

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	22625 Whites Ferry Road, Dickerson	Meeting Date:	10/13/2021
Resource:	Master Plan Site #16/12 (<i>Warren Methodist Episcopal Church</i>)	Report Date:	10/6/2021
Applicant:	Warren Historic Site Committee Inc. and Elsie Thomas (Thomas Taltavull, Architect)	Public Notice:	9/29/2021
Review:	HAWP	Tax Credit:	Yes
Permit Number:	967907	Staff:	Michael Kyne
PROPOSAL:	Site work		

STAFF RECOMMENDATION:

☐ Approve
☒ Approve with conditions

1. The applicants must adhere to the conditions of approval, as stipulated in the MHT Easement Committee's September 21, 2021 letter.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site
 DATE: c. 1886-1903

Excerpt from *Places from the Past*:

This complex of buildings is one of the most important African-American sites in Montgomery County. This rural community still retains its three major civic buildings: church, school, and benefit society lodge. Martinsburg, which began as a pre-Civil War crossroads village, was unusual in being a bi-racial community. At least one black settler was free before the Civil War. After emancipation, former slaves remained here, purchased land, and continued to work as farmers or craftsmen. Warren M. E. Church was named for Isaac Warren, member of its first board of trustees and one of the few black landowners identified in the 1879 Hopkins Atlas of Montgomery County. Carpenter Scott Bell built the handsome Gothic-influenced church in 1903. Bell also constructed, in 1914, the Loving Charity Hall, the lodge hall for the Loving Charity Society, a community benefit group active throughout Maryland and headquartered in Richmond, Virginia. The large two-story hall served as a community center for plays, dances, lectures and other local events. It is one of the few surviving lodge halls in the state. The oldest building in the complex is the Martinsburg Negro School, probably built in 1886. The one-room school is a reminder of the unequal conditions for the education of blacks. One former teacher recalled out-dated textbooks cast off from white schools, and poorly paid teaching staff, yet recalled that every student was able to read and write, a remarkable achievement considering severely limited

resources.

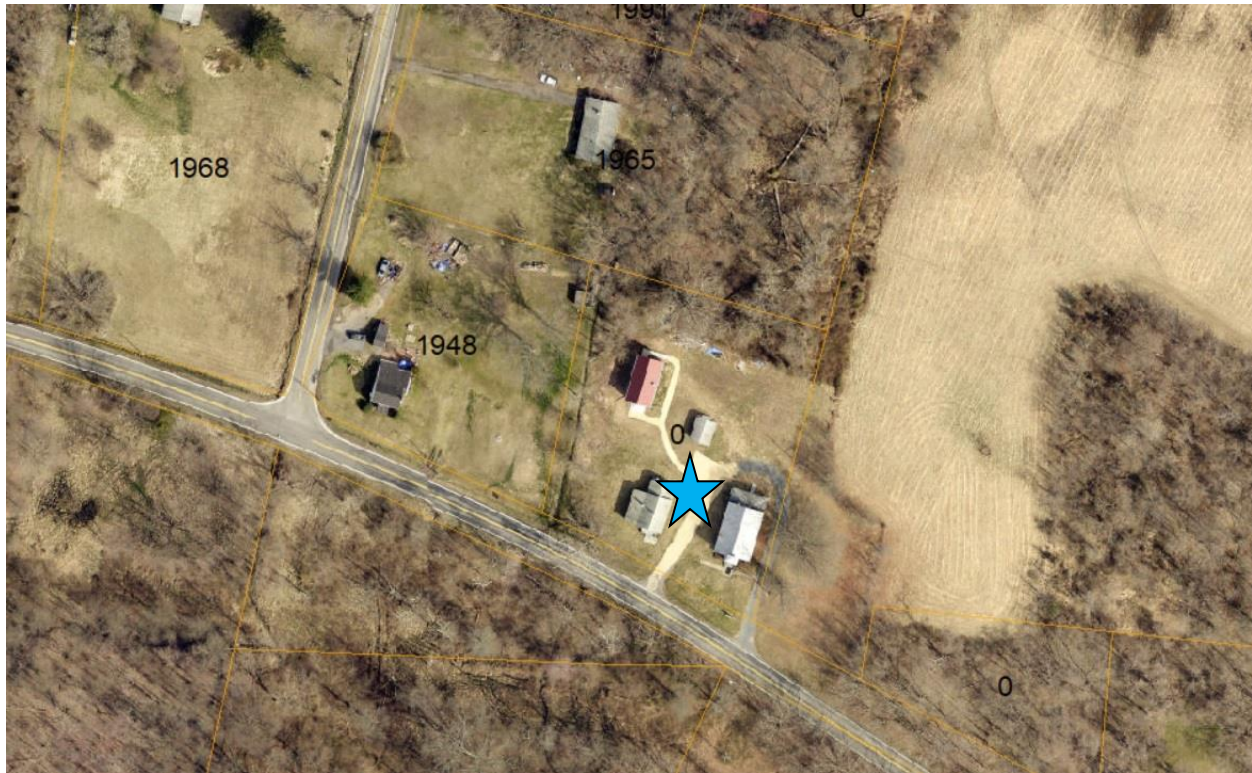


Fig. 1: Subject property, as marked by the blue star.

PROPOSAL:

The applicants propose to rehabilitate the school building by replacing the asphalt shingle roof in-kind, repairing the foundation, floor framing, and brick chimney, and installing metal gutters and downspouts.

Additionally, the church building will be rehabilitated, with repairs to the metal shingle roof, structural repairs to the bell tower, selected window and door repairs, removal of non-contributing brick planters, repair of the foundation and chimney, and installation of gutters and downspouts.

Per the Commission's policy regarding properties on which the Maryland Historical Trust (MHT) holds an easement, the applicants submitted their proposal for review by the MHT Easement Committee on August 4, 2021. The Easement Committee approved the applicants' proposal with conditions, as outlined in their September 21, 2021 letter (attached).

APPLICABLE GUIDELINES:

IV. The Expedited Staff Report format may be used on the following type of cases:

1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with the one (1) condition specified on Page 1** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1) and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 967907
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Warren Historic Site Committee, Inc.
Name: c/o Elsie Thomas
Address: PO Box 44
Daytime Phone: 301-972-7263

E-mail: kianacierra@verizon.net
City: Poolesville Zip: 20837
Tax Account No.: 00035225

AGENT/CONTACT (if applicable):

Thomas J. Taltavull, architect
Name: _____
Address: 20650 Plum Creek Court
Daytime Phone: 301-840-1847

E-mail: tom@tjtarchitects.com
City: Gaithersburg Zip: 20882
Contractor Registration No.: NA

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property M-16-12-12 Martinsburg School

Is the Property Located within an Historic District? Yes/District Name _____
X No/Individual Site Name Warren Historic Site

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 22625 Street: Whites Ferry Road
Town/City: Dickerson Nearest Cross Street: Martinsburg Road
Lot: _____ Block: _____ Subdivision: _____ Parcel: EBP 15 10

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>Rehabilitate Schoolhouse and Church</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas J. Taltavull architect Thomas J. Taltavull June 8, 2020
Signature of owner or authorized agent Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The Warren Historic Site is a designated historic district comprising of three key structures, the Warren UM Church (built in 1903), the one-room Martinsburg Negro School (built in 1886), and the Loving Charity Lodge Hall (built in 1914). These buildings comprise what was the nucleus for most African American communities founded in Maryland following the end of the Civil War through the beginning of the twentieth century. The Warren Site is the last in Maryland to retain all three structures. While the church and school continue to be used, the Loving Charity Hall which was in a dilapidated condition and was on Maryland's list of Endangered Sites has recently been reconstructed. The Warren Historic Site Committee is working to save this last vestige of a dying community that speaks to the resilience and determination of a people who, having started with nothing, managed to create a once thriving community.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed work is to rehabilitate the original schoolhouse by installing a new asphalt shingle roof to replace the existing, repairs to the foundation, floor framing and brick chimney, installation of metal gutters and downspouts.

The proposed work to the Church is to repair the metal shingle roofing, structural repairs to the bell tower, selected windows and doors, remove non contributing brick planters and repair the foundation and chimney. Installation of gutters and downspouts. See attached MHT Easement Change application for detailed overview of proposed work and photographs.

Work Item 1: _____	
Description of Current Condition: SEE ATTACHED MARYLAND HISTORIC TRUST EASEMENT CHANGE APPLICATION FOR ALL WORK ITEMS	Proposed Work:
Work Item 2: _____	
Description of Current Condition:	Proposed Work:
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

Adjacent and Confronting Properties:

Dickerson, MD 20842

18815 Martinsburg Road

19201 Martinsburg Road

22635 Whites Ferry Road

22614 Whites Ferry Road

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



Maryland
DEPARTMENT OF PLANNING
MARYLAND HISTORICAL TRUST

September 21, 2021

Thomas J. Taltavull
Architect
20650 Plum Creek Court
Gaithersburg, MD 20882

Re: Warren Historic Site, Montgomery County – Change/Alteration
Maryland Historical Trust Preservation Easement
FY2020 African American Heritage Preservation Program Grant

Dear Mr. Taltavull:

The Maryland Historical Trust (MHT) is in receipt of your applications, received on August 4, 2021, in conjunction with the FY2020 African American Heritage Preservation Program Grant, requesting approval to conduct multiple projects at the Church and School, including (for Church) to replace selective metal shingles to repair the metal tower roofing and repaint, to remove the vinyl siding at the bell tower and replace/repair where necessary and repaint, to remove the cement coating of the 1903 stone wall foundation and repoint, to remove existing non-historic brick planters and expose the original stone foundation, to restore the existing front doors, frames and transoms, and the front elevation windows, to install gutters and downspouts on the main church, bell tower, and rear addition, and to rebuild the chimney, and (for school) remove and replace the 3-tab asphalt shingle roof, remove and rebuild the kitchen addition foundation, repoint the stone wall foundation, remove and replace the existing kitchen floor and substructure, rebuild the brick chimney, and add new gutters and downspouts. MHT's Easement Committee (Committee) reviewed the information on August 24, 2021.

Based on the recommendation of the Committee, I grant conditional approval of the requests (for Church) to replace selective metal shingles to repair the metal tower roofing and repaint, to remove the vinyl siding at the bell tower and replace/repair where necessary and repaint, to remove the cement coating of the 1903 stone wall foundation and repoint, to remove existing non-historic brick planters and expose the original stone foundation, to restore the existing front doors, frames and transoms, and the front elevation windows, to install gutters and downspouts on the main church, bell tower, and rear addition, and to rebuild the chimney, and (for school) remove and replace the 3-tab asphalt shingle roof, remove and rebuild the kitchen addition foundation, repoint the stone wall foundation, remove and replace the existing kitchen floor and substructure, rebuild the brick chimney, and add new gutters and downspouts, provided the following conditions are met:

- It is understood that the replacement 3-tab asphalt shingle roof and the select metal roof shingles that require replacement will match the existing roofs in-kind. Approval is conditioned upon that fact.
- It is understood that a mortar analysis and proposed repointing mortar mix will be submitted for review and approval prior to any repointing being undertaken, to ensure that it will match

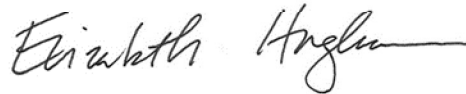
the existing historic mortar in size, design, color, texture, composition, strength, joint width, joint profile, and other visual qualities. It is also understood that power tools will not be used to remove failing mortar. Approval is conditioned upon those facts.

- Replacement of historic wooden features must be done selectively, based on the condition of individual elements. Documentation of the need for, and extent of, siding, trim, fascia, louver replacement must be reviewed and approved by MHT before proceeding with this work. Any must be in-kind, matching the existing in dimension, profile, material, and physical qualities. Neither composite nor pressure-treated wood is an approvable replacement material.
- The installation of new gutter and downspout systems must be minimally impactful to the historic exterior.

This work is consistent with the Secretary of the Interior's *Standards for Rehabilitation*, in particular *General Rehabilitation Standards 1, 2, 3, 5, 6 and 7*.

This approval is valid for a period of six months from the date of this letter. Should you require additional time to complete the project, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Casey DeHaven, Easement Administrator, by telephone at (410) 697-9545 or by email at casey.dehaven@maryland.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Elizabeth Hughes", with a long horizontal flourish extending to the right.

Elizabeth Hughes
Director
Maryland Historical Trust

EH/CD

Historic Preservation Easement Program Change/Alteration Request Application

*This form is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to initiate review of projects which require approval of the Director of the MHT as per the Deed of Easement. All **Change/Alteration Request Applications** must be submitted along with pertinent supplemental information in hard copy with an original signature. Easement Program staff will evaluate the application for completeness and may require additional information to facilitate review by the Easement Committee and Director. The application review period (as specified by each Deed of Easement) will not commence until Easement Program staff has deemed the application to be complete.*

Return the Change/Alteration Request Application, and other information to:
Kate Bolasky, Administrator, Historic Preservation Easement Program
Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032
(410) 697-9537/kate.bolasky@maryland.gov

Easement Property Information:

Name of Easement Property:		Warren United Methodist Church and Martinsburg School	
Alternative Name:		Warren Historic Site	
Address of Property:		22625 Whites Ferry Road	
		Dickerson , Maryland 20842	County: Montgomery
Maryland Inventory of Historic Places # (if known): (for more information visit http://mht.maryland.gov/research_survey.shtml)		M-16-12-19 Warren ME Church	
Scope of Easement:	<input checked="" type="checkbox"/> Exterior <input type="checkbox"/> Interior <input type="checkbox"/> Archaeology	Is the scope of work located inside the easement boundary?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
What does the Easement protect? (Check all that apply)			

*For a copy of the easement document, please contact Kathy Monday (410) 697-9575/ kathy.Monday@maryland.gov

Property Owner Information:

Name of Current Property Owner:		Warren Historic Site Committee, Inc. c/o Elsie Thomas	
Address of Property Owner: (If different than property address)		PO Box 44 Poolesville, Maryland 20837	
		Date of Purchase:	
Work/Home Telephone:	301.972.7263	Fax:	
Mobile Telephone:	301.466.6802	Email:	kianacierra@verizon.net

If application is completed by someone other than owner (only complete if applicable):

Name of Authorized Project Contact:		Thomas J. Taltavull,	
Relationship to owner:		Architect	
Address of Authorized Project Contact:		20650 Plum Creek Court, Gaithersburg, Maryland 20882	
Daytime Telephone:	301-840-1847	Fax:	
Mobile Telephone:	301-466-5270	Email:	tom@tjtarchitects.com

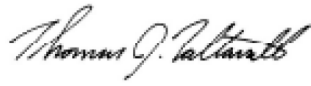
Project Funding Information:

Is this project being funded by any of the following sources? <i>Please check all that apply:</i>	<input type="checkbox"/> MHT Capital Grant (FY _____) <input type="checkbox"/> MHT Loan <input type="checkbox"/> MHAA Capital Grant (FY _____) <input checked="" type="checkbox"/> AAHPP Grant (FY <u>2020</u>) <input type="checkbox"/> Historic Tax Credits (<input type="checkbox"/> Residential/ <input type="checkbox"/> Commercial) <input type="checkbox"/> Bond Bill (Chapter _____/Year _____) <input type="checkbox"/> Other State/Federal Funding _____ <input checked="" type="checkbox"/> Other Funding <u>Montgomery County</u>
--	--

Please check that you have included the following information as part of your complete application:

<i>Required:</i> <input checked="" type="checkbox"/> Change/Alteration Request Application <input checked="" type="checkbox"/> Detailed Work Description <input checked="" type="checkbox"/> Printed Photographs & CD; properly labeled/identified	<i>As Necessary (Recommended):</i> <input checked="" type="checkbox"/> Site Plan/Drawings/Plans (dated <u>7/28/2021</u>) <input checked="" type="checkbox"/> Product Information/Specifications <input type="checkbox"/> Other _____
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The Easement Property Owner and/or the Authorized Proposal Contact is encouraged to keep a duplicated copy of all application information sent to the MHT, including photos and plans, as the MHT staff may need to discuss the application with the applicant prior to submission to the Easement Committee.


 Signature of Owner or Authorized Representative/Date: _____ / July 28, 2021

Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 1

Architectural/Landscape feature: Metal Shingle Roofing	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1930	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 2,3, 5	Drawing no. 3 & 4
Current roofing is a pressed metal "horseshoe" style shingle. The shingles appear in fair condition and have painted previously. Several shingles at the fascia board have been damaged.	It is proposed to inspect replace damaged shingles with similar style shingles, clean existing roofing shingles, removing loose existing paint, prime and two coats of finish paint. Repair all existing flashing with in kind material. See enclosed roofing shingle replacement product information.	

Work Item # 2

Architectural/Landscape feature: Bell Tower	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1930	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 1,2,3,5	Drawing no. 3, 4
Existing Bell tower framing has rotted wall framing and original wood siding, mostly the corner studs. Bell tower sheet metal roof is leaking and needs to be inspected. Existing wood fascia, corner boards are currently covered with metal and vinyl siding. Existing wood trim and louvers at bell location at top of tower are not covered in metal and show signs of rot and deterioration.	Repair metal tower roofing and repaint. Existing wood trim and louvers at bell tower top to be repaired and repainted. Remove vinyl siding at Bell tower to expose original wood siding and framing. Replace any damage or rotted siding and framing, repaint siding. Any replaced Siding and Framing to match original.	

Work Item # 3

Architectural/Landscape feature: Stone Foundation Wall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1903	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 1,2,5,6	Drawing no. 3,4
Existing Seneca sandstone foundation exhibits signs of movement due to mortar loss. Some stones have fallen out of wall. Wall has been coated with cement and paint previously. Cement coating and paint are peeling off.	Remove cement coating and paint. Remove all loose mortar. Hand tools will be used for the removal of deteriorating mortar. Removing cement coating and deteriorated mortar will be done in the method which has the least threat of damage to the historic masonry. Power tools will not be used. Owner will provide a mortar analysis and submit the proposed repointing mortar mix, which will be dictated by the mortar analysis report. Repointing mortar will match the color, texture, strength, joint width, and joint profile of the existing historic mortar.	

** Please print this page again to include as many work items as necessary.*

Work Item # 4

Architectural/Landscape feature: Brick Planters	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1960's	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 1, 2, 7	Drawing no. 2,3
Non Contributing Brick Planters at south front of Church are non original and in poor condition.	Remove existing non contributing brick planters and expose original stone foundation wall.	

Work Item # 5

Architectural/Landscape feature: Front Doors, Transom Windows	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1930's	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 1,2,7	Drawing no. 2,3,4
Existing Front doors, frame, transoms and windows and hardware are in fair condition.	Restore existing doors, frames, transoms and front elevation windows, and hardware. Repair and Paint.	

** Please print this page again to include as many work items as necessary.*

Work Item # 6

Architectural/Landscape feature: Gutters and Downspouts	Describe, in detail, the proposed work and impact on existing feature:
Approximate date of feature: Unknown	<i>Be sure to include details and specifications on proposed products</i>
Describe existing feature and its condition: Currently the building does not have gutters and Downspouts. The rain from roof has caused erosion to the grades at the foundation walls due to lack of gutters and has contributed to the deterioration of the mortar and stone loss.	Photo no. 1,2,3,4,5 Drawing no. 3,4 The proposed work is to install 6" half round gutters and 4" diameter downspouts on Main Church and 5" half round gutters and 3" half round downspouts at Bell Tower and Rear Addition. Gutters and downspouts to be galvalume mill finish .

Work Item # 7

Architectural/Landscape feature: Brick Masonry Chimney	Describe, in detail, the proposed work and impact on existing feature:
Approximate date of feature: 1903	<i>Be sure to include details and specifications on proposed products</i>
Describe existing feature and its condition: Existing brick masonry chimney has fallen down and is in poor condition. Owner has salvaged and stored brick from the chimney on site.	Photo no. 5 Drawing no. 2, 3, 4 Rebuild chimney using original brick on site. Mortar to be lime based mortar to match the color, texture, strength, joint width, and joint profile of the existing historic mortar.

** Please print this page again to include as many work items as necessary.*



Photo 1 -Warren ME Church - South Elevation View - June 24, 2020



Photo 2 -Warren ME Church - East Elevation View - June 24, 2020



Photo 3 -Warren ME Church - Oblique North East View - June 24, 2020



Photo 4 -Warren ME Church - North Elevation View - June 24, 2020



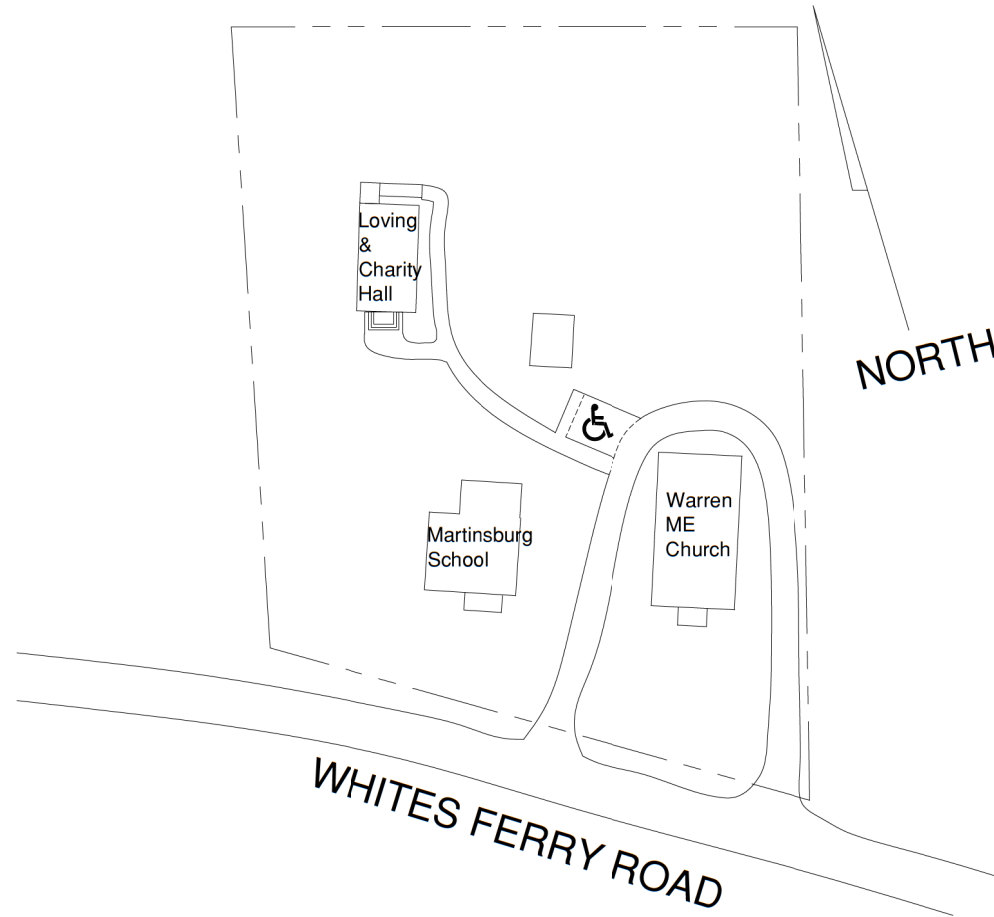
Photo 5 -Warren ME Church - West Elevation View - June 24, 2020



Photo 6 -Warren ME Church - West Elevation Foundation View - June 24, 2020



Photo 7 - Warren ME Church - West Elevation Windows View - June 24, 2020



SITE PLAN
1" = 20'

1



THOMAS J. TALTAVALL
ARCHITECT
2004 N. LANCASTER COURT
DARTHERSBURG, MARYLAND 20842
301.840.1947

Professional Certification:
I hereby certify that these
documents were prepared
or approved by me, and that
I am a duly licensed
architect under the laws of
the State of Maryland.
License No. 9083,
Expiration Date: 6-13-2022.



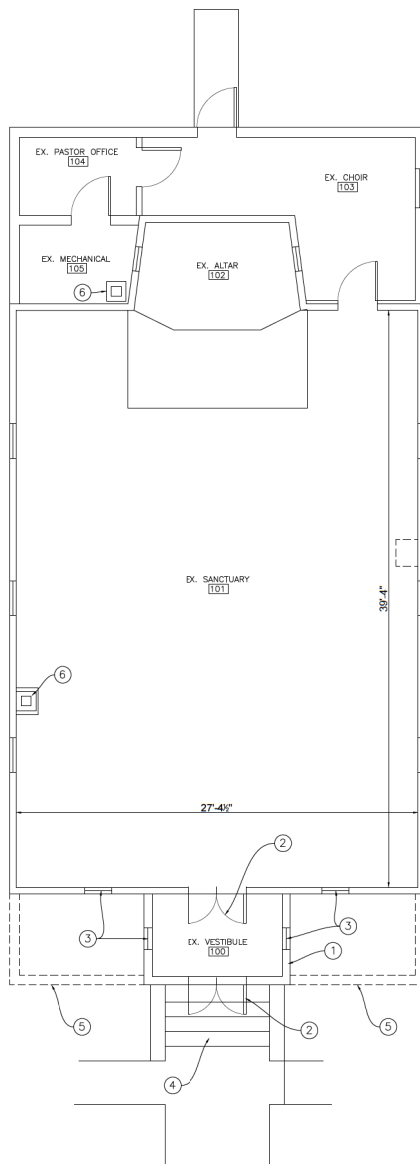
Revisions	EXISTING SITE PLAN
Drawing Title	

Date: July 28, 2021

Rehabilitations to :
WARREN M. E. CHURCH
WARREN HISTORIC SITE COMMITTEE, INC.
22625 Whites Ferry Road
Dickerson, Maryland 20842

Drawing Number

1



- EXISTING FLOOR PLAN NOTES:
- ① EXISTING EXTERIOR WALLS TO REMAIN. ALL DETERIORATED OR DAMAGED EXISTING FRAMING SHALL BE REPAIRED WITH IN KIND FRAMING.
 - ② EXISTING ORIGINAL WOOD DOORS, FRAME AND TRIM TO BE RESTORED AND REFINISHED. EXISTING HARDWARE TO BE REPAIRED AND RESTORED.
 - ③ EXISTING FRONT WOOD TRANSOMS, WINDOWS AND TRIM, RESTORE TO ORIGINAL CONDITION. ANY DAMAGED, MISSING OR DETERIORATED PARTS TO BE REPLACED WITH IN KIND MATERIALS. TYPICAL ALL WINDOWS
 - ④ EXISTING CONCRETE PORCH AND STEPS TO REMAIN.
 - ⑤ EXISTING NON CONTRIBUTING BRICK PLANTERS AND STEP FACING TO BE REMOVED.
 - ⑥ EXISTING MASONRY CHIMNEY TO REMAIN AND BE REPAIRED.

THOMAS J. TALTAVULL
ARCHITECT
2000 W. LANCASTER COURT
DARTMOUTH, MARYLAND 20842
301.840.1847

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License No. 9083. Expiration Date: 6-13-2022.

Professional Seal
STATE OF MARYLAND
JULY 28, 2022
THOMAS J. TALTAVULL
ARCHITECT

Revisions
Drawing Title
EXISTING FLOOR PLAN

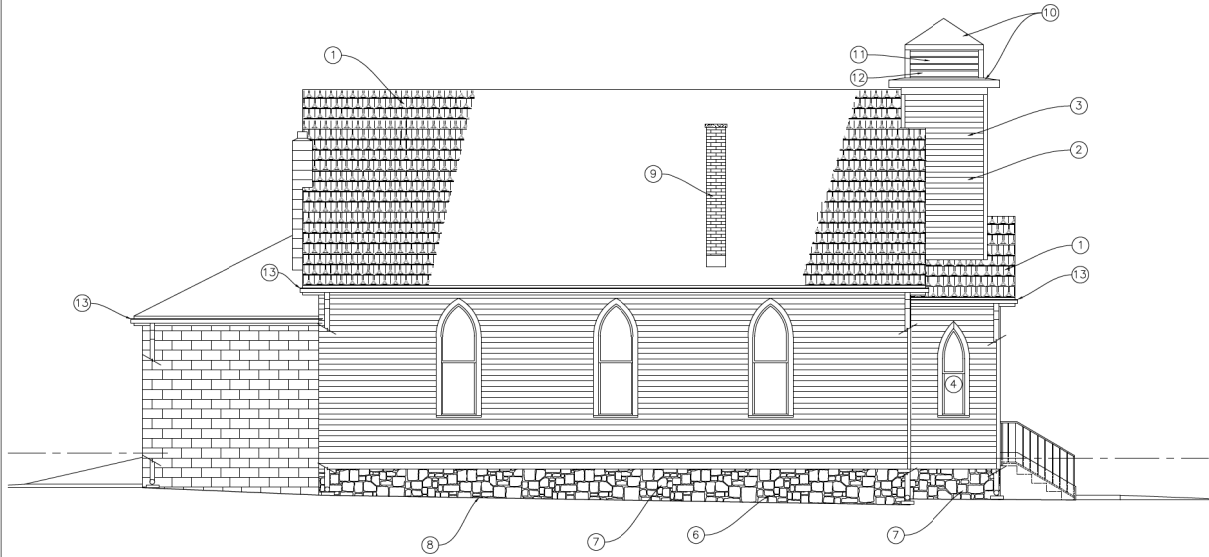
Date: July 28, 2021

Rehabilitations to :
WARREN M. E. CHURCH
WARREN HISTORIC SITE COMMITTEE, INC.
22625 Whites Ferry Road
Dickerson, Maryland 20842

Drawing Number
2

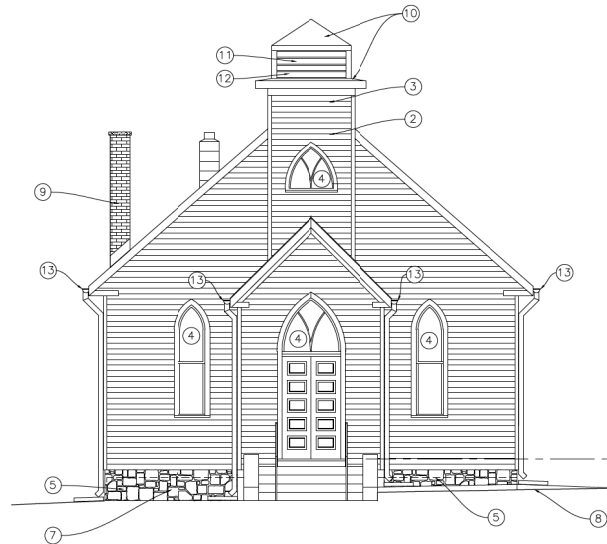
© Thomas J. Taltavull, Architect 2020/04 Rights Reserved

EXISTING FIRST FLOOR PLAN
1/4" = 1' - 0"



EXISTING WEST ELEVATION
1/4" = 1' - 0"

3



EXISTING SOUTH ELEVATION
1/4" = 1' - 0"

2

EXISTING ELEVATION NOTES
1/4" = 1' - 0"

- EXISTING ELEVATION NOTES:**
- ① EXISTING METAL SHINGLE ROOFING TO BE REPAIRED, AND REPAINTED. ALL RELATED METAL FLASHING TO BE EVALUATED AND REPAIRED WITH SIMILAR MATERIAL.
 - ② EXISTING VINYL SIDING TO BE REMOVED AT BELL TOWER TO ALLOW FOR INSPECTION OF EXISTING SIDING AND FRAMING.
 - ③ EXISTING WOOD FRAMING AT BELL TOWER TO BE EXPOSED AND EVALUATED BY STRUCTURAL ENGINEER. DETERIORATED OR DAMAGED FRAMING TO BE REPLACED WITH IN KIND FRAMING.
 - ④ EXISTING WINDOWS TO BE RESTORED
 - ⑤ EXISTING NON CONTRIBUTING BRICK PLANTERS AND STEP FACING TO BE REMOVED.
 - ⑥ EXISTING CEMENT PARGING AND PAINT TO BE REMOVED.
 - ⑦ EXISTING STONE FOUNDATION WALL TO BE REPAIRED AND REPOINTED.
 - ⑧ LINE OF EXISTING GRADE TO REMAIN CONTRACTOR SHALL PROVIDE POSITIVE SLOPE AWAY FROM BUILDING.
 - ⑨ EXISTING NON FUNCTIONING MASONRY CHIMNEY TO BE REPAIRED, SEAL TOP WITH 2.25" CONCRETE CAP. 1" OVERHANG ALL SIDES.
 - ⑩ METAL BELL TOWER ROOFING TO BE REPAIRED AND REPAINTED.
 - ⑪ EXISTING WOOD TRIM AND LOUVERS TO BE REPAIRED AND REPAINTED.
 - ⑫ EXISTING BELL TO BE RESTORED TO WORKING ORDER.
 - ⑬ NEW 6" HALF ROUND GUTTERS AND 4" DOWNSPOUT TO BE IN KIND GALVALUME. PROVIDE NEW CONCRETE SPLASHBLOCK.

1



THOMAS J. TALTAUILL
ARCHITECT
2000 N. LAMAR AVENUE, SUITE 200
DARTMOUTH, MASSACHUSETTS 01922
301.840.1947

Professional Certification:
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documents were prepared
or approved by me, and that
I am a duly licensed
architect under the laws of
the State of Maryland.
License No. 9083,
Expiration Date: 6-13-2022.



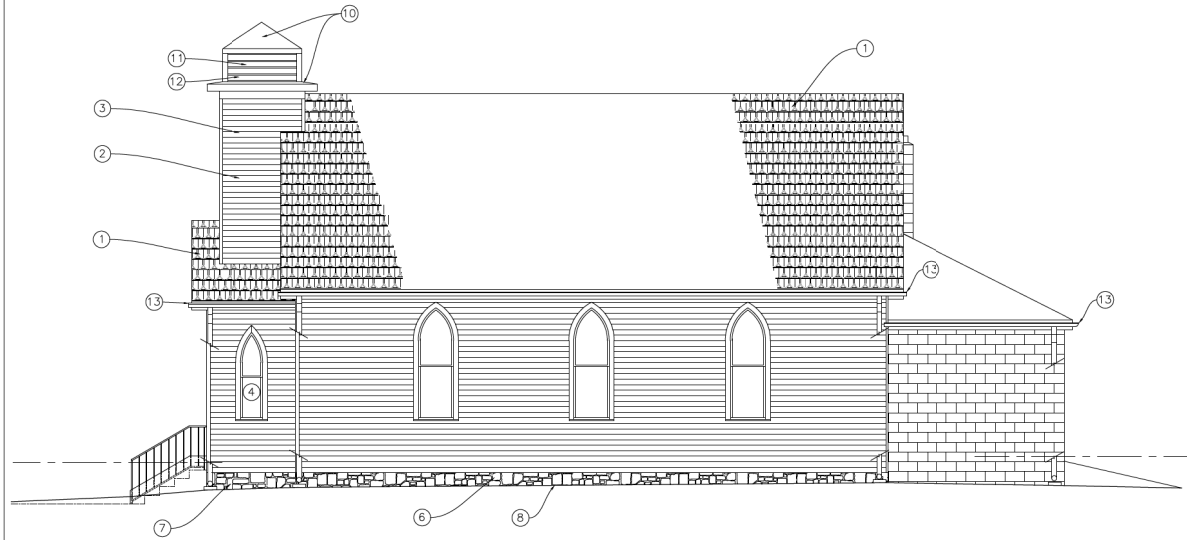
Revisions
Drawing Title
EXISTING ELEVATIONS

Date: July 28, 2021

Rehabilitations to :
WARREN M. E. CHURCH
WARREN HISTORIC SITE COMMITTEE, INC.
22625 Whites Ferry Road
Dickerson, Maryland 20842

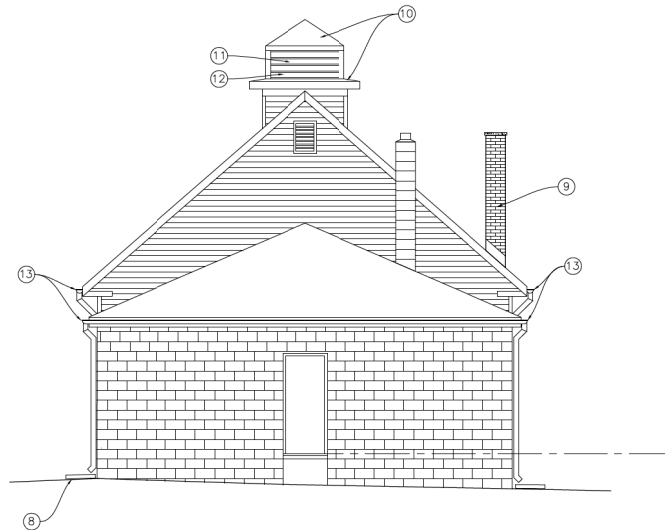
Drawing Number

3



EXISTING EAST ELEVATION
1/4" = 1' - 0"

3



EXISTING NORTH ELEVATION
1/4" = 1' - 0"

2

EXISTING ELEVATION NOTES
1/4" = 1' - 0"

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Drawing Title

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WARREN HISTORIC SITE COMMITTEE, INC.
22625 Whites Ferry Road
Dickerson, Maryland 20842

Drawing Number

4

EXISTING ELEVATIONS

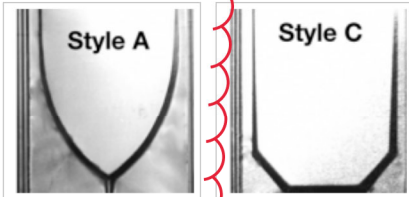
[Open for Business! COVID-19 UPDATES >>](#)

Proposed roofing repair shingle for Warren ME Church

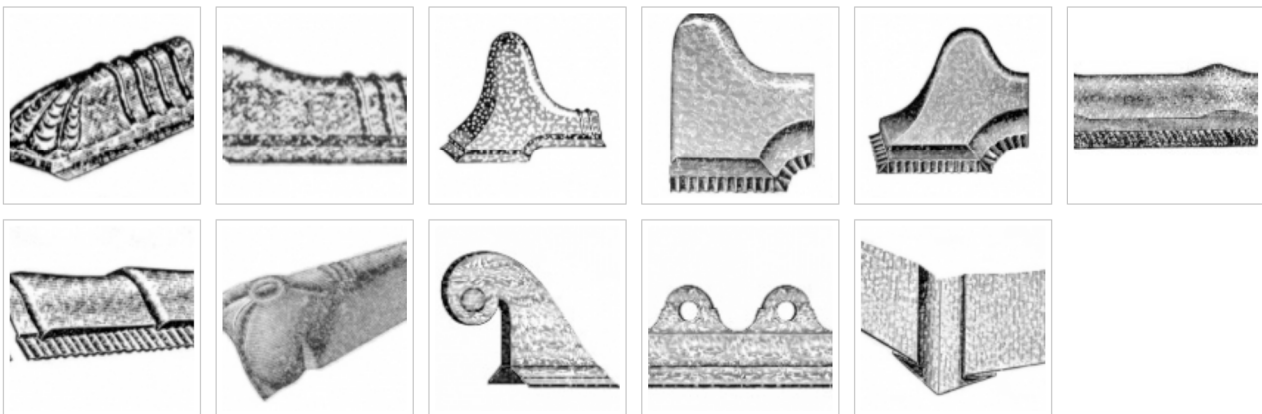
[HOME](#) [ABOUT](#) [PRODUCTS](#) [PRICING](#) [HOW TO](#) [BLOG](#) [CONTACT](#)

Roofing

Our original 1908 line of W. F. Norman Victorian Roof Shingles are still available with a variety of hip and ridge finishes. Norman shingles are produced in galvanized steel or solid copper. **PLEASE NOTE: Galvanized steel from the factory can vary in color and shine from one piece to another. If left unpainted they may discolor unevenly after installation. If color variation is not acceptable, we recommend the galvanized be painted.**



These two classic styles A and C are offered, along with ornamental ridge tiles, finials, hip shingles, cresting and folded valley needed for installation. Click on the thumbnails to view larger images of roofing parts, pricing, and additional details.



[SHIPPING](#)

[CONTACT](#)



Historic Preservation Easement Program Change/Alteration Request Application

*This form is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to initiate review of projects which require approval of the Director of the MHT as per the Deed of Easement. All **Change/Alteration Request Applications** must be submitted along with pertinent supplemental information in hard copy with an original signature. Easement Program staff will evaluate the application for completeness and may require additional information to facilitate review by the Easement Committee and Director. The application review period (as specified by each Deed of Easement) will not commence until Easement Program staff has deemed the application to be complete.*

Return the Change/Alteration Request Application, and other information to:
Kate Bolasky, Administrator, Historic Preservation Easement Program
Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032
(410) 697-9537/kate.bolasky@maryland.gov

Easement Property Information:

Name of Easement Property:		Warren United Methodist Church and Martinsburg School	
Alternative Name:		Warren Historic Site	
Address of Property:		22625 Whites Ferry Road	
		Dickerson , Maryland 20842	County: Montgomery
Maryland Inventory of Historic Places # (if known): (for more information visit http://mht.maryland.gov/research_survey.shtml)		M-16-12-12 Martinsburg School	
Scope of Easement:	<input checked="" type="checkbox"/> Exterior <input type="checkbox"/> Interior <input type="checkbox"/> Archaeology	Is the scope of work located inside the easement boundary?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
What does the Easement protect? (Check all that apply)			

*For a copy of the easement document, please contact Kathy Monday (410) 697-9575/ kathy.Monday@maryland.gov

Property Owner Information:

Name of Current Property Owner:		Warren Historic Site Committee, Inc. c/o Elsie Thomas	
Address of Property Owner: (If different than property address)		PO Box 44 Poolesville, Maryland 20837	
		Date of Purchase:	
Work/Home Telephone:	301.972.7263	Fax:	
Mobile Telephone:	301.466.6802	Email:	kianacierra@verizon.net

If application is completed by someone other than owner (only complete if applicable):

Name of Authorized Project Contact:		Thomas J. Taltavull,	
Relationship to owner:		Architect	
Address of Authorized Project Contact:		20650 Plum Creek Court, Gaithersburg, Maryland 20882	
Daytime Telephone:	301-840-1847	Fax:	
Mobile Telephone:	301-466-5270	Email:	tom@tjtarchitects.com

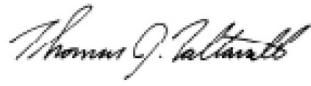
Project Funding Information:

Is this project being funded by any of the following sources? <i>Please check all that apply:</i>	<input type="checkbox"/> MHT Capital Grant (FY ____) <input type="checkbox"/> MHT Loan <input type="checkbox"/> MHAA Capital Grant (FY ____) <input checked="" type="checkbox"/> AAHPP Grant (FY 2020) <input type="checkbox"/> Historic Tax Credits (<input type="checkbox"/> Residential/ <input type="checkbox"/> Commercial) <input type="checkbox"/> Bond Bill (Chapter ____/Year ____) <input type="checkbox"/> Other State/Federal Funding ____ <input checked="" type="checkbox"/> Other Funding <u>Montgomery County</u>
--	---

Please check that you have included the following information as part of your complete application:

Required: <input checked="" type="checkbox"/> Change/Alteration Request Application <input checked="" type="checkbox"/> Detailed Work Description <input checked="" type="checkbox"/> Printed Photographs & CD; properly labeled/identified	As Necessary (Recommended): <input checked="" type="checkbox"/> Site Plan/Drawings/Plans (dated ____) <input checked="" type="checkbox"/> Product Information/Specifications <input type="checkbox"/> Other ____
---	--

The Easement Property Owner and/or the Authorized Proposal Contact is encouraged to keep a duplicated copy of all application information sent to the MHT, including photos and plans, as the MHT staff may need to discuss the application with the applicant prior to submission to the Easement Committee.

Signature of Owner or Authorized Representative/Date:  / July 28, 2021

Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 1

Architectural/Landscape feature: Asphalt Shingle Roofing	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1970's	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no.	Drawing no.
Current roofing is asphalt shingles. The shingles are in poor condition.	It is proposed to remove existing asphalt shingle roofing, repair any damage plywood sheathing and install a new asphalt shingle roof and any related flashing. See attached proposed shingle style and manufacturer.	

Work Item # 2

Architectural/Landscape feature: Kitchen Addition Concrete Masonry Unit (CMU) Foundation Wall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1960's	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
1960's Kitchen Addition at West Side CMU foundation wall has failed creating a hole in the foundation. Owner has filled hole with brick rubble.	Remove brick rubble and rebuild CMU wall. Mortar will match the color, texture, strength, joint width, and joint profile of the existing mortar.	

Work Item # 3

Architectural/Landscape feature: Stone Foundation Wall	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1903	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
Existing Seneca sandstone foundation exhibits signs of movement due to mortar loss. Some stones have fallen out of wall.	Remove all loose mortar. Hand tools will be used for the removal of deteriorating mortar. Removing cement coating and deteriorated mortar will be done in the method which has the least threat of damage to the historic masonry. Power tools will not be used. Owner will provide a mortar analysis and submit the proposed repointing mortar mix, which will be dictated by the mortar analysis report. Repointing mortar will match the color, texture, strength, joint width, and joint profile of the existing historic mortar.	

** Please print this page again to include as many work items as necessary.*

Work Item # 4

Architectural/Landscape feature: Kitchen Wing Floor Framing	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1960's	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
Existing wall plate, floor framing and plywood subfloor have deteriorated and floor is unsafe.	Remove existing deteriorated wood plate, floor joists and plywood subfloor. Replace wood plate with pressure treated plate. Remove damaged/deteriorated floor joists and subfloor and reframe with pressure treated joists. Joists and subfloor will be same size as existing.	

Work Item # 5

Architectural/Landscape feature: Brick Chimney	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1900's	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
Existing mortar has failed at chimney above roof and bricks were falling to ground. Water is infiltrating at chimney location. Owner took chimney down to below the roof and installed temporary covering. Existing brick chimney only extended down to top of ceiling and is improperly supported.	Reinforce ceiling framing to properly carry masonry chimney, rebuild chimney with existing brick on site. Mortar will match the color, texture, strength, joint width, and joint profile of the existing historic mortar.	

** Please print this page again to include as many work items as necessary.*

Work Item # 6

Architectural/Landscape feature: Gutters and Downspouts	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: Unknown	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.
Currently the building does not have gutters and Downspouts. The rain from roof has caused erosion to the grades at the foundation walls due to lack of gutters and has contributed to the deterioration of the mortar and stone loss.	The proposed work is to install 5" half round and 3" diameter downspouts and concrete splashblocks. Gutters and downspouts to be galvalume mill finish.	

Work Item #

Architectural/Landscape feature:	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature:	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.

** Please print this page again to include as many work items as necessary.*



Photo 1 -Martinsburg School- South Elevation View - June 24, 2020



Photo 2- Martinsburg School - East Elevation View - June 24, 2020



Photo 3- Martinsburg School - North Elevation View - June 24, 2020



Photo 4- Martinsburg School - West Elevation View - June 24, 2020



Photo 5- Martinsburg School - West Kitchen Addition Foundation Elevation View - June 24, 2020



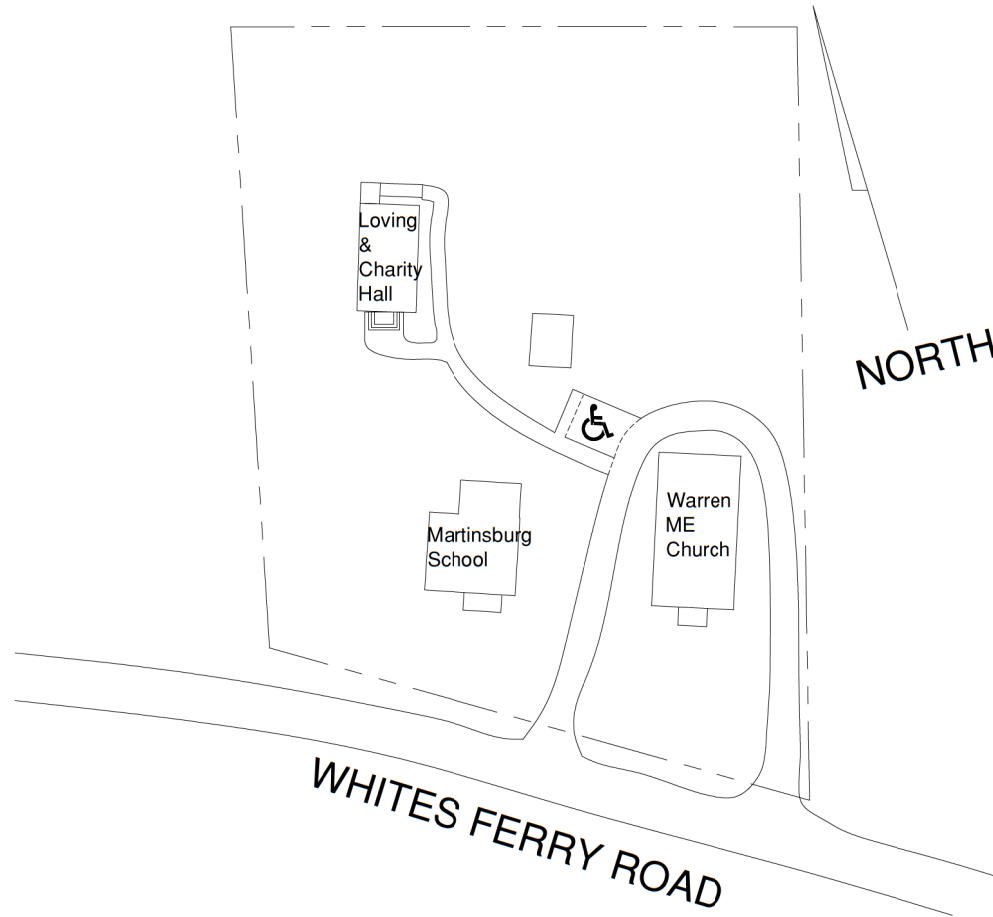
Photo 6- Martinsburg School - Attic Chimney View - June 24, 2020



Photo 7- Martinsburg School - East Elevation Foundation View - June 24, 2020



Photo 8- Martinsburg School - Oblique NorthEast Elevation View - Oct 5, 2020



EXISTING SITE PLAN
1" = 20'



THOMAS J. TALTAUILL
ARCHITECT
2004 N. LANCASTER COURT
DARTMOUTH, MASSACHUSETTS 01922
301.840.1947

Professional Certification:
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License No. 9083,
Expiration Date: 6-13-2022.



Revisions
Drawing Title
EXISTING SITE PLAN

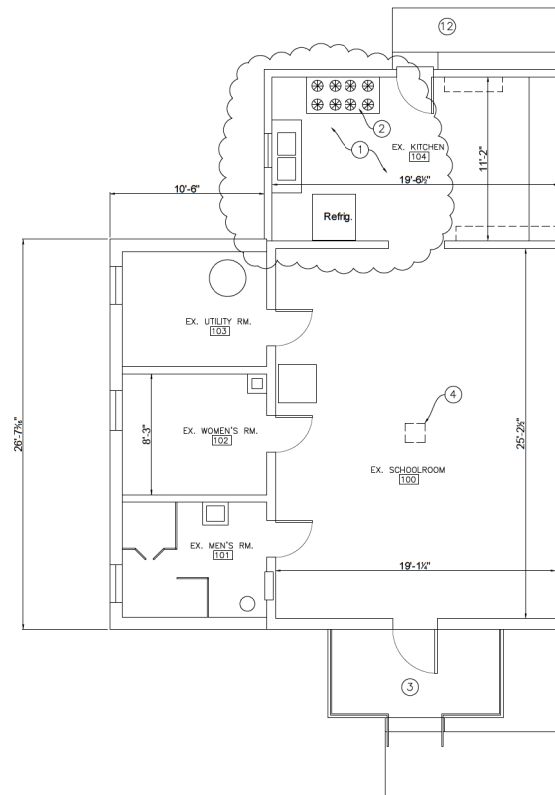
Date: July 28, 2021

Rehabilitations to:
MARTINSBURG SCHOOL
WARREN HISTORIC SITE COMMITTEE, INC.
22625 Whites Ferry Road
Dickerson, Maryland 20842

Drawing Number

1

1



EXISTING FLOOR PLAN NOTES:

- ① EXISTING FLOOR IN THIS AREA IS DAMAGED AND DETERIORATED AND NEEDS TO BE REFRAMED. REMOVE NON ORIGINAL FINISH FLOORING, REMOVE DAMAGED OR DETERIORATED WOOD PLATE, FLOOR JOISTS AND SUBFLOOR. REPLACE WOOD PLATE WITH SIMILAR SIZE PRESSURE TREATED BOLT TO CMU WALL PER IBC 2018. REFRAME FLOOR JOISTS WITH PRESSURE TREATED WOOD SAME SIZE AS ORIGINAL. GLUE AND NAIL NEW 1/2" T&GPLYWOOD SUBFLOOR.
- ② EXISTING GAS STOVE TO BE REMOVED.
- ③ EXISTING CONCRETE PORCH TO REMAIN.
- ④ EXISTING BRICK MASONRY CHIMNEY IN CEILING ABOVE. REINFORCE EX. CEILING JOISTS PER STRUCTURAL ENGINEER'S DIRECTION.



THOMAS J. TALTAUILL
ARCHITECT
200 N. LINCOLN STREET, SUITE 200
DARTMOUTH, MASSACHUSETTS 01928
301.840.1847

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Revisions
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Date: July 28, 2021

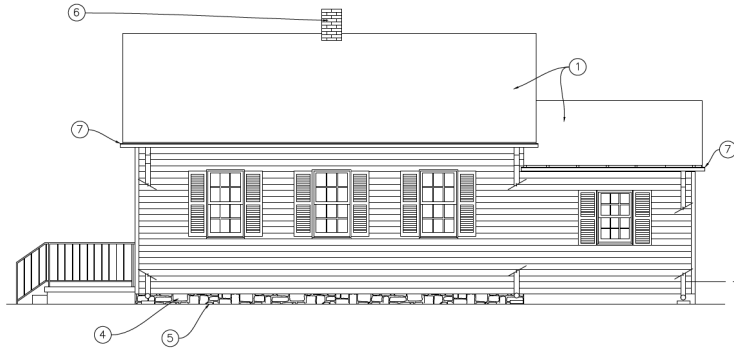
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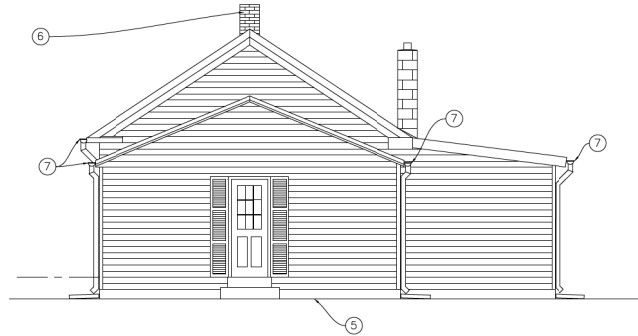
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1

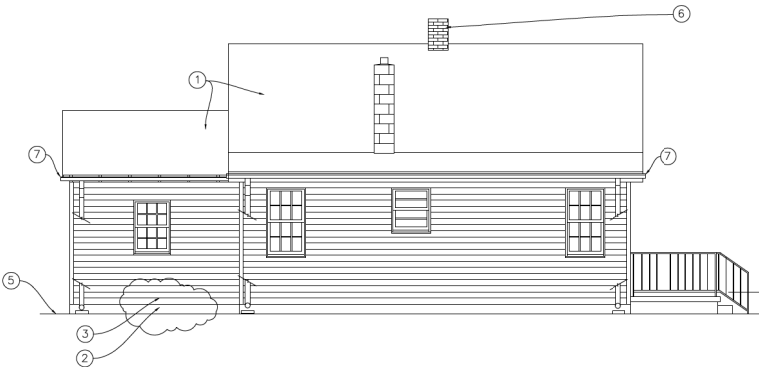
EXISTING FIRST FLOOR PLAN
1/4" = 1' - 0"



EXISTING EAST ELEVATION
1/4" = 1' - 0"



EXISTING NORTH ELEVATION
1/4" = 1' - 0"



EXISTING WEST ELEVATION
1/4" = 1' - 0"



EXISTING SOUTH ELEVATION
1/4" = 1' - 0"

EXISTING ELEVATION NOTES:

- ① EXISTING ASPHALT SHINGLE ROOFING TO BE REMOVED TO ALLOW FOR INSTALLATION OF NEW ASPHALT SHINGLE ROOF. REPAIR ANY DAMAGED OR ROTTED PLYWOOD ROOF SHEATHING. REPLACE ALL RELATED FLASHINGS WITH IN KIND MATERIALS.
- ② RELOCATE EXISTING BRICK IN THIS AREA. REMOVE ANY DAMAGED CONCRETE MASONRY UNITS. REBUILD DAMAGED CMU WALL.
- ③ REPLACE DAMAGED ROTTED WOOD PLATE AND FLOOR JOISTS THIS AREA.
- ④ EXISTING STONE FOUNDATION WALL TO BE REPAIRED AND REPOINTED AT SOUTH AND EAST WALLS.
- ⑤ LINE OF EXISTING GRADE TO REMAIN CONTRACTOR SHALL PROVIDE POSITIVE SLOPE AWAY FROM BUILDING.
- ⑥ EXISTING BRICK MASONRY CHIMNEY TO BE REBUILT. CONTRACTOR TO REINFORCE EXISTING CEILING JOIST FRAMING CARRYING EXISTING CHIMNEY PER STRUCTURAL ENGINEER'S DIRECTION.
- ⑦ NEW 5" GALVALUME HALF ROUND GUTTERS AND 3" DOWNSPOUT. PROVIDE NEW CONCRETE SPLASHBLOCK.

EXISTING ELEVATION NOTES
1/4" = 1' - 0"



THOMAS J. TALTAVULL
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DARTMOUTH, MASSACHUSETTS 01928
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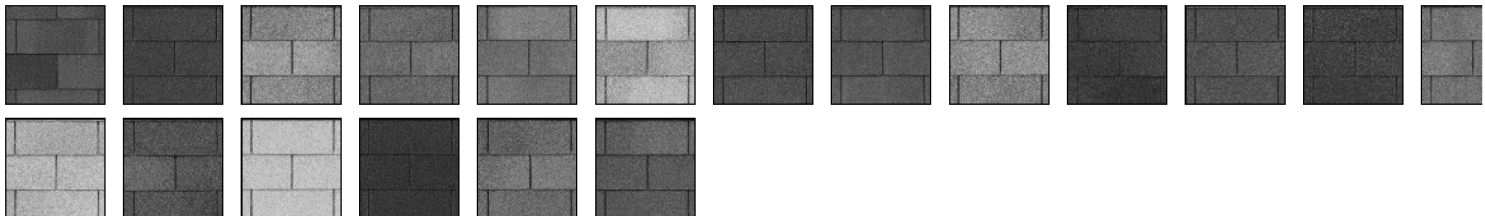
Proposed roofing replacement shingle for Martinsburg School.



PRODUCTS AVAILABLE NEAR ZIP CODE:

ENTER ZIP CODE

PLEASE ENTER YOUR ZIP CODE TO VIEW PRODUCTS
AVAILABLE IN YOUR AREA



XT™ 25



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45

When it comes to weathering the elements, XT 25 is quite simply at the top of its class. Built on a tough fiberglass base, each shingle provides exceptional resistance to blow-off and tearing and has a 10-year StreakFighter® warranty.

- Provides excellent durability and performance
- Backed by CertainTeed's industry-best manufacturer warranty
- Economically-priced and easy to install

Due to variation in computer monitors and printers, the color samples seen on your computer screen may not exactly match the corresponding color. To verify actual product color, ask to see the actual product, available through a CertainTeed contractor or distributor.

PRODUCT OVERVIEW

- [Traditional Shingles Brochure - Northeast](#)
- [Traditional Shingles Brochure - Southeast & South Atlantic](#)
- [Traditional Shingles Brochure - Lake Central](#)
- [Traditional Shingles Brochure - North Central](#)
- [\(More Info\)](#)

TECHNICAL SPECS

- [XT 25 Data Sheet - Strip Shingles](#)
- [3-Part Spec - XT25 AR](#)
- [Miami-Dade NOA - XT25](#)
- [ICC-ES-ESR-1389](#)
- [\(More Info\)](#)

INSTALLATION

Select any filter and click on Apply to see results

[\(More Info\)](#)

WARRANTY

- [Asphalt Shingle Limited Warranty](#)
- [SURE START WARRANTY BROCHURE 2021](#)
- [2021 International Warranty](#)
- [\(More Info\)](#)



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ARTICLES, BLOG POSTS



ARTICLES



PHOTOS

[HOW ROOFING
SHINGLES ARE
MADE](#)

[TYPES OF
ASPHALT
ROOFING
SHINGLES](#)

[XT™ 25
SHINGLES](#)

TECHNICAL INFORMATION

- Fiberglass composition
- UL Class A fire resistance
- UL certified to meet ASTM D3462
- UL certified to meet ASTM 3018 Type I
- Miami-Dade Product Control Acceptance: Please see the Notice of Acceptance (NOA) to determine approved products by manufacturing location.



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SPECS

- [XT 25 Data Sheet - Strip Shingles](#)
- [3-Part Spec - XT25 AR](#)
- [Miami-Dade NOA - XT25](#)
- [ICC-ES-ESR-1389](#)
- [FL-5444 - Asphalt Roofing Shingles](#)

INSTALLATION

Applying a roof system correctly is essential to the warranty and performance of the roof.

Please refer to the installation instructions for complete details. Available in both English and Spanish.

INSTALLATION

Select any filter and click on Apply to see results

**Get Help****48**

WARRANTY DETAILS

CertainTeed warrants that its shingles will be free from manufacturing defects, and provides the extra assurance of SureStart™ protection. Below are highlights of the warranty for XT™ 25. See CertainTeed's Asphalt Shingle Products Limited Warranty document for specific warranty details regarding this product.

- 25-year, limited transferable warranty
- 5-year SureStart™ warranty (100% replacement and labor costs due to manufacturing defects)
- 10-year StreakFighter® warranty (on available colors) against streaking and discoloration caused by airborne algae
- 5-year, 60 mph wind-resistance warranty

WARRANTY

- [Asphalt Shingle Limited Warranty](#)
- [SURE START WARRANTY BROCHURE 2021](#)
- [2021 International Warranty](#)

EXPORT INFORMATION

XT™ 25 asphalt roofing shingles are available for Export. Please review the related Export documents for additional information.

EXPORT LINKS

- [Export Roofing Selection Guide](#)
- [Asphalt Roofing Shingle International Limited Warranty](#)
- [Declaration of Performance Documents](#)

