

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3906 Washington St., Kensington	Meeting Date:	10/27/2021
Resource:	Primary One Resource Kensington Historic District	Report Date:	10/20/2021
Applicant:	Shawn Buehler	Public Notice:	10/13/2021
Review:	Preliminary Consultation	Staff:	Dan Bruechert
PROPOSAL:	Partial Demolition, Building Addition, and Rear Deck		

STAFF RECOMMENDATION

Staff recommends the applicant make any alterations recommended by the HPC and return for a Historic Area Work Permit (HAWP).

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary One Resource within the Kensington Historic District
STYLE: Eclectic
DATE: 1908

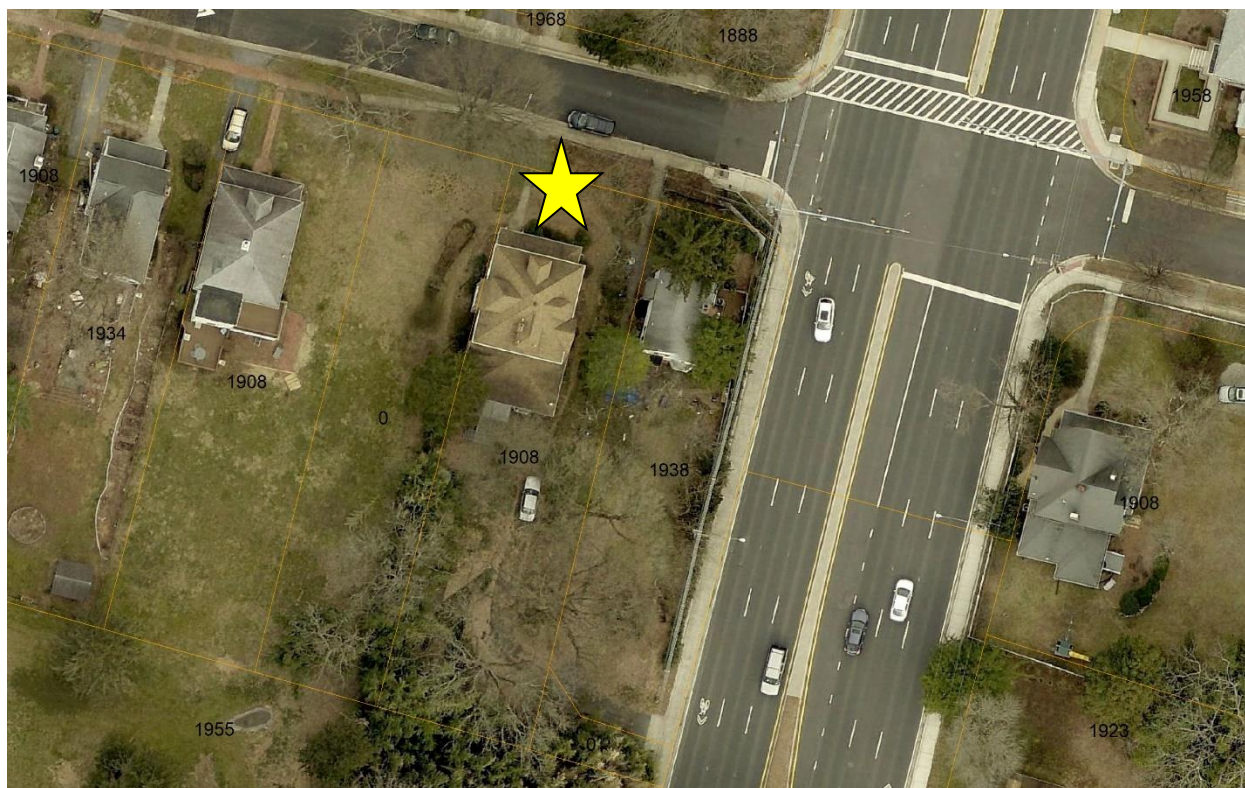


Figure 1: The rear of 3906 Washington St. is partially visible from Connecticut Ave.

PROPOSAL

The applicant proposes to demolish the non-historic rear one-story addition and construct a two-story addition on the existing foundation.

APPLICABLE GUIDELINES

Kensington Historic District Guidelines

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

"In regard to the properties identified as secondary resources--that is visually contributing, but non-historic structures or vacant land within the Kensington District--the Ordinance requires the Preservation Commission to be lenient in its judgment of plans for contemporary structures or for plans involving new construction unless such plans would seriously impair the historic or architectural value of surrounding resources or impair the character of the district."

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story clapboard and shingle-sided house with a full-width front porch near the southwest corner of Washington Street and Connecticut Avenue in the Kensington Historic District. The property's rear yard is accessed via a gravel driveway off of Connecticut Ave.

Addition Demolition

The applicant proposes to demolish the existing, non-historic, rear addition and construct a two-story addition and new wood deck. The existing addition has a parged foundation and clapboard siding with a low-pitched hipped roof. The existing addition does not contribute to the historic character of the house or the surrounding district. Staff recommends the HPC approve the demolition of the non-historic addition when it receives a HAWP application. The addition's date of construction is uncertain, however, Staff located a HAWP from 1988 to make a small expansion to the rear addition.¹

Proposed Two-Story Addition

The proposed addition will be constructed above the existing foundation, which will be given a brick veneer. The proposed addition matches many of the materials and features of the historic house including a hipped roof, six-over-two windows (aluminum-clad wood), multiple siding types, and a gambrel dormer on the east elevation. The addition will be visible from the west of the subject property and the south, from Connecticut Ave. Staff generally finds the materials are appropriate for an addition to a building in the Kensington Historic District. The one exception is the proposed use of Hardie fiber cement shingles on the second floor and dormer. Staff finds the flat profile of most fiber cement shingles, including those from Hardie, are too thin to be a compatible substitute material for wood shingles. Staff recommends a different material in this location.

Staff finds the placement of the addition is appropriate for the subject property. Ordinarily, additions to historic buildings need to be inset from the historic wall planes so the historic construction retains primacy. However, in this instance, there is already an addition and foundation constructed to match the width of the existing house. This non-historic addition required removing a significant amount of historic fabric, so the integrity of the resource has already been damaged.

¹ The approved HAWP to expand the rear addition is available here:
https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640004/Box028/HAWP%203-88_Kensington_3906%20Washington%20St_03-18-1988.pdf.

Staff also finds that while the proposed addition is large, the size is not out of scale for the historic house and surrounding district. The applicant has taken steps to reduce the apparent massing of the addition by lowering the rear hipped roof over the addition and the gambrel dormer on the east (right) side.

While Staff finds that the overall size and massing of the proposed addition are appropriate, Staff seeks the HPC's input in several areas:

- Does the HPC concur with Staff that the size and massing of the addition are appropriate for the historic resource and surrounding district?
- Is repeating the gambrel dormer appropriate under Standard 9 or is repeating that feature not sufficiently differentiated from the historic?
- Is the addition as a whole sufficiently differentiated from the historic construction to satisfy Standard 9?
- Does the HPC agree with Staff's finding regarding the fiber cement shingle siding?
- Any other concerns or comments regarding the proposal.

Rear Wood Deck

At the rear of the proposed addition, the applicant proposes to construct a wood deck, measuring 20' × 10' (twenty feet by ten feet) with a set of wood stairs to match. Staff finds this deck is in the appropriate location and is an appropriate material and would recommend approval of the deck on a HAWP application. Staff's only question for the proposed rear deck is whether it will have an impact on any trees in the rear yard. Staff notes that removing trees larger than 6" d.b.h. requires a HAWP

STAFF RECOMMENDATION:

Staff recommends that the applicant make revisions based on the feedback from the HPC and return for a HAWP.

Shawn Buehler

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Adjacent and Confronting Properties:

Kensington, MD 20895

3910 Washington Street

3904 Washington Street

3905 Washington Street

10100 Connecticut Avenue

AKMAN VEEFER RENOVATION

3906 Washington Street, Kensington, MD 20895 - Project # 2120

PROJECT DESCRIPTION

ZONING SITE PLAN

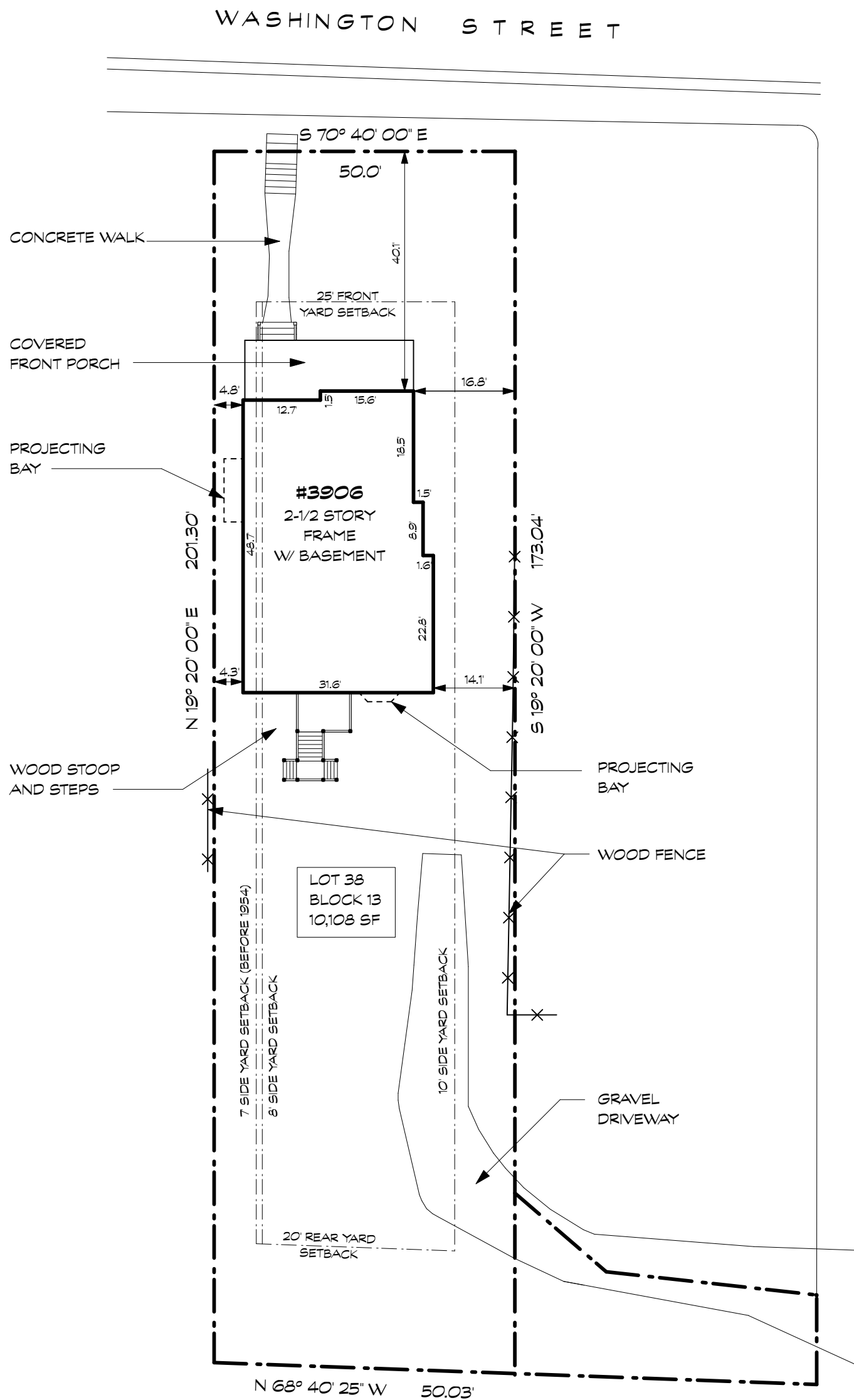
SCALE: 1" = 20'-0"

SITE PLAN BASED ON BOUNDARY SURVEY BY BRUCE C. LANDES SURVEYOR, DATED 22 OCTOBER 2020, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

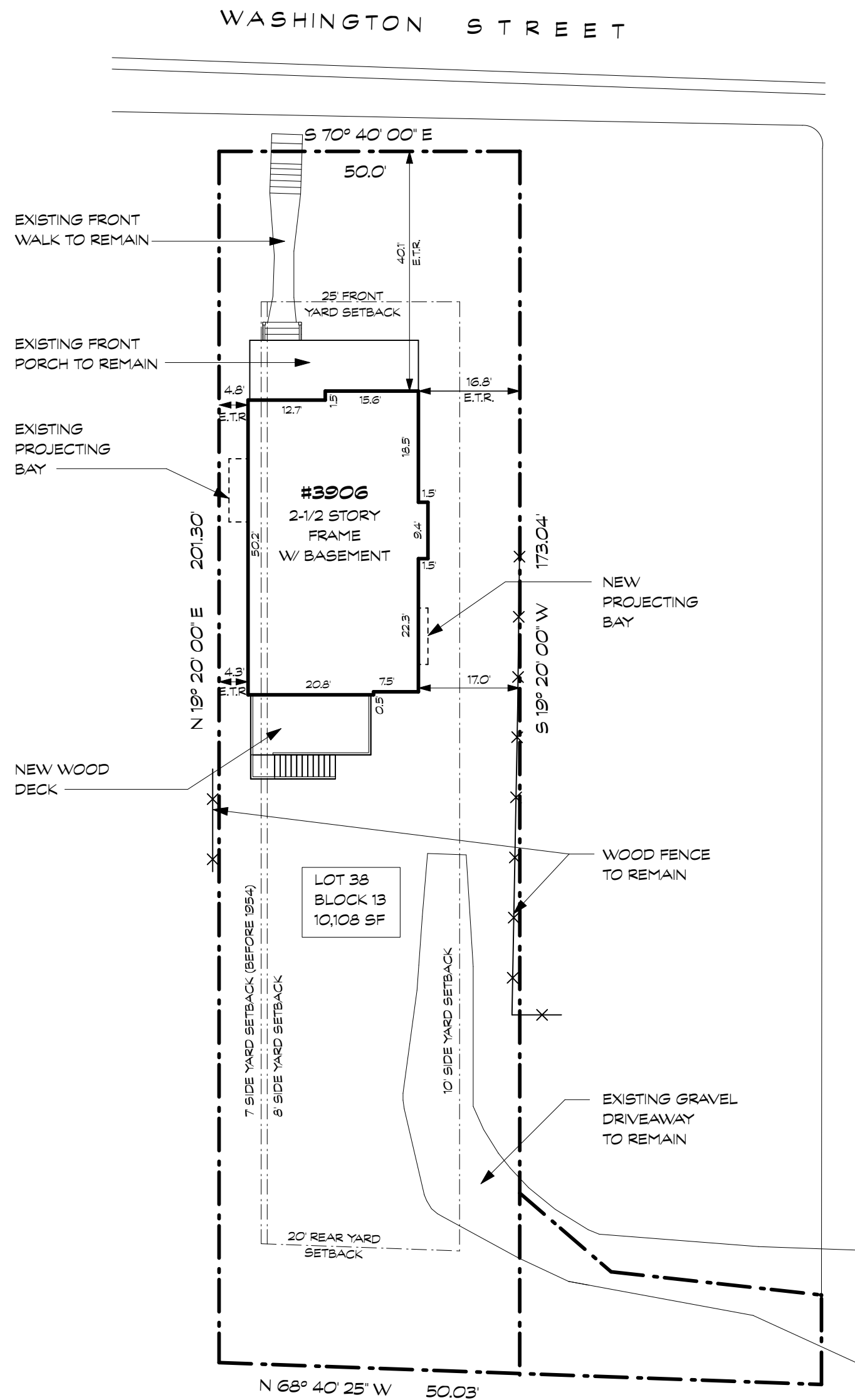


LEGEND

	PROPERTY LINE
	SETBACK LINE
	BUILDING OUTLINE
	WOOD FENCE



1 EXISTING SITE PLAN
Scale: 1" = 20'-0"



2 PROPOSED SITE PLAN
Scale: 1" = 20'-0"

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OWNER

Client Name
Client Street Address
City, MD 20912 (301) XXX-XXXX

STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc
8555 16th St. Suite 200
Silver Spring, MD 20910 (301) 565-0543

MECHANICAL CONSULTANT

Consultant Name
Street Address
City, MD 20XXX (301) XXX-XXXX

CONTRACTOR

Builder Name
Builder Street Address
City, MD 20912 MHIC# XXXX
(301) XXX-XXXX

DRAWING LIST

REV.	SHEET	TITLE
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DATE	ISSUE
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ABBREVIATIONS

£ AND
@ AT
AFF ABOVE
APT FINISHED FLOOR
BLDG BUILDING
BSMT BASEMENT
CJ CONTROL JOINT
CAB CABINET
CL CENTER LINE
CLS CEILING
CLR CLEAR
CMU CONCRETE MASONRY UNIT

COND CONC
CONC CONCRETE
CONT CONTINUOUS
D DRYER
DH DOUBLE HUNG
DIA DIAMETER
DIM DIMENSION
DN DOWN
DR DOOR
DS DOWNSPOUT
DTL DETAIL
DW DISHWASHER
DWS DRAWING
EFS EXTERIOR FINISHING SYSTEM
EL ELEVATION

ELEC ELECTRICAL
EXP EXPANSION
EQ EQUAL
ETR EXISTING TO REMAIN
EX EXISTING
FF FINISH FLOOR
FIN FINISH
FLR FLOOR
GA GAUGE
GWB GYPSUM WALL BOARD
HB HOSE BIB
HC HOLLOW CORE
HT HEIGHT
HWR HARDWARE
JB JUNCTION BOX
LB POUND

LBW LOAD BEARING WALL
LVL LAMINATED VENEER
LUM LUMBER
MARB MARBLE
MATL MATERIAL
MAX MAXIMUM
MDO MEDIUM DENSITY
MIN MINIMUM
MANU MANUFACTURER
MTL METAL
MECH MECHANICAL
NIC NOT IN CONTRACT
NTS NOT TO SCALE
OC ON CENTER
OH OPPOSITE HAND

OSB ORIENTED STRAND BOARD
PLAM PLASTIC LAMINATE
PLYWD PLYWOOD
PT PRESSURE TREATED
PTD PAINTED
R RISER
REF REFRIGERATOR
RO ROUGH OPENING
RQD REQUIRED
RM ROOM
SC SOLID CORE
SHT SHEET
SHWR SHOWER
SIM SIMILAR
SPEC SPECIFICATION

SPRK SPRINKLER
STL STEEL
TBD TO BE DETERMINED
T&G TONGUE AND GROOVE
TOS TOP OF SLAB
TYP TYPICAL
UNO UNLESS NOTED OTHERWISE
VIF VERIFY IN FIELD
W WASHER
W/ WITH
WC TOILET / WATER CLOSET
WO WOOD
W/O WITHOUT
WWM WELDED WIRE MESH

SYMBOLS

CL CENTERLINE

1 DOOR TAG:
DOOR REFERENCE
(SEE DOOR SCHEDULE)
WINDOW TAG:
WINDOW REFERENCE
(SEE WINDOW SCHEDULE)
WALL TAG:
WALL TYPE REFERENCE
(SEE WALL / PARTITION TYPES)

X A-X DRAWING CALL-OUT:
DRAWING NUMBER
SHEET REFERENCE
X A-X ELEVATION CALL-OUT:
VIEW DIRECTION
DRAWING NUMBER
SHEET REFERENCE
X A-X ELEVATION CALL-OUT:
VIEW DIRECTION
DRAWING NUMBER
SHEET REFERENCE
#X, A-X

ELEVATION MARKER

XXX-XX X/X" ELEVATION
BENCHMARK LOCATION REFERENCE
SPOT LOCATION
SECTION CUT CALL-OUT:
DRAWING REFERENCE
SECTION CUT LOCATION
X A-X SHEET REFERENCE
DIRECTION OF VIEW

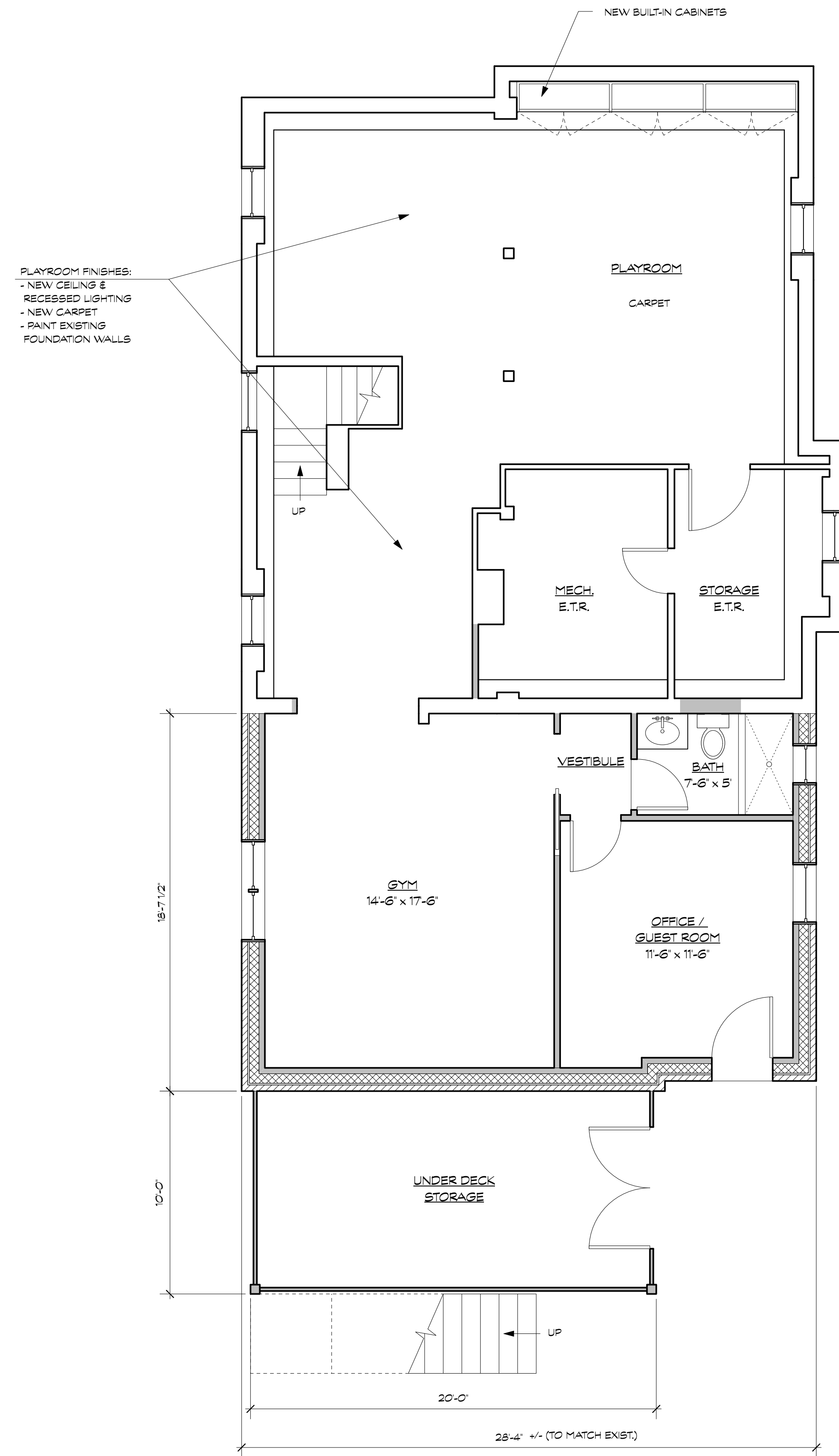
PROJECT DATA

JURISDICTION:
MONTGOMERY COUNTY, MD
BUILDING CODE:
2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:
SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:
SB - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:
NA

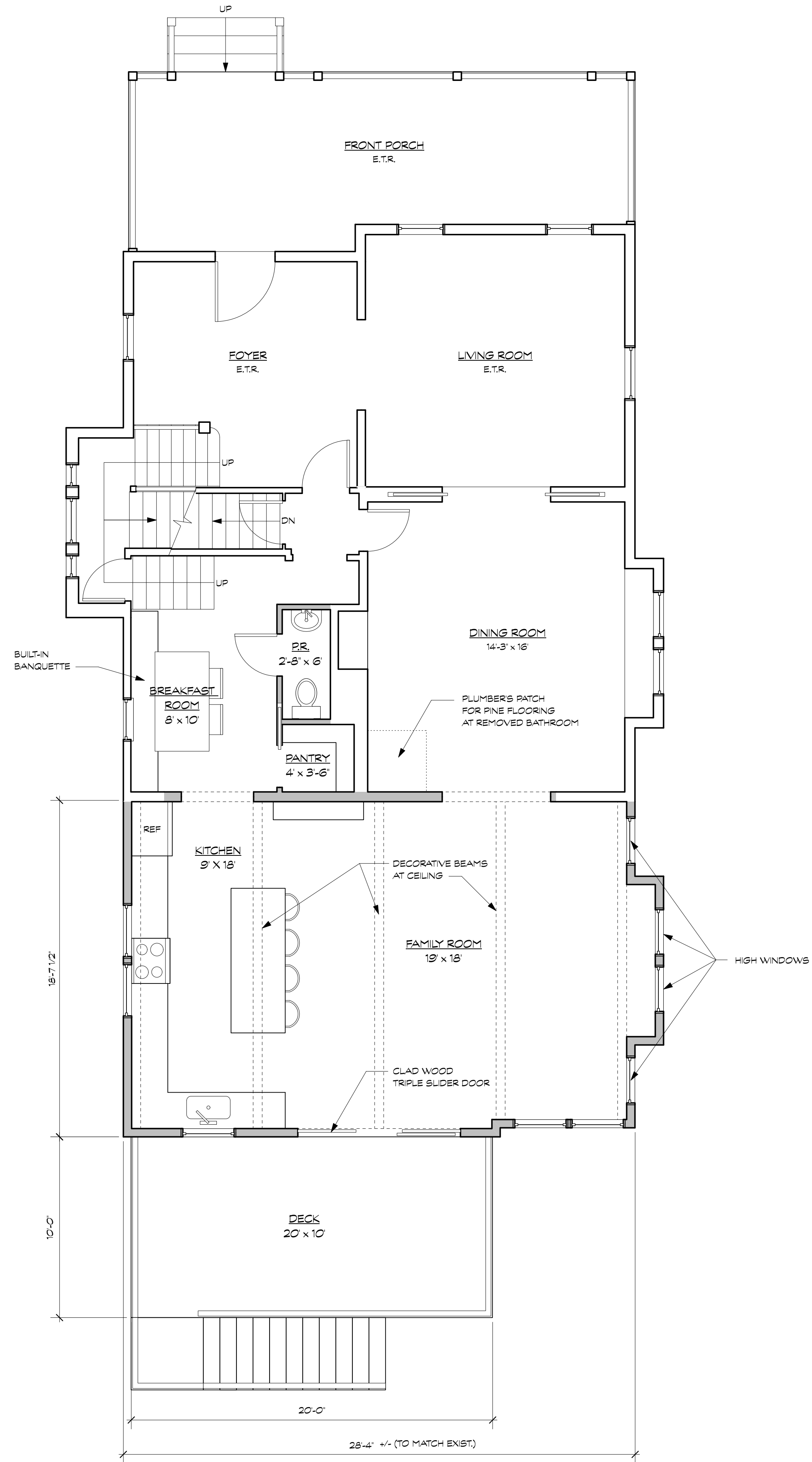
CERTIFICATION

LICENSE #: _____
EXPIRATION DATE: _____

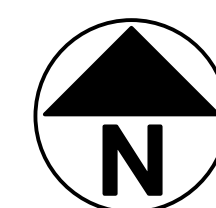
AKMAN VEEFER
#2120



1 PROPOSED BASEMENT PLAN
 Scale: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS

BENNETT FRANK MCCARTHY
architects, inc.
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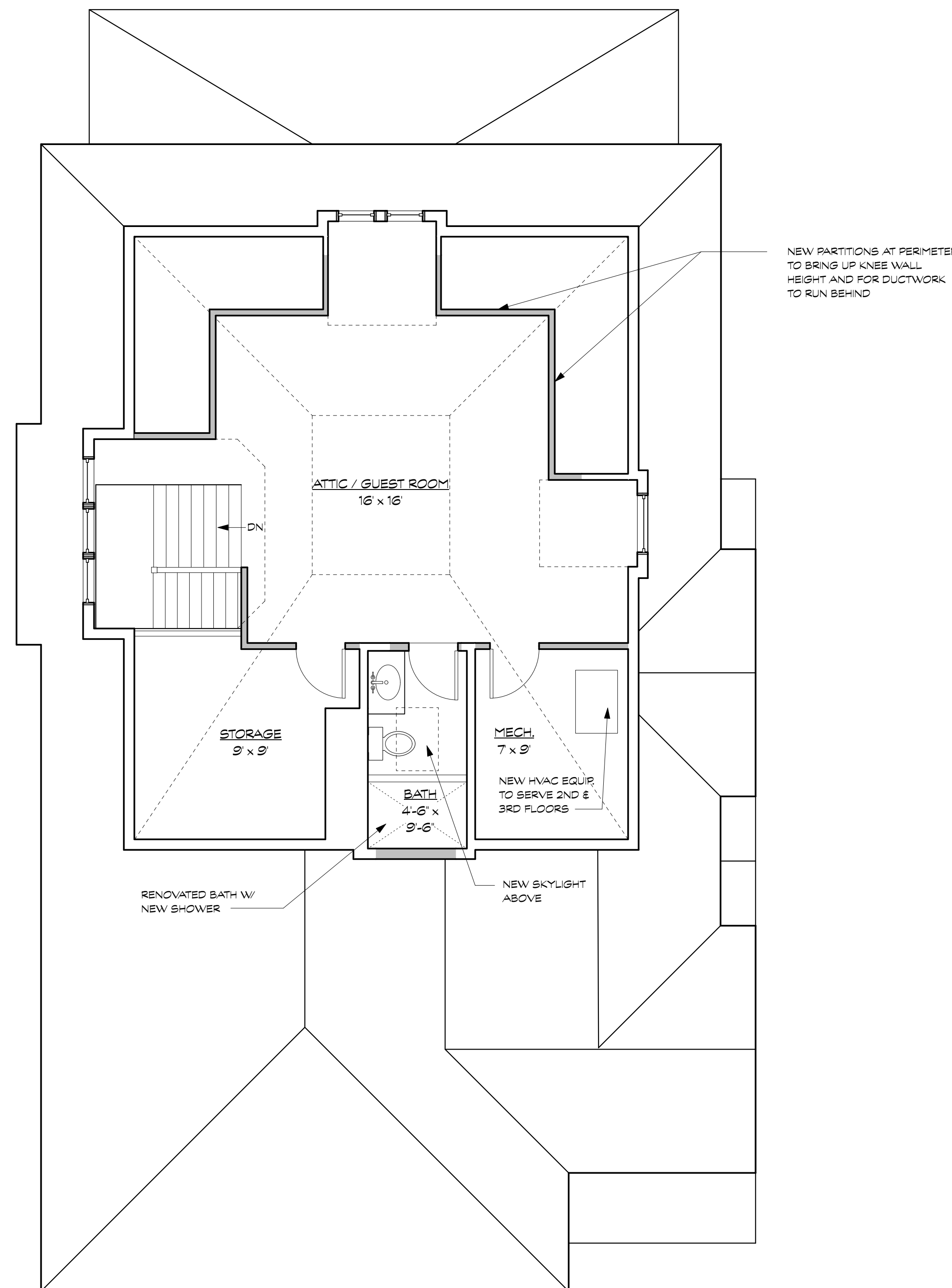
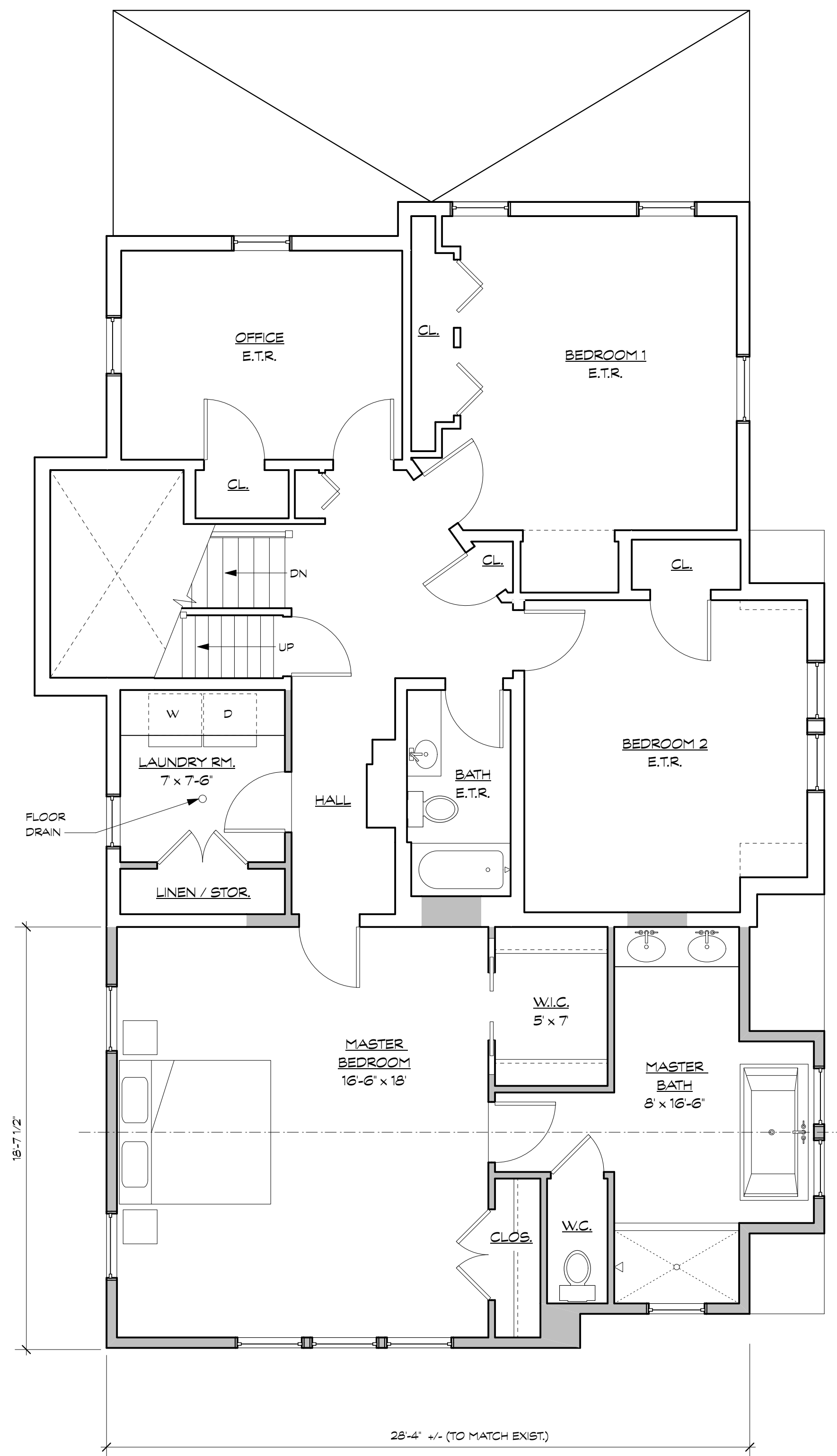
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AKMAN VEEFER RENOVATION
 3906 Washington Street, Kensington, MD 20895
 Project # 2120

**BASEMENT &
 FIRST FLOOR
 PLANS**
A100

24 SEPT. 2021 - PROGRESS SET



WALL LEGEND

	EXISTING WALLS AND PARTITIONS TO REMAIN
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS

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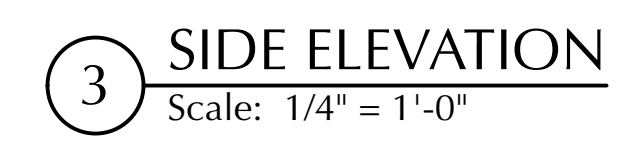
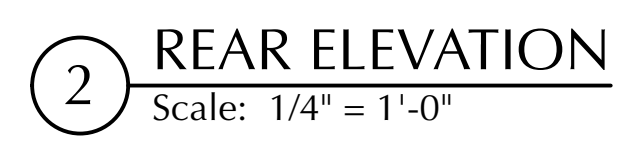
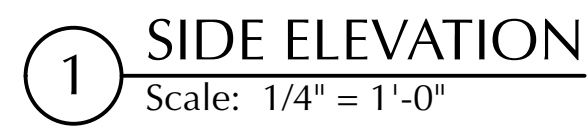
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Project # 2120

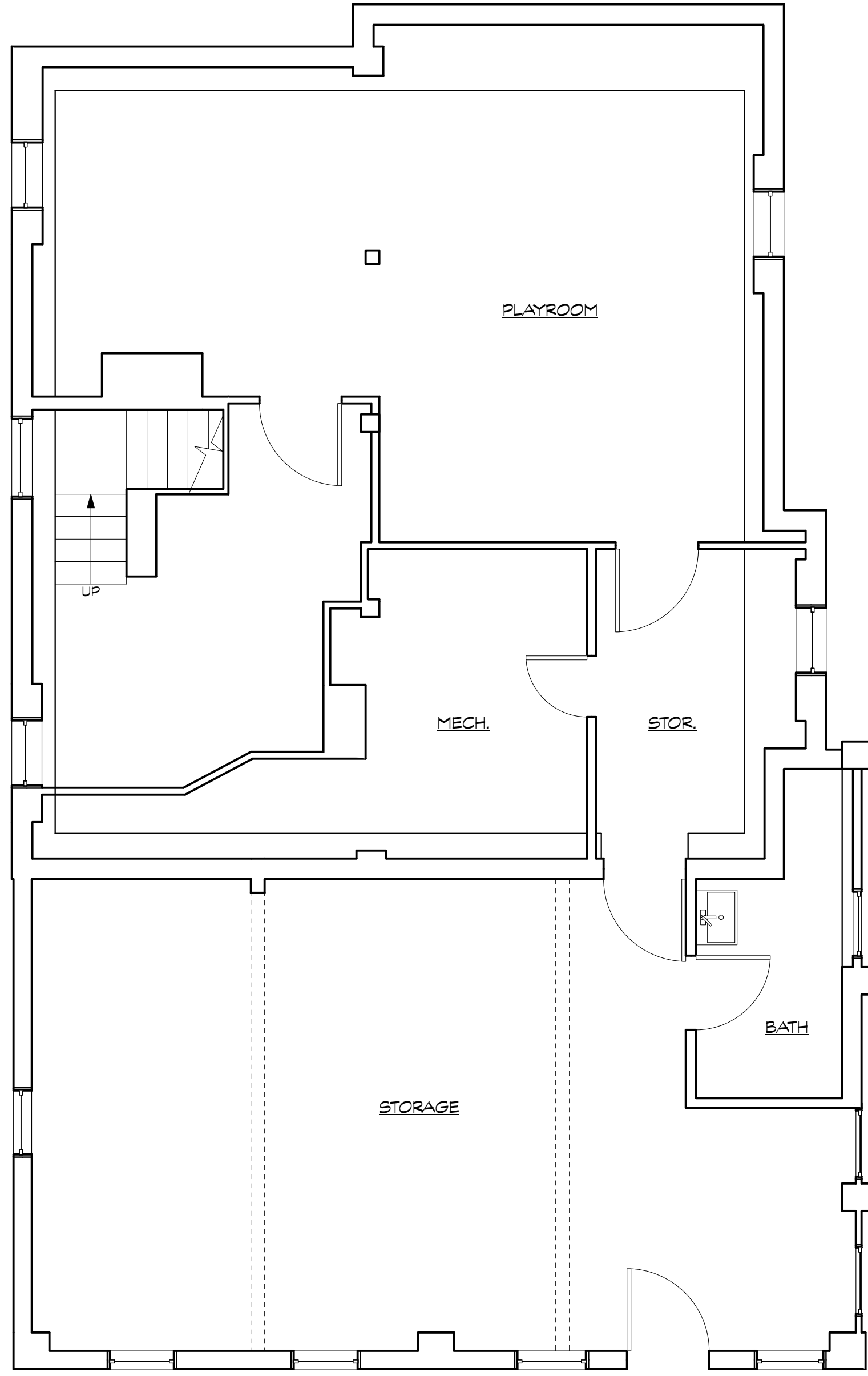
24 SEPT. 2021 - PROGRESS SET

SECOND & THIRD FLOOR PLANS

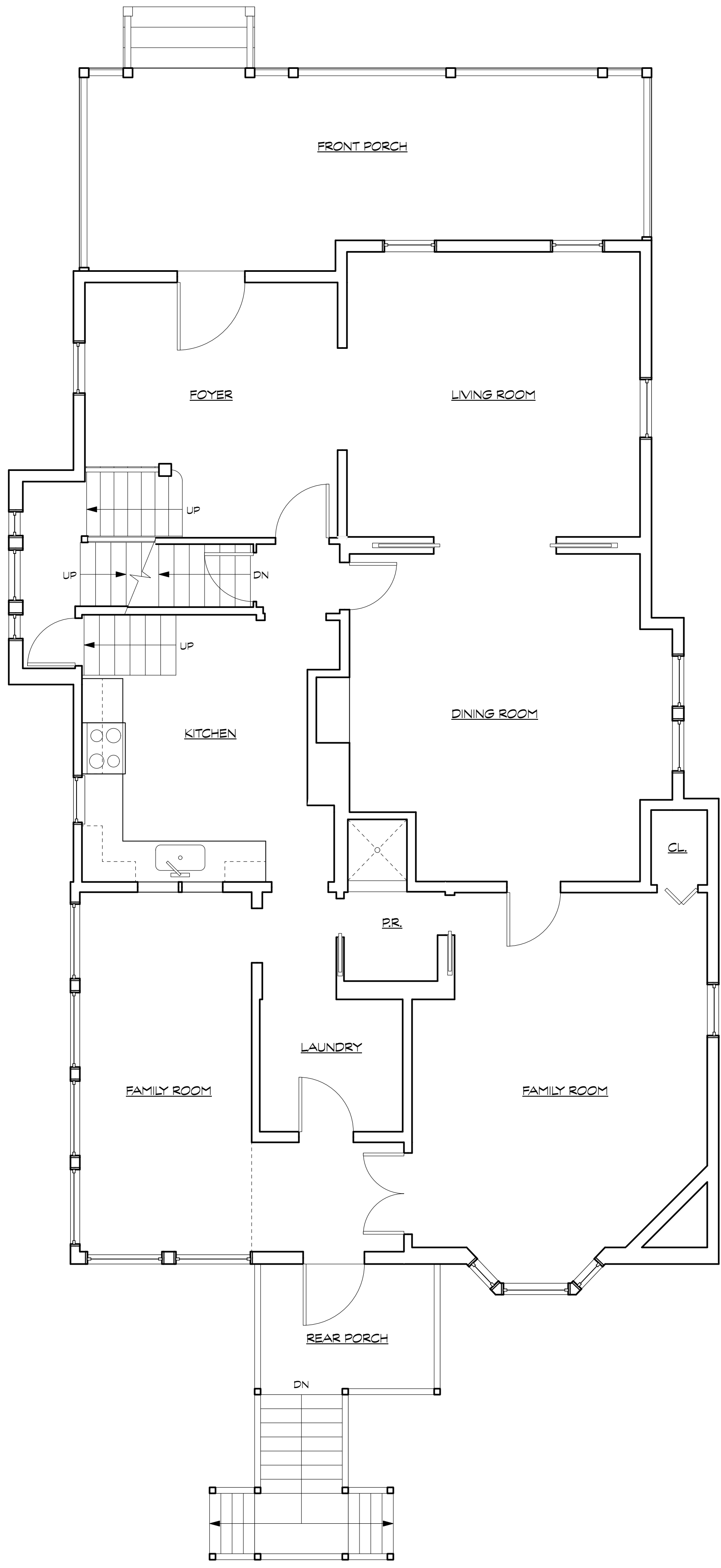
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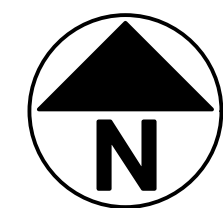
10



1 EXISTING BASEMENT PLAN
Scale: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS

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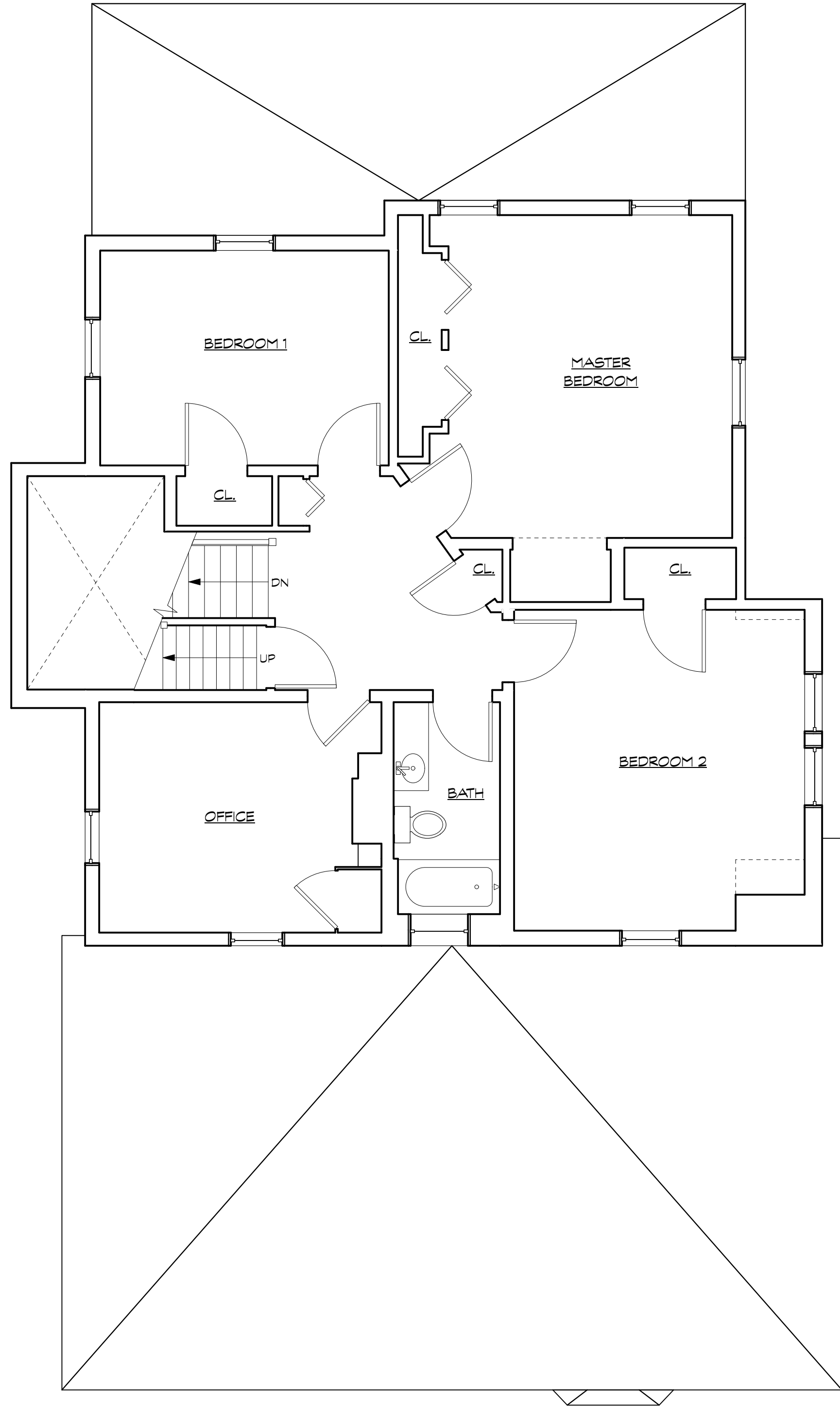
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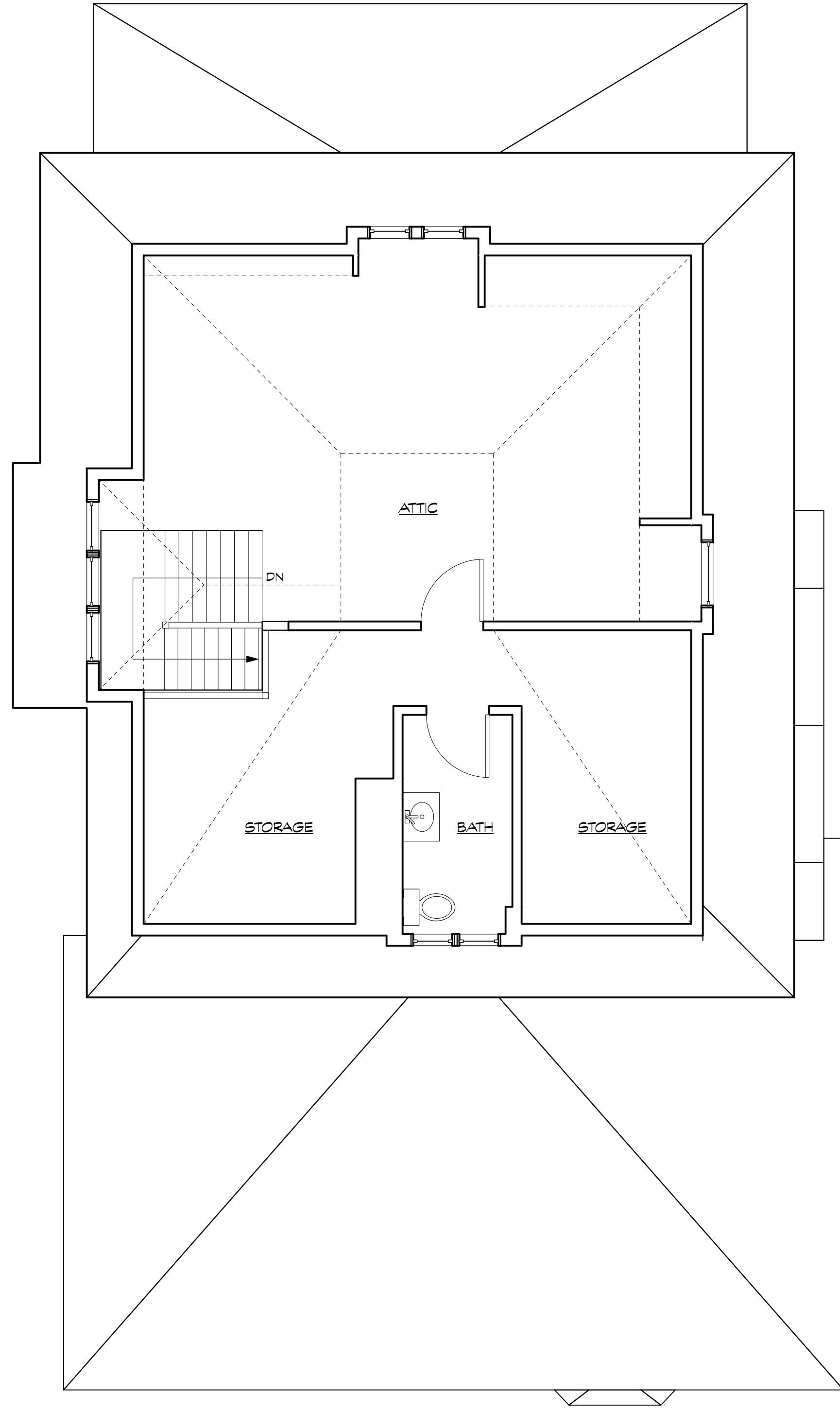
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EXISTING BASEMENT & FIRST FLOOR PLANS
EC100

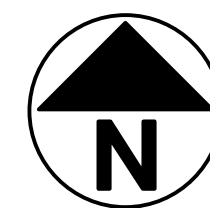
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1 EXISTING SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



2 EXISTING THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"



WALL LEGEND	
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	NEW LOW WALLS

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EXISTING SECOND & THIRD FLOOR PLANS

EC101

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1 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 EXISTING SIDE ELEVATION
Scale: 1/4" = 1'-0"

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Project # 2120

24 SEPT. 2021 - PROGRESS SET

EXISTING
ELEVATIONS

EC200



1 EXISTING REAR ELEVATION
Scale: 1/4" = 1'-0"



2 EXISTING SIDE ELEVATION
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Project # 2120

EXISTING
ELEVATIONS
EC201

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STREET FACADE

existing 1 story rear addition
to be removed / replaced
with new 2 story rear addition



existing 1 story rear addition to be removed /
replaced with new 2 story rear addition

REAR FACADE

original house mass

Text

previous 1 story rear addition
to be removed / replaced
with new 2 story rear addition

REAR FACADE

original house mass

previous 1 story rear addition
to be removed / replaced
with new 2 story rear addition