

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10905 Montrose Avenue, Garrett Park	<b>Meeting Date:</b>	1/5/2022
<b>Resource:</b>	Contributing Resource <b>(Garrett Park Historic District)</b>	<b>Report Date:</b>	12/29/2021
<b>Applicant:</b>	Christopher Walen & Yasmine Belkaid Tamar King, Architect	<b>Public Notice:</b>	12/22/2021
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Permit Number:</b>	978323	<b>Staff:</b>	Dan Bruechert
<b>PROPOSAL:</b>	Partial Demolition and Construction of Rear Addition, Rear Deck Construction, Front Porch Alteration		

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve with two (2) conditions** the HAWP application:

1. The proposed front porch metal cable railing is incompatible with the house and surrounding historic district. The front porch railing needs to be a traditionally-designed wood railing. Final approval authority to verify that this condition has been met is delegated to Staff.
2. Composite decking, including Trex, is incompatible on the front porch of the house and surrounding district. The front porch deck and stairs need to be painted wood. Final approval authority to verify that this condition has been met is delegated to Staff

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Garrett Park Historic District  
**STYLE:** Colonial Revival  
**DATE:** 1925



Figure 1: The subject property is near the intersection of Montrose Ave. and Strathmore Ave.

## **PROPOSAL**

The applicant proposes to demolish a portion of the rear and construct an addition at the rear of the house and alter the front porch.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Garrett Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Comprehensive Amendment to the North Bethesda-Garrett Park Master Plan (1992)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Comprehensive Amendment to the North Bethesda-Garrett Park Master Plan (1992)***

**Contributing Resource:** A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations.

Contributing resources add to the overall streetscape due to their size, scale, and architectural character.

### ***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property is a one-story house with a large projecting side addition on the left side. The side addition was added sometime after 1963. The house is designated as “Contributing” to the character of the historic district despite the large addition and reconfiguration of the front elevation. Staff is under the

impression that this level of designation was selected for the subject property for its association with the Chevy House development scheme, and not for its individual architectural significance. Starting in 1924, 39 modest-scaled houses were constructed in Garrett Park. Financing for these houses included a unique feature, bundling the house's mortgage payment with a new Chevrolet for a new class of auto-dependent commuters. These houses are known as "Chevy Houses".

The applicant proposes work in three primary areas: Constructing a new front porch, constructing a rear addition, and constructing a new rear deck. Staff finds the collective impact of these changes will not significantly alter the character of the house and recommends the HPC approve the HAWP.



*Figure 2: Undated photo of the subject property. (Historic Preservation Slide Collection)*

### **Front Porch**

The historic front porch aligned with the left side of the historic construction (see Fig. 2 below). After the addition was constructed, sometime after 1963, a side-loading front porch was constructed to access the new entrance in the building addition. The applicant proposes to reconfigure the entrance with a front-facing gable roof and a new front-loading front porch. The front porch will be covered in a simple wood gable, covered in shingles to match the existing roof supported by square wood columns. The applicant proposes to use Trex for the porch decking and stairs. The railing will be a metal cable railing.

Staff finds the existing front porch is not a historic feature on the house and its loss will not impact the historic character of the house. Many of the Chevy Houses in Garrett Park have a decorative front pediment (see: <https://www.garretparkmd.gov/home/showdocument?id=1038>). Staff finds that the proposed porch is evocative of those earlier features without attempting to replicate the design. Staff finds the design and materials for the proposed pediment are appropriate with the house and surrounding district. Staff finds that the front railing is a clearly contemporary feature that matches the railing on the rear deck, discussed below, and will not be misinterpreted as a historic building element. However, Staff does not find the material and design of the front railing to be compatible with the surrounding district

which, aside from the non-contributing house across the street, has only wood railings. Staff recommends the HPC include a condition for approval that the front porch railing is wood, in a traditional design, and delegate final approval authority to Staff. Finally, Staff finds the proposed Trex composite porch decking and stairs is not compatible with the natural materials (i.e. stone, wood, etc.) found throughout the district. As a composite material, Trex has a more reflective surface than wood and does not develop a patina over time. The HPC has consistently required wood on front porches in the Garrett Park Historic District and Staff recommends they do so in this instance. Staff recommends that the HPC include a condition that the front porch decking and stairs need to be wood. Staff can verify that the condition has been met when plans are submitted for final stamping after the approval.

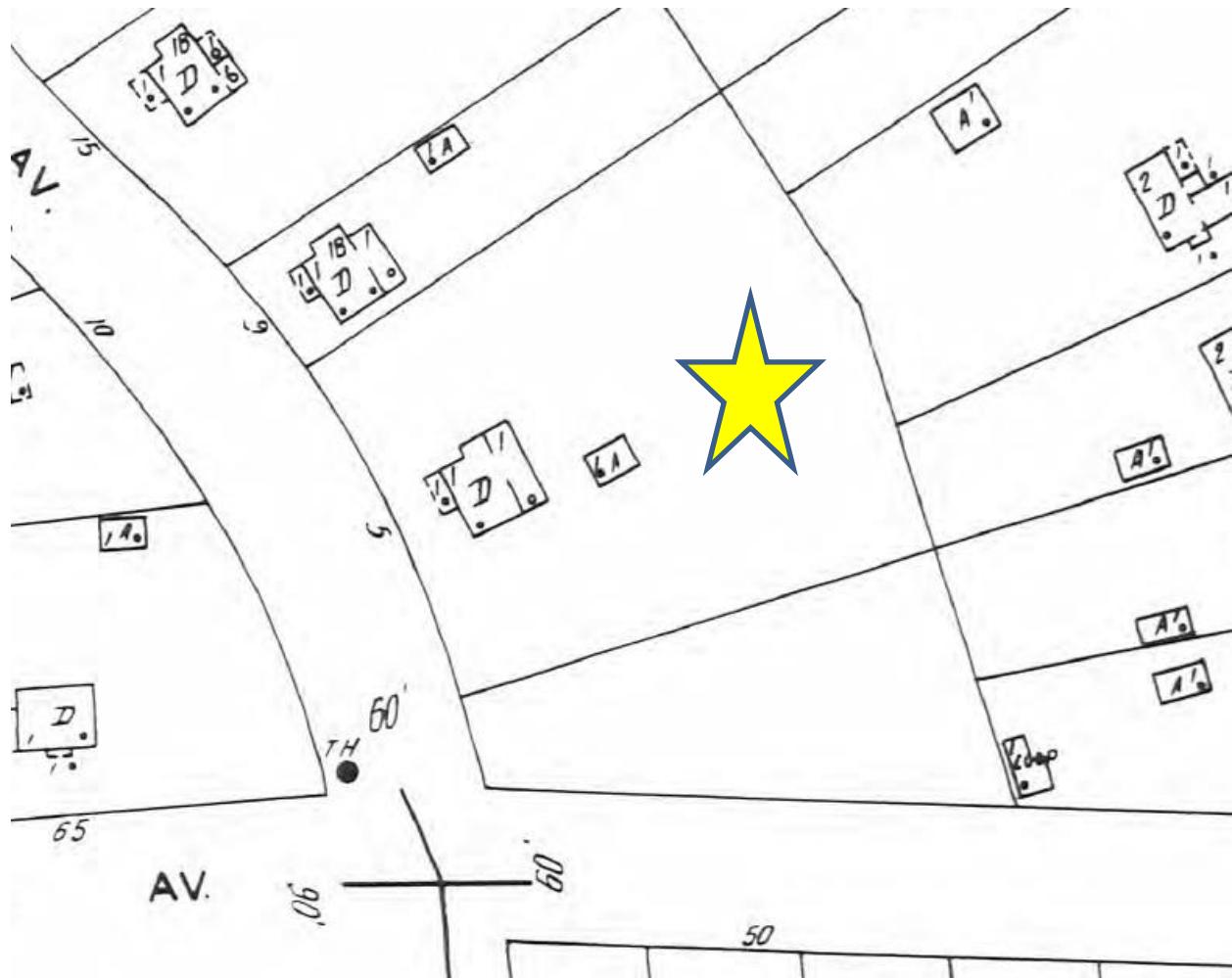


Figure 3: 1950 Sanborn Map showing the outline of the historic construction.

#### Rear Addition

At the rear of the house, there is a small one-story section that appears to be an enclosed rear porch that is used currently as the kitchen. The rear has a combination of siding and window configurations and does not contribute to the historic character of the house. The applicant proposes to demolish this section of the house and construct a rear addition.

The proposed one-story addition measures approximately 21' x 47' (twenty-one feet deep by forty-seven feet wide). Aside from the small inset, the addition is co-planer with the south (right) historic wall plane. The addition has a low-sloping rear-facing gable roof that is separated from the historic house by a small hyphen with a flat metal roof. The addition is a contemporary design that draws from mid-century design. The addition will have Hardie panel fiber cement siding with two-lite vinyl-clad wood casement

windows (Andersen 400 Series) with a fixed transom above, and two pairs of sliding glass doors at the rear.

Staff finds that while the proposed addition is large, it will not have a significant impact on the character of the house or the surrounding district. By placing the addition to the south side of the house, with the low-pitched rear gable roof, visibility of the addition from the right-of-way will be limited.



Figure 4: The subject property is at the edge of the historic district.

Staff finds the materials selected for the new construction effectively differentiate the new construction from the historic (per Standard 9). Staff typically recommends approval for fiber cement siding on additions in the Garrett Park Historic District, and while the panels are a different configuration than what is typically submitted, Staff finds it is appropriate in this instance. Staff additionally finds the windows in the rear are compatible and consistent with the windows installed in the non-historic addition. Staff recommends the HPC approve the proposed rear addition.

### Rear Deck

At the rear of the addition, the applicant proposes constructing a new deck measuring approximately 15' × 38' (fifteen feet by thirty-eight feet) that will be slightly inset from the south (right) wall plane. The deck will have Trex decking and stairs and a metal cable railing.

Staff finds that the proposed deck will not be visible from the public right-of-way and should receive a lenient level of review. Because of the lenient review, Staff finds that the Trex decking is acceptable at the rear, even though Staff did not recommend its approval at the front. Staff finds the same reasoning justifies approval of the metal cable railing in this application. The railing will not be visible from the right-of-way and is compatible with the design and materials of the proposed addition, discussed above. Staff Recommends the HPC approve the rear deck.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approves with two conditions** the HAWP application:

1. The proposed front porch metal cable railing is incompatible with the house and surrounding historic district. The front porch railing needs to be a traditionally-designed wood railing. Final approval authority to verify that this condition has been met is delegated to Staff.
2. Composite decking, including Trex, is incompatible on the front porch of the house and surrounding district. The front porch deck and stairs need to be painted wood. Final approval authority to verify that this condition has been met is delegated to Staff;

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal will not

substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



# APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Christopher Whalen & Yasmine Belkaid

Address: 10905 Montrose Ave

Daytime Phone: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: Tamar King/Carnemark design + build

Address: 7550 Wisconsin Ave

Daytime Phone: 301.656.5000x109

**LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property\_\_\_\_\_**

Is the Property Located within an Historic District? Yes/District Name \_\_\_\_\_  
No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review.** Check all that apply:

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> New Construction              | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition           | <input type="checkbox"/> Fence                 | <input type="checkbox"/> Solar                           |
| <input checked="" type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape   | <input type="checkbox"/> Tree removal/planting           |
| <input checked="" type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof       | <input checked="" type="checkbox"/> Window/Door          |
|  |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

12.21.2021

Signature of owner or authorized agent

Date

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**10905 Montrose Ave, Garrett Park, MD** is a single family home c.1923. The home was expanded c 1960 with a first floor and basement addition on the front side, a new front porch and rear deck.

The scale of the home is small with a simple gable roof over the original main house and addition. A shed roof covers the front porch and kitchen and study at rear. The exterior finishes include wood siding with a brick facing/terra cotta base, a combination of window types including double hung with divided lites and full lite direct set windows. The rear wood deck is open with steps to grade.

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Replace the existing front porch with a new front porch with gable roof with open pediment, in keeping with the original Chevy style. A rear Addition and Deck. Interior renovation.

## Work Item 1: Proposed Front Porch

Description of Current Condition: The existing front porch is not original to the home. A shed roof covers the porch and ties into roof at the addition (c. 1960). The angled stairs run parallel to front of the house.

Proposed Work: Replace the existing front porch with a new gable open pediment roof. Relocate the stairs to allow direct access to the front door and visual alignment with the new porch roof.

## Work Item 2: Rear Addition

Description of Current Condition: A long, narrow kitchen is located at the rear on the first floor with a crawl space below. The exterior siding and direct set windows are in need of repair.

Proposed Work: The proposed first floor and basement addition is connected to the existing home with a 'link' which provides a visual transition from the existing structure to the new addition. A large gable roof extends over the addition and aligns with the existing roof lines. New windows are similar to the existing rear windows in scale, type and alignment on the exterior facade. The exterior material will be Hardie Panel siding and asphalt shingle roofing.

The proposed addition is not visible from the street.

## Work Item 3: New Rear Deck

Description of Current Condition: The existing wood deck and wood railing system is accessed through the Kitchen and has three levels and a stair to grade.

Proposed Work: The new deck has three levels which create three separate spaces on the deck. Stairs at the rear provide access to the rear yard. The proposed decking is a composite material, and the railings and balusters are aluminum.

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**PROPOSED RENOVATION FOR:**

**WHALEN**

10905 MONTROSE AVE, GARRET PARK, MD 20896

**DESIGN/BUILD BY:**

**CARNEMARK**

7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814 . tel: 301.657.5000 . fax: 301.657.5070

**IMAGE**



**PROJECT INFORMATION**

PROPERTY ADDRESS: 10905 MOSTROSE AVE, GARRET PARK, MD 20896  
LOTS: 10, 11  
BLOCK: 88  
LOT AREA: 20,230 SF  
HISTORIC DISTRICT: GARRET PARK DISTRICT

UTILITIES:  
WATER SERVICE SIZE:  
WATER METER SIZE:  
GAS SERVICE SIZE:  
STORM SEWER SYSTEM:

SETBACKS REQUIRED:  
(MOST RESTRICTIVE OF R-90 AND GARRET PARK REQUIREMENTS)  
FRONT: 30'  
SIDEYARD SETBACK: 10' ONE SIDE  
SUM OF BOTH SIDES: 25' FOR LOT OVER 60' WIDE, 20' FOR LOT 60' OR LESS  
REAR YARD: 25'  
LOT COVERAGE (MAX): 18% MAIN BLDG, (3641 SF)  
FAR: .375 (.7588 SF/20,230 SF)

SETBACK PARAMETERS:  
ZONING: R-90 SETBACKS:  
FRONT: 30'  
SIDES: 8'  
SUM OF SIDES: 25'  
REAR: 25'  
LOT COVERAGE: 30% MAX  
BUILDING HEIGHT: 35' MAX

GARRET PARK SETBACKS:  
REQUIREMENTS: 30'  
SIDEYARD SETBACK: 10' ONE SIDE  
SUM OF BOTH SIDES: 25' FOR LOT OVER 60' WIDE, 20' FOR LOT 60' OR LESS  
REAR YARD: 25' FOR YARDS GREATER THAN 30' IN DEPTH  
LOT COVERAGE: 18% MAIN BLDG,  
20% MAX WITH ACCESSORY BUILDINGS  
FAR: .375

PROPOSED:  
LOT COVERAGE: 2652 SF MAIN BLDG  
FAR: .12

- ADDITION AND INTERIOR RENOVATION
- NEW FRONT PORCH
- NEW REAR DECK
- REPLACE WINDOWS AS NOTED

**PROJECT TEAM**

DESIGNER/BUILDER:  
CARNEMARK DESIGN + BUILD  
7550 WISCONSIN AVE  
SUITE 120  
BETHESDA, MD 20814  
301-657-5000  
CONTACT:

STRUCTURAL ENGINEER:  
WAYNE C. BRYAN, P.E.  
PRINCIPAL  
EHRET BRYAN  
6629 WESTWOOD CENTER  
DR.  
SUITE 800  
TYSONS, VA 22182  
DIRECT: 703-827-9554  
MAIN: 703-827-9552

proposed renovation for:  
**WHALEN**  
10905 MONTROSE AVE,  
GARRET PARK, MD  
20896

sheet title:

**Cover Sheet**

sheet scale:

12.21.21

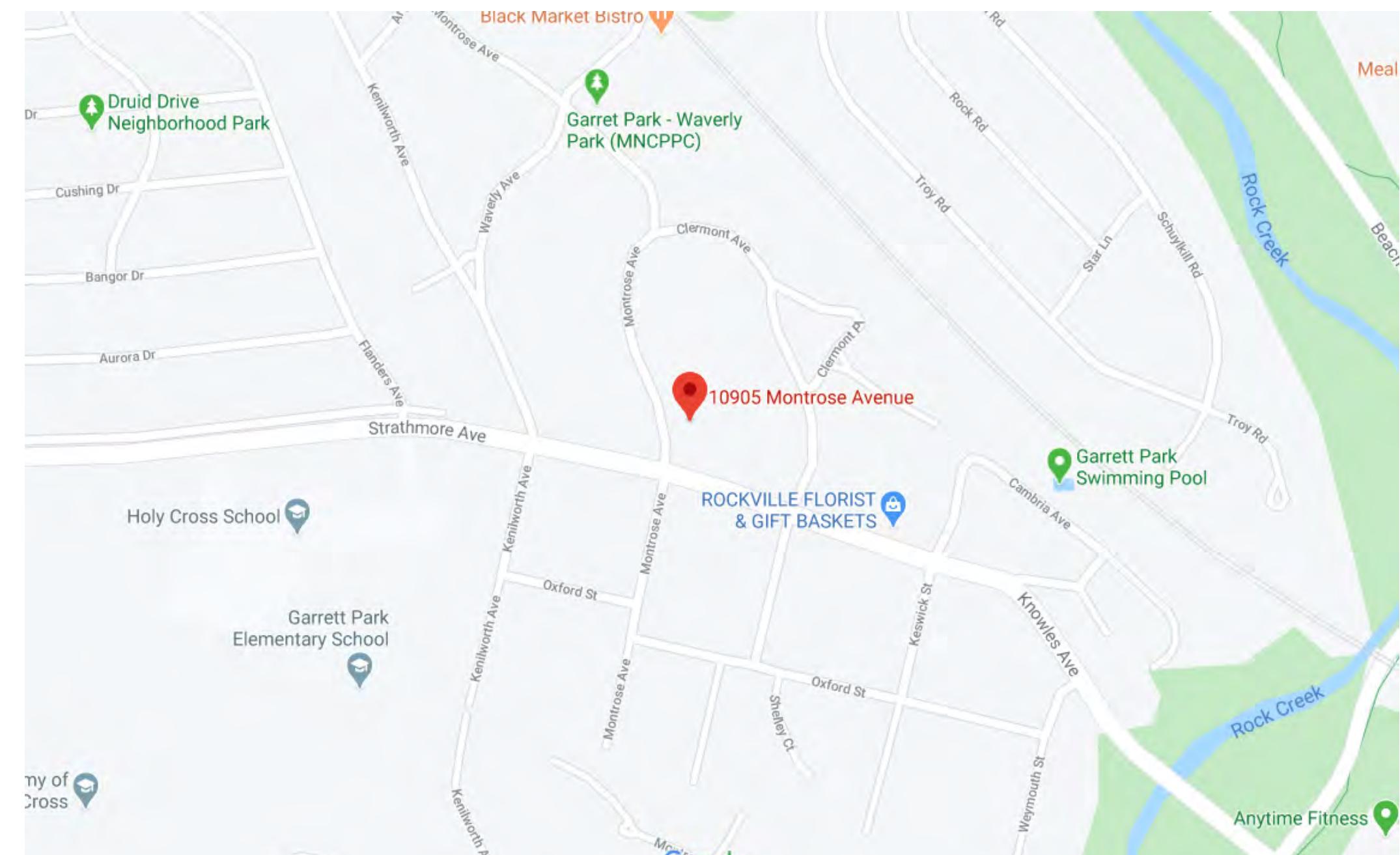
drawing revisions:

rev#  
1  
2  
3  
4  
5

CARNEMARK ©  
7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000  
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THEORIES AND ARRANGEMENTS OF PROPOSED THINGS AND SHALL BECOME THE PROPERTY OF CARNEMARK DESIGN + BUILD, INC. NO PARTS THEREOF MAY BE USED, COPIED, OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF CARNEMARK DESIGN + BUILD, INC. THESE DRAWINGS ARE NOT TO BE CONSTRUED AS CONTRACTUAL UNLESS THEY ARE ACCOMPANIED BY A WRITTEN AGREEMENT THAT SPECIFIES THE SCOPE OF WORK AND THE CONDITIONS OF PAYMENT. THESE DRAWINGS ARE NOT TO BE CONSTRUED AS CONTRACTUAL UNLESS THEY ARE ACCOMPANIED BY A WRITTEN AGREEMENT THAT SPECIFIES THE SCOPE OF WORK AND THE CONDITIONS OF PAYMENT.

**001**

**VICINITY MAP**



**BUILDING CODES & STANDARDS**

BUILDING: 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)  
ENERGY: 2018 INTERNATIONAL ENERGY CODE (IECC)  
AS AMENDED BY THE MONTGOMERY COUNTY EXECUTIVE REGULATION  
MECHANICAL: 2018 IMC  
ELECTRICAL: 2014 70 ELECTRICAL CODE  
PLUMBING: WSSC PLUMBING CODE

**ENERGY COMPLIANCE**

ENERGY CODE:  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
(IECC)  
WINDOWS/DOORS - MAX U-FACTOR  
MAX SHGC - GLAZED FENESTRATION  
SKYLIGHTS - MAX U-FACTOR  
MAX SHGC  
CEILINGS  
WALLS (WOOD FRAMING)  
MASS WALLS  
BASEMENT WALLS  
FLOORS  
SLAB PERIMETER- R-VALUE & DEPTH  
CRAWLSPACE

U = .35

U = .40

U = .55

U = .40

R=4.9

R=2.20 OR 13 +

R=5

R=4.13

R=10.13

R=1.9

R=1.0

2 FT.

R=10.2 FT.

R=10.13

THE FIRST VALUE IS CAVITY INSULATION.  
THE SECOND VALUE IS CONTINUOUS INSULATION.

\*THE FIRST R-VALUE APPLIES TO CONTINUOUS

001 Cover Sheet  
002 Legend and Notes  
003 Exterior Photos  
004 Exterior Photos  
CIV001 Site Plan

A010 Existing Plan - Lower Floor  
A011 Existing Plan - Upper Floor  
A013 Existing Plan - Roof  
A020 Existing Exterior Elevations  
A021 Existing Exterior Elevations

D001 Demolition Plan - Basement  
D002 Demolition Plan - First Floor  
D004 Demolition Plan - Roof

A100 Proposed Plan - Lower Floor  
A101 Proposed Plan - Upper Floor  
A103 Proposed Plan - Roof  
A200 Proposed Exterior Elevations  
A201 Proposed Exterior Elevations  
A202 Proposed Views

A300 Proposed Interior Elevations  
A301 Proposed Interior Elevations  
A302 Proposed Interior Elevations  
A400 Proposed Building Section  
A401 Proposed Building Section 2  
A500 Details  
A600 Schedules & Notes

## GENERAL NOTES

- REFER TO CONSTRUCTION DRAWINGS (CLIENT APPROVED CHANGE ORDERS, DRAWINGS, DESIGN TEAM'S SUPPLEMENTAL INSTRUCTIONS, AND RESPONSES TO REQUESTS FOR INFORMATION) PREPARED BY THE CSDI DESIGN TEAM, STRUCTURAL CONSULTANT, AND MEP CONSULTANT, INCLUDING ALL PACKAGES FOR SPECIFIC, ADDITIONAL INFORMATION.
- FOR THE PURPOSE OF THESE DRAWINGS 'OTS' (OWNER TO SUPPLY) SHALL MEAN ITEM PROVIDED BY OWNER, ASSEMBLED AND INSTALLED BY CONTRACTOR AS PART OF THE WORK OF THIS CONTRACT; THE ABBREVIATION 'N.I.C.' (NOT IN CONTRACT) SHALL MEAN ITEM PROVIDED AND INSTALLED BY OWNER UNDER SEPARATE CONTRACT.
- THE SUBCONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS AND REQUIREMENTS OF THE DRAWINGS AND ACCOMPANYING CSDI UNIVERSAL SUBCONTRACTOR AGREEMENT, INCLUDING OTHER PARTS OF THE PROPOSED CONTRACT DOCUMENTS, AND FULLY UNDERSTAND THE CONDITIONS, DIFFICULTIES AND RESTRICTIONS COMPLETELY, BEFORE EXECUTING THE WORK. IT IS UNDERSTOOD THAT OMISSIONS FROM THE BID, DUE TO FAILURE OF THE SUBCONTRACTOR TO FULLY ACQUAINT HIMSELF WITH THE CONSTRUCTION DOCUMENTS, WILL NOT ENTITLE HIM TO ADDITIONAL CONSIDERATION AND/OR COMPENSATION.
- SHOULD THE SUBCONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM, THE CONSTRUCTION DOCUMENTS, OR BE IN DOUBT AS TO THE MEANING AND INTENTION OF ANY ITEM OR REQUIREMENT, HE SHALL NOTIFY THE PRODUCTION MANAGER (P.M.) AT ONCE.

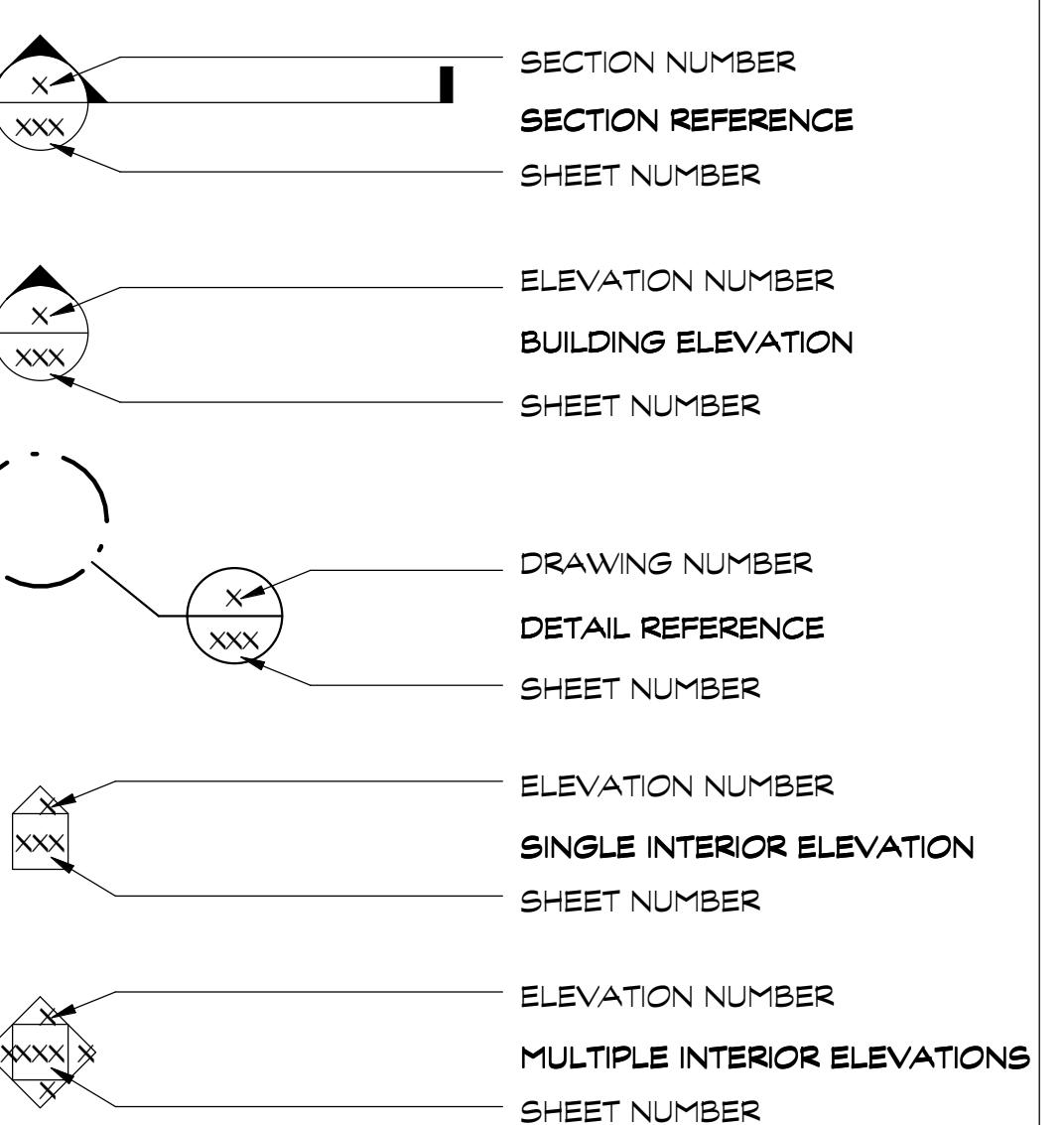
- THE SUBCONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND CITY BUILDING CODES AND ALL OTHER APPLICABLE ORDINANCES AND AUTHORITIES - THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED WITH THE INTENTION OF INCORPORATING ALL SUCH ISSUES, HOWEVER, THE SUBCONTRACTOR IS TO VERIFY THAT ALL COMPONENTS DO, INDEED, SATISFY THESE REQUIREMENTS, ASSURE COMPLIANCE BY ALL OF SUBCONTRACTORS PERSONNEL AND SUPPLIERS, AND SHOULD ANY DISCREPANCIES BE IDENTIFIED, NOTIFY THE P.M. AND THE CSDI DESIGN TEAM PROMPTLY FOR CLARIFICATION SO AS TO MINIMIZE IMPACT UPON THE JOB COST AND SCHEDULE.
- ALL REQUESTS BY SUBCONTRACTORS OR SUPPLIERS FOR CLARIFICATION OR ADDITIONAL INFORMATION MUST BE FORWARDED IN WRITING THROUGH THE P.M. TO THE CSDI DESIGN TEAM.
- THE SUBCONTRACTOR SHALL USE EXTREME CARE TO MINIMIZE INTERFERENCE OF ADJACENT PROPERTIES AND STREETS AND OTHER SUBCONTRACTORS ASSOCIATED WITH WORK ON THE SITE / PROJECT.
- THE SUBCONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE CSDI DESIGN TEAM OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

## DO NOT SCALE DRAWINGS

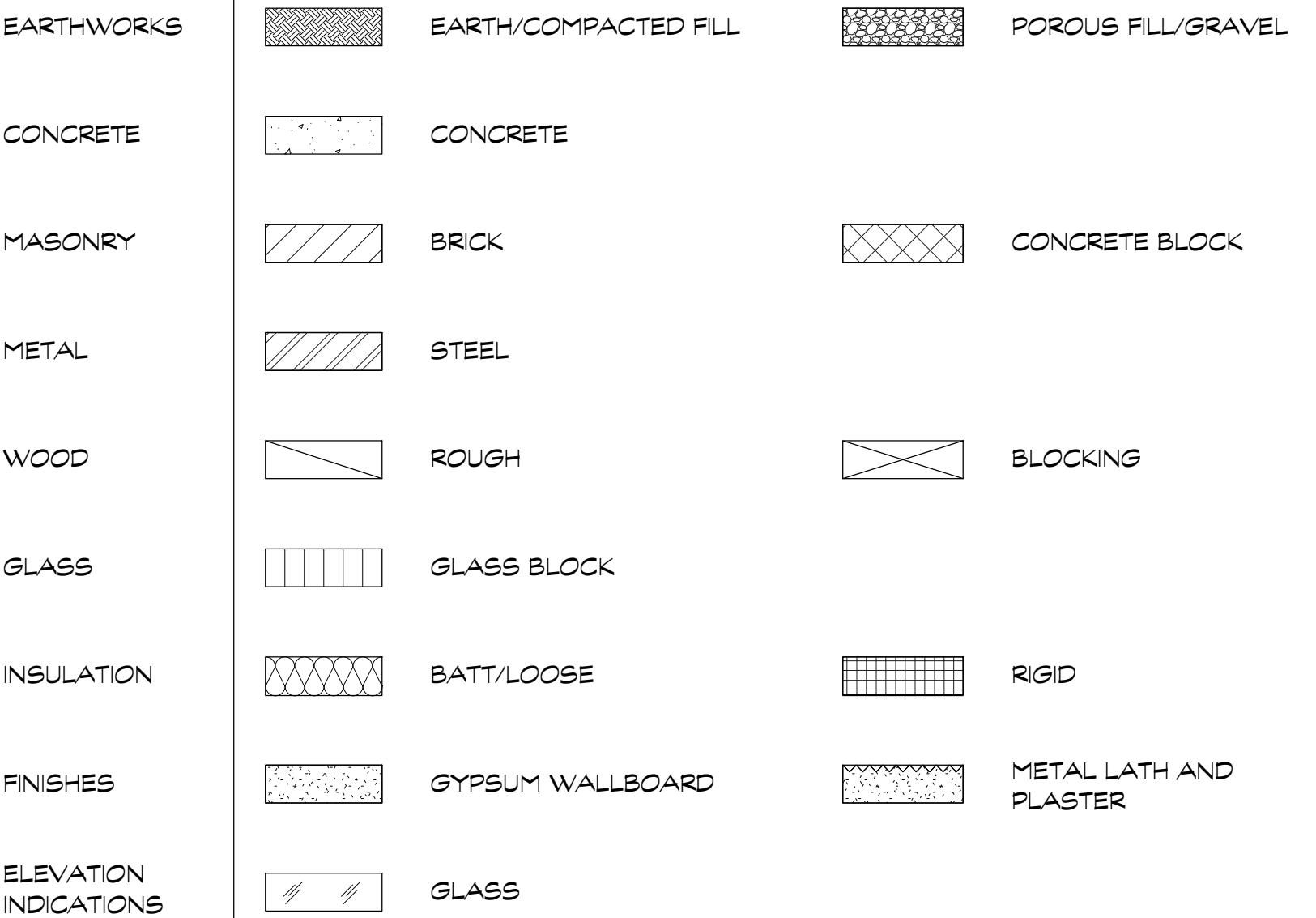
## ABBREVIATIONS

ABV.	ABOVE	FTG.	FOOTING	PART.	PARTITION
A.F.F.	ABOVE FINISHED FLOOR	FOUN.	FOUNDATION	PVMT.	PAVEMENT
ADJ.	ADJUSTABLE	FR.	FRAME	PLAS.	PLASTER
A/C	AIR CONDITION(ER)(NG)(ED)	FUR.	FURRED OR FURRING	PL.	PLATE
ALLOW.	ALLOWANCE	GA.	GAGE OR GAUGE	PLYWD.	PLYWOOD
ALUM.	ALUMINUM	GALV.	GALVANIZED	PILAS.	PILASTER
A.B.	ANCHOR BOLT	GAL.	GALLON	PLAST.	PLASTIC
ANOD.	ANODIZED	GL.	GLASS	PLAM.	PLASTIC LAMINATE
APPROX.	APPROXIMATE	GLAZ.	GLAZE	PT.	POINT
ARCH.	ARCHITECT	GYP.	GYPSUM	P.S.F.	POUNDS PER SQUARE FOOT
Avg.	AVERAGE	GWB	GYPSUM WALL BOARD	P.S.I.	POUNDS PER SQUARE INCH
@	AT			PROP.	PROPERTY
BSMT.	BASEMENT	HDWR.	HARDWARE	QTY.	QUANTITY
B.R.	BEDROOM	HDWD.	HARDWOOD	RAD.	RADIATOR
BEL.	BELOW	HVAC	HEATING, VENTILATING & AIR CONDITIONING	r.	RADIUS
BLK.	BLOCK	HD.	HEAD	r.	RISER
BLKG.	BLOCKING	HVY.	HEAVY	REC.	RECEPTACLE
BD.	BOARD	HT.	HEIGHT	RE:	REFERENCE / REFER TO
BOT.	BOTTOM	HORIZ.	HORIZONTAL	REFRIG.	REFRIGERATOR
B.O.	BRICK OPENING	H.B.	HOSE BIBB	REQD.	REQUIRED
BLDG.	BUILDING	HWH	HOT WATER HEATER	R/S	ROD AND SHELF
CAB.	CABINET	HTR.	HEATER	REFL.	REFLECTED
CATV	CABLE TELEVISION	HR.	HOUR	REG.	REGISTER
CLG.	CEILING			REINF.	REINFORCE
CTR.	CENTER	IN.	INCH	REV.	REVISED OR REVISION
C/C	CENTER TO CENTER	INCL.	INCLUDE(D)(NG)	RFG.	ROOFING
C.T.	CERAMIC TILE	I.D.	INSIDE DIAMETER	R.M.	ROOM
CLR.	CLEAR(ANCE)	INSUL.	INSULATION	R.O.	ROUGH OPENING
COL.	COLUMN	INT.	INTERIOR	SCHED.	SCHEDULE
CONC.	CONCRETE	JT.	JOINT	SECT.	SECTION
C.M.U.	CONCRETE MASONRY UNIT	KIT.	KITCHEN	SHT.	SHEET
CONST.	CONSTRUCT(ON)	LAM.	LAMINATED	S:	SILL
CONT.	CONTINUE(D)(OUS)	LAV.	LAVATORY	SPEC.	SPECIFICATION
CTSK.	COUNTERSINK	L.	LENGTH	SQ.	SQUARE
CRS.	COURSES	LIB.	LIBRARY	S.S.	STAINLESS STEEL
CU.FT.	CUBIC FEET	LIN.	LINEAR	STD.	STANDARD
CL	CENTER LINE	LR.	LIVING ROOM	STL.	STEEL
DET.	DETAIL	LB.	POUND	STOR.	STORAGE
DIAG.	DIAGONAL	MACH.	MACHINE	STRUC.	STRUCTURAL
DIA.	DIAMETER	MANT.	MAINTENANCE	SUSP.	SUSPENSION OR SUSPENDED
DIM.	DIMENSION	MFG.	MANUFACTURER	SYS.	SYSTEM
DISPEN.	DISPENSER	MAS.	MASONRY	TEL.	TELEPHONE
DISPOS.	DISPOSAL	M.O.	MASONRY OPENING	TV.	TELEVISION
DW.	DISH WASHER	MATL.	MATERIAL	TEMP.	TEMPERATURE
DR.	DOOR	MAX.	MAXIMUM	TECH.	TECHNICAL
DBL.	DOUBLE	MEMB.	MECHANICAL	T.B.D.	TO BE DETERMINED
DN.	DOWN	MEMB.	MEMBRANE	T.P.	TOILET PAPER
D.S.	DOWN SPOUT	MET.	METAL	T.P.H.	TOILET PAPER HOLDER
DWG.	DRAWING	MIN.	MINIMUM	T.O.	TOP OF
DRY.	DRYER	MISC.	MISCELLANEOUS	TP.	TOPICAL
EA.	EACH	MTD.	MOUNTED	THK.	THICK
ELEC.	ELECTRIC(AL)	MTG.	MOUNTING	THR.	THRESHOLD
EL.	ELEVATION	MULL.	MULLION	T.	TREAD
ENCL.	ENCLOSURE	NOM.	NOMINAL	TEM.	TIME AND MATERIALS
ENG.	ENGINEER(ING)	N.	NORTH	U.N.O.	UNLESS NOTED OTHERWISE
ENT.	ENTRANCE	N/A.	NOT APPLICABLE	UTIL.	UTILITY
EQ.	EQUAL	NO.	NUMBER	U.V.	ULTRA VIOLET
EQUIP.	EQUIPMENT	N.I.C.	NOT IN CONTRACT	VERT.	VERTICAL
EXIST.	EXISTING	N.T.S.	NOT TO SCALE	VEST.	VESTIBULE
EXP.	EXPANSION	O.T.S.	OWNER TO SUPPLY	V.B.	VINYL BASE
EXT.	EXTERIOR	OFF.	OFFICE	V.C.T.	VINYL COMPOSITION TILE
E.F.	EXHAUST FAN	O.C.	ON CENTER	V.I.F.	VERIFY IN FIELD
FT.	FEET OR FOOT	OPNG.	OPENING	W/C	WATER CLOSET
FINISH(ED)	FLOOR	OPP.	OPPOSITE	WP.	WATERPROOFING
FIN.	FINISH	O.A.	OVERALL	WT.	WEIGHT
F.P.	FIRE PLACE	O.D.	OUTSIDE DIAMETER	W.W.M.	WELDED WIRE MESH
FBGLAS.	FIBERGLASS	PTD.	PAINTED	W.	WEST
F.O.F.	FACE OF FRAME	PSCHED.	PRODUCT SCHEDULE	W/W.	WITH
F.R.	FIRE RATED	P.R.M.	POWDER ROOM	W/O	WITHOUT
FIXT.	Fixture	PNL.	PANEL	WD.	WOOD
FLR.	FLOOR				
F.D.	FLOOR DRAIN				
FLOUR.	FLUORESCENT				

## GRAPHIC SYMBOLS



## MATERIAL SYMBOLS



proposed renovation for:  
WHALEN  
10905 MONTROSE AVE,  
GARRET PARK, MD  
20896

sheet title:  
Legend  
and Notes  
sheet scale:

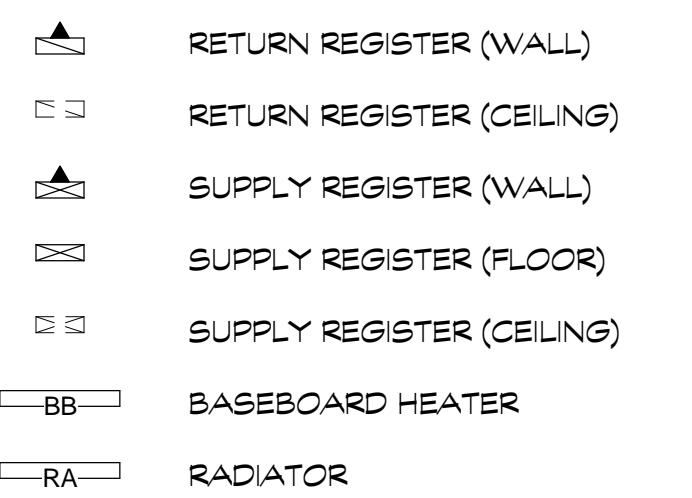
sheet date:  
12.21.21

drawing revisions:  
date:

CARNEMARK ©  
7550 Wisconsin Avenue Suite 120, Bethesda, MD 20814, tel: 301.657.5000  
rev.# 1  
1  
2  
3  
4  
5  
The above drawings and specifications represent the property and shall remain the property of the architect and engineer. They are to be returned to the architect and engineer upon completion of the project or at any time thereafter. No part of the drawings or specifications may be reproduced without written consent of the architect and engineer. Visual contact with these drawings and specifications is permitted during the course of the project. Any changes made to the drawings and specifications must be done in accordance with the original drawings and specifications. The architect and engineer shall have the right to inspect the work at any time during the course of the project. The architect and engineer shall have the right to inspect the work at any time during the course of the project.

002

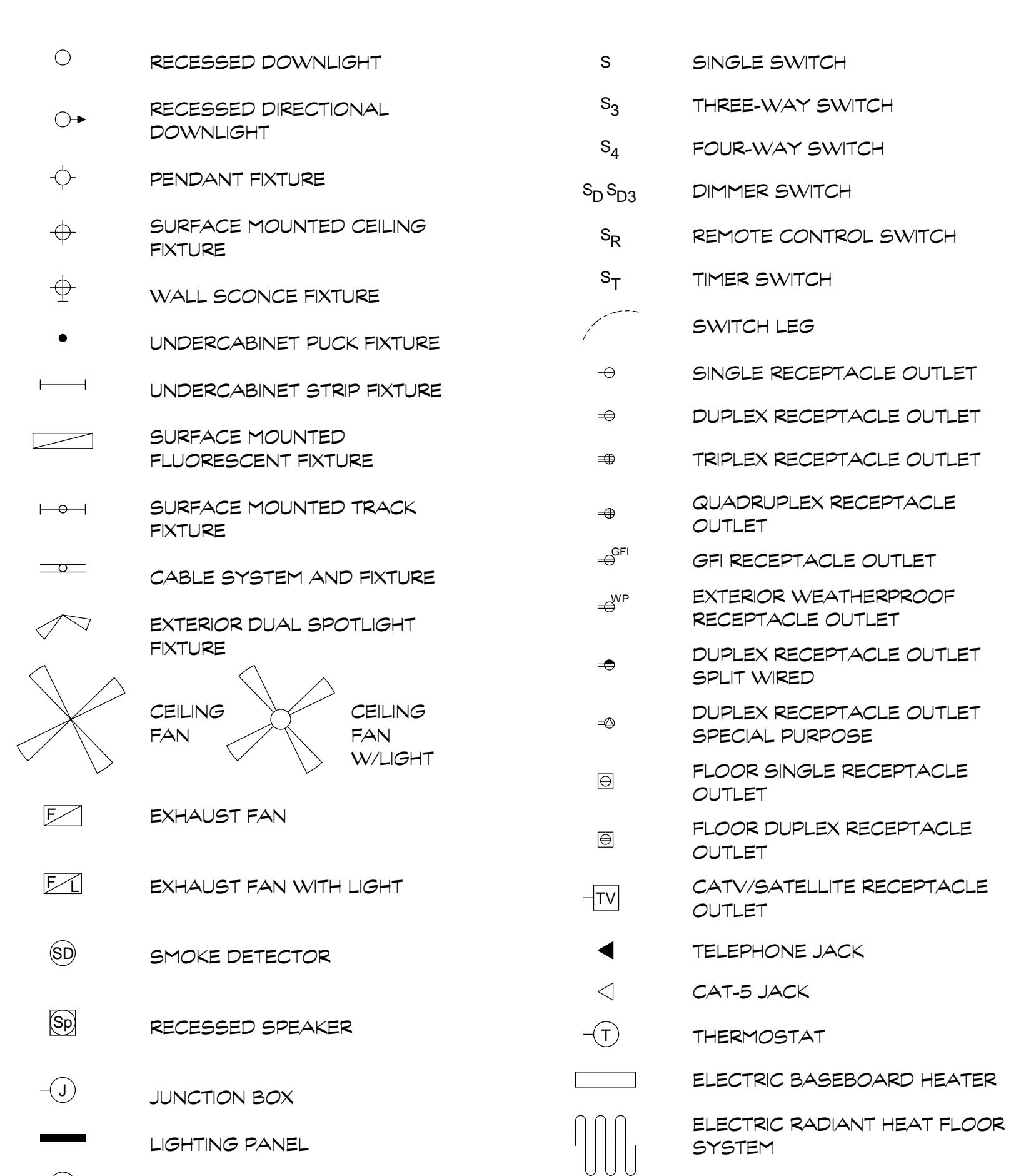
## MEP LEGEND



## ELECTRICAL NOTES

- GENERAL**
  - THE ELECTRICAL CONTRACTOR SHALL:
    - INCLUDE ALL LABOR, MATERIALS, SERVICES, AND SUPERVISION NECESSARY TO PROVIDE A COMPLETE ELECTRICAL SYSTEM AS REQUIRED BY THE PLAN AND ALL APPLICABLE ELECTRICAL CODES.
    - VERIFY ALL EXISTING CONDITIONS AND INCLUDE ANY WORK NECESSARY TO MEET CODE AND TO PROVIDE A COMPLETE AND SAFE OPERATIONAL ELECTRICAL SYSTEM.
    - BRING ANY CONFLICTS WITH OTHER TRADES OR STRUCTURE TO THE ATTENTION OF THE JOB SUPERINTENDENT OR PROJECT MANAGER BEFORE PROCEEDING WITH INSTALLATION.
    - EMPLOY ONLY SKILLED TRADES PEOPLE AND PROVIDE THE SUPERVISION NECESSARY TO SUCCESSFULLY COMPLETE THE JOB IN A TIMELY MANNER.
    - BE RESPONSIBLE FOR ALL DRILLING, CUTTING AND CHANNELING AS NECESSARY TO INSTALL THE ELECTRICAL WIRING AND EQUIPMENT.
    - CLEAN UP ALL TRASH AND DEBRIS FROM THEIR WORK ON A DAILY BASIS. ALL AREAS WHERE CLIENTS ARE LIVING SHALL BE VACUUMED. ALL OTHER AREAS SHALL BE SWEEPED. TRASH SHALL BE REMOVED TO A DESIGNATED AREA ON SITE DAILY.
    - PROVIDE ALL ELECTRICAL PERMITS AS REQUIRED.
  - THE DRAWINGS ARE TO DEMONSTRATE THE DESIGN INTENT OF THE ELECTRICAL SYSTEM AND ARE NOT MEANT TO INCLUDE ALL NECESSARY CODE REQUIREMENTS.
  - ALL DIMENSIONS ARE TO THE CENTER OF THE APPROPRIATE BOX, FIXTURE, OUTLET, ETC.
  - PRODUCTS**
    - ALL MATERIALS, EQUIPMENT AND FIXTURES SHALL BE OF THE APPROPRIATE DIMENSION, STYLE AND MANUFACTURER FOR THE MANNER OF WHICH IT IS INTENDED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, THE LOCAL UTILITY AND ALL CODES.
    - ALL ELECTRICAL MATERIALS SHALL BE LISTED BY UNDERWRITERS LABORATORIES, INC."
  - ALL LABOR AND MATERIALS SUPPLIED SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL COMPLETION OF JOB.
  - WIRING METHODS**
    - ALL SWITCHES AND OUTLETS ARE TO BE MANUFACTURED BY LEVITON OR APPROVED EQUAL AND TO BE WHITE W/ WHITE PLASTIC PLATES UNLESS OTHERWISE NOTED. NO OVERSIZED PLATES SHALL BE USED.
    - NO "SPEED" WIRING SHALL BE UTILIZED.
    - ALL DIMMERS SHALL BE LUTRON, ARIADNI [TOGGLE TYPE] UNLESS OTHERWISE NOTED. THEY SHALL BE SIZED APPROPRIATELY TO COMPENSATE FOR NECESSARY DERATING AND MATCH THE APPROPRIATE FIXTURE AS NECESSARY.
    - PROVIDE GFCI PROTECTION AS REQUIRED BY CODE. AN INDIVIDUAL GFCI RECEPTACLE AND 20-AMP CIRCUIT SHALL PROTECT EACH BATHROOM.
    - ALL 240-VOLT DRYERS AND COOKING APPLIANCES SHALL BE PROVIDED WITH INDIVIDUAL 4-WIRE CIRCUITS.
    - PROVIDE A SUBPANEL [60-AMP, 12 FULL SIZE BREAKER SPACE MINIMUM SIZE] AS REQUIRED FOR NEW CIRCUITS.
  - LIGHTING FIXTURES**
    - FURNISH AND INSTALL ALL NECESSARY LAMPS, PARTS AND ACCESSORIES FOR ALL FIXTURES SUPPLIED.
    - ALL FIXTURES SHALL BE IC-RATED WHERE INSULATION IS PRESENT IN THE CEILING SPACE.
    - ALL LAMPS SHALL BE FURNISHED AS SPECIFIED.
    - PROVIDE APPROPRIATELY SIZED TRANSFORMERS IN AN ACCESSIBLE REMOTE LOCATION AS REQUIRED.
  - SMOKE DETECTORS**
    - FURNISH AND INSTALL HARDWIRED SMOKE DETECTORS AS REQUIRED BY CODE UNLESS NOTED OTHERWISE.
    - INTERCONNECT SMOKE DETECTORS IN ALL REMODELED AREAS AND AS PRACTICAL IN OTHER REQUIRED AREAS.
  - TELEPHONE, TELEVISION, AND SPEAKER WIRING**
    - PROVIDE CATEGORY 5 [MINIMUM] HOME RUNS TO EACH TELEPHONE JACK.
    - PROVIDE RG6 QUADSHEILD [MINIMUM] HOME RUNS TO EACH CATV JACK.
    - PROVIDE 14 GAUGE [MINIMUM] WIRING TO EACH SPEAKER JACK.

## ELECTRICAL LEGEND



003

CARNEMARK ©	rev.#	description:	date:	
7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000	1			
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY AS IT EXISTED ON THE DATE OF THIS DRAWING. THEY ARE NOT MEANT TO BE A CONTRACT DOCUMENT. THEY ARE FOR INFORMATION ONLY. THEY DO NOT CONSTITUTE AN AGREEMENT OR CONTRACT. THEY ARE NOT A SUBSTITUTE FOR A WRITTEN CONTRACT. THE PROPERTY OWNER IS NOT RESPONSIBLE FOR ANY CHANGES IN THE PROPERTY SINCE THE DATE OF THIS DRAWING. THE PROPERTY OWNER IS NOT RESPONSIBLE FOR ANY CHANGES IN THE PROPERTY SINCE THE DATE OF THIS DRAWING.	2	3	4	5

proposed renovation for:  
WHALEN  
sheet title:  
Exterior Photos  
sheet scale:  
sheet date:  
12.21.21  
drawing revisions:

12/21/2021 12:33:39 PM  
C:\Users\jbalanci\Documents\2003 Whalen - New Scope Option A 210824\_1Balanci78QDC.rvt



004	C A R N E M A R K © 7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000 THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY OWNER'S REQUIREMENTS FOR THE PROJECT. THEY ARE NOT DRAWINGS OF THE PROPERTY AND DO NOT CONSTITUTE A CONTRACT. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY CHANGES MADE TO THE PROPERTY. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY CHANGES MADE TO THE PROPERTY. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY CHANGES MADE TO THE PROPERTY.	rev.# 1 2 3 4 5	description: date: date: date: date:
proposed renovation for: WHALEN			
sheet title: 10905 MONTROSE AVE, GARRETT PARK, MD 20896			
sheet date: 12.21.21			
drawing revisions:     			

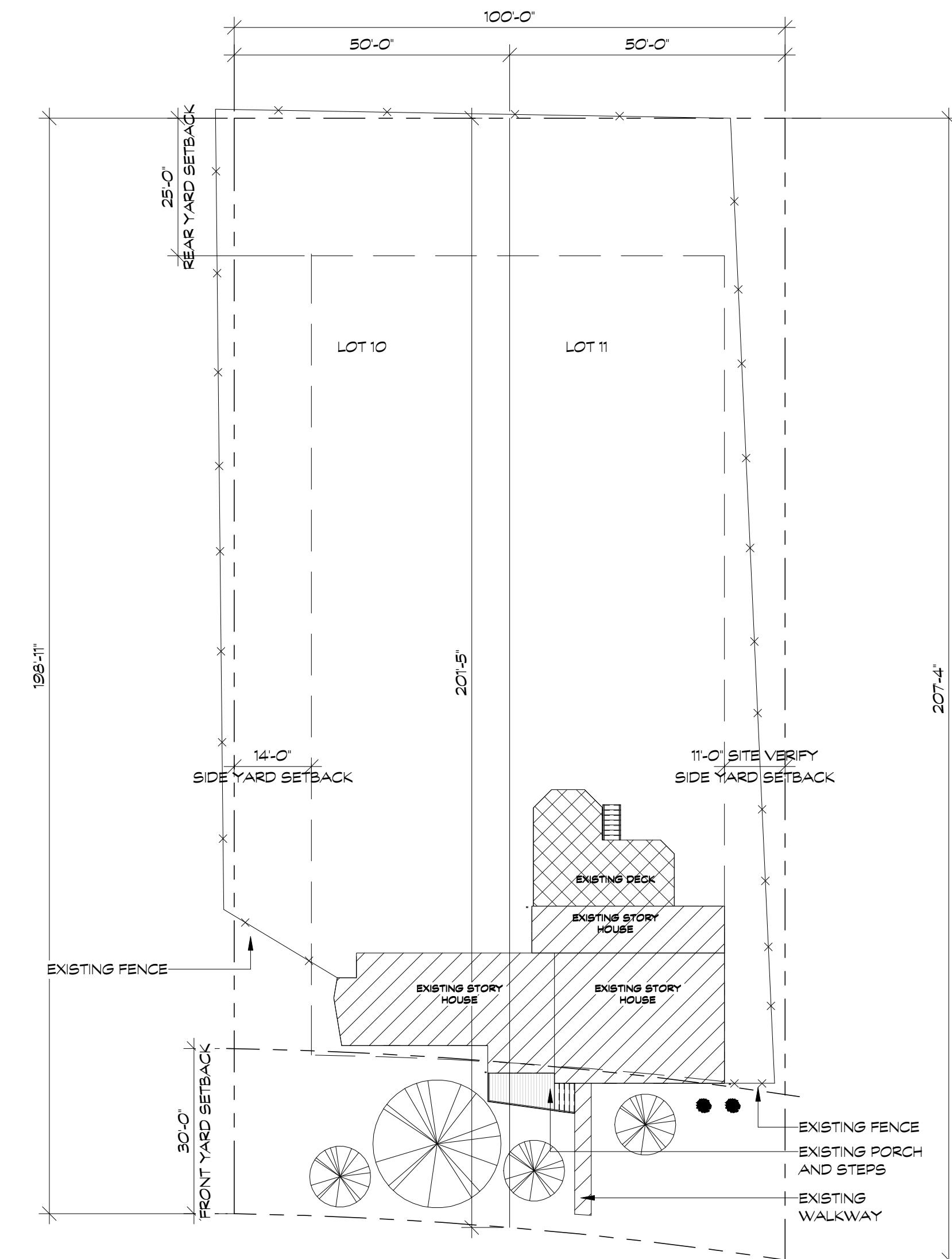


12/21/2021 12:34:37 PM  
C:\Users\galante\Documents\2003 Whalen - New Scope Option A 210824 galante78QPC.rvt

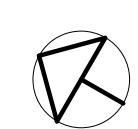
SITE DISTURBANCE

**AREA OF PROJECT FOOTPRINT:**  
**10' WIDE STRIP AROUND PROJECT FOOTPRINT:**  
**10' WIDE STRIP FROM STREET/DRIVeway TO EDGE OF PROJECT**  
**AREA OF STOCKPILE FOOTPRINT:**  
**TOTAL DISTURBED PROJECT AREA:**

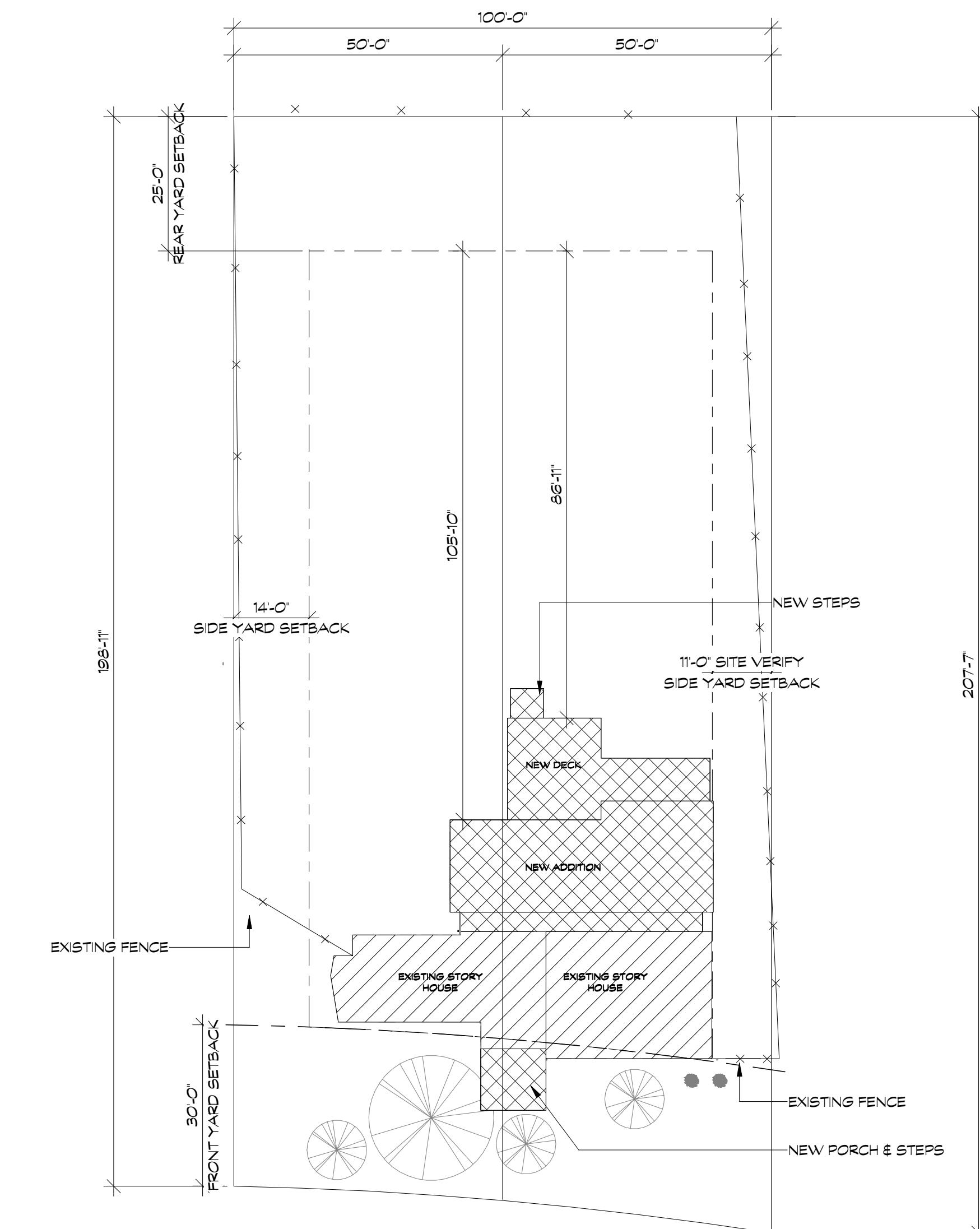
**COVER SHEET NOTES - Zoning - Site Disturbance**



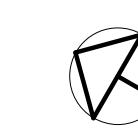
SITE PLAN - EXISTING  
1" = 20'-0"



NOTE: HOUSE LOCATION TO BE VERIFIED BY SURVEY

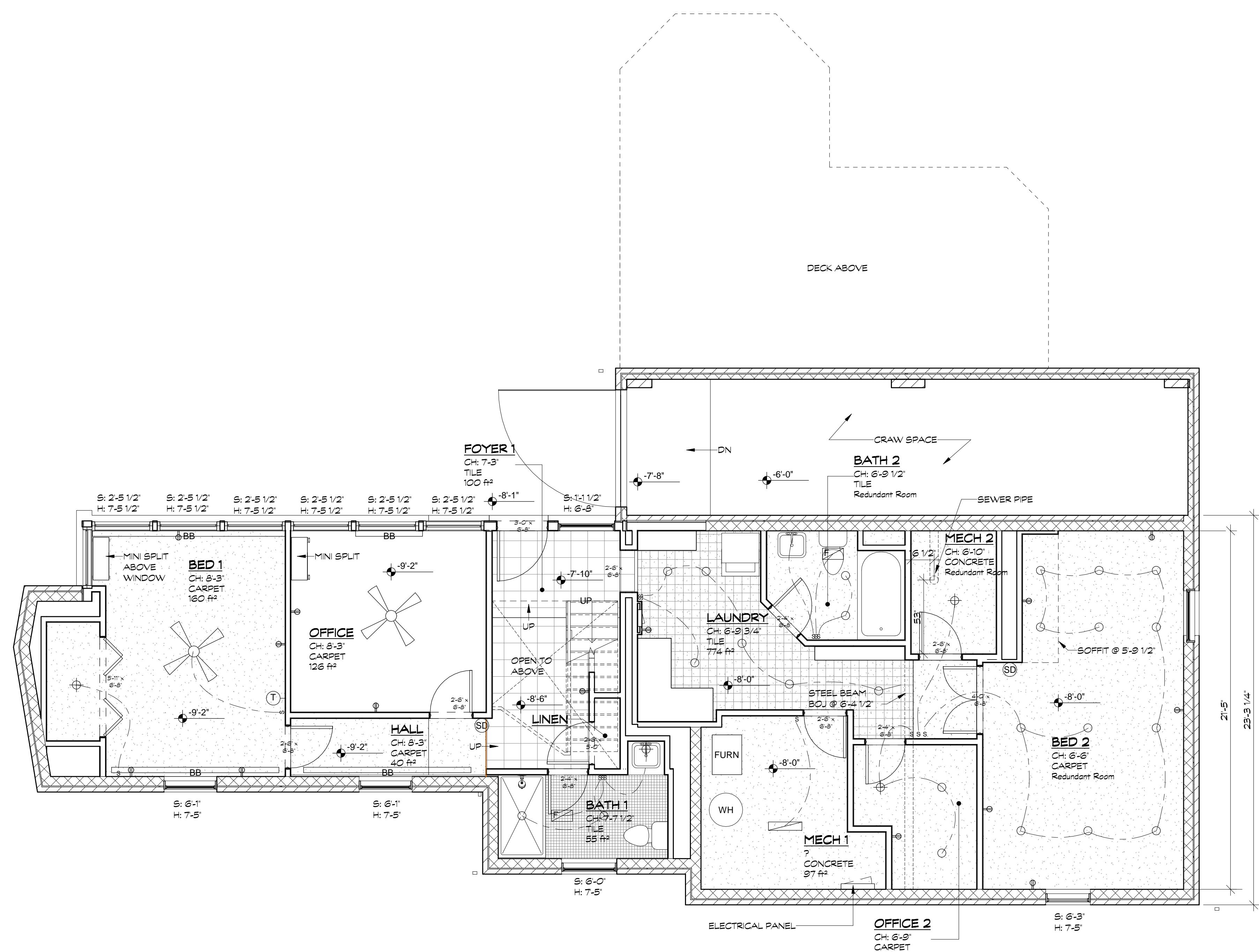


SITE PLAN - PROPOSED  
1" = 20'-0"

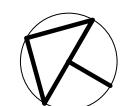


CARNEMARK ©			
7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000		THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CARNEMARK SYSTEMS AND DESIGN INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONJUNCTION WITH ANY WORK OR PROJECT OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CARNEMARK SYSTEMS AND DESIGN INC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL HAVE PRIORITY OVER SCALED DIMENSION.	
CIV001		rev.#	date:
		1	
		2	
		3	
		4	
		5	
Site Plan		sheet title:	proposed renovation for:
		WHALEN	10905 MONTROSE AVE, GARRETT PARK, MD 20896
As indicated		sheet scale:	
sheet date:		12.21.21	
drawing revisions:			

CIV001



**EXISTING PLAN - BASEMENT**



12/21/2021 12:33:41 PM  
C:\Users\1\Downloads\20000\Whale\Nursing\_Sounds\2100024.m4a

A010

CARNE MARK ©

proposed renovation for:  
**WHALEN**  
**10905 MONTROSE AVE,**  
**GARRETT PARK, MD**  
**20896**

sheet title:  
**Existing**  
Plan -  
Lower  
**Floor**  
sheet scale:

$$1/4" = 1'-0"$$

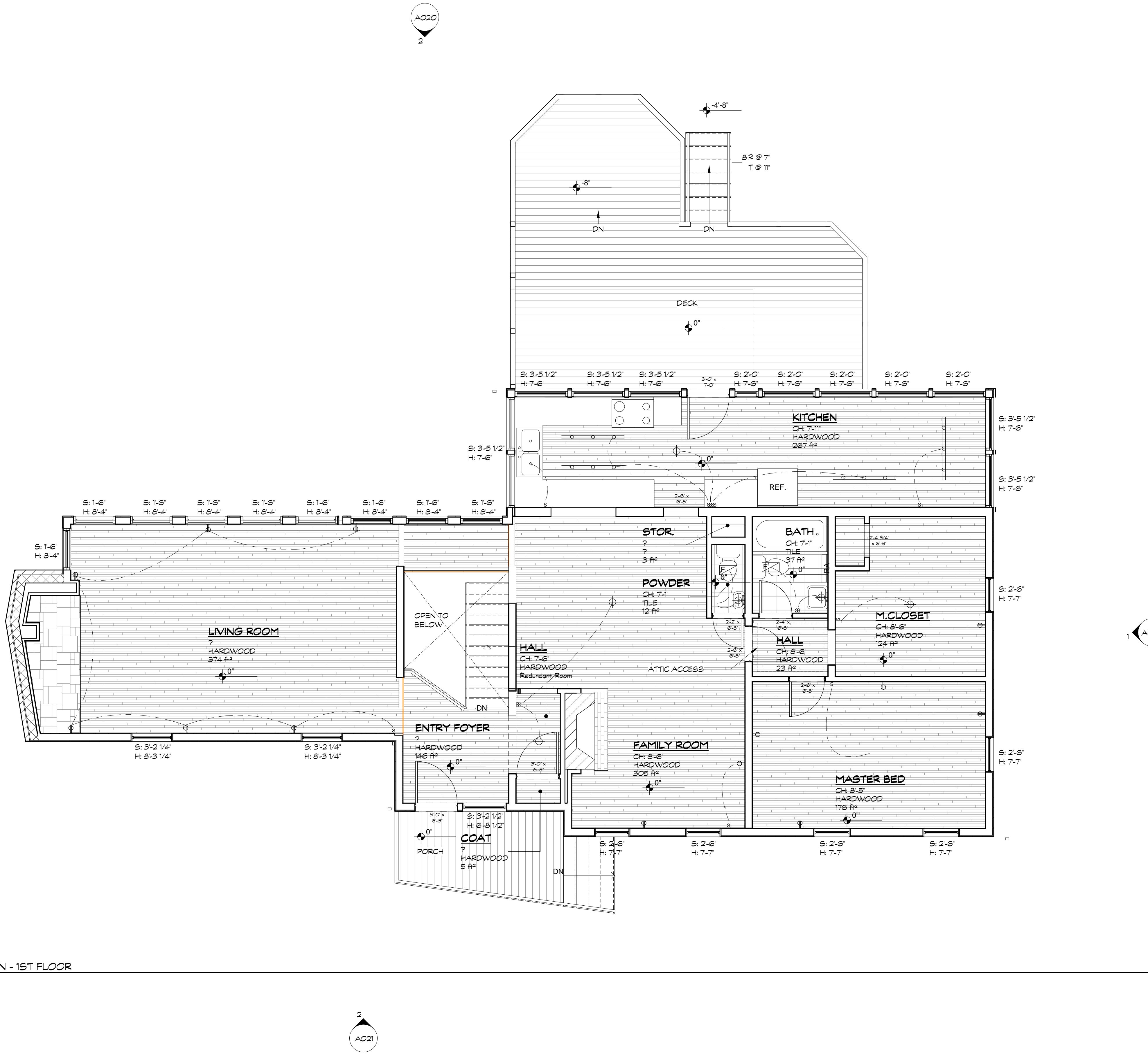
sheet date:

---

12.21.21

## drawing revisions:

rev.#	1	2	3	4	5
5550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000					
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CARNEMARK SYSTEMS AND DESIGN INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONJUNCTION WITH ANY WORK OR PROJECT OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CARNEMARK SYSTEMS AND DESIGN INC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL HAVE PREFERENCE OVER SCALED DIMENSION.					



**A011**

7550

THE ABOVE  
OF CARRY  
WORK OR  
DEVELOPED  
CONC

proposed renovation for:  
**/HALEN**  
0905 MONTROSE AVE,  
ARRETT PARK, MD  
0896

sheet title:  
**Existing**  
**Plan -**  
**Upper**  
**Floor**  
sheet scale:

**1/4" = 1'-0"**

sheet date:

---

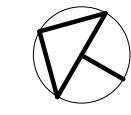
12.21.21

## drawing revisions:

10 of 10

C A  
550 Wisconsin Avenue, Suite 100  
The above drawings and specifications and ideas  
of Carnemark Systems and Design Inc. and no  
work or project or by any other person for any  
work developed without the written consent of Carnemark  
Systems and Design Inc. shall be considered  
conclusive evidence of acceptance of these

**A013** EXISTING PLAN - ROOF  
1/4" = 1'-0"



**A013**

C AR N E M A R K ©

7550 Wisconsin Avenue Suite 120, Bethesda, MD 20814. tel: 301.657.5000

THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY AS IT EXISTED AT THE TIME OF CONTRACT. THEY ARE NOT TO BE CONSTRUED AS AN AGREEMENT OR CONTRACT FOR ANY PART OF THE PROPERTY. THE CONTRACTOR IS NOT RESPONSIBLE FOR ANY CHANGES IN THE PROPERTY WHICH MAY OCCUR DURING THE PERIOD OF CONTRACT. THE CONTRACTOR IS NOT RESPONSIBLE FOR ANY CHANGES IN THE PROPERTY WHICH MAY OCCUR DURING THE PERIOD OF CONTRACT. THE CONTRACTOR IS NOT RESPONSIBLE FOR ANY CHANGES IN THE PROPERTY WHICH MAY OCCUR DURING THE PERIOD OF CONTRACT.

proposed renovation for:	WHALEN
sheet title:	10905 MONTROSE AVE, GARRETT PARK, MD 20896
sheet scale:	1/4" = 1'-0"
sheet date:	12.21.21
drawing revisions:	

Existing Plan - Roof

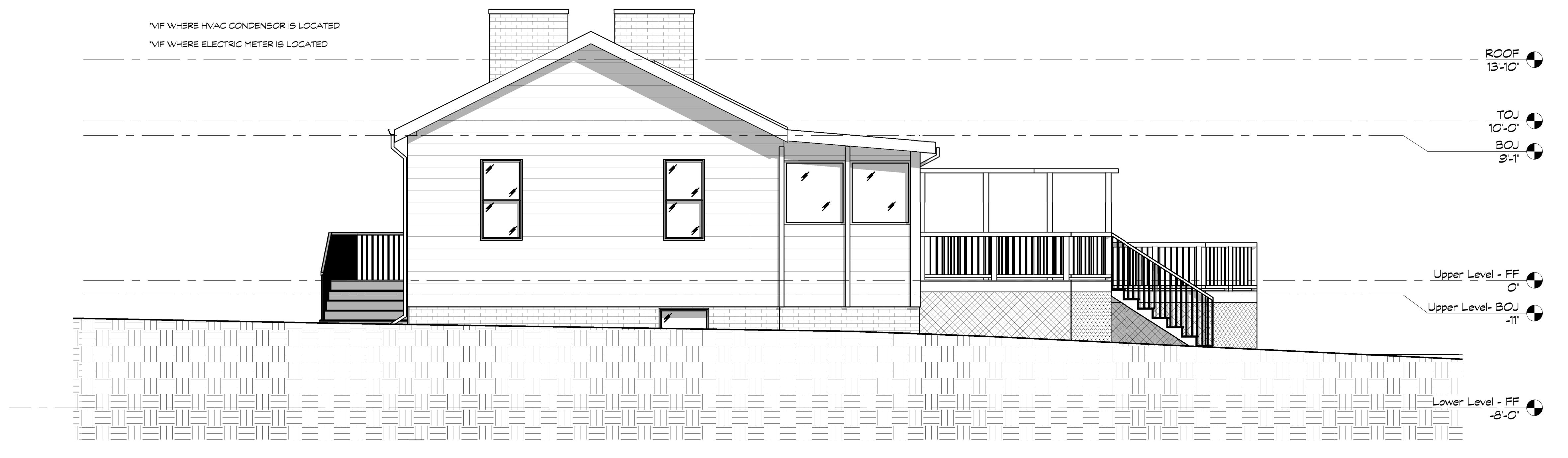
sheet scale:

1/4" = 1'-0"

sheet date:

12.21.21

drawing revisions:



1 EXISTING ELEVATION - EAST  
A020 1/4" = 1'-0"

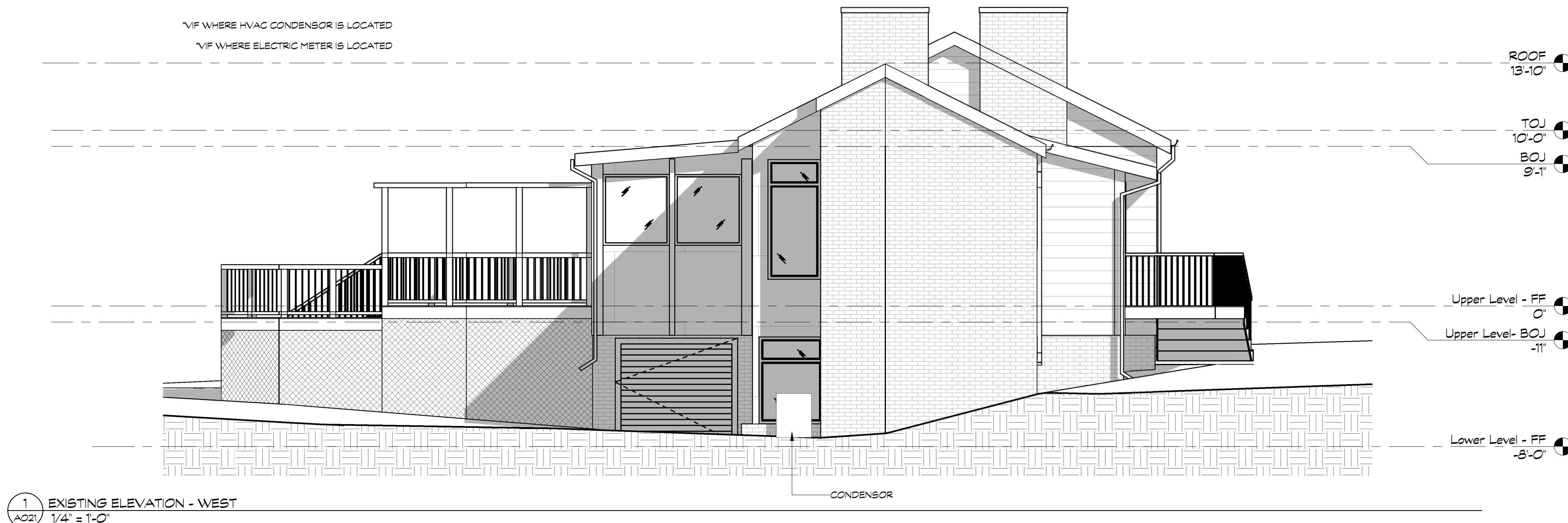


2 EXISTING ELEVATION - NORTH  
A020 1/4" = 1'-0"

proposed renovation for:	WHALEN
sheet title:	10905 MONTROSE AVE, GARRETT PARK, MD 20896
Existing Exterior Elevations	
sheet scale:	1/4" = 1'-0"
sheet date:	12.21.21
drawing revisions:	
C AR N E M A R K ©	rev.#
7550 Wisconsin Avenue Suite 120, Bethesda, MD 20814. tel: 301.657.5000	1
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY OWNER'S REQUIREMENTS FOR THE PROJECT. THEY ARE THE PROPERTY OF CARNEMARK INC. AND MAY NOT BE COPIED OR USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF CARNEMARK INC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL HAVE PREDOMINANT OVER SCALED DIMENSION.	2
	3
	4
	5

A020

proposed renovation for:	WHALEN
sheet title:	10905 MONTROSE AVE, GARRETT PARK, MD 20896
Existing Exterior Elevations	
sheet scale:	1/4" = 1'-0"
sheet date:	12.21.21
drawing revisions:	
CARNEMARK ©	rev.#
7550 Wisconsin Avenue Suite 120, Bethesda, MD 20814, tel: 301.657.5000	1
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY OWNER'S REQUIREMENTS FOR THE PROJECT. THEY ARE NOT TO BE CONSTRUED AS A CONTRACT. THE CONTRACT WILL BE THE WRITTEN AGREEMENT OF THE OWNER AND DESIGNER. THE CONTRACT WILL BE IN WRITING AND WILL BE SIGNED BY THE OWNER AND DESIGNER. THE CONTRACT WILL BE IN WRITING AND WILL BE SIGNED BY THE OWNER AND DESIGNER. THE CONTRACT WILL BE IN WRITING AND WILL BE SIGNED BY THE OWNER AND DESIGNER.	2
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY OWNER'S REQUIREMENTS FOR THE PROJECT. THEY ARE NOT TO BE CONSTRUED AS A CONTRACT. THE CONTRACT WILL BE THE WRITTEN AGREEMENT OF THE OWNER AND DESIGNER. THE CONTRACT WILL BE IN WRITING AND WILL BE SIGNED BY THE OWNER AND DESIGNER. THE CONTRACT WILL BE IN WRITING AND WILL BE SIGNED BY THE OWNER AND DESIGNER.	3
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY OWNER'S REQUIREMENTS FOR THE PROJECT. THEY ARE NOT TO BE CONSTRUED AS A CONTRACT. THE CONTRACT WILL BE THE WRITTEN AGREEMENT OF THE OWNER AND DESIGNER. THE CONTRACT WILL BE IN WRITING AND WILL BE SIGNED BY THE OWNER AND DESIGNER.	4
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY OWNER'S REQUIREMENTS FOR THE PROJECT. THEY ARE NOT TO BE CONSTRUED AS A CONTRACT. THE CONTRACT WILL BE THE WRITTEN AGREEMENT OF THE OWNER AND DESIGNER. THE CONTRACT WILL BE IN WRITING AND WILL BE SIGNED BY THE OWNER AND DESIGNER.	5



A021

CARNE MARK ©			
7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000		<p>THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CARNE MARK SYSTEMS AND DESIGN INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONJUNCTION WITH ANY WORK OR PROJECT OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CARNE MARK SYSTEMS AND DESIGN INC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL HAVE PRIORITY OVER SCALED DIMENSION.</p>	
Sheet title:	Demolition Plan - Basement		
Sheet scale:	1/4" = 1'-0"		
Sheet date:	12.21.21		
Drawing revisions:			
Date:			
Description:			
Rev.#			
	1	2	3
	4	5	

proposed renovation for:  
  
WHALEN  
110905 MONTROSE AVE,  
GARRETT PARK, MD  
20896

# Sheet title:

# Demolition Plan -

# Basement

---

sheet scale:

---

$1/4"$  =  $1'-0"$

sheet date:

rawing revisions:

--	--	--	--	--

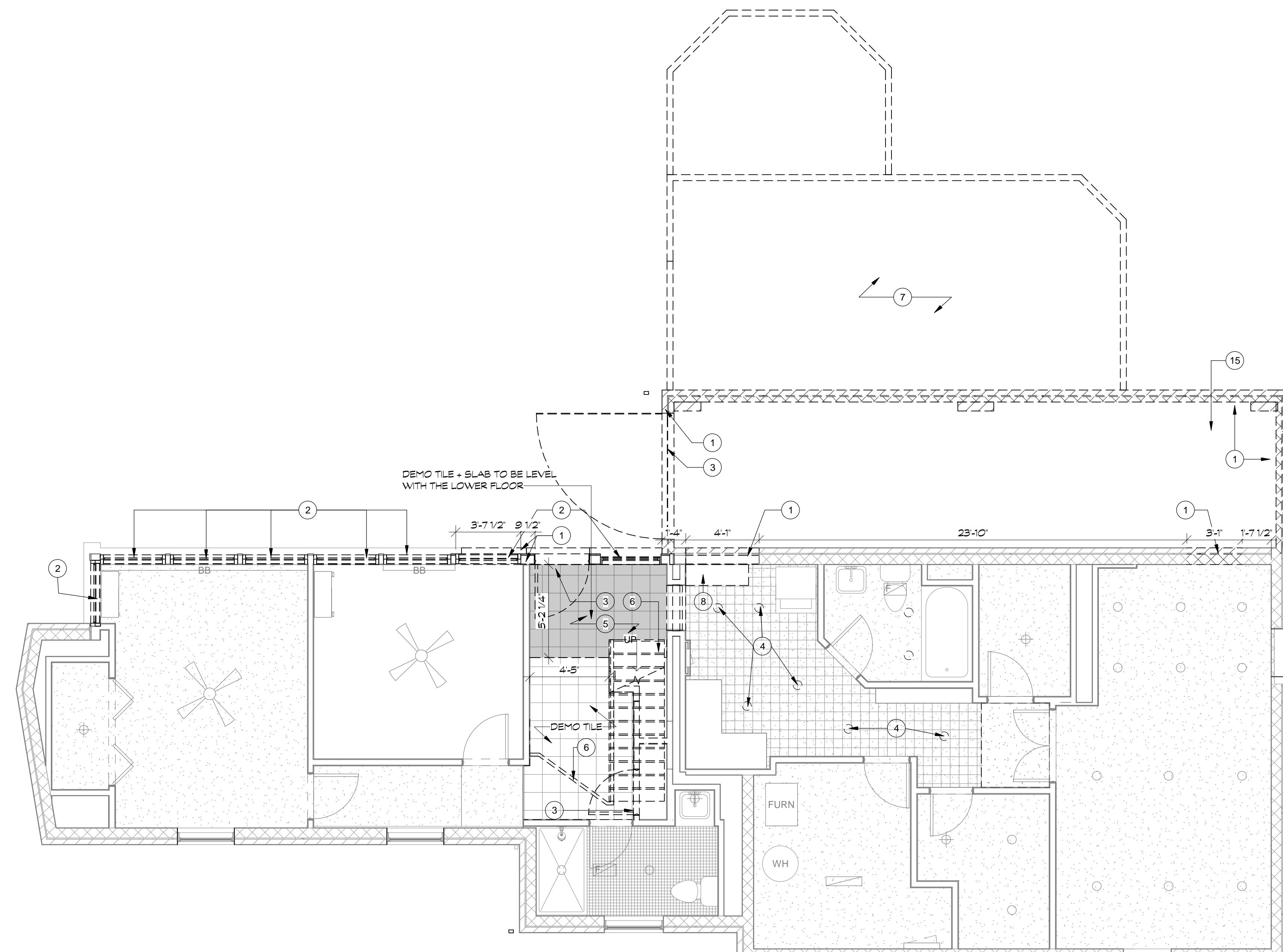
**DEMOLITION NOTES**

Note Number	Note Text	View T
1	DEMO WALL	
2	DEMO WINDOW FOR REPLACEMENT	
3	DEMO DOOR	
4	DEMO LIGHT FIXTURES / FAN	
5	DEMO FLOOR	
6	DEMO STAIR + RAILING	
7	DEMO DECK, RAILS, STEPS, + FOOTINGS	
8	DEMO CASEWORK	
9	DEMO STOVE + REFRIGERATOR	
10	DEMO ROOF DEMO ROOF AS REQUIRED FOR NEW PORCH ROOF	
11	DEMO ROOF AS REQUIRED FOR NEW SKYLIGHTS	
12	DEMO RAILING	
13	DEMO PLUMBING FIXTURE	
14	DEMO ROOF	
15	DEMO SLAB + FOUNDATIONS IN CRAWL SPACE	
16	DEMO WALL AS REQUIRED FOR NEW WINDOW	

## **COMMUNITY FORKLIFT NOTE**

CAREFULLY REMOVE AND SET ASIDE FOR COLLECTION, BY COMMUNITY FORKLIFT, ANY OF THE FOLLOWING ITEMS AS SHOWN ON PLANS.

- APPLIANCES - CLEAN AND IN WORKING CONDITION
  - CABINETS
  - CEILING FANS - WITH ALL PARTS
  - DOORS
  - FENCING
  - FLOORING - DE-NAILED AND BUNDLED
  - GLASS AND MIRRORS - ONLY IF FRAMED
  - HVAC
  - LIGHTING FIXTURES
  - LANDSCAPING MATERIAL - PAVERS, STONE, LATTICE, BOARDERS
  - LUMBER AND TRIM - DE-NAILED AND 6 FT. LONG MIN.
  - MASONRY
  - MEDICINE CABINETS
  - PANELING
  - RADIATORS
  - ROOFING
  - SHELVING
  - SHOWER DOORS - MUST INCLUDE HARDWARE
  - SIDING
  - SINKS
  - STONE
  - TILE
  - TOILETS - MUST BE LOW-FLOW
  - TUBS
  - VENT COVERS
  - WINDOWS - IN WORKING CONDITION



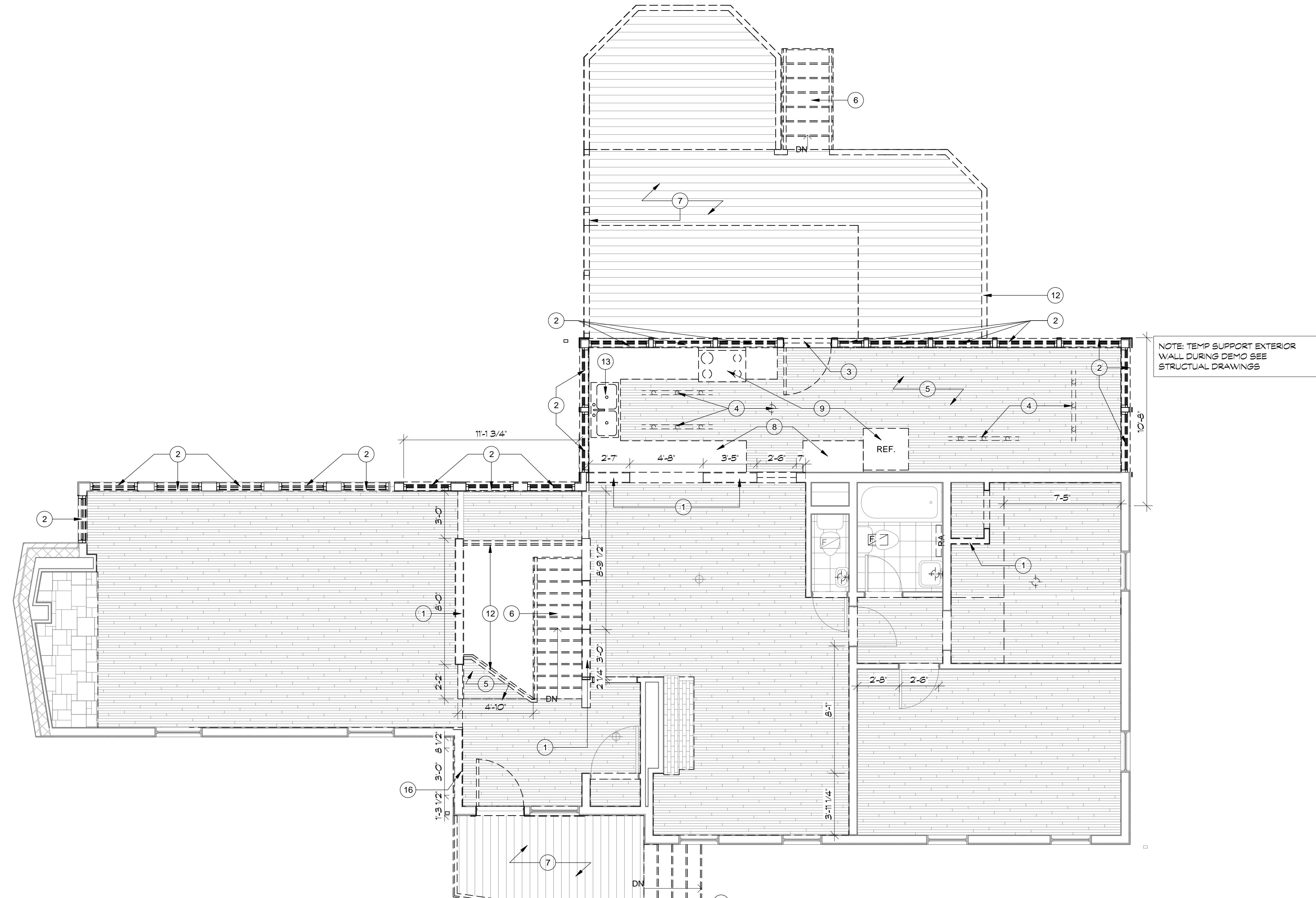
**DEMOLITION PLAN - BASEMENT**

12/21/2021 12:34:38 PM  
C:\Users\igalante\Documents\2003 Whalen - New Scope Option A 210824 igalante78OPC.rvt

C A R N E M A R K ©			
7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000		THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CARNEMARK SYSTEMS AND DESIGN INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONJUNCTION WITH ANY WORK OR PROJECT OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CARNEMARK SYSTEMS AND DESIGN INC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL HAVE PRIORITY OVER SCALDED DIMENSION.	
rev.#	description:	date:	drawing revisions:
1			sheet date: 12.21.21
1/4" = 1'-0"	sheet scale:  Demolition Plan - First Floor	sheet title:  WHALEN 10905 MONTROSE AVE, GARRETT PARK, MD 20896	proposed renovation for:
D002			

D002

2



**DEMOLITION PLAN - FIRST FLOOR**

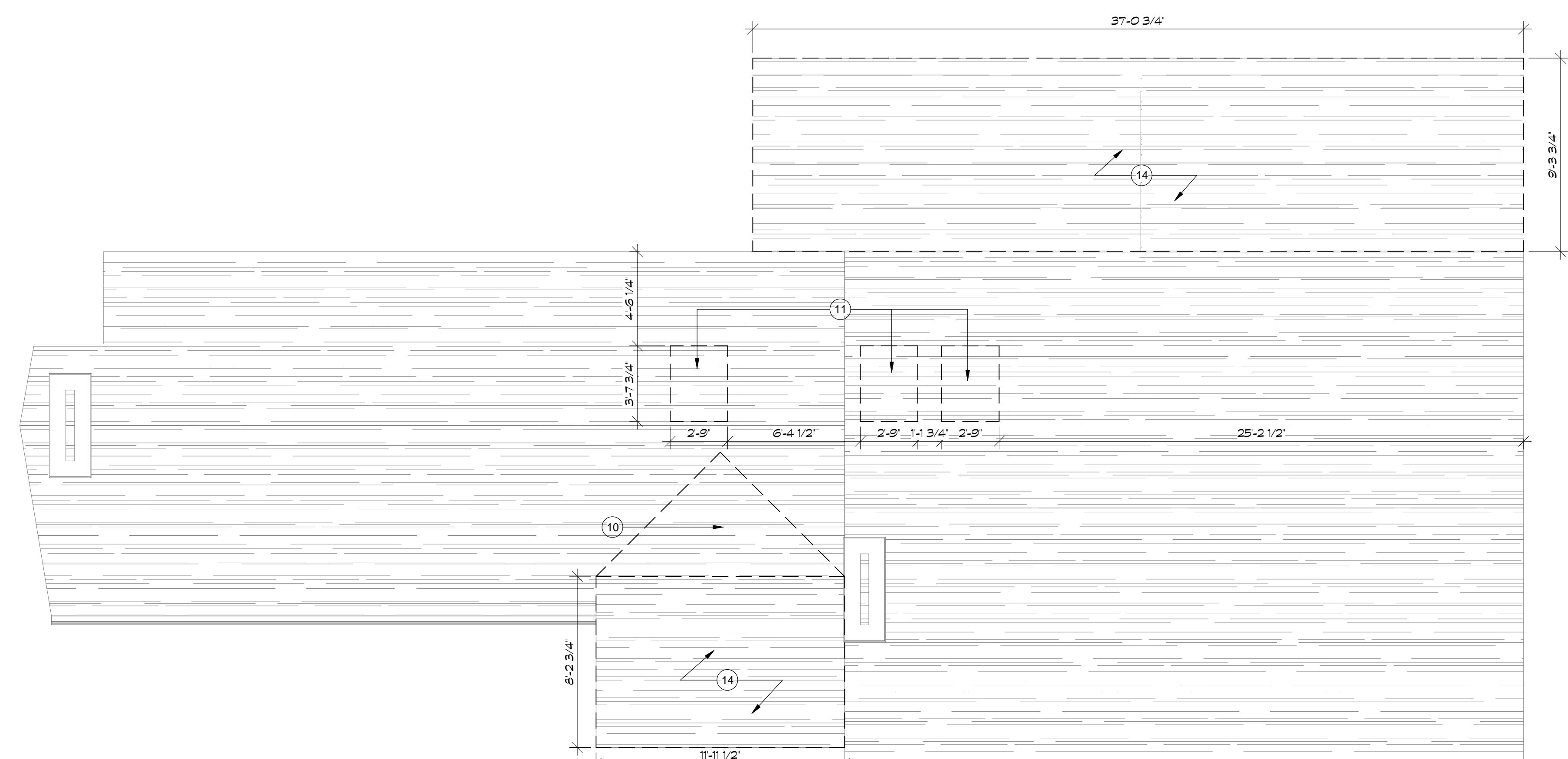
12/21/2021 12:34:39 PM

DEMOLITION NOTES		
Note Number	Note Text	View Type
1	DEMO WALL	
2	DEMO WINDOW FOR REPLACEMENT	
3	DEMO DOOR	
4	DEMO LIGHT FIXTURES / FAN	
5	DEMO FLOOR	
6	DEMO STAIR + RAILING	
7	DEMO DECK, RAILS, STEPS, + FOOTINGS	
8	DEMO CASEWORK	
9	DEMO STOVE + REFRIGERATOR	
10	DEMO ROOF DEMO ROOF AS REQUIRED FOR NEW PORCH ROOF	
11	DEMO ROOF AS REQUIRED FOR NEW SKYLIGHTS	
12	DEMO RAILING	
13	DEMO PLUMBING FIXTURE	
14	DEMO ROOF	
15	DEMO SLAB + FOUNDATIONS IN CRAWL SPACE	
16	DEMO WALL AS REQUIRED FOR NEW WINDOW	

**COMMUNITY FORKLIFT NOTES:**  
CAREFULLY REMOVE AND SET ASIDE FOR COLLECTION, BY COMMUNITY FORKLIFT, ANY OF THE FOLLOWING ITEMS AS SHOWN ON PLANS.

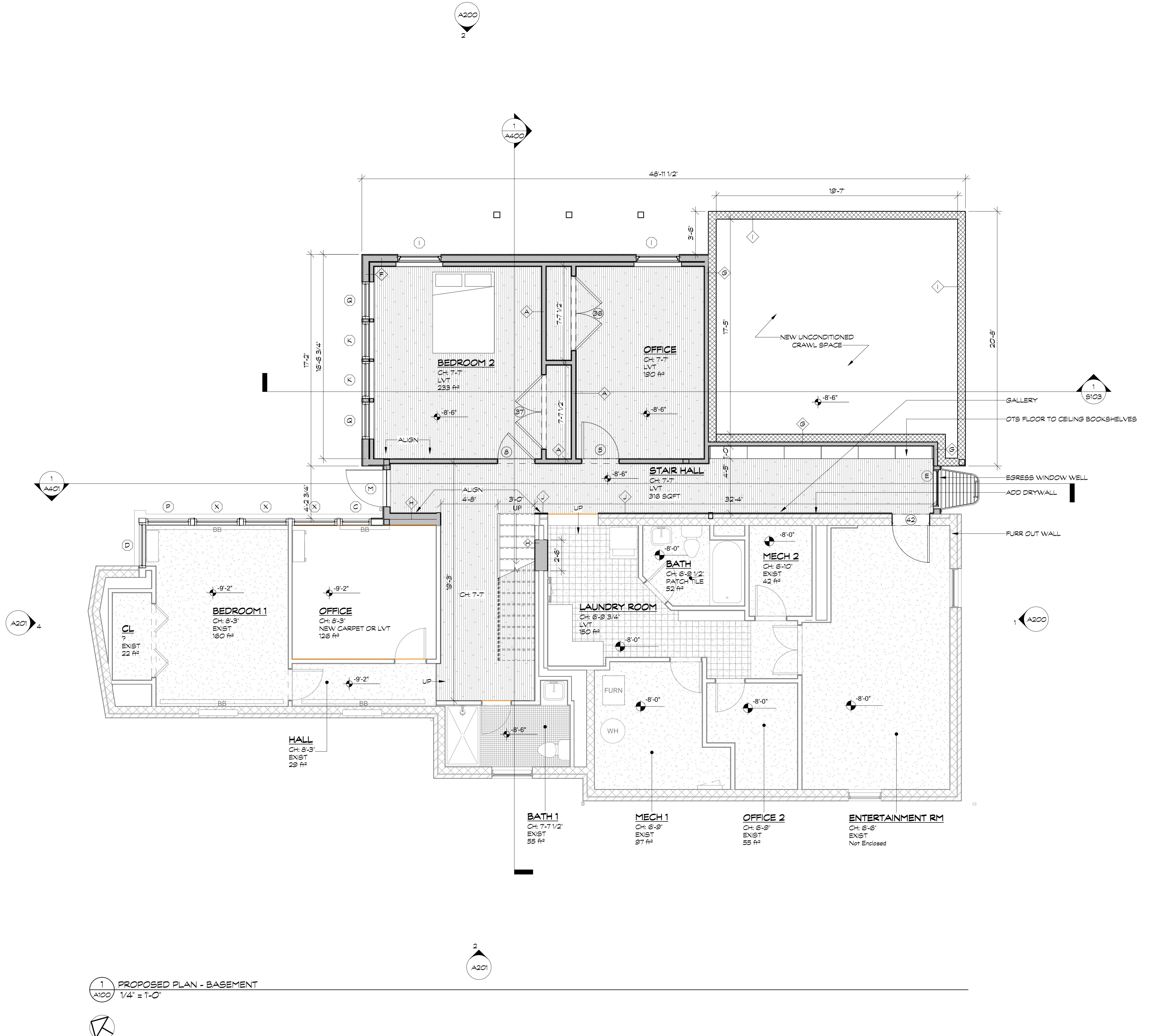
- APPLIANCES - CLEAN AND IN WORKING CONDITION
- CABINETS
- CEILING FANS - WITH ALL PARTS
- DOORS
- FENCING
- FLOORING - DE-NAILED AND BUNDLED
- GLASS AND MIRRORS - ONLY IF FRAMED
- HVAC
- LIGHTING FIXTURES
- LANDSCAPING MATERIAL - PAVERS, STONE, LATTICE, BOARDERS
- LUMBER AND TRIM - DE-NAILED AND 6 FT. LONG MIN.
- MASONRY
- MEDICINE CABINETS
- PANELING
- RADIATORS
- ROOFING
- SHELVING
- SHOWER DOORS - MUST INCLUDE HARDWARE
- SIDING
- SINKS
- STONE
- TILE
- TOILETS - MUST BE LOW-FLOW
- TUBS
- VENT COVERS
- WINDOWS - IN WORKING CONDITION

1 DEMOLITION PLAN - ROOF  
2004 1/4" = 1'-0"



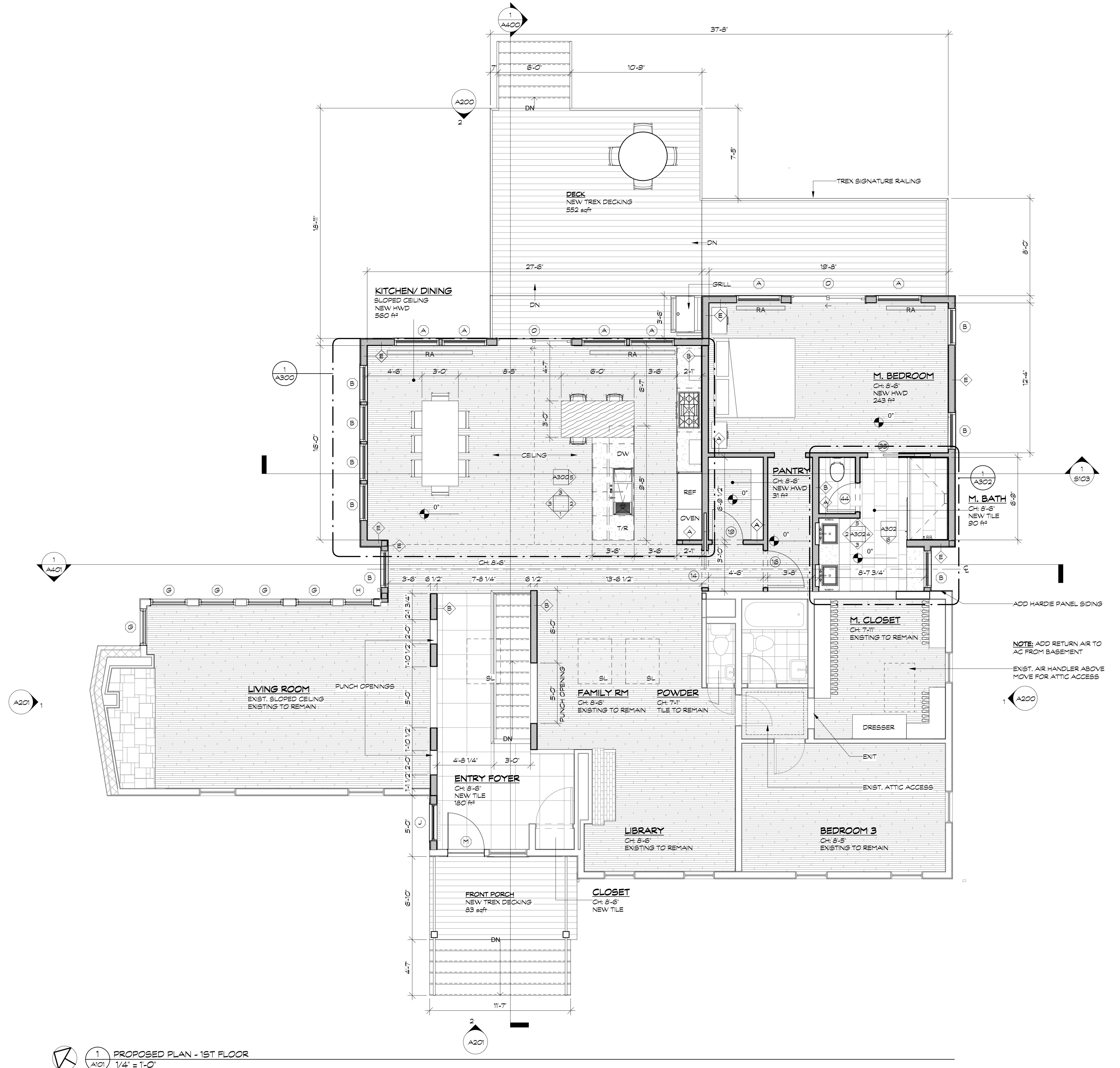
proposed renovation for:	WHALEN
sheet title:	10905 MONTROSE AVE, GARRETT PARK, MD 20896
Demolition Plan - Roof	
sheet scale:	1/4" = 1'-0"
sheet date:	12.21.21
drawing revisions:	

D004



CARNEMARK ©		rev.#	description:	date:
'550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000		1		
		2		
		3		
		4		
		5		
<p>THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CARNEMARK SYSTEMS AND DESIGN INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONJUNCTION WITH ANY WORK OR PROJECT OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CARNEMARK SYSTEMS AND DESIGN INC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL HAVE PREFERENCE OVER SCALED DIMENSION.</p>				
<p>sheet title: <b>Proposed Plan - Lower Floor</b></p> <p>sheet scale: <b>1/4" = 1'-0"</b></p> <p>sheet date: <b>12.21.21</b></p> <p>drawing revisions:</p>				
<p>proposed renovation for: <b>WHALEN 10905 MONTROSE AVE, GARRETT PARK, MD 20896</b></p>				

A100



12/21/2021 12:33:54 PM

12/21/2021 12:33:54 PM  
C:\Users\VirtualD\Downloads

A101

CARNE MARK ©

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN  
OF CARNEMARK SYSTEMS AND DESIGN INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHER  
FOR WORK OR PROJECT OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR  
DEVELOPED WITHOUT THE WRITTEN CONSENT OF CARNEMARK SYSTEMS AND DESIGN INC. VISUAL CONTACT WILL  
CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL HAVE PRE

proposed renovation for:  
  
WHALEN  
10905 MONTROSE AVE,  
GARRETT PARK, MD  
20896

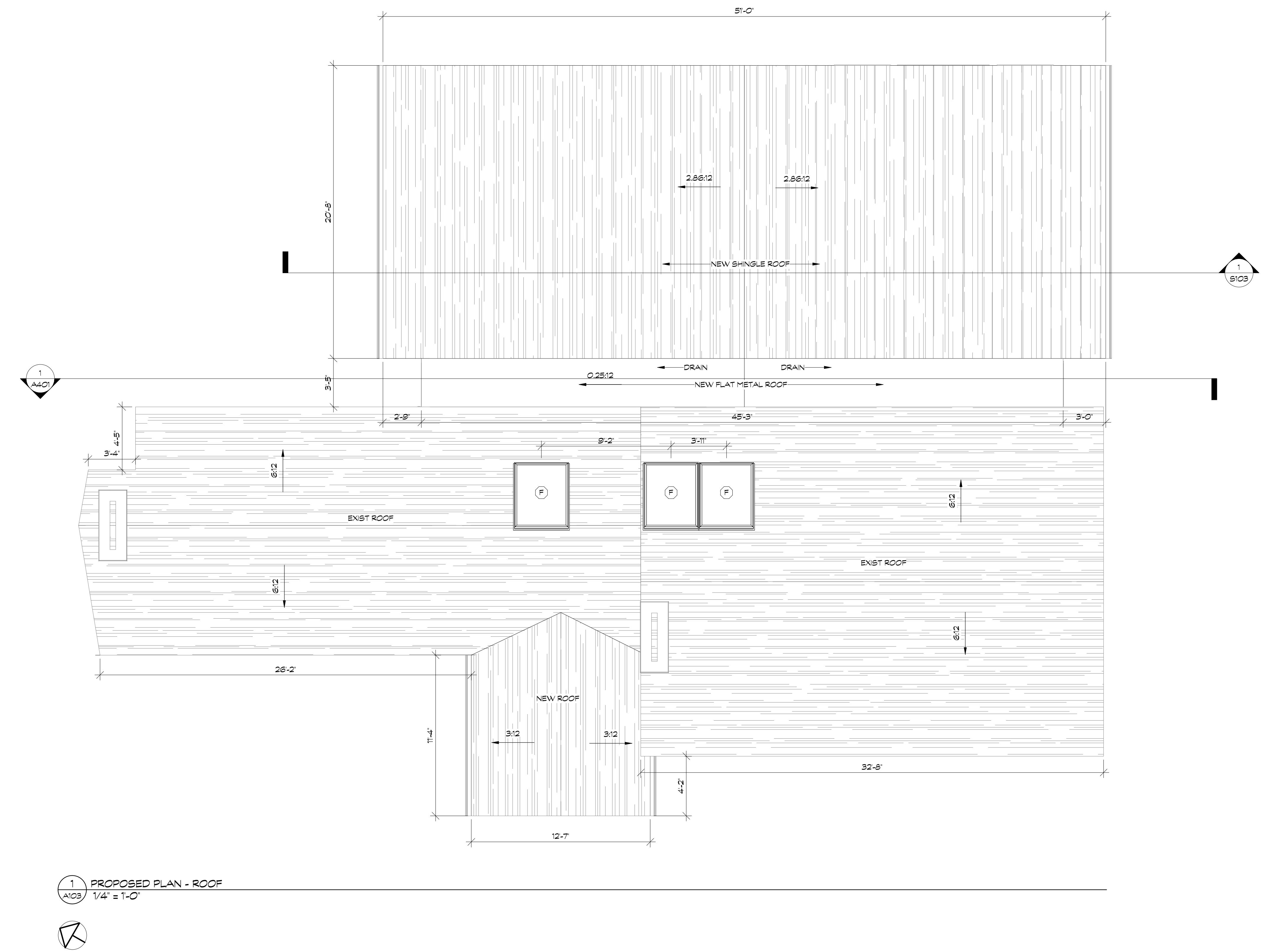
**Proposed  
Plan -  
Upper  
Floor**

**1/4" = 1'-0"**

sheet date:

## drawing revisions:

é:



A103

CARNE MARK ©

7550 Wisconsin Avenue Suite 120, Bethesda, MD 20814. tel: 301.657.5000

THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY AND SHALL REMAIN THE PROPERTY OF THE OWNER. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE COPIED, REPRODUCED, TRANSMITTED, OR USED IN WHOLE OR IN PART, FOR ANY OTHER PURPOSE THAN THAT FOR WHICH THEY WERE PREPARED, UNLESS SPECIFICALLY AGREED TO IN WRITING BY THE OWNER. THESE DRAWINGS ARE THE PROPERTY OF THE OWNER AND ARE TO BE RETURNED UPON REQUEST.

proposed renovation for:	WHALEN
sheet title:	10905 MONTROSE AVE, GARRETT PARK, MD 20896
sheet scale:	1/4" = 1'-0"
sheet date:	12.21.21
drawing revisions:	

**Proposed Plan - Roof**

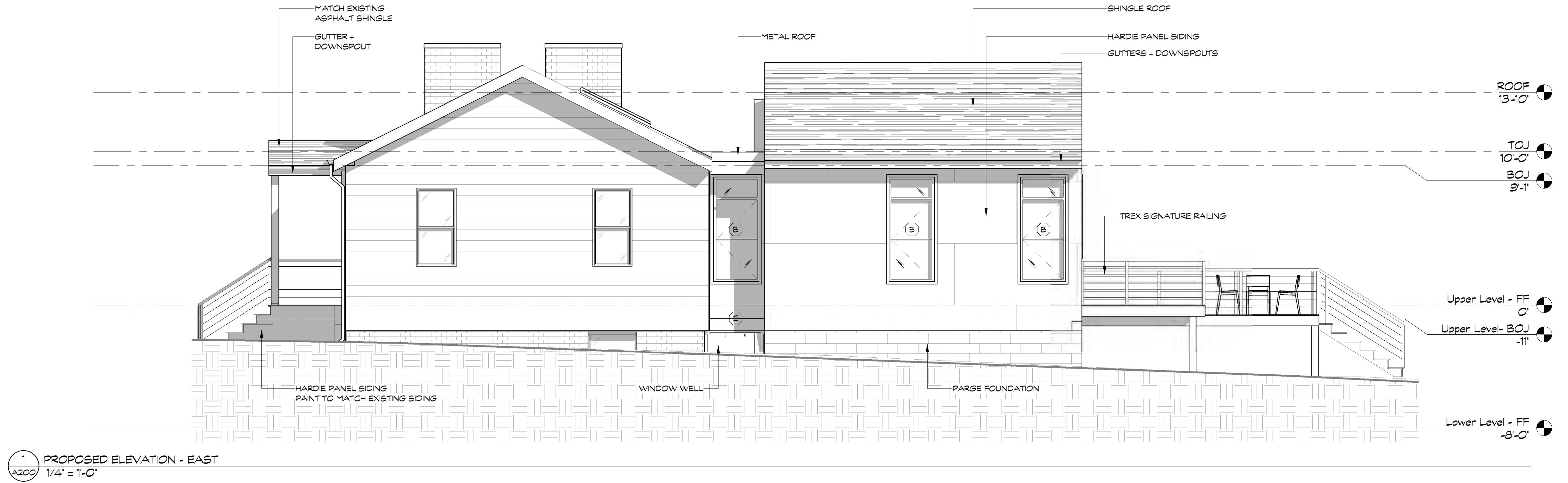
date:

1/4" = 1'-0"

date:

12.21.21

drawing revisions:



proposed renovation for:  
WHALEN  
10905 MONTROSE AVE,  
GARRETT PARK, MD  
20896

**Proposed Exterior Elevations**

sheet scale:

1/4" = 1'-0"

sheet date:

12.21.21

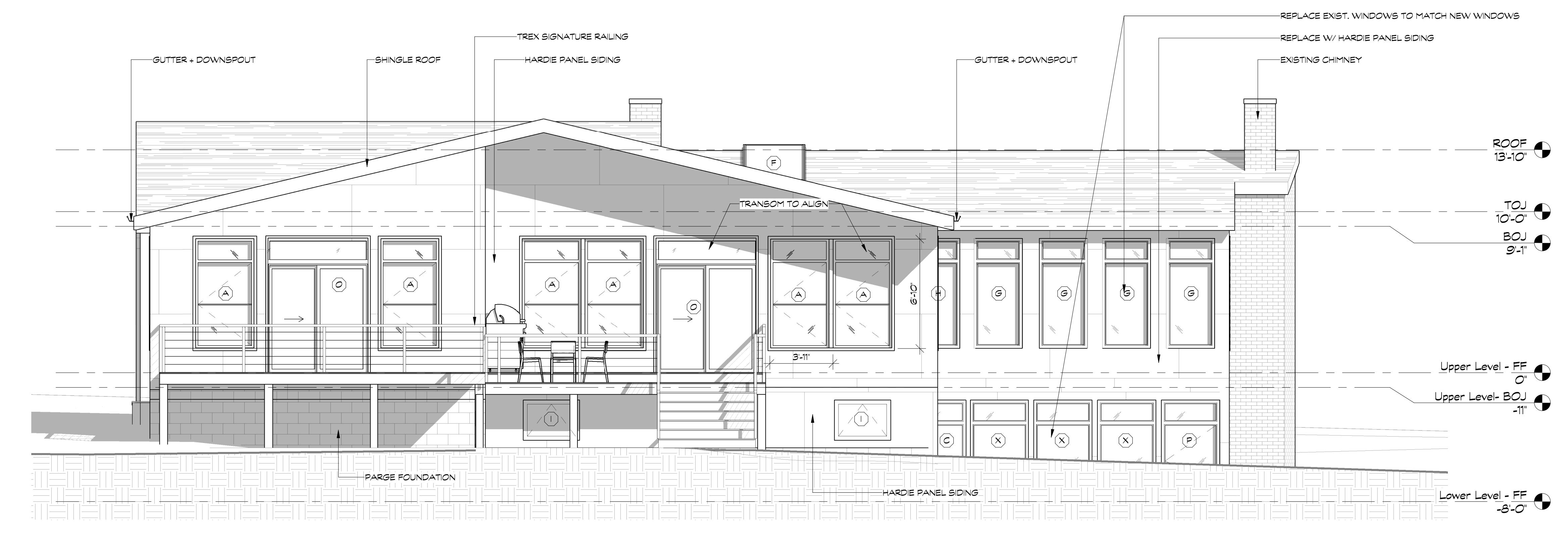
drawing revisions:

date:

date:

date:

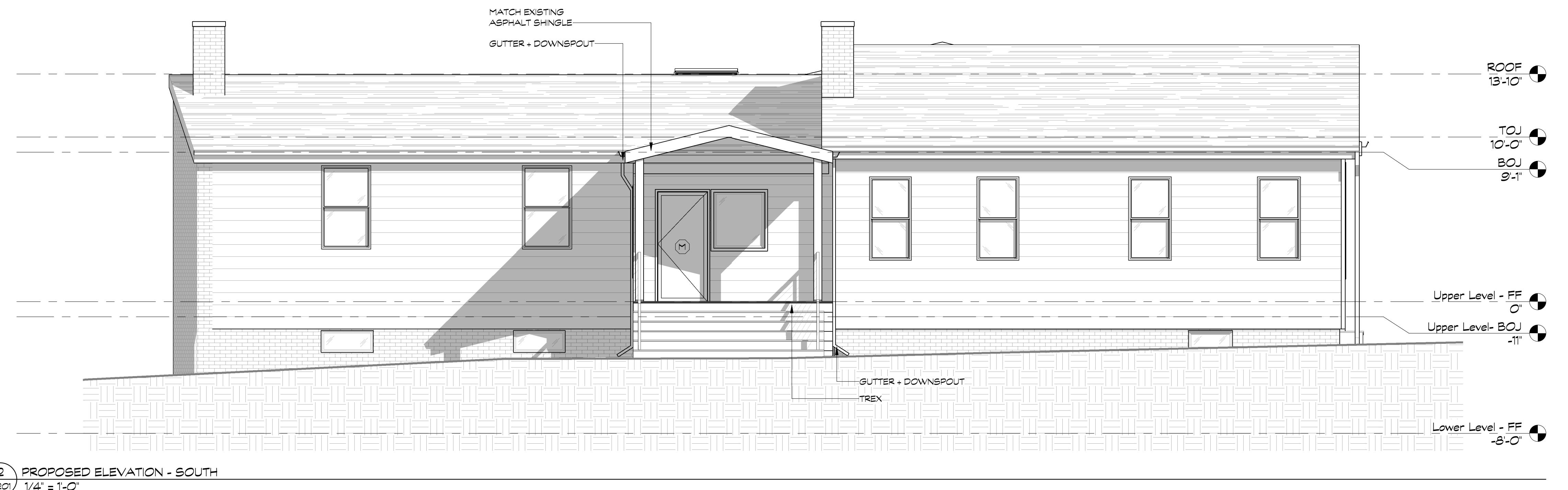
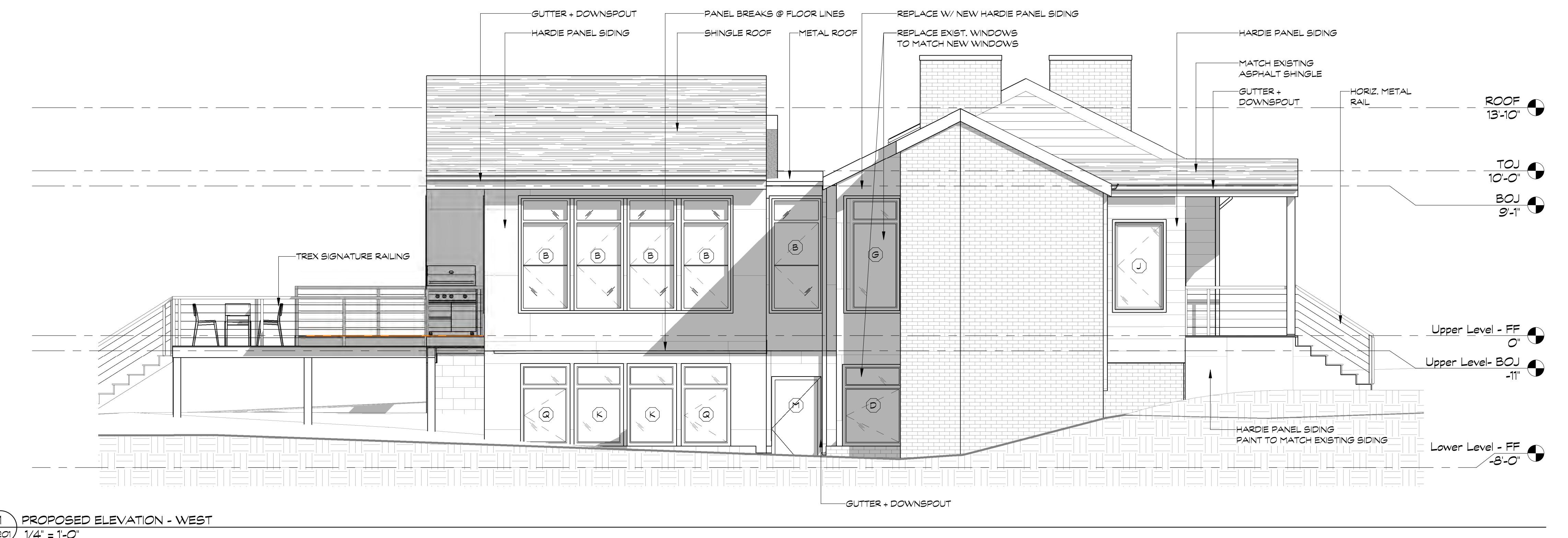
date:



CARNEMARK ©  
7550 Wisconsin Avenue Suite 120, Bethesda, MD 20814. tel: 301.657.5000  
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY OWNER'S REQUIREMENTS FOR THE PROPERTY AND SHALL BE CONSIDERED THE PROPERTY OWNER'S CONTRACTUAL AGREEMENT WITH THE ARCHITECT AND ENGINEER. THE PROPERTY OWNER AGREES THAT THE ARCHITECT AND ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY DEFECTS IN THE WORK OR DESIGN OF THE PROPERTY. THE PROPERTY OWNER AGREES THAT THE ARCHITECT AND ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY DEFECTS IN THE WORK OR DESIGN OF THE PROPERTY. THE PROPERTY OWNER AGREES THAT THE ARCHITECT AND ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY DEFECTS IN THE WORK OR DESIGN OF THE PROPERTY.

CONCERNING THE PROPERTY. THE PROPERTY OWNER AGREES THAT THE ARCHITECT AND ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY DEFECTS IN THE WORK OR DESIGN OF THE PROPERTY. THE PROPERTY OWNER AGREES THAT THE ARCHITECT AND ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY DEFECTS IN THE WORK OR DESIGN OF THE PROPERTY.

A200



### Proposed Exterior Elevations

sheet scale:  
1/4" = 1'-0"

sheet date:  
12.21.21

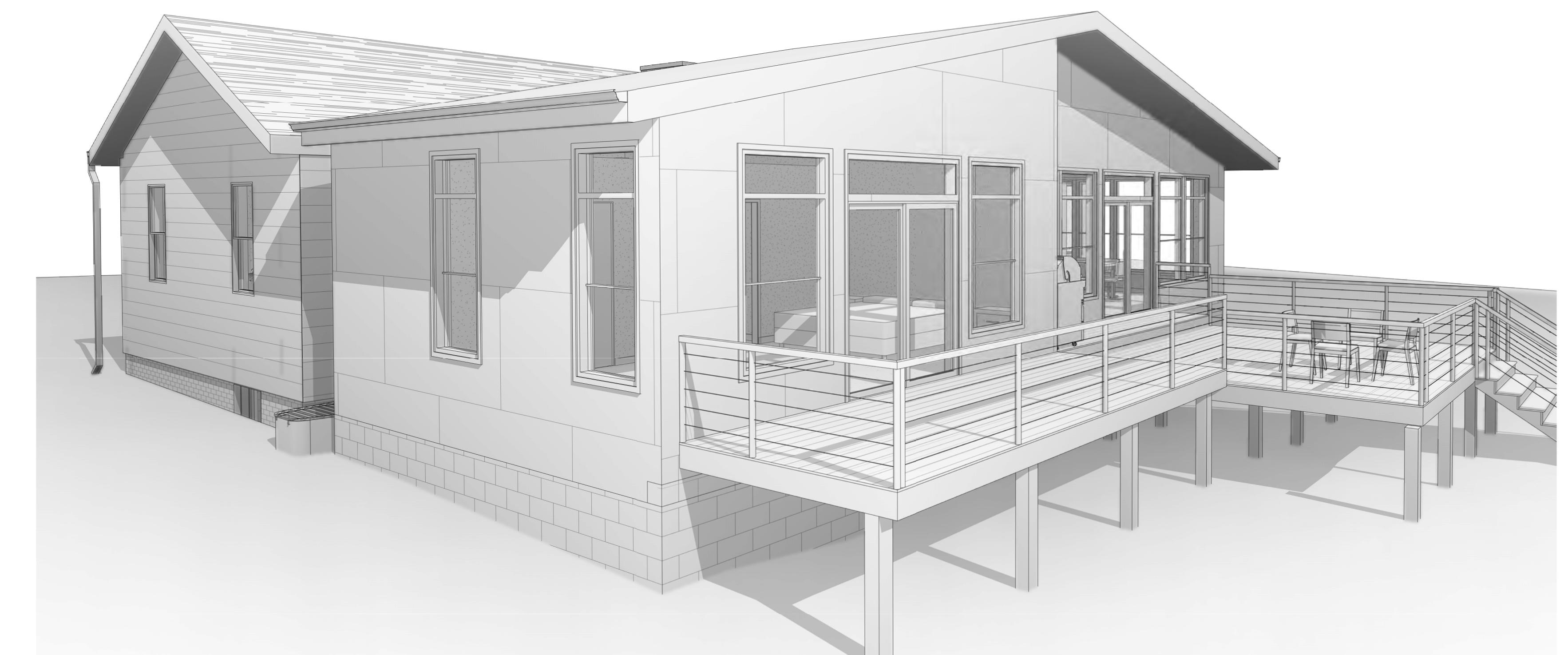
drawing revisions:  
date:

proposed renovation for:  
WHALEN

sheet title:  
10905 MONTROSE AVE,  
GARRETT PARK, MD  
20896

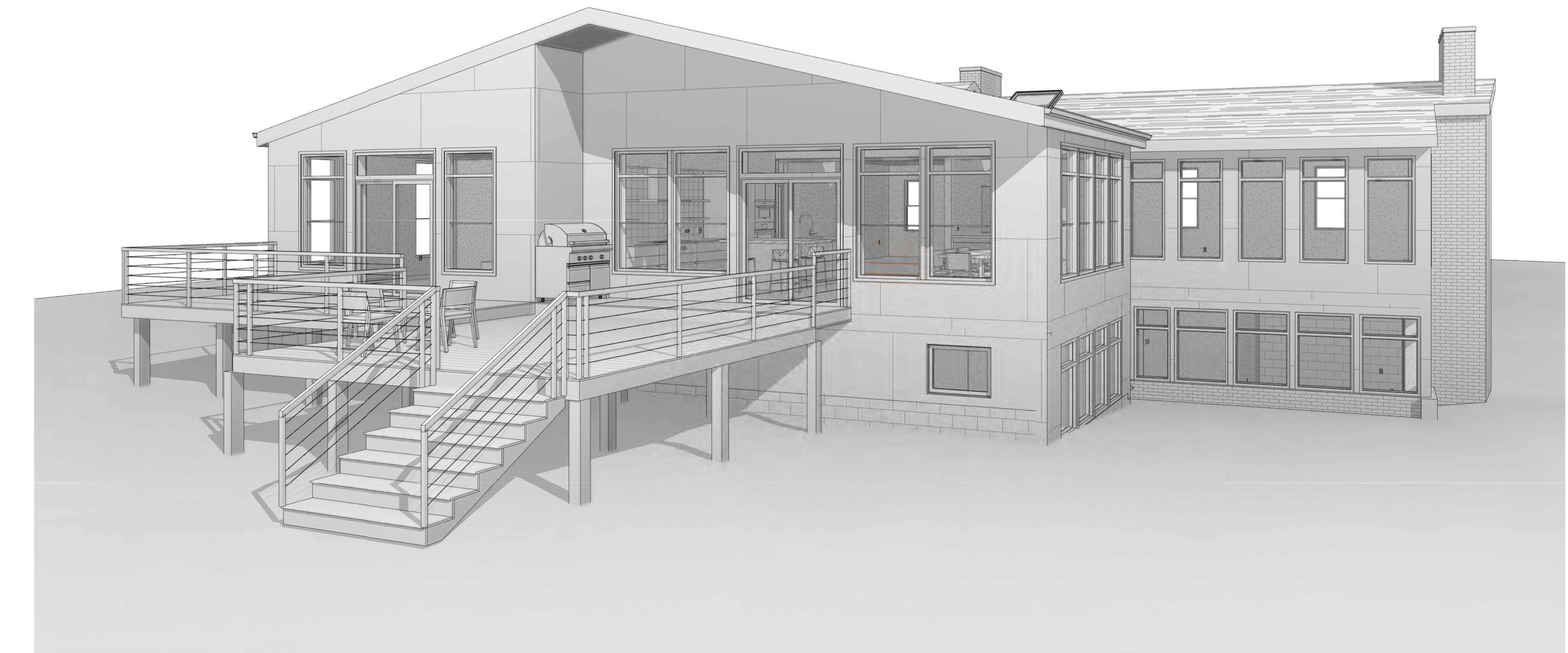
CARNEMARK ©  
7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814, tel: 301.657.5000  
rev.# 1  
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THEER ARE AND SHALL REMAIN THE PROPERTY OF CARNEMARK SYSTEMS INC. NO PARTS OR PORTIONS OF THESE DRAWINGS MAY BE COPIED, REPRODUCED, OR USED IN WHOLE OR IN PART, IN ANY MANNER, WITHOUT THE WRITTEN CONSENT OF CARNEMARK SYSTEMS INC. THIS DRAWING IS FOR THE USE OF THE CONTRACTOR ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SPECIFICATIONS AND DETAILS FOR THE PROJECT. THIS DRAWING IS NOT A SUBSTITUE FOR A SET OF PRINTED DRAWINGS WHICH HAVE BEEN APPROVED BY THE LOCAL BUILDING DEPARTMENT. THE INFORMATION CONTAINED IN THESE DRAWINGS IS FOR THE USE OF THE CONTRACTOR ONLY.

A201



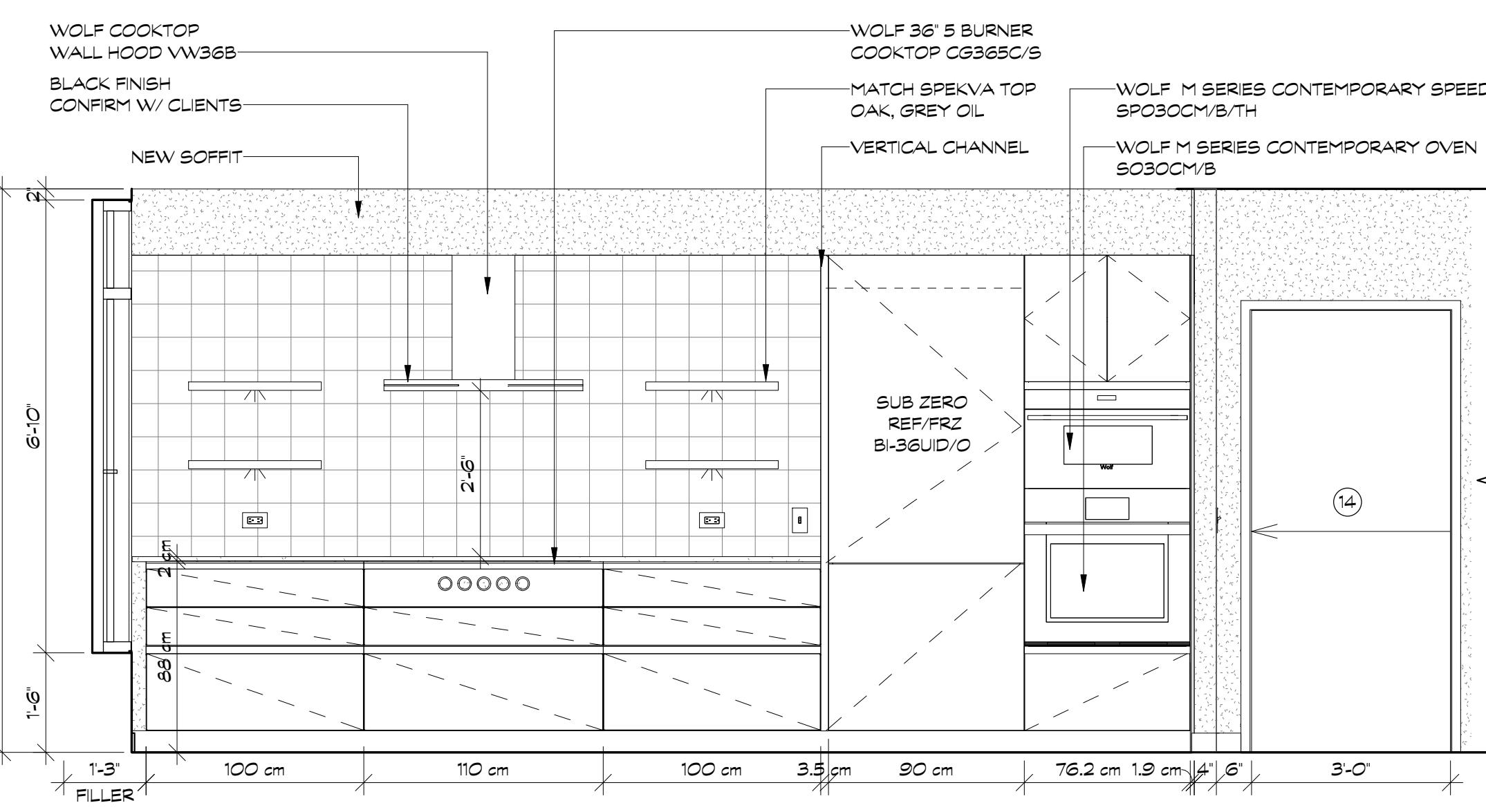
2 PROPOSED EXTERIOR VIEW 2  
A202

1 PROPOSED EXTERIOR VIEW  
A202

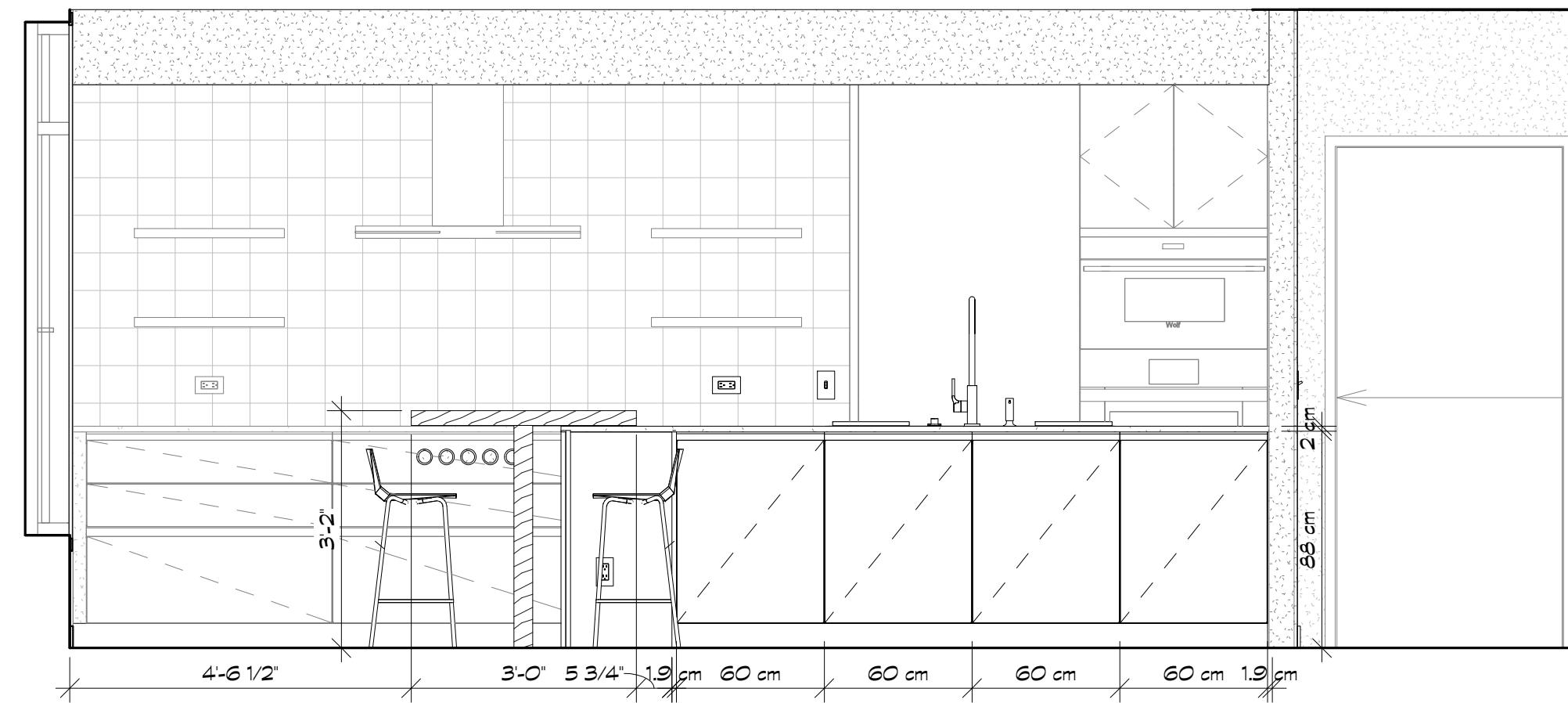


A202

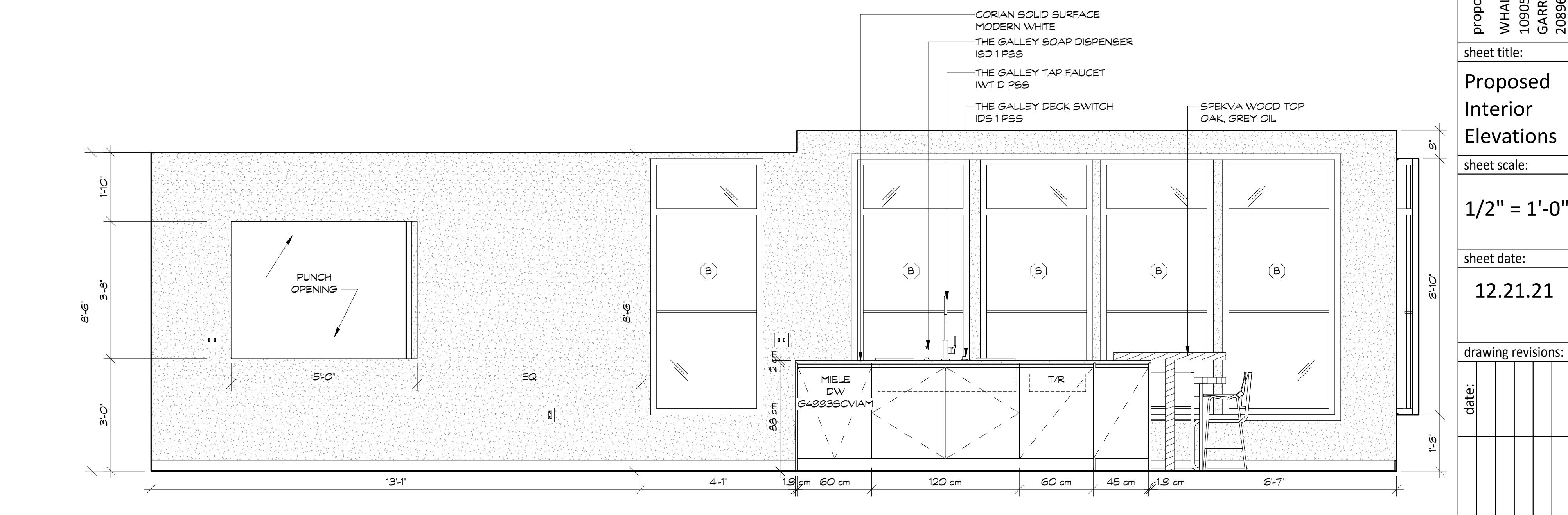
proposed renovation for:	WHALEN
sheet title:	10905 MONTROSE AVE, GARRETT PARK, MD 20896
Proposed Views	
sheet scale:	
sheet date:	12.21.21
drawing revisions:	
date:	



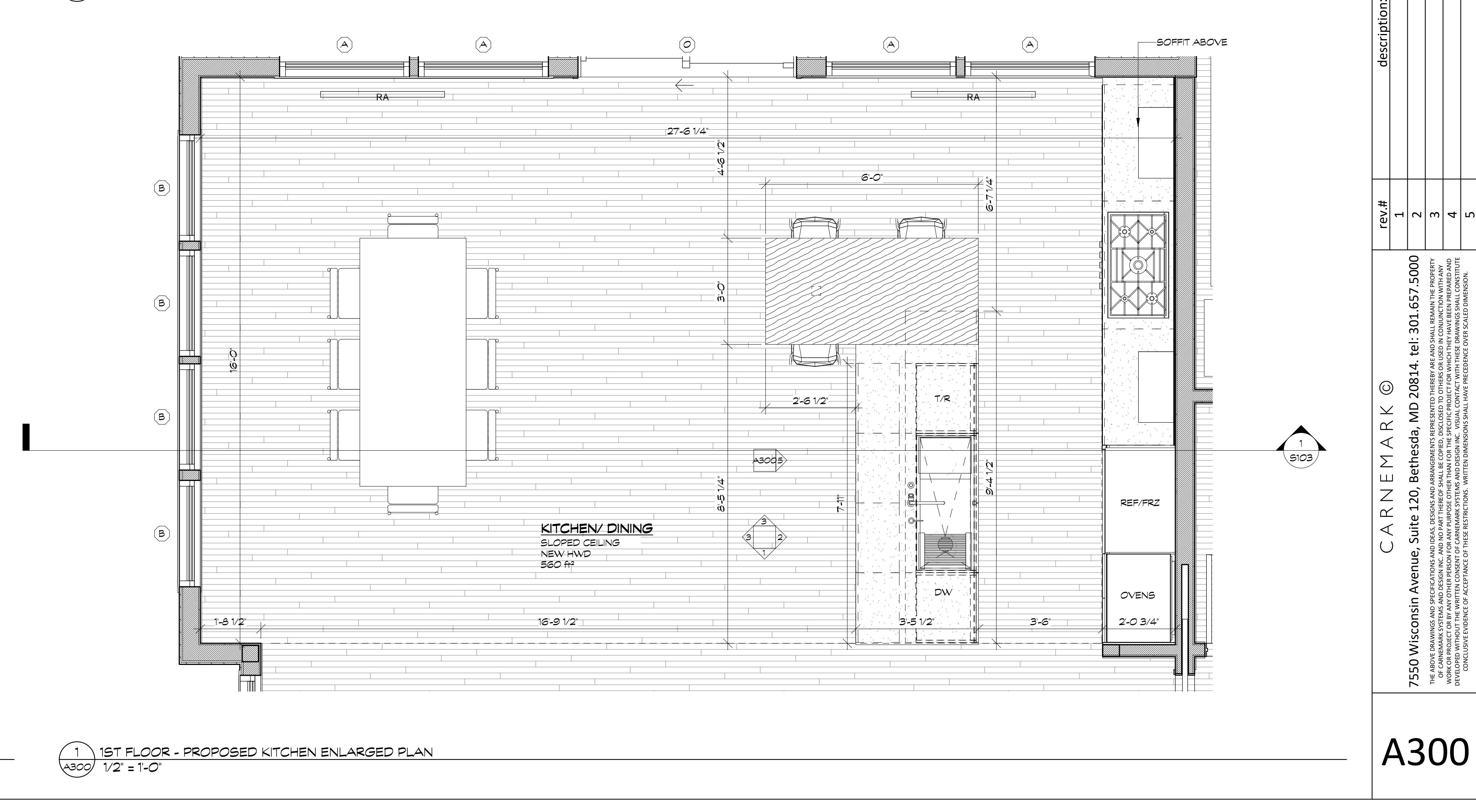
5 PROPOSED KITCHEN ISLAND ELEVATION - EAST  
A300 1/2" = 1'-0"



5 PROPOSED KITCHEN ISLAND ELEVATION - EAST  
A300 1/2" = 1'-0"



3 PROPOSED KITCHEN ELEVATION - WEST  
A300 1/2" = 1'-0"



1 1ST FLOOR - PROPOSED KITCHEN ENLARGED PLAN  
A300 1/2" = 1'-0"

**Proposed Interior Elevations**

sheet scale:

1/2" = 1'-0"

sheet date:

12.21.21

drawing revisions:

date:

proposed renovation for:  
WHALEN  
10905 MONTROSE AVE,  
GARRETT PARK, MD  
20896

sheet title:

Proposed Interior Elevations

sheet scale:

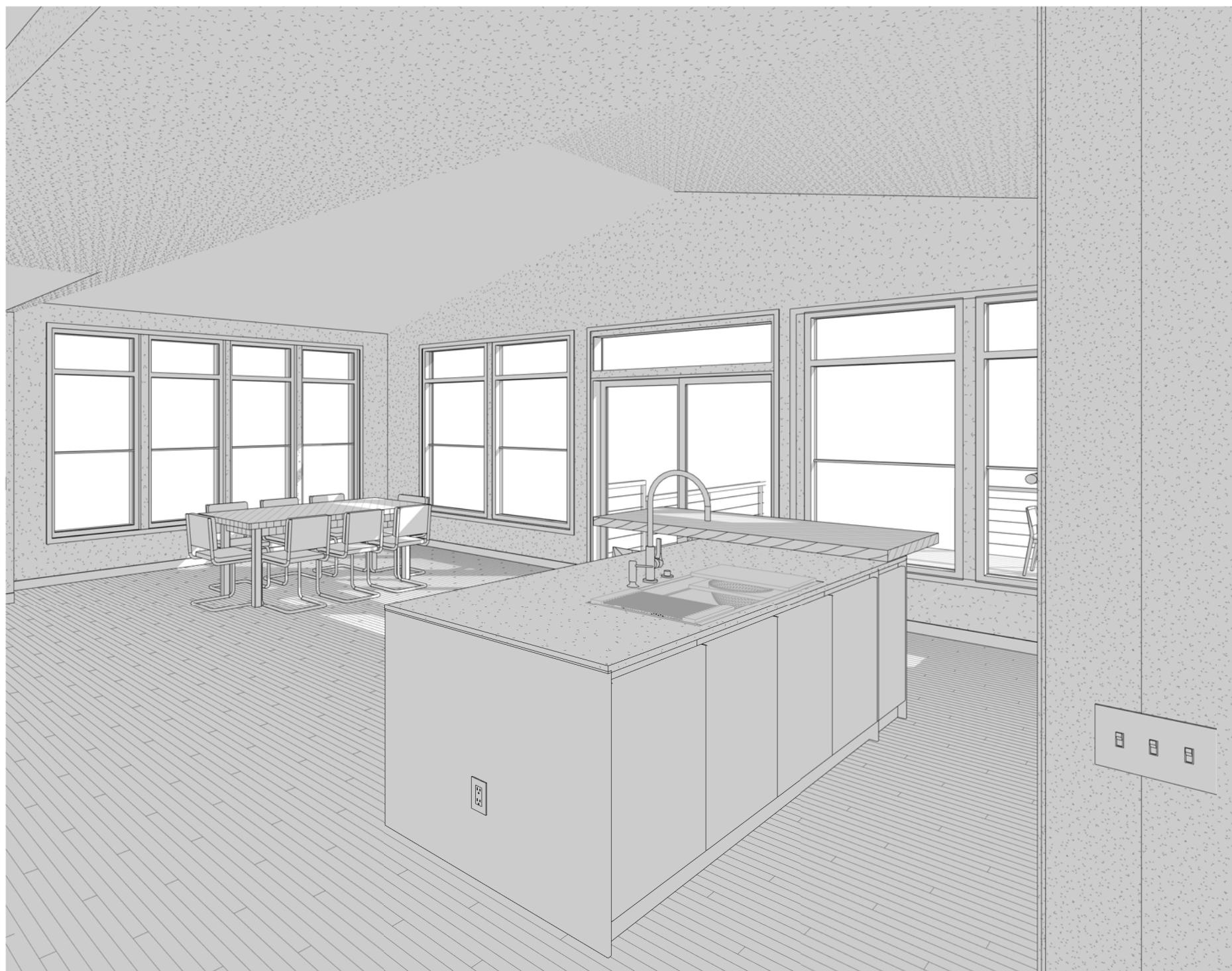
1/2" = 1'-0"

sheet date:

12.21.21

drawing revisions:

date:



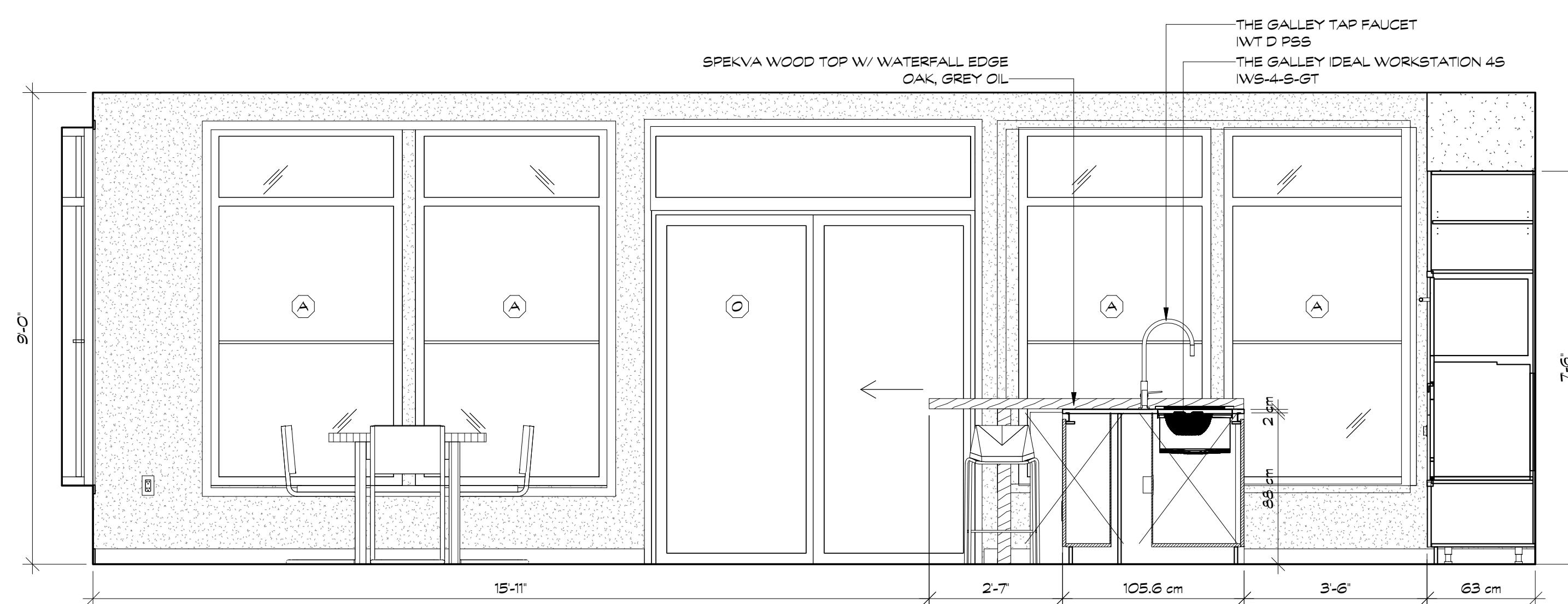
5 KITCHEN / DINING VIEW - WEST



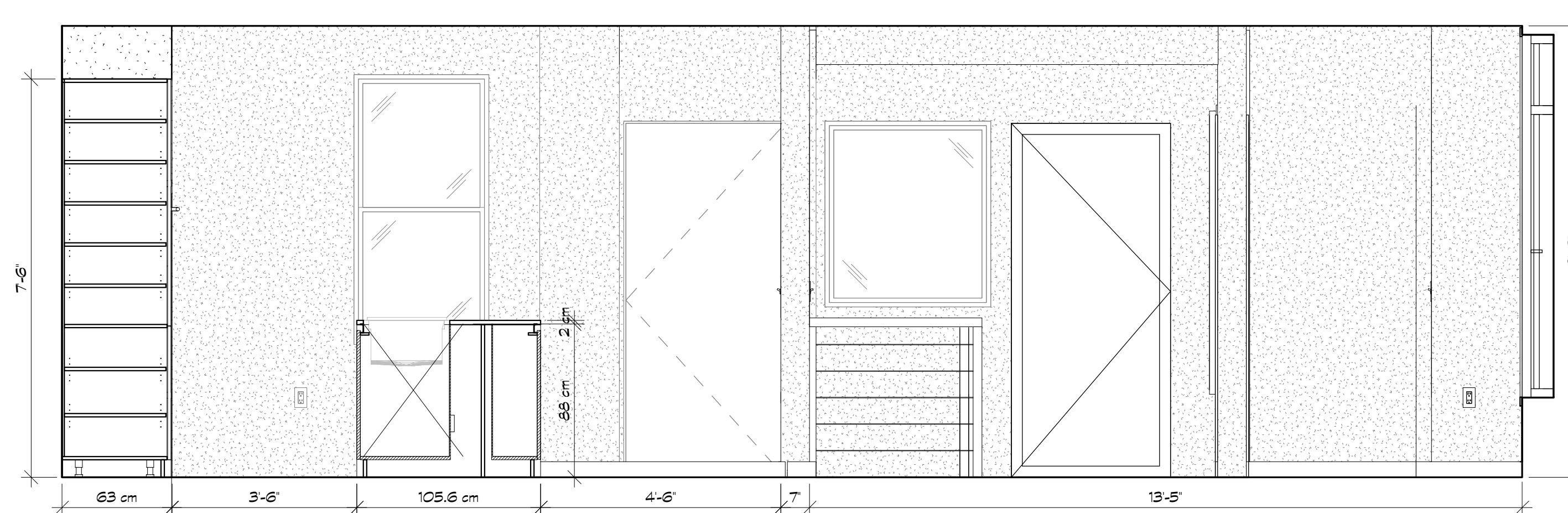
4 VIEW OF ENTRY / FOYER



6 KITCHEN / DINING VIEW - EAST



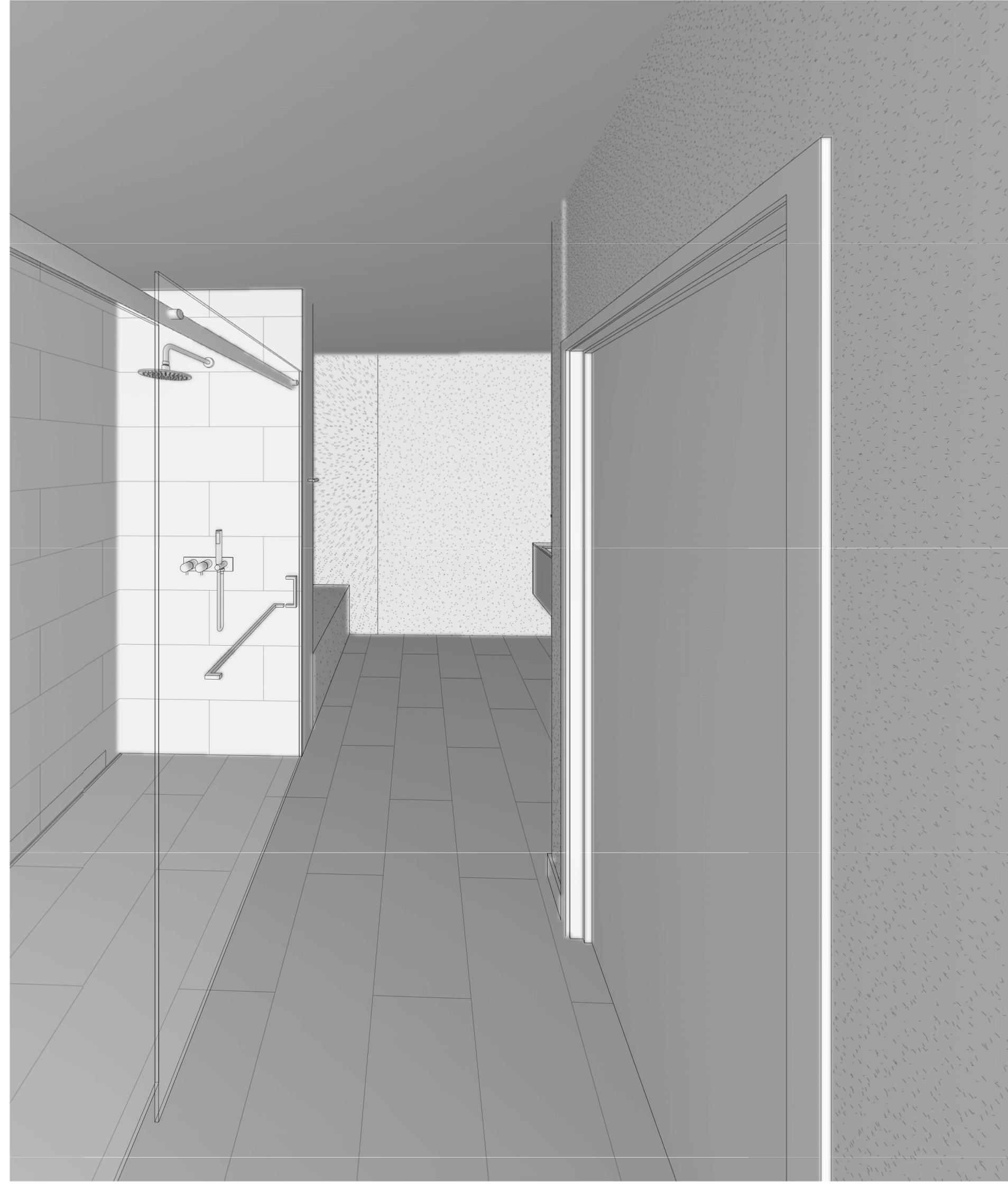
3 PROPOSED KITCHEN ELEVATION - NORTH  
A301 1/2" = 1'-0"



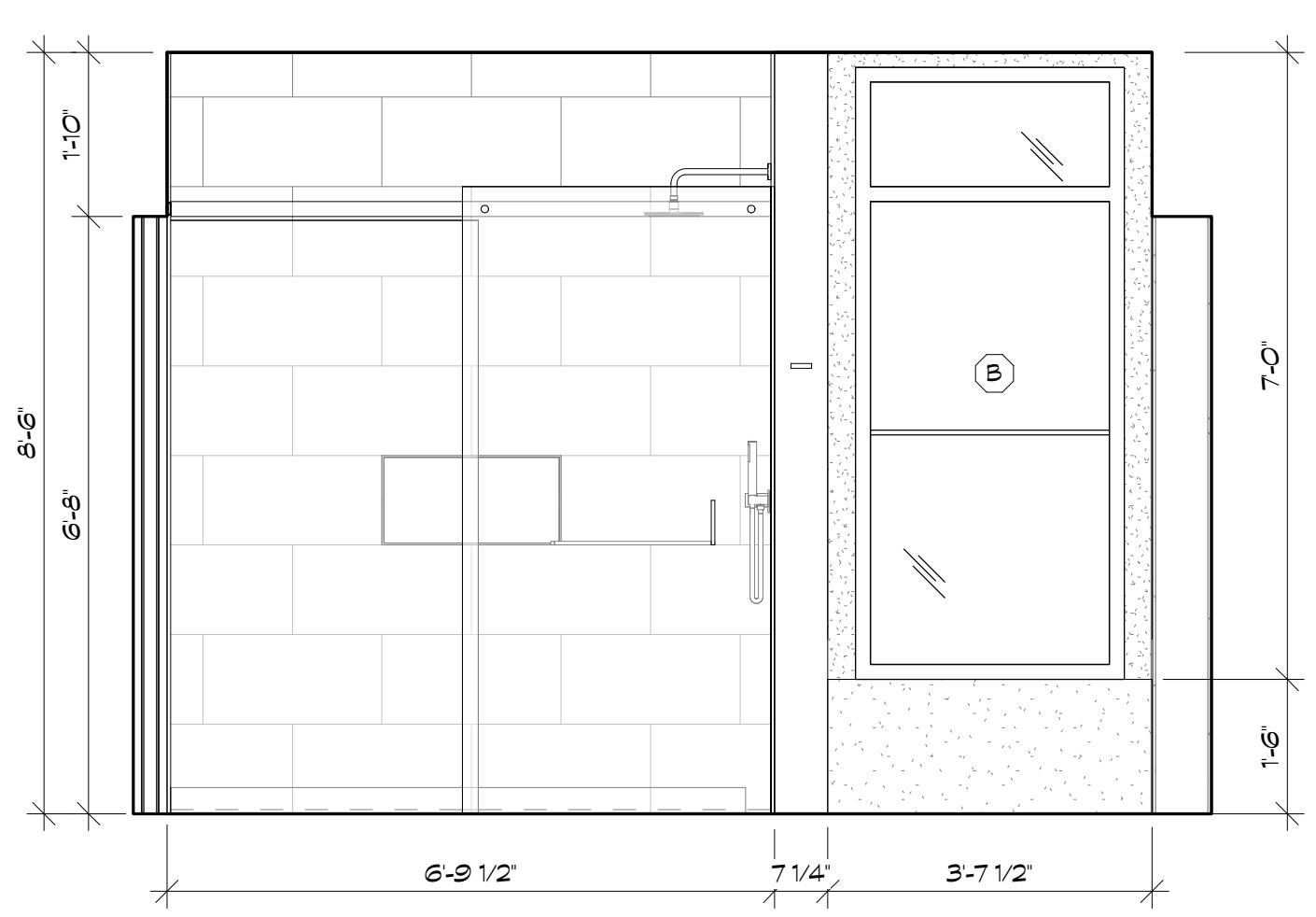
1 PROPOSED KITCHEN ELEVATION - SOUTH  
A301 1/2" = 1'-0"

proposed renovation for:	WHALEN
sheet title:	10905 MONTROSE AVE, GARRETT PARK, MD 20896
Proposed Interior Elevations	
sheet scale:	1/2" = 1'-0"
sheet date:	12.21.21
drawing revisions:	
date:	
description:	
rev.#	
1	
2	
3	
4	
5	

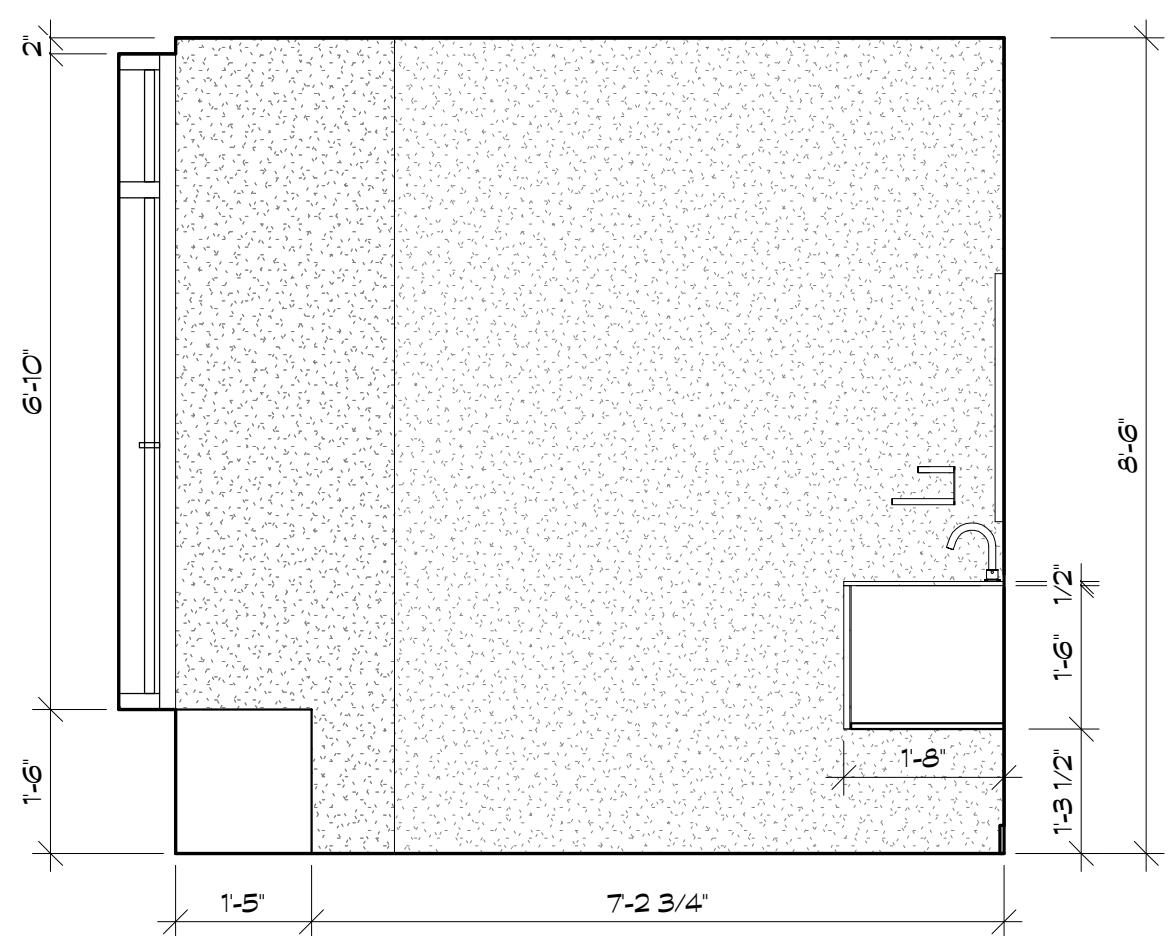
A301



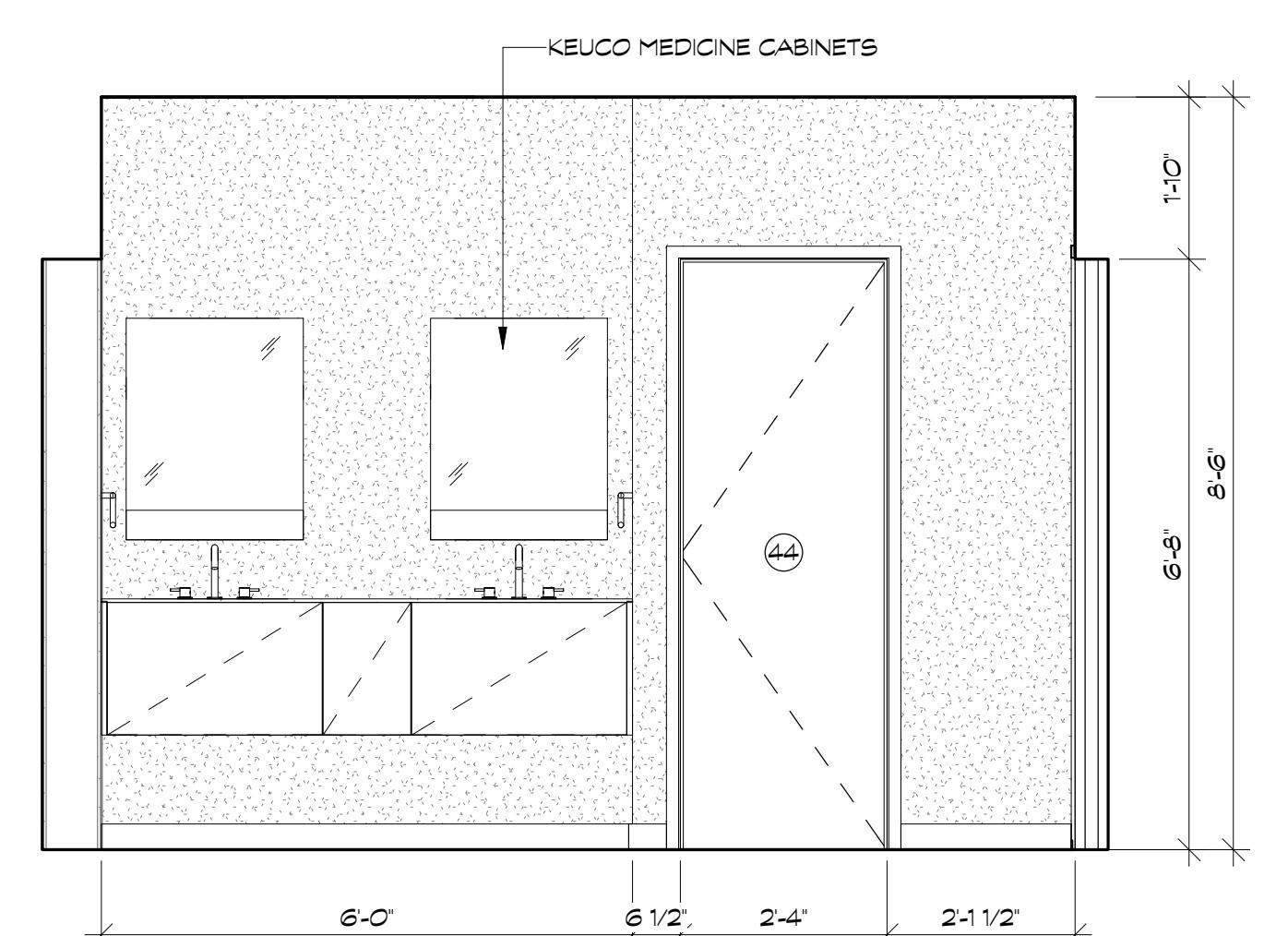
7 PROPOSED MASTER BATH PERSPECTIVE



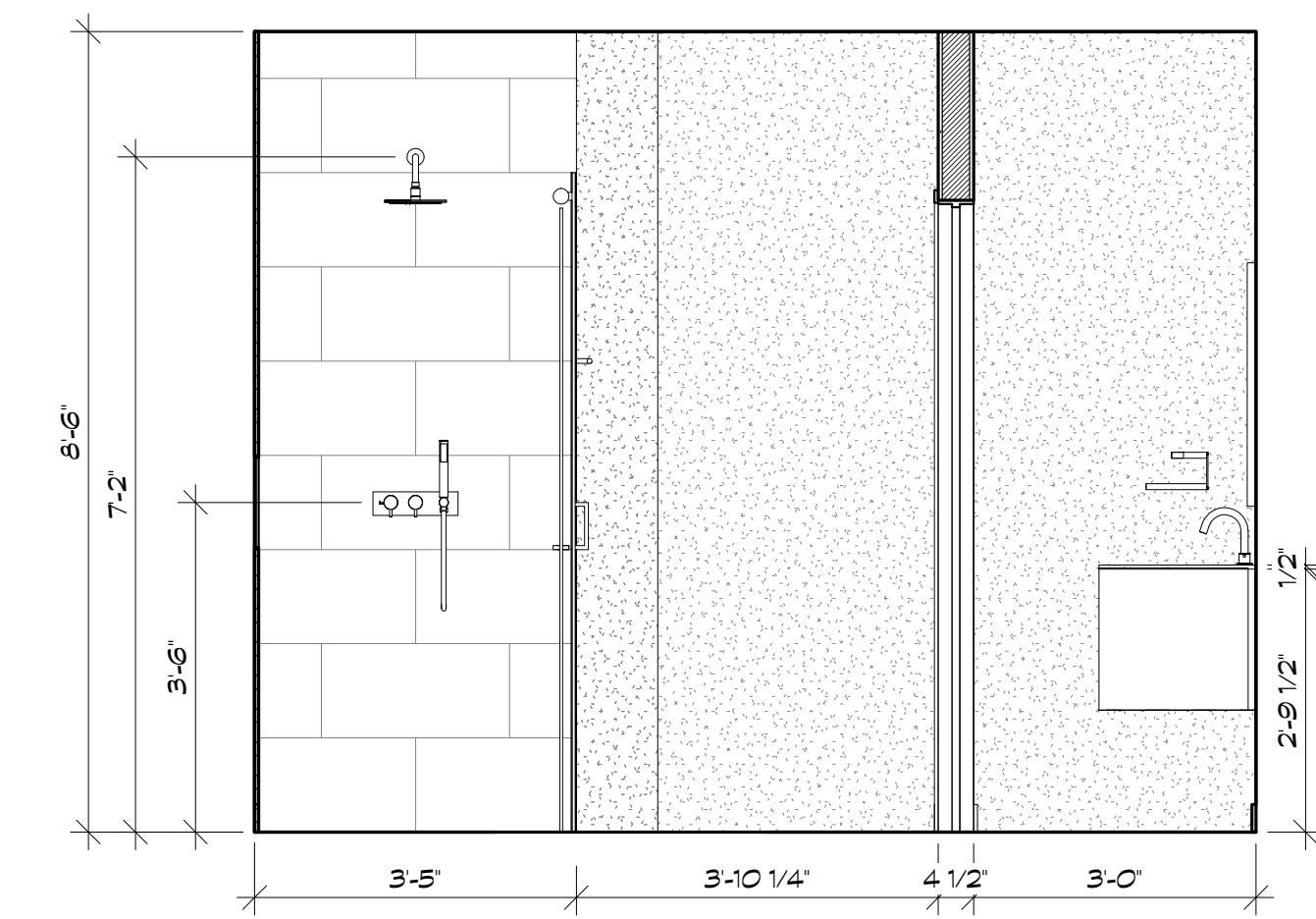
4 PROPOSED MASTER BATH ELEVATION - EAST  
A302 1/2" = 1'-0"



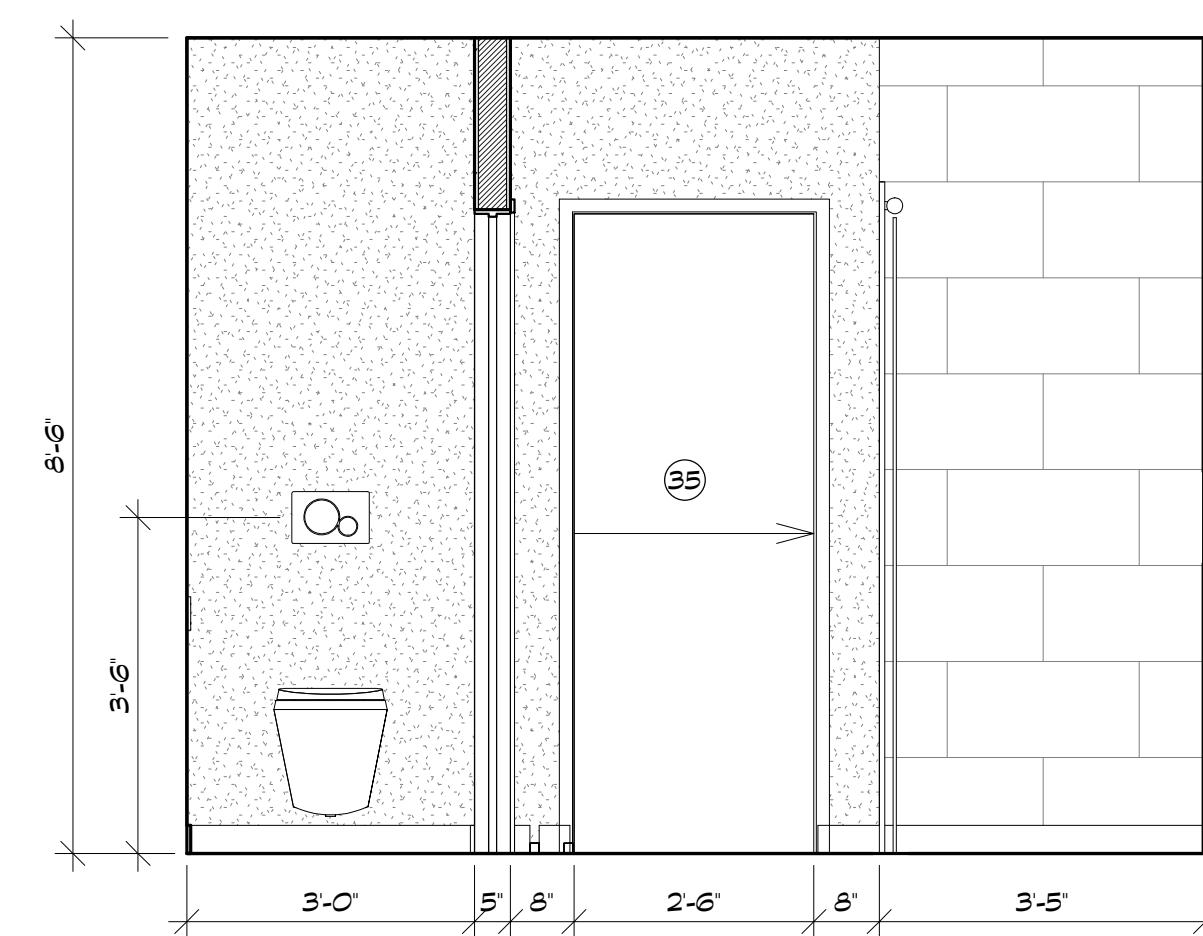
3 PROPOSED MASTER BATH ELEVATION 2 - SOUTH  
A302 1/2" = 1'-0"



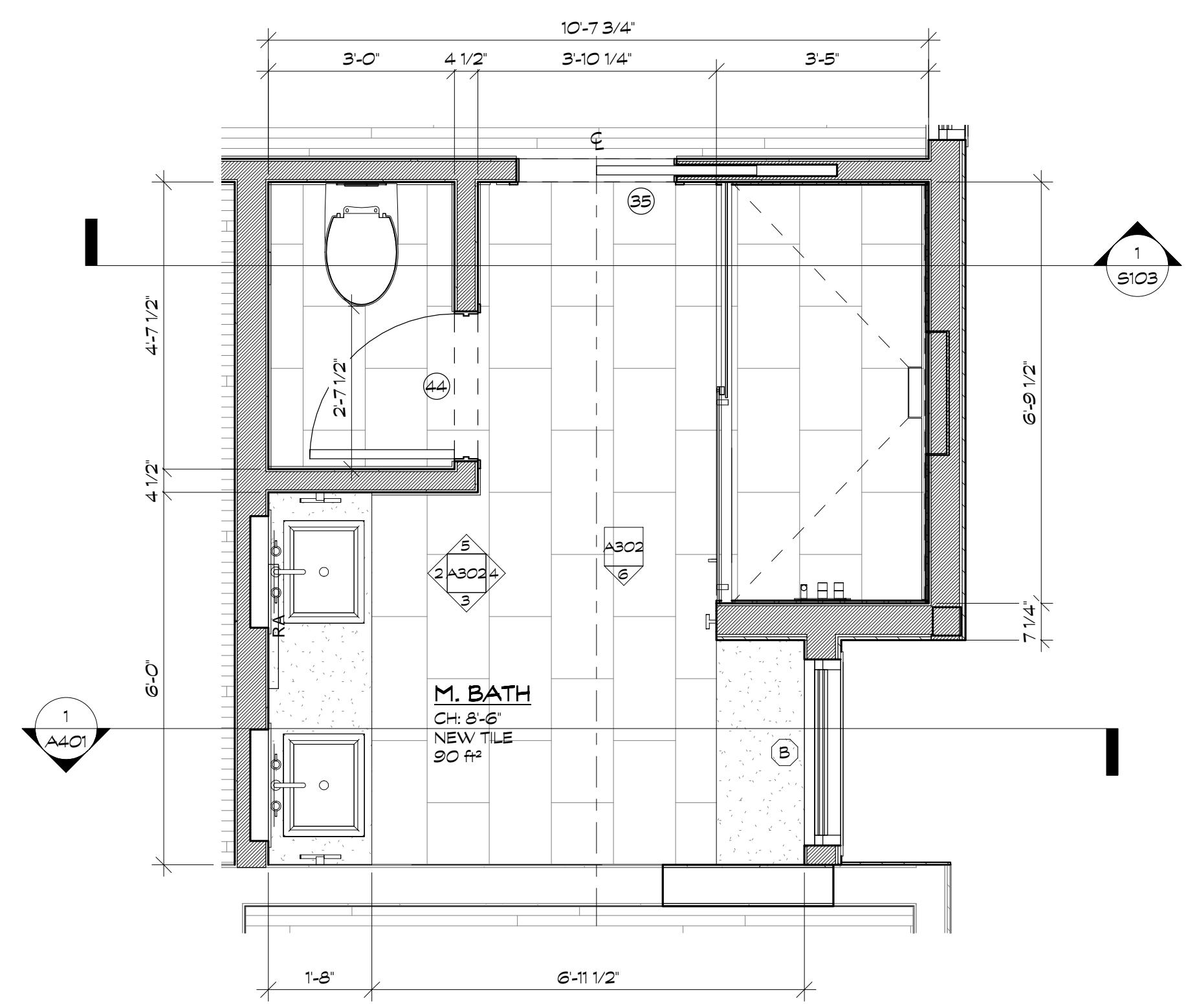
2 PROPOSED MASTER BATH ELEVATION - WEST  
A302 1/2" = 1'-0"



6 PROPOSED MASTER BATH ELEVATION - SOUTH  
A302 1/2" = 1'-0"



5 PROPOSED MASTER BATH ELEVATION - NORTH  
A302 1/2" = 1'-0"



1 PROPOSED MASTER BATH ENLARGED PLAN  
A302 1/2" = 1'-0"

A302

proposed renovation for:  
WHALEN  
10905 MONROSE AVE,  
GARRETT PARK, MD  
20896

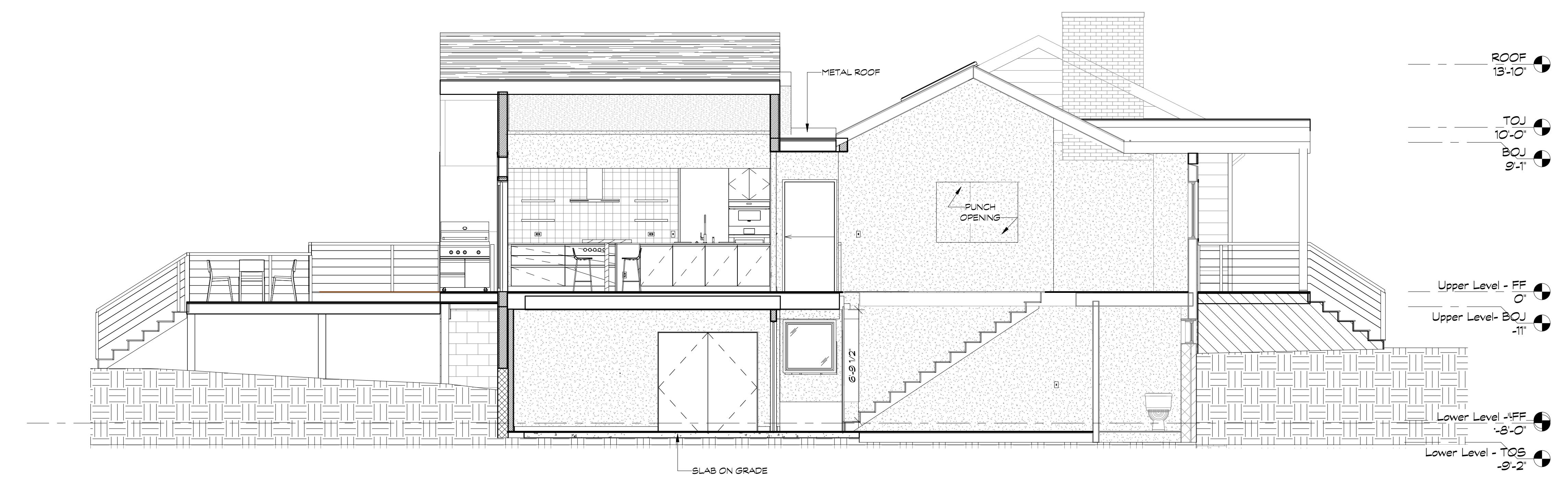
sheet title:  
**Proposed  
Interior  
Elevations**  
sheet scale:

1/2" = 1'-0"

sheet date:  
12.21.21  
drawing revisions:

CARNEMARK ©  
7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814, tel: 301.657.5000  
THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THEER AND SHALL REMAIN THE PROPERTY  
OF CARNEMARK INC. NO PARTS OR PORTIONS THEREOF MAY BE COPIED OR USED WITHOUT THE  
WRITTEN CONSENT OF CARNEMARK INC. THAT THE DRAWINGS ARE FOR THE USE OF THE  
CONTRACTOR ONLY AND ARE NOT TO BE SHOWN TO ANY OTHER PERSON. THIS DRAWING IS THE  
PROPERTY OF CARNEMARK INC. AND IS TO BE RETURNED UPON COMPLETION OF THE  
WORK OR WHEN NOT NEEDED. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER  
PURPOSE THAN THAT FOR WHICH IT WAS PROVIDED. THIS DRAWING IS NOT TO BE USED  
FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS PROVIDED.

12/21/2021 12:34:34 PM  
C:\Users\1\Downloads\202021\N...6...2...1...A...2100021 : - - - - -



**1** PROPOSED BUILDING SECTION  
A400  $1/4"$  =  $1'-0"$

C A R N E M A R K ©			
7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814. tel: 301.657.5000		<small>THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CARNMARK SYSTEMS AND DESIGN INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONJUNCTION WITH ANY WORK OR PROJECT OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CARNMARK SYSTEMS AND DESIGN INC. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL HAVE PRIORITY OVER SCALED DIMENSION.</small>	
rev.#	description:	date:	drawing revisions:
1			
2			
3			
4			
5			
<b>A400</b>		sheet date: <b>12.21.21</b>	
sheet scale: <b>1/4" = 1'-0"</b>		sheet title: <b>Proposed Building Section</b>	
proposed renovation for: <b>WHALEN</b>		address: <b>10905 MONTROSE AVE, GARRETT PARK, MD 20896</b>	

A400



1 Proposed Building Section 2  
A401 1/4" = 1'-0"

ROOF  
13'-10"  
TOJ  
10'-0"  
BOJ  
9'-1"  
  
Upper Level - FF  
0'  
Upper Level - BOJ  
-11'  
  
Lower Level - FF  
-8'-0"  
Lower Level - TOJ  
-9'-2"

**Proposed Building Section 2**

sheet scale:

1/4" = 1'-0"

sheet date:

12.21.21

drawing revisions:

35

proposed renovation for:  
WHALEN  
10905 MONTROSE AVE,  
GARRETT PARK, MD  
20896

sheet title:

Proposed Building Section 2

sheet scale:

1/4" = 1'-0"

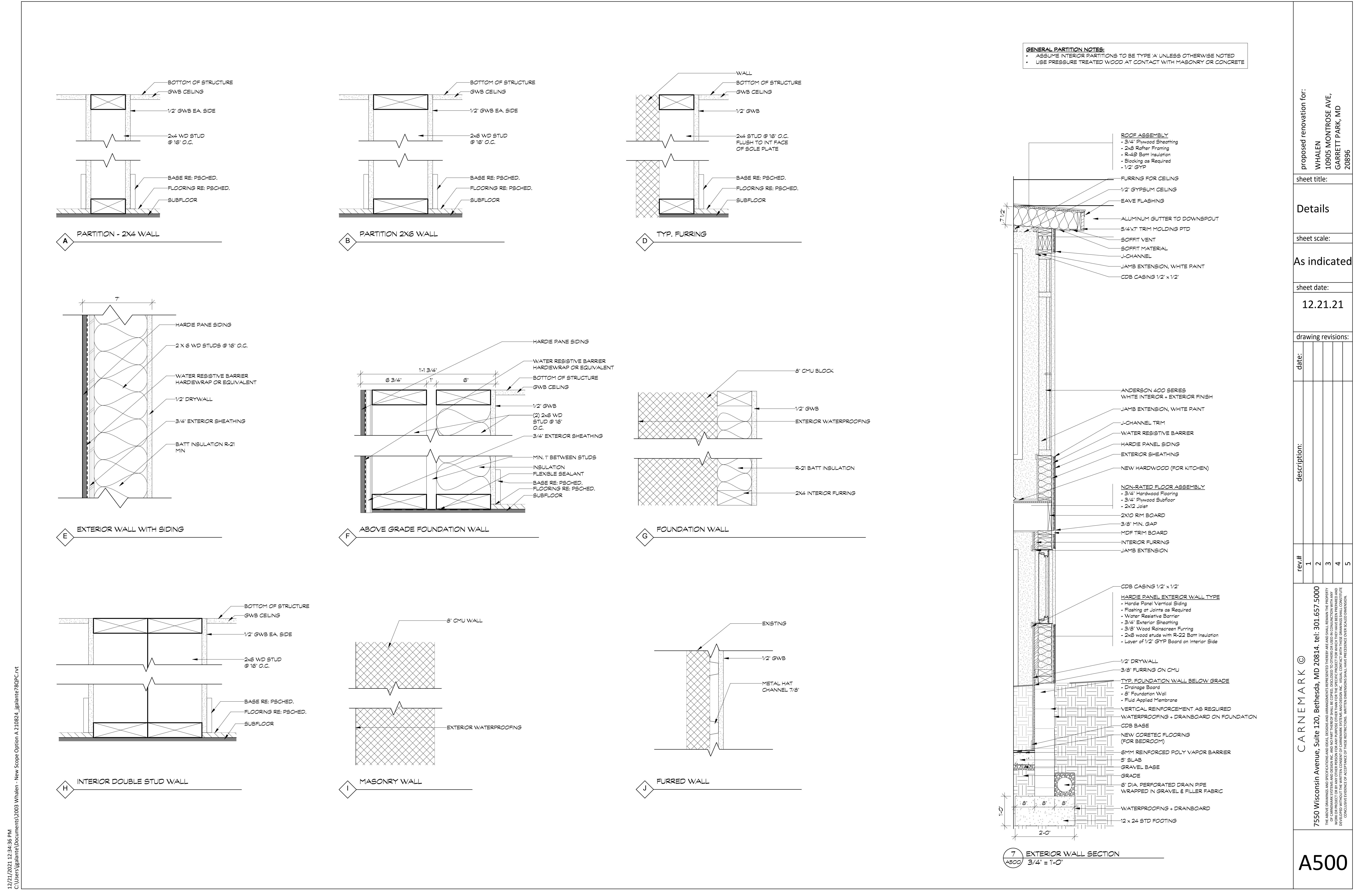
sheet date:

12.21.21

drawing revisions:

35

A401



SYM	DOOR TYPE	DIMENSIONS		RD DIMENSIONS		PANEL STYLE	MANUFACTURER	MODEL #	FINISH	HAND	HARDWARE	COMMENTS
		WIDTH	HEIGHT	WIDTH	HEIGHT							
5	SINGLE HINGED	36'	80"	38"	62 1/2"	FLUSH	MASONITE		WHITE			SOLID CORE
8	SINGLE HINGED	36'	80"	38"	62 1/2"	FLUSH	MASONITE		WHITE			SOLID CORE
14	SINGLE POCKET	36'	80"	73"	84"	FLUSH	MASONITE		WHITE			SOLID CORE
16	SINGLE HINGED	36'	80"	38"	62 1/2"	FLUSH	MASONITE		WHITE			SOLID CORE
19	SINGLE HINGED	30'	80"	32"	62 1/2"	FLUSH	MASONITE		WHITE			SOLID CORE
35	SINGLE POCKET	30'	80"	61"	84"	FLUSH	MASONITE		WHITE		INOX, RECTANGULAR FLUSH PULL - OIL RUBBED BRONZE	
36	DOUBLE HINGED	72'	80"	74"	62 1/2"	FLUSH						
37	DOUBLE HINGED	72'	80"	74"	62 1/2"	FLUSH						
42	SINGLE HINGED	36'	80"	38"	62 1/2"	FLUSH	MASONITE		WHITE			
44	SINGLE HINGED	28'	80"	30"	62 1/2"	FLUSH	MASONITE		WHITE			

PMWT NOTES:  
 • ????  
 • ????  
 • ????  
 • ????

SWT NOTES:  
 • ????  
 • ????  
 • ????  
 • ????

ADD / DED ALTS:  
 • ????  
 • ????  
 • ????  
 • ????

proposed renovation for:  
 WHALEN  
 10905 MONTROSE AVE,  
 GARRETT PARK, MD  
 20896

sheet title:  
 Schedules & Notes

sheet scale:

1/4" = 1'-0"

sheet date:

12.21.21

drawing revisions:

date:

WINDOW SCHEDULE														
SYM	QTY	TYPE	UNIT SIZE		ROUGH OPENING		MANUFACTURER	MODEL NO	GLAZING	GRILLE	DIV. LITE	U-Value	SHGC	COMMENTS
			WIDTH	HEIGHT	WIDTH	HEIGHT								
A	6	CASEMENT W/ FIXED TRANSOM	3'-8"	6'-10"	3'-8 1/2"	6'-10"	LINCOLN WINDOWS		LOW-E4 ARGON FILL	5/8 GRILLE		0.3	0.29	
B	8	CASEMENT W/ FIXED TRANSOM	3'-0"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL	5/8 GRILLE		0.3	0.29	
C	1	DIRECT SET WINDOW	2'-6"	5'-0"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	
D	1	DIRECT SET W/ FIXED TRANSOM	3'-8"	4'-11 3/8"	3'-8 1/2"	5'-0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	
E	1	CASEMENT - EGRESS	3'-0"	3'-0"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	EGRESS WINDOW
F	3	SKYLIGHT CASEMENT	3'-8"	4'-11 3/8"	3'-8 1/2"	5'-0"	VELUX		LOW-E4 ARGON FILL			0.3	0.29	
G	5	DIRECT SET WINDOW	3'-0"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	
H	1	DIRECT SET WINDOW	2'-6"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	
I	2	AWNING	2'-11 15/16"	2'-6"	3'-0 7/16"	3'-0 1/2"	Andersen Corporation		LOW-E4 ARGON FILL			0.3	0.29	
J	1	CASEMENT	3'-0"	5'-4"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	
K	2	DIRECT SET W/ FIXED TRANSOM	3'-0"	5'-0"	0"	0"			LOW-E4 ARGON FILL			0.3	0.29	
M	2	SINGLE HINGED FULL LITE PATIO DOOR	3'-0"	6'-8"	3'-1 1/4"	6'-8 5/8"	LINCOLN		LOW-E4 ARGON FILL			0.3	0.29	
O	2	FULL LITE SLIDING DOOR	6'-0"	6'-8"	6'-2"	6'-9"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	
P	1	CASEMENT W/ FIXED TRANSOM	3'-7 1/2"	5'-0"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	EGRESS WINDOW
Q	2	CASEMENT W/ FIXED TRANSOM	3'-0"	5'-0"	0"	0"			LOW-E4 ARGON FILL			0.3	0.29	EGRESS WINDOW
X	3	DIRECT SET WINDOW	3'-7 1/2"	5'-0"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.3	0.29	

LIGHTING FIXTURE SCHEDULE									rev.#
SYM	QTY	TYPE	MANUFACTURER	MODEL NO	HOUSING	BULB (W)	FINISH	REMARKS	
A	62	Entro 3" Recessed Downlight	TECH LIGHTING	EN3RFPF-0-W	EN3RRL-H-9-30-A-A-N		WHITE		1
B	2	Entro 3" Shower Recessed Downlight	TECH LIGHTING	EN3RFPB-S-W	EN3R-LH-9-30-A-A-I		WHITE		2
C	4	Pendant Fixture	TBD						3
D	7	Wall Sconce	TBD						4
F	4	Strip Lighting	TBD						5
M	2	Directional Recessed Downlight	TBD						
G	1	Ceiling Fan w/ Light	TBD						

LIGHTING EQUIPMENT:  
 PROJECT MEETS IECC 2015, SECTION R404.1 LIGHTING EQUIPMENT (MANDATORY) - NOT LESS THAN 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS OR NOT LESS THAN 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.

CARNE MARK ©  
 7550 Wisconsin Avenue Suite 120, Bethesda, MD 20814, tel: 301.657.5000  
 THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENT THE PROPERTY OWNER'S REQUIREMENTS FOR THE PROJECT. THEY ARE THE PROPERTY OF THE PROPERTY OWNER AND ARE PROVIDED TO THE CONTRACTOR FOR USE IN THE PREPARATION OF BIDS. THE CONTRACTOR SHALL NOT REPRODUCE, COPIES OR DISSEMINATE THESE DRAWINGS OR SPECIFICATIONS IN ANY FORM, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER. THIS SHEET IS THE PROPERTY OF THE PROPERTY OWNER AND IS TO BE RETURNED UPON COMPLETION OF THE PROJECT.

A600