead and a skylight. The new roof will be a framed roof with TPO membrane – ¼" per 12" slope.
3. The existing master bedroom on the 2nd floor includes an existing exterior door which leads to the 2nd floor level of the existing deck (to be demolished). We propose to remove this door and replace it with a window that matches the two existing windows on either side of the door. The exterior wall area underneath this new window will be filled in with new wood lap siding to match the existing.
4. The new deck and stair surface will consist of a 5/4" x 6" composite decking (Trex or similar) with hidden fasteners. Stairs will include closed risers. Deck structure to be covered with matching fascia. (see attached spec sheet)
5. The new deck railing will consist of 4x4 pressure treated wood columns at 6' on center. Top rail will consist of 5/4" x 6" pressure treated and 2x4. Bottom rail will be pressure treated 2x4. Balusters will consist of ¾" square aluminum balusters placed at approximately 3-1/4" on center (see attached spec).



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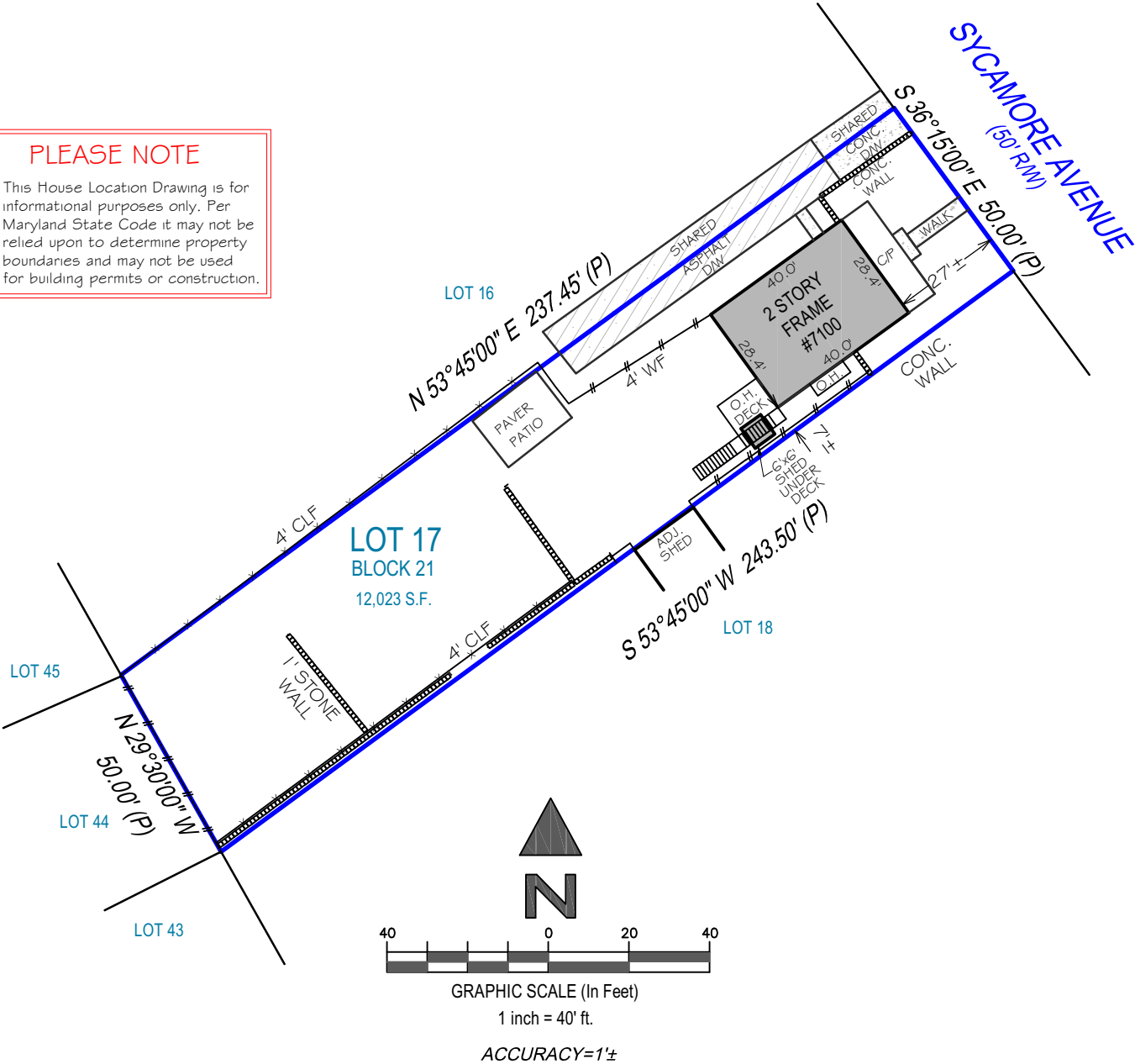
PROPERTY ADDRESS: 7100 SYCAMORE AVENUE, TAKOMA PARK, MARYLAND 20912

SURVEY NUMBER: 2105.6110

2105.6110
LOCATION DRAWING
MONTGOMERY COUNTY

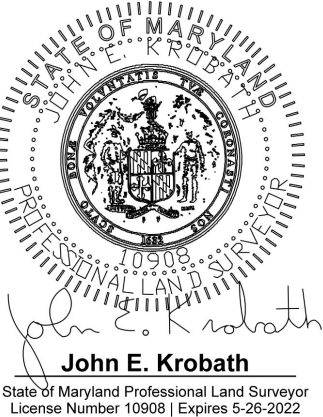
PLEASE NOTE

This House Location Drawing is for informational purposes only. Per Maryland State Code it may not be relied upon to determine property boundaries and may not be used for building permits or construction.



SURVEYORS CERTIFICATION:

A LICENSEE EITHER PERSONALLY PREPARED THIS DRAWING OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN REGULATION .12 OF CHAPTER 09.13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS.



POINTS OF INTEREST:
NONE VISIBLE



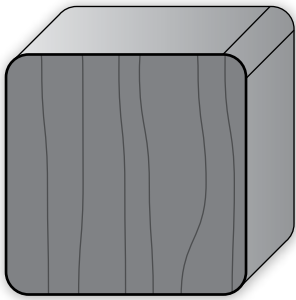
Exacta Land Surveyors, LLC
LB# 21535
office: 443.819.3994
1220 E. Churchville Rd, Suite 100 | Bel Air, MD 21014



DATE OF SURVEY: 05/25/21
FIELD WORK DATE: 5/25/2021
REVISION DATE(S): (REV.0 5/25/2021)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

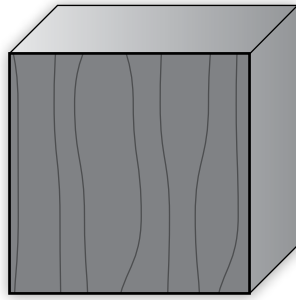
Wood and PVC Balusters



Baluster Stock Eased Edge

WM-237 • $1\frac{1}{4} \times 1\frac{1}{4}$

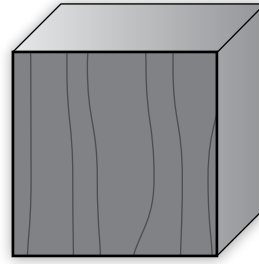
Primed A Grade (Clear), PVC



Baluster Stock Square Edge

WM-237S • $1\frac{1}{4} \times 1\frac{1}{4}$

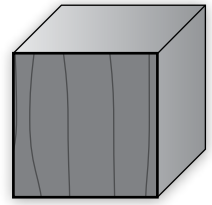
Primed A Grade (Clear)



Baluster Stock

WM-238 • $1\frac{1}{16} \times 1\frac{1}{16}$

A Grade Pine (Clear)

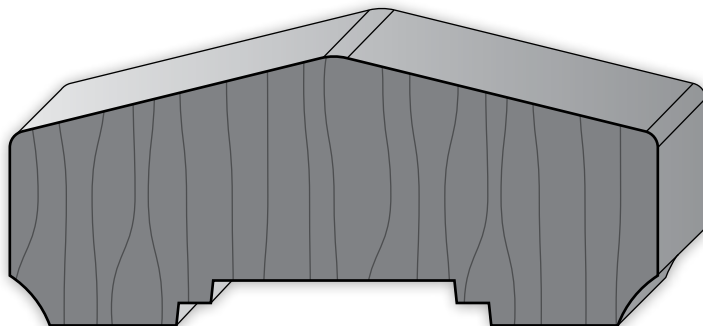


Baluster Stock

WM-239 • $\frac{3}{4} \times \frac{3}{4}$

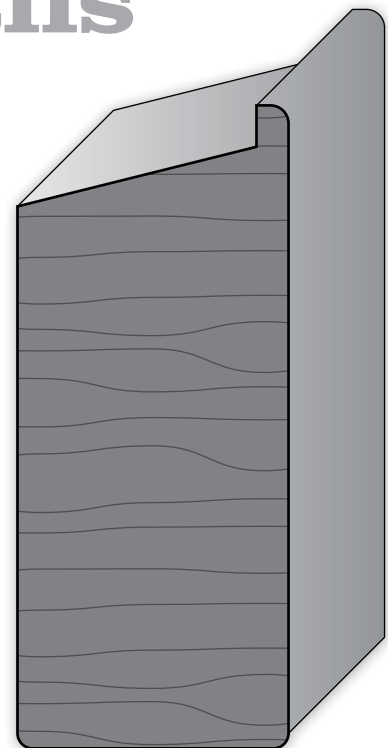
A Grade Pine (Clear)

Wood and PVC Rails



Top Porch Rail • WM-8840 • $1\frac{1}{2} \times 3\frac{1}{2}$

Primed A Grade (Clear)



Bottom Porch Rail

WM-8841 • $1\frac{1}{2} \times 3\frac{1}{2}$

Primed A Grade (Clear)

TIMBERTECH® AZEK® PORCH

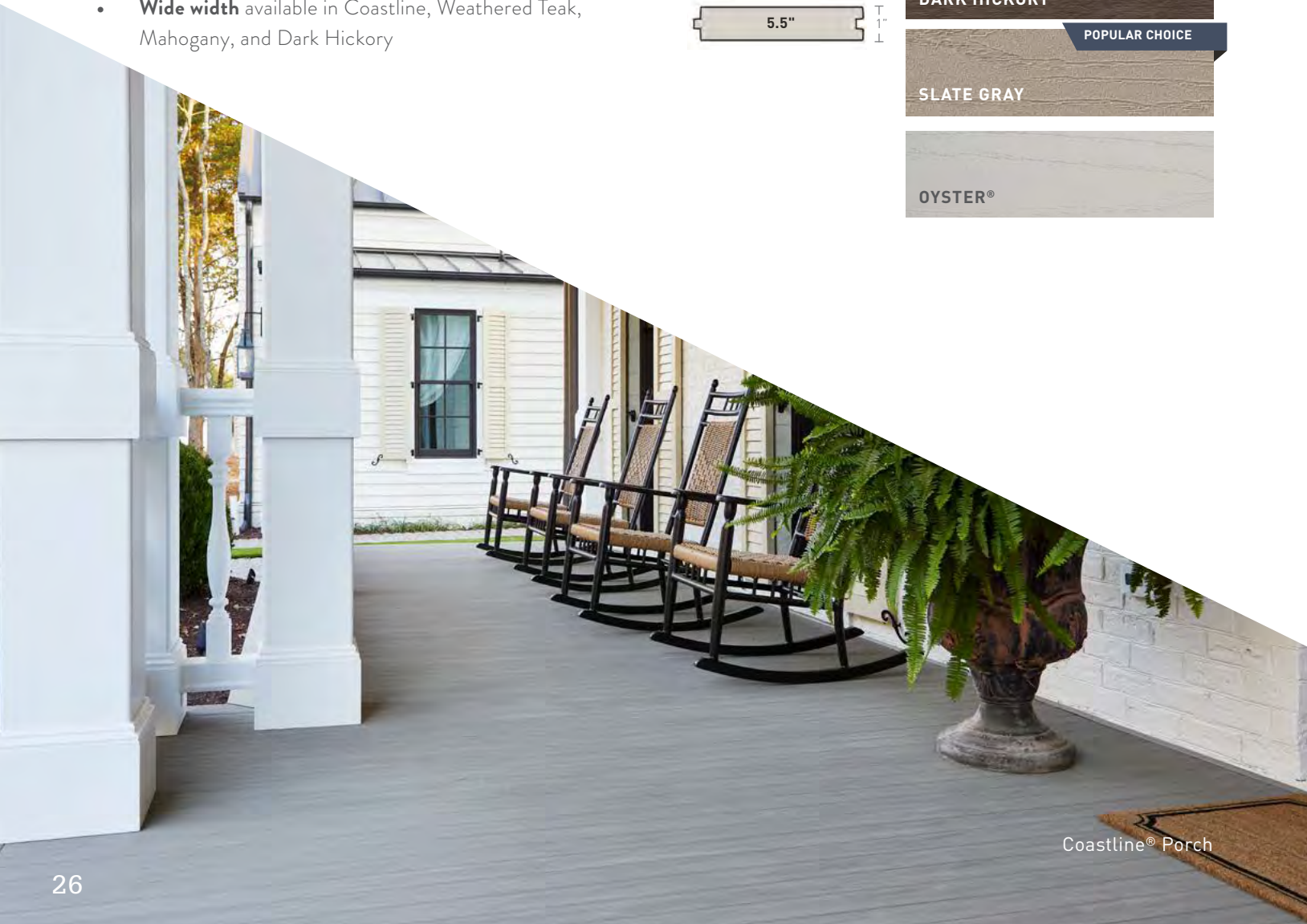
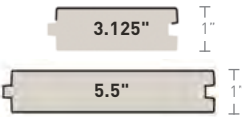
Perfect Porch Appeal

ELEGANT. STYLISH. DURABLE.
\$\$\$



Forget curb appeal — it's all about porch appeal these days. Warm, natural-looking, and nuanced colors round out the Porch Collection to help create an inviting space to greet guests or simply lounge. With tongue and groove technology, these porch boards feature a tighter-fit between boards for a more polished look. Offered in both standard and wide width, you can make a style statement on your front porch.

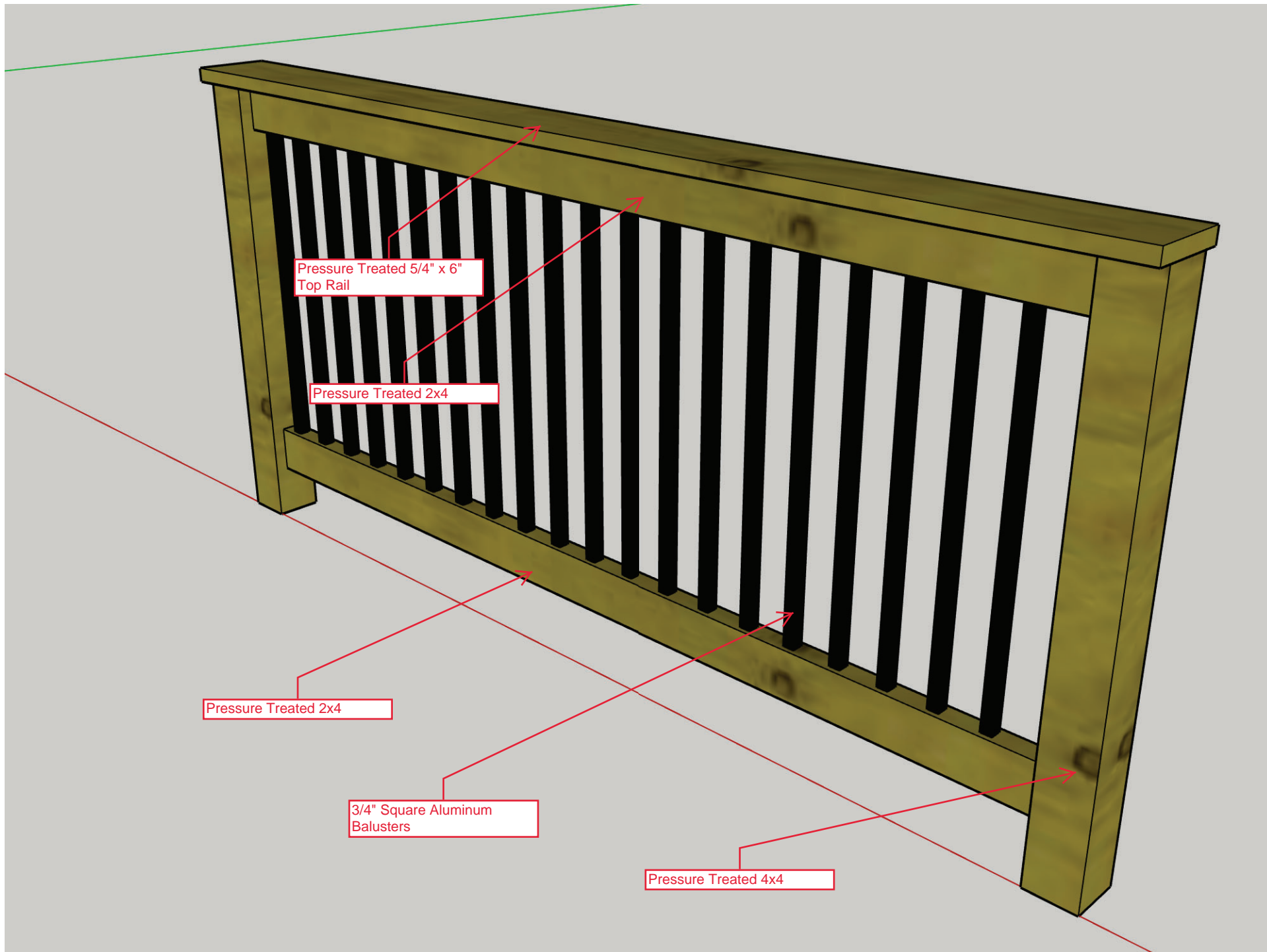
- Available in a variety of wood grain patterns and colors
- Available in standard width and thickness
- **Wide width** available in Coastline, Weathered Teak, Mahogany, and Dark Hickory



Coastline® Porch



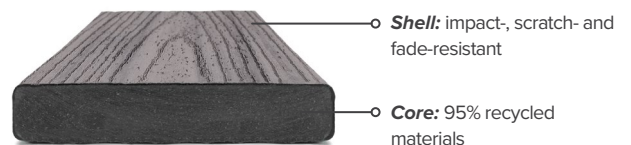
Coastline® Porch





PREMIUM HIGH-PERFORMANCE DECKING & FASCIA

Trex Transcend® decking and Trex® Fascia are wood thermoplastic composite lumber (WTCL) boards with an integrated shell that covers the boards on the top surface and sides. The integrated shell consists of a proprietary surface formulation that produces a natural, wood-like grain pattern finish. An alternative to naturally durable hardwood lumber, Transcend Decking and Fascia are ICC-ES ESR-1111-certified to be a minimum of 95.4% recycled content of wood fiber and polyethylene by weight.



DECKING



FASCIA



FEATURES	DECKING BOARDS		FASCIA BOARDS	
	1" x 6"	2" x 6"	8"	12"
Actual Dimensions - Standard	.94" x 5.5"	1.3" x 5.5"	.56" x 7.25"	.56" x 11.375"
Actual Dimensions - Metric	24 mm x 140 mm	33 mm x 140 mm	14 mm x 184 mm	14 mm x 288 mm
Available Lengths - Standard	12', 16', 20'	12', 16', 20'	12'	12'
Available Lengths - Metric	365 cm, 487 cm, 609 cm	365 cm, 487 cm, 609 cm	365 cm	365 cm
Grooved Edge	X			
Square Edge	X	X	X	X
Transcend Tropicals	X	X	X	X
Transcend Earth Tones	X		X	X
Weight per Lineal Foot	2.4 lbs	3.6 lbs	2.0 lbs	3.3 lbs

PHYSICAL & MECHANICAL PROPERTIES

TEST	TEST METHOD	VALUE
Flame Spread	ASTM E 84	70
Thermal Expansion	ASTM D 1037	1.9×10^{-5} in/in/°F
Moisture Absorption	ASTM D 1037	< 1%
Screw Head Pull-Through	ASTM D1761	161 lbf/screw*
Fungus Resistance	ASTM D1413	Rating – no decay
Termite Resistance	AWPAE1-72	Rating = 9.6

*Fastener used in testing: #8 x 2.5" HEADCOTE Stainless Steel Screw

COLORS

Tropicals (multi-tonal)



Earth Tones (monochromatic)



FASTENERS



Trex Hideaway® Hidden Fastening System

Self-gapping, glass-filled nylon fastener with 304 grade stainless steel, sharp point screw for wood framing



Other Approved Fasteners

Color-matched composite deck screw or matching composite plug

Color-coordinated fascia screw

Uncoated stainless steel fascia screw

For a full list of approved fasteners, download our Installation Guide at trex.com/literature

Thornton/Pfeuffer Residence

7100 Sycamore Avenue
Takoma Park, MD 20912

Front Porch/Rear Deck Renovations and Improvements

Project Photos



Front Porch



Front Left



Right Side



Right Rear Corner

Thornton/Pfeuffer Residence

7100 Sycamore Avenue

Takoma Park, MD 20912

Front Porch/Rear Deck Renovations and Improvements

Project Photos



Rear

Thornton/Pfeuffer Residence

7100 Sycamore Avenue

Takoma Park, MD 20912

Front Porch/Rear Deck Renovations and Improvements

Property Owner(s) Addresses

Marc Pfeuffer

7100 Sycamore Avenue

Takoma Park, MD 20912

(571) 438-3770

mspfeuffer@gmail.com

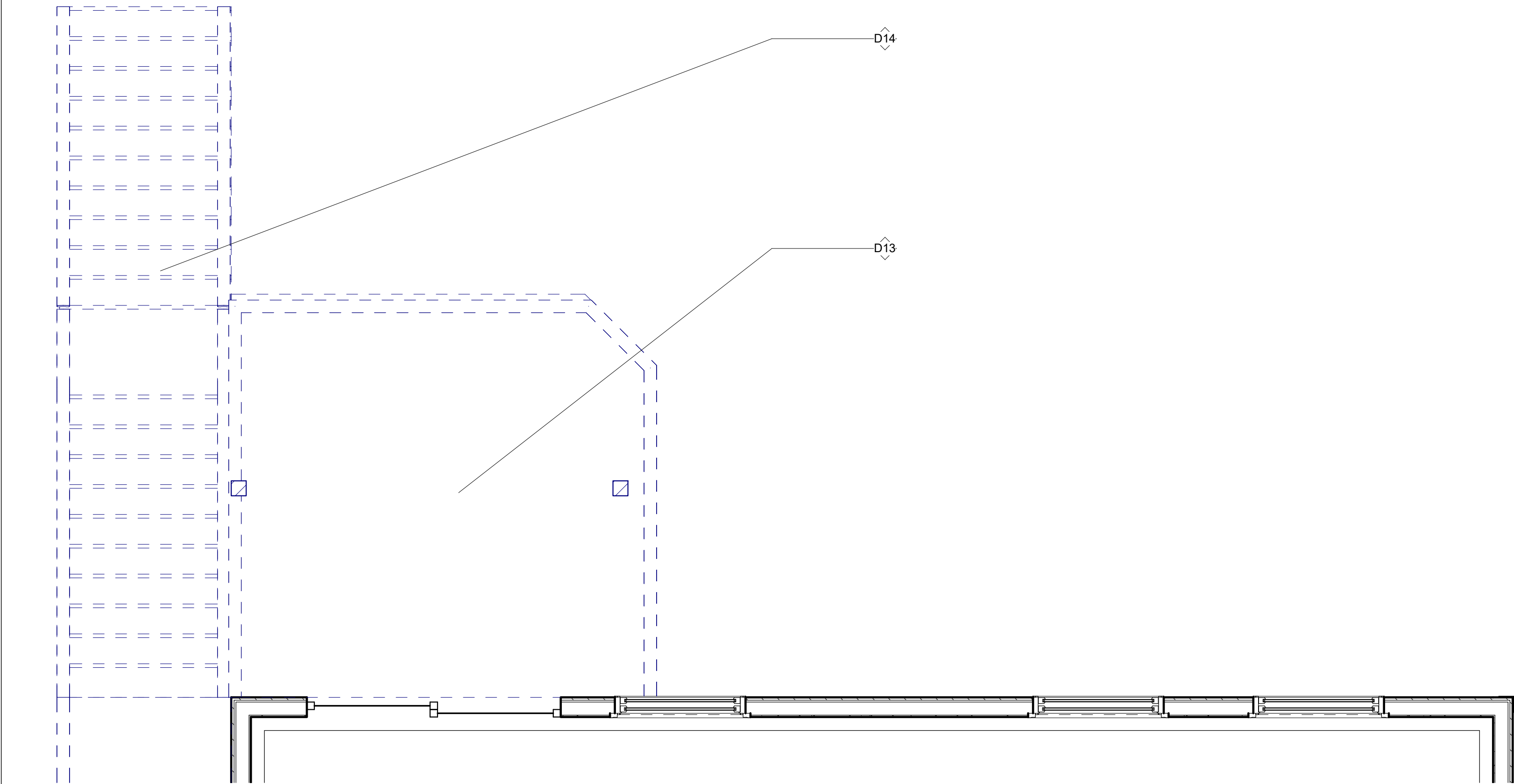
Evelyn A. Thornton

7100 Sycamore Avenue

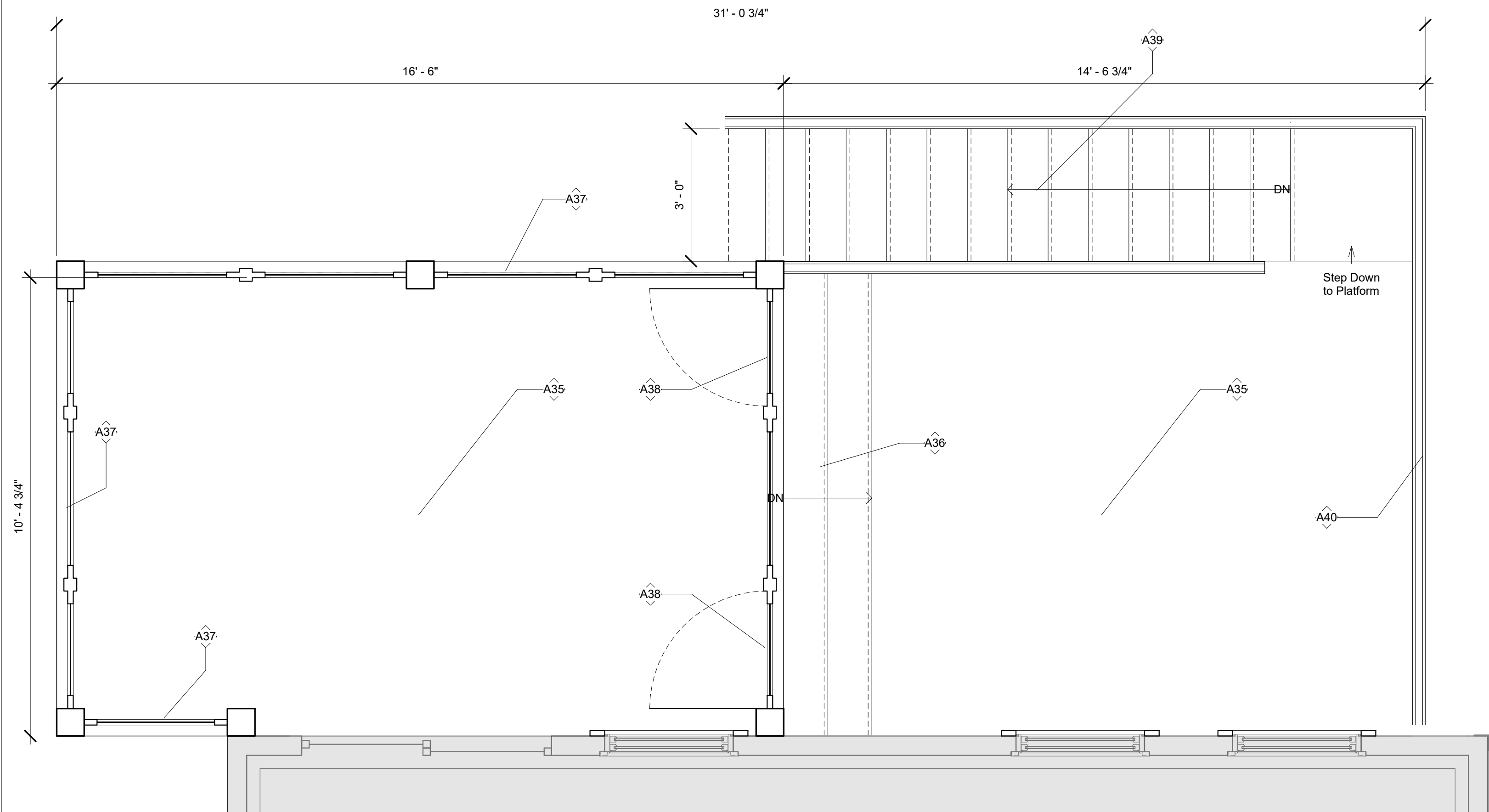
Takoma Park, MD 20912

202-255-3553

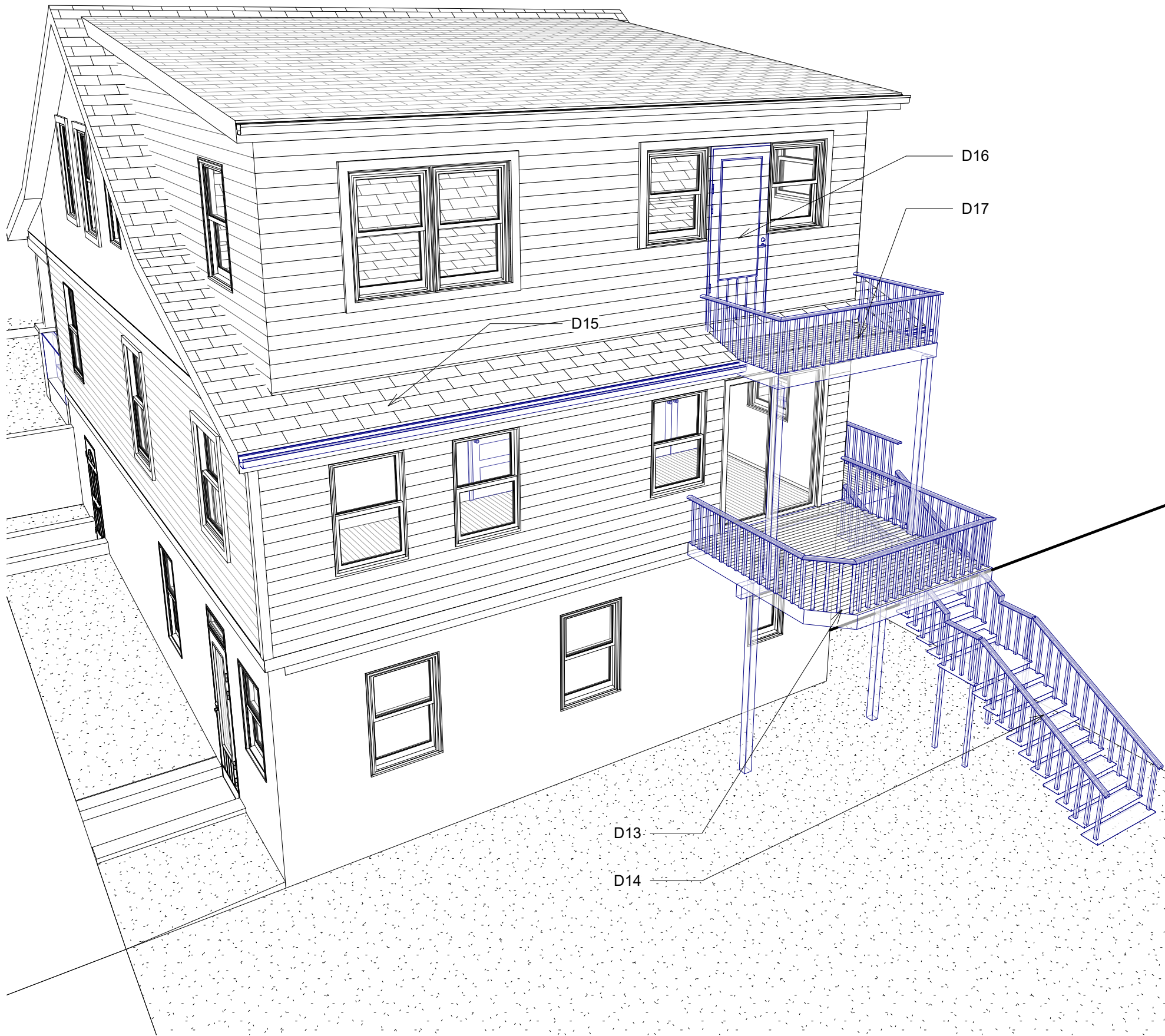
Evelyna.thornton@gmail.com



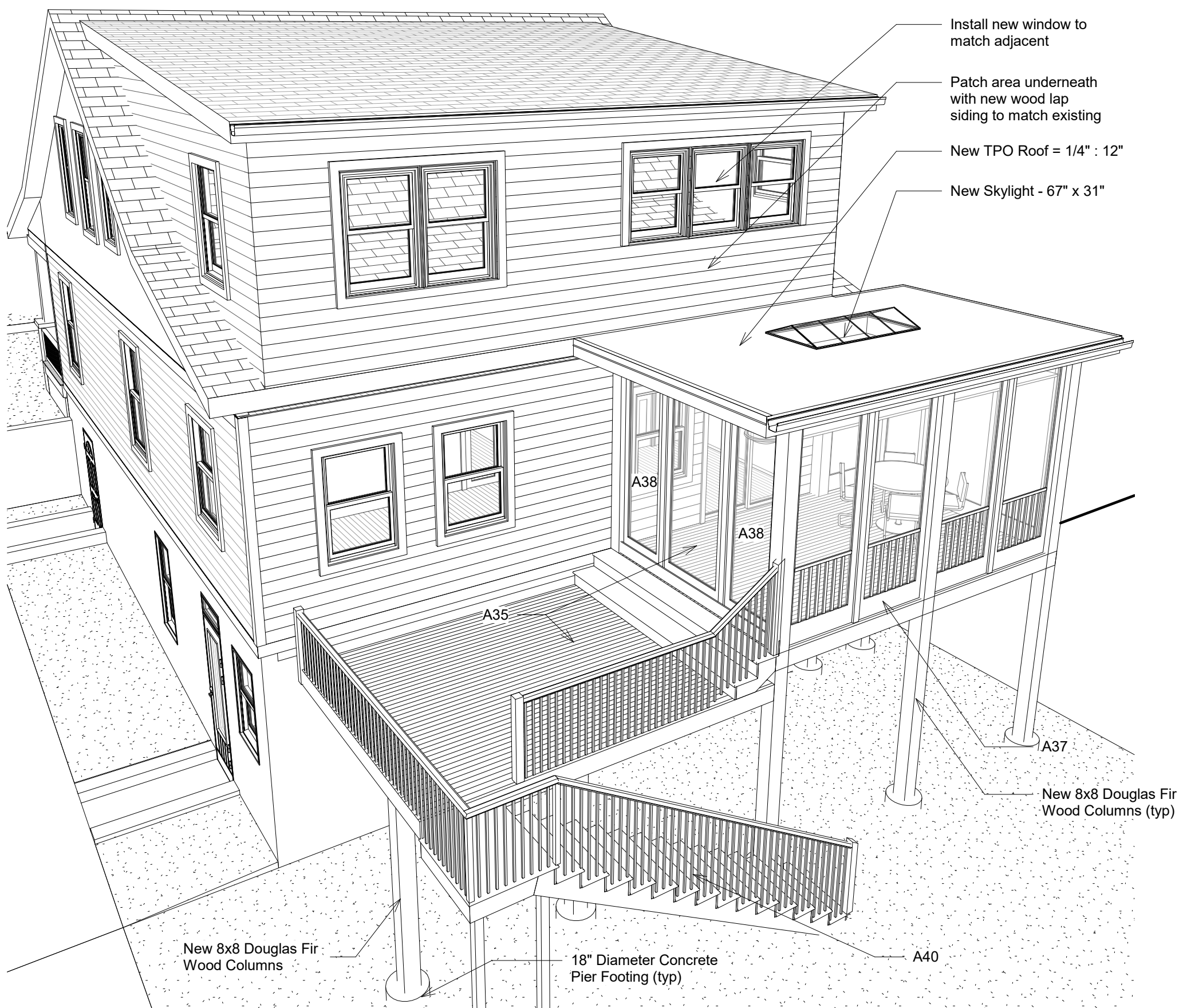
④ First Floor - Phase II - Existing/Demo
1/2" = 1'-0"



① First Floor - Phase II
1/2" = 1'-0"



② Deck Perspective #2 - Existing/Demo



③ Deck Perspective #2



General Notes

Key Value	Keynote Text
A35	New Framed Deck with composite decking - 5/4" x 6" with 1/4" spacing - hidden deckboard fasteners
A36	3 Risers @ 7.5" - 2 treads at 11.25"
A37	Custom Aluminum Screen Panels
A38	96" Tall Screen Door
A39	15 Risers @ 7.5" - 14 Treads at 11.25"
A40	New Deck/Stair Railing
D13	Demolish/Remove existing freestanding deck
D14	Demolish/Remove existing stair

Thornton/Pfeuffer Residence Phase II - Rear Porch

Project number	2021-043
Date	10/28/21
Drawn by	SPE
Checked by	SPE

A8

Scale	1/2" = 1'-0"
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General Notes

Key Value	Keynote Text
A30	New Railing - WM-8840 866 1 1/2 x 3 1/2 Top Rail - WM-8841 866 1 1/2 x 3 1/2 Bottom Rail - 1-1/4" Square Balusters - Painted White Semi-Gloss
A31	New Porch Framing - 2x10 Joists at 16" o.c. with 1/4" - 12" slope away from the house - with fascia color-matched to porch flooring
A32	New Porch Flooring - Azek Porch 1x4 Tongue and Groove Flooring
A33	New masonry column, rebuilt to be plumb - stucco and painted to match adjacent columns
A34	Existing CMU Block Wall with Stucco Face to remain in place - stucco repaired and repainted to match adjacent exterior finishes
D10	Demolish/Remove existing masonry/stucco barriers/railings
D11	Remove and/or repair existing masonry column to correct leaning/deflection
D12	Demolish/Remove existing porch flooring and floor joists

Thornton/Pfeuffer Residence

Phase II - Front Porch

Project number	2021-043
Date	10/28/21
Drawn by	SPE
Checked by	SPE

A9

Scale3/8" = 1'-0"

