

An aerial photograph of a city street scene. In the foreground, a multi-lane road with a median runs horizontally. To the left, there's a parking lot with a red Wendy's restaurant. In the background, several modern high-rise buildings are visible, including one with a red and white facade and another with a yellow and white facade. A tall radio tower stands in the distance. A large blue rectangular box is overlaid in the center, containing the title text.

Montgomery Planning Fall 2021 Semiannual

Engagement During COVID-19



74,471 Planning Board
meeting online views



2,421 New eLetter
subscribers



100+ Events

(Planning + Parks community events and meetings)



3,000+ Virtual meeting
Participants

From March 26, 2020 to October 6, 2021





Equitable Engagement



Development Review Activity

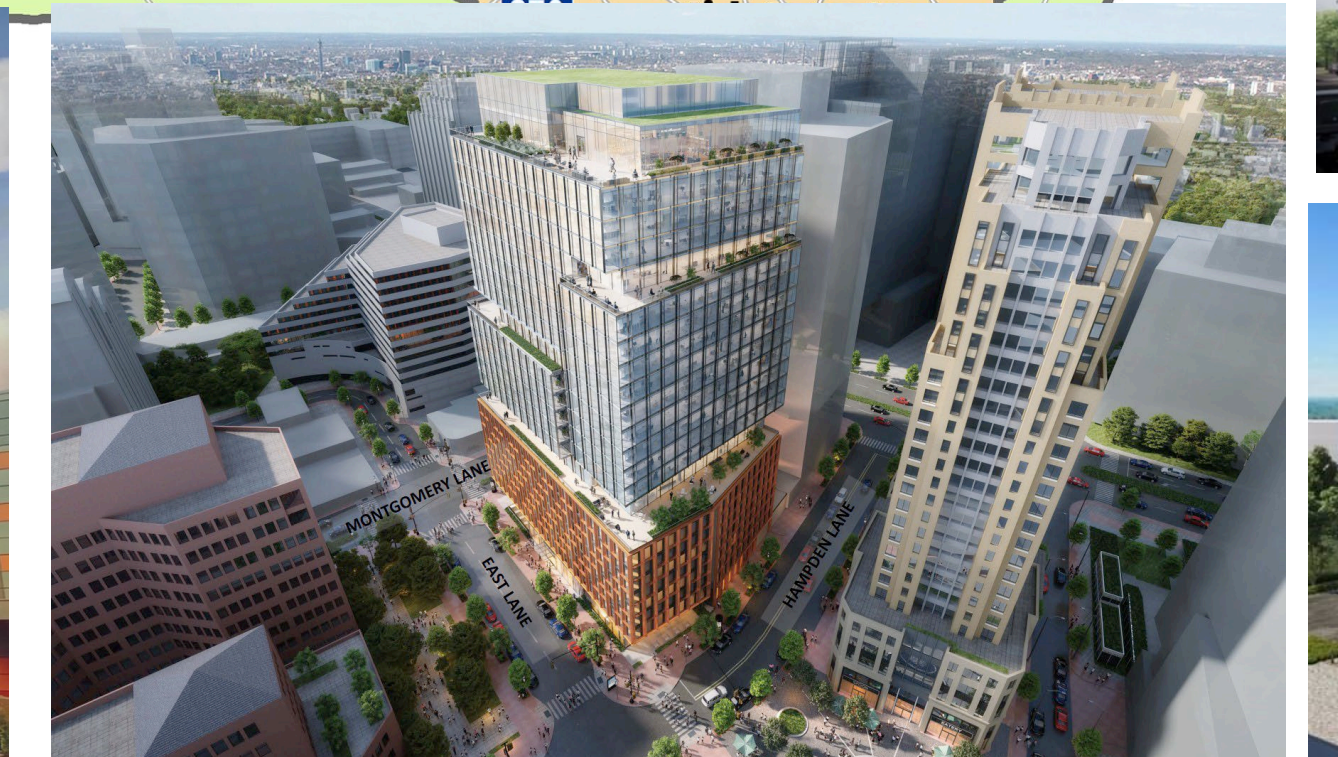
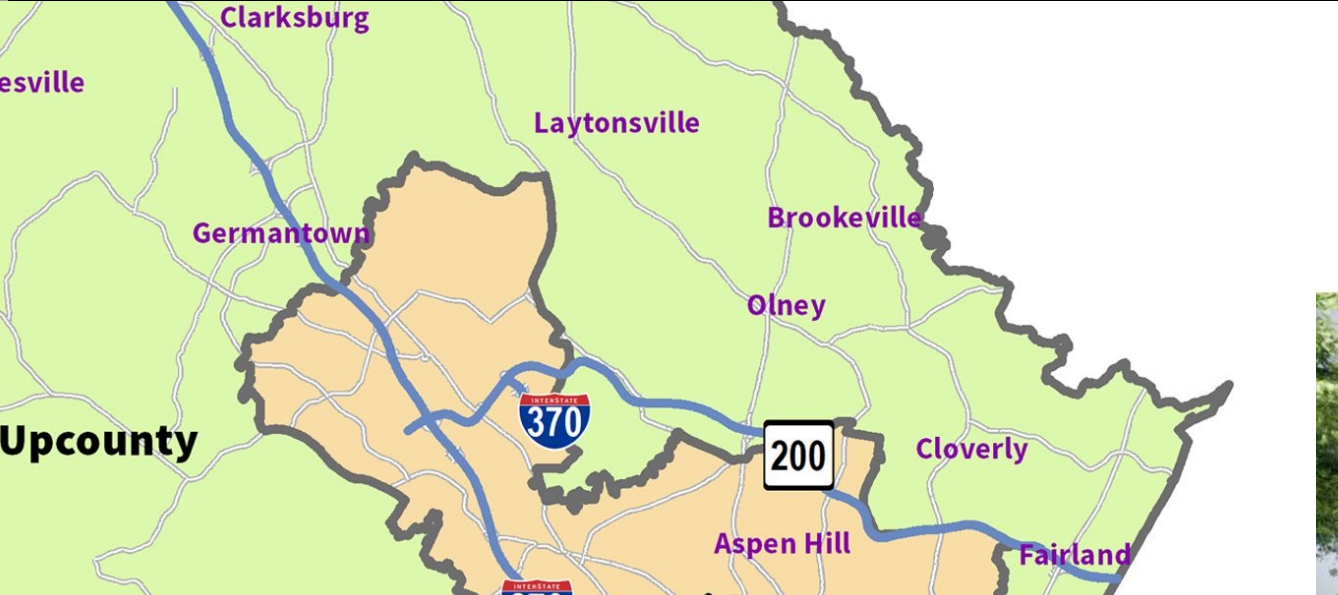
**DEVELOPMENT APPLICATIONS –
MARCH 26, 2021 TO OCTOBER 4, 2021**

CONCEPT PLANS	20
SKETCH PLANS	8
PRELIMINARY PLANS	25
ADMINISTRATIVE SUBDIVISIONS	8
SITE PLANS	38
PROJECT PLANS	1
PLATS	42
NRI/FSDs	28
FOREST CONSERVATION EXEMPTIONS	123
MANDATORY REFERRALS	25
TOTAL	318



Improvements to the development review process:

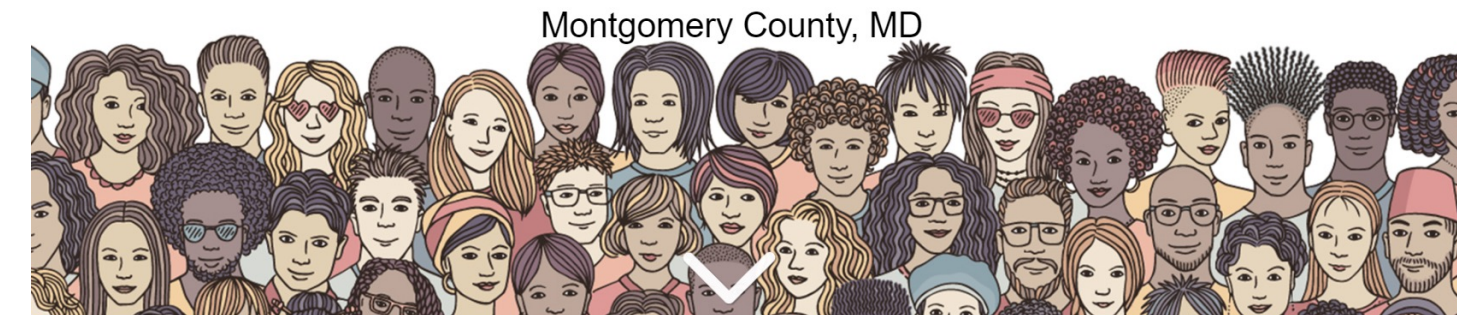
- Speed to Market Initiative
- Reinvigorating Development Review Committee
- Approved Subdivision Regulations Amendment
- Microfiche scanning project



Award Winning Plans and Projects

- APDU Viz Award – Equity Focus Area Map
- MD Sustainable Growth Award – Complete Streets Design Guidelines
- The APA 2021 Merit Award in Best Practices – Schools Element of the Growth and Infrastructure Policy
- M-NCPPC Wheaton Headquarters:
 - ULI Award of the Americas finalist
 - NAIOP Best Sustainable Project
 - Merit Award by Engineering News-Record (ENR) MidAtlantic

Equity Focus Areas



Thrive Montgomery 2050



Thrive
蓬勃发展 计划
Prosperar
번창하는
Développement
پیشرفت
Hưng Thịnh

Concurrent and related efforts

Thrive Montgomery 2050

The Planning Board transmitted its draft of Thrive Montgomery 2050 to the council in Spring 2021.
A General Plan provides long-range policy framework. **It does not change zoning.**
Thrive Montgomery 2050 will have its public hearings at the Council this month.

Attainable Housing Strategies

In March 2021, the County Council asked the Planning Board to consider zoning reforms that “would allow for greater opportunities for Missing Middle housing.”

Silver Spring Downtown & Adjacent Communities Plan

Planning Board expanded the Silver Spring Plan Area to examine the potential for Missing Middle housing in blocks adjacent to Downtown and the Purple Line.
The recommendations from AHS will inform the recommendations on Missing Middle for SSDAC.

ZTA 20-07

Councilmember Jawando introduced Zoning Text Amendment 20-07 in December 2020 to allow Missing Middle types of housing in the R-60 zone.
ZTA 20-07 has had its public hearing, but no further action has been taken.

Zoning Recommendations

The Planning Board will transmit zoning recommendations to the County Council for its consideration and potential introduction as a ZTA to pursue the AHS and Thrive objectives.

Sectional Map Amendment

The master plan process will conclude with the adoption of a sectional map amendment that implements the zoning recommendations in the SSDAC Plan.

An aerial photograph of a suburban neighborhood. In the foreground, there are several large, two-story houses with brick and white siding, surrounded by green lawns and mature trees. A winding road curves through the neighborhood. In the middle ground, a multi-lane highway with several cars is visible, running diagonally across the frame. The background is filled with a dense forest of bare trees, suggesting a late autumn or winter setting. In the far distance, a city skyline is visible on the horizon under a cloudy sky.

Plans and Projects

- Thrive Montgomery 2050
- GSSC Minor Master Plan Amendment , Phase 1
- Attainable Housing Strategies
- Corridor Forward: I-270 Transit Plan
- Silver Spring Downtown and Adjacent Communities Plan
- Fairland and Briggs Chaney Master Plan
- Takoma Park Minor Master Plan Amendment
- Pedestrian Master Plan
- Rustic Roads Functional Master Plan
- Advancing the Pike District Study
- Wheaton Downtown Study
- Retail in Diverse Communities Study
- Mixed Use Development Trends Study
- Access Management Study



Great Seneca Science Corridor

MINOR MASTER PLAN AMENDMENT

- Plan Amendment evaluates the 2010 Great Seneca Science Corridor Master Plan, considers progress toward the vision, illustrates departures from and barriers to implementation, and concludes with recommendations for adjustments to the staging requirements of the 2010 Plan as well as initiation of a comprehensive amendment.
- Recommended adjustments to staging requirements seek to address the pressing need to accommodate life sciences development to support the county's economic health, employment growth and global leadership in science and innovation.
- Great Seneca Science Corridor Minor Master Plan Amendment Planning Board Draft approved July 1, 2021.
- County Council Public Hearing anticipated on October 19, 2021.





Corridor Forward: I-270 Transit Plan

- **Council Direction:** Analyze transit options serving communities along the I-270 Corridor between Frederick and Tysons.
- **Challenge:** Large menu of existing options, each serving different purposes and geographies:
- **Montgomery Planning Actions:** Staff Inventoried, evaluated, and is in the process of prioritizing the most advantageous package of transit options for I-270 Corridor.
- **Recommendations:** Recommendations will focus on improvements for central area of County between Rockville and Clarksburg and will include considerations regarding inter-jurisdictional connectivity.
- **Process:** Technical work 90 percent complete; staff anticipates Council review in Winter/Spring of 2022.



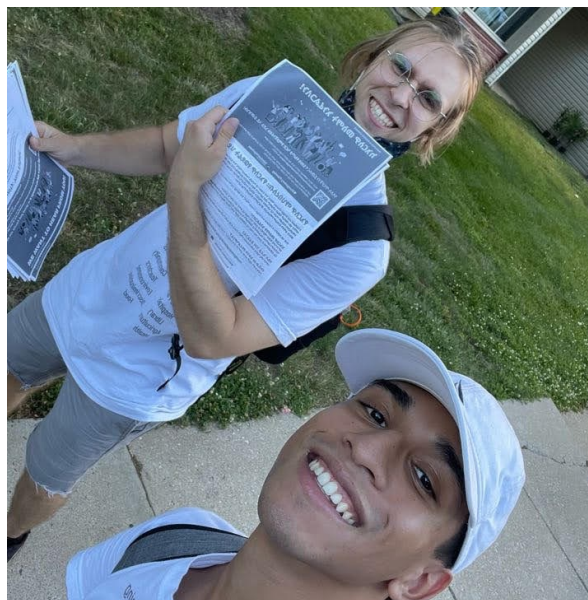
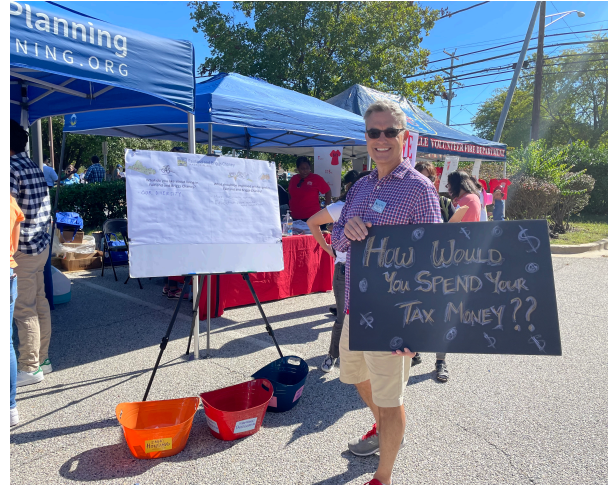
Silver Spring Downtown and Adjacent Communities Plan



- Update to the *2000 Silver Spring Central Business District Sector Plan*; scope approved in June 2020.
- Recommendations will focus on connectivity, diversity, resiliency, community health, equity and economic growth.
- Silver Spring in 2040 will be:
 - A diverse, distinctive and thriving downtown that is a regional destination for business, arts, culture, and retail.
 - A community that offers diverse housing options at all affordability levels for people of all ages and backgrounds.
 - An urban area characterized by new open spaces and green, walkable, multi-modal streets that are safe and comfortable for all.
- The staff plans to bring the Working Draft to the Planning Board at the end of October.



Fairland and Briggs Chaney Master Plan



- Attended summer community events and engaged stakeholders
- Completed door-canvassing campaign and interviewed 627 households
- Fairland and Briggs Chaney Master Plan Listening Series – Nov 2021
- Update to the Planning Board in early December



Takoma Park MINOR MASTER PLAN AMENDMENT

Takoma Park Minor Master Plan Amendment

- The Plan Amendment will guide future growth on the Washington Adventist Campus, along Maple Avenue and select surrounding areas.
- The recommendations will be inspired by engagement with the entire community.
- Scope of Work approved by the Planning Board on September 30, 2021





Design Excellence Awards

You're Invited:

October 21, 2021

6 p.m.

Wheaton Headquarters

FY22 Approved Master Plan and Major Projects Schedule

