

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10902 Seven Locks Road, Potomac	<b>Meeting Date:</b>	9/22/2021
<b>Resource:</b>	Master Plan Site #29/15 ( <i>Scotland African M/E Zion Church</i> )	<b>Report Date:</b>	9/15/2021
<b>Applicant:</b>	Scotland African Methodist Episcopal Zion Church ( <b>Rev. Evalina Huggins, Agent</b> )	<b>Public Notice:</b>	9/8/2021
		<b>Tax Credit:</b>	Partial
<b>Review:</b>	HAWP	<b>Staff:</b>	Michael Kyne

**Permit Number:** 961430

**PROPOSAL:** Request to alter the grade and raise existing church, new construction, site alterations, new signage, and tree removal.

**STAFF RECOMMENDATION:**

Staff recommends that the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Master Plan Site #29/15, Scotland African M/E Zion Church  
**DATE:** c. 1915 w/ 1967 Front Addition

Excerpt from *Places from the Past*:

Scotland African Methodist Episcopal Zion Church stands as a pillar of continuity, representing the early days of this post-Civil War black settlement. The congregation was organized in 1906 in a nearby house. Construction of the original church was begun in 1915 on land acquired from Otho Simms. The Scotland community dates from the post-Civil War era. A school for black children, known as Scotland School, had been built near the church site in 1874. The Scotland name originated with land patents to Scottish settlers in the 1700s.

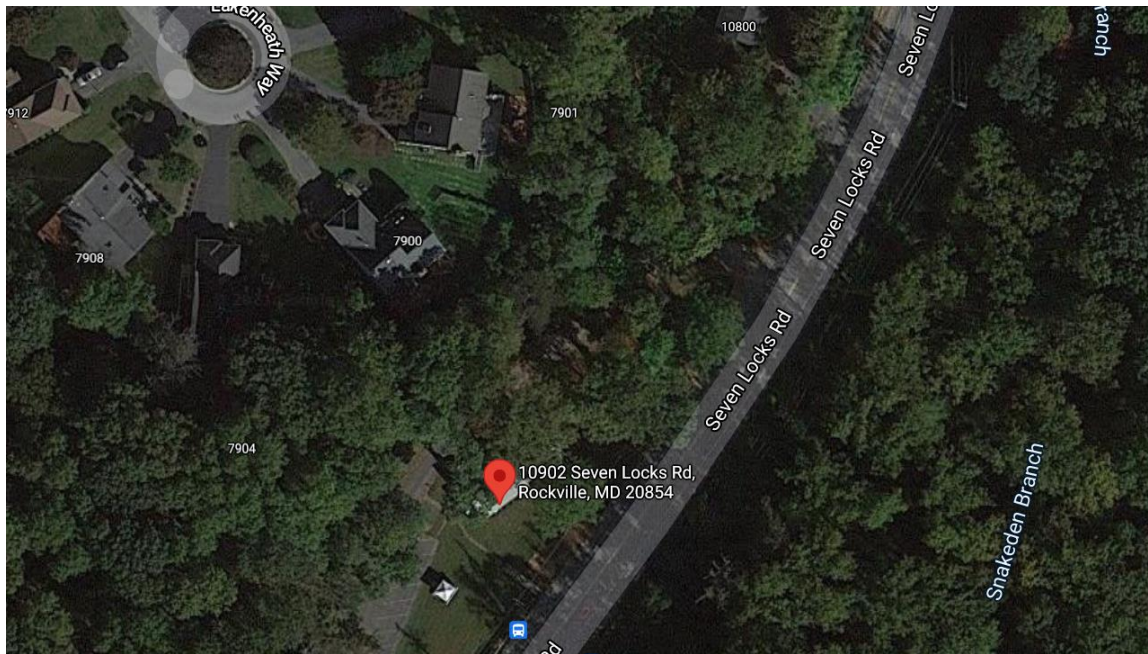
Like Tobytown, the Scotland community, consisting of small one to four room houses, was identified for urban renewal in the 1960s due to its substandard living conditions. New housing units, in the form of townhouses, and sewer and water service drastically improved daily life for Scotland residents, but also changed the physical environment dramatically.

The church building dates from two periods. Construction of the original section, now a rear wing, was begun in 1915 and completed in 1924. An addition, completed in 1967, was built in front of the original church. The original section is frame with German siding and has pedimented windows with stained glass panes. The main front section, constructed of concrete block, was built in the 1960s. The first service was held in November 1967, and the cornerstone was laid in February 1968. The structure has been in continuous use as a religious meeting place since its construction.

The church and site are also critically important local sites that highlight the history of mid-century urban renewal and community resistance and resilience. The histories of Geneva Mason, Joyce Siegel, and the Save Our Scotland coalition of residents, neighbors, and faith groups, met, worshipped, and planned for

the future of the Scotland Community from this building. For more information on Save Our Scotland and the 20<sup>th</sup> century history of this community, Montgomery History has a compiled photo archive and online story gallery chronicling these events that is available at this link: <https://montgomeryhistory.org/african-american-online-exhibits/>.

Montgomery County recently honored the historic contributions of the Scotland community by renaming three county streets after Save Our Scotland co-founder Geneva Mason and Scotland elder William Dove.



**Fig. 1: Subject property.**

### **BACKGROUND:**

The applicant previously appeared before the Commission at the August 18, 2021 HPC meeting for a preliminary consultation.<sup>1</sup> Since that meeting the Church experienced a second round of extreme flooding that filled the basement with water and damaged the site. The project team has cleaned the site and mitigated that damage; however, it demonstrates that the historic site remains vulnerable from flooding and stormwater management deficiencies that this project seeks to remedy.

### **PROPOSAL:**

The applicant proposes to alter the grade and raise the existing church, new construction, site alterations, new signage and tree removal at the subject property.

### **APPLICABLE GUIDELINES:**

When reviewing alterations and new construction at Master Plan Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and *the Secretary of the Interior's Standards for*

<sup>1</sup> Link to August 18, 2021 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2021/08/II.A-10902-Seven-Locks-Road-Potomac-Preliminary-Consultation.pdf>

Link to August 18, 2021 HPC meeting audio/video transcript:

[http://mncppc.granicus.com/MediaPlayer.php?publish\\_id=9787973c-0415-11ec-9f1e-0050569183fa](http://mncppc.granicus.com/MediaPlayer.php?publish_id=9787973c-0415-11ec-9f1e-0050569183fa)

*Rehabilitation (Standards).* The pertinent information in these documents is outlined below.

***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

***Secretary of the Interior's Standards for Rehabilitation:***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION:**

The applicant previously appeared before the Commission for a preliminary consultation at the August 18, 2021 HPC meeting. The preliminary consultation proposal included grade alteration, raising the existing church building, construction of a new addition, and site alterations. Specific work items included:

- Lifting the existing building (both the c. 1915 building and 1967 front addition) to address the issues with water runoff and the resulting flooding and structural hazards.
- Cladding the exposed foundation of the lifted building with stone.
- Parking area and access re-grading to be in line with the existing building.
- Cladding the 1967 front addition with wood siding to match the original c. 1915 section and replacing the windows in the 1967 front addition with decorative windows similar to or to match the existing.
- Restoring features of c. 1915 section, as necessary.
- Construction of a new addition and hyphen/connector at the west side (rear, as experienced from the public right-of-way of Seven Locks Road) of the existing building.
- Conversion of two existing windows on the west side of the 1967 front addition to windows, providing access to the proposed hyphen and new addition.
- Creation of 34 tandem parking spaces in the existing parking area.
- Flood mitigation measures, including the construction of retaining walls throughout the site, some excavation of the slope at the west side of the property, installation of below grade storm piping at the west side of the property, and creation of a bioretention area at the north side of the property.

The Commission was supportive of the applicant's proposal at the August 18, 2021 preliminary consultation, but provided the following recommendations:

- a. Consider retaining the CMU block exterior for the 1967 front addition, as this part of the building is significant to the community's development.
- b. Explore alternatives to matching the proposed cladding of the 1967 front addition with the original 1915 building, as this could create a false sense of historical development. Suggested alternatives included:
  - i. Fiber cement siding, with a different reveal/exposure.
  - ii. Stucco cladding.
  - iii. Exploring ways to maintain the existing CMU block by addressing insulation and condition issues from the interior.
- c. Comments regarding the proposed new addition were limited to:
  - i. Consider pushing the roof of the proposed hyphen back further from the front/left corner of the existing church building.
  - ii. Consider alternative locations for the proposed dumpsters and mechanical equipment.
  - iii. Emphasis was placed on the location of the proposed dumpsters at the front of the building.

The applicant has returned for a HAWP application with the following revisions and responses to the Commission's recommendations:

- a. The 1967 front addition CMU block structure shall be retained to the extent reasonably feasible given that the above-grade mass will be raised/elevated as proposed for flood damage mitigation. There is, however, concern as to the structural condition & capacity of the existing walls &



foundations to safely accommodate both (1) the added dead load of additional courses of CMU & reconstructed roof, as well as (2) the anticipated live loads of the more open plan and more densely populated assembly activities. As such, the proposed design is to provide new foundations & interior perimeter bearing walls inboard of the existing CMU and to provide rainscreen cladding to the exterior of the building to maintain continuity of the lifted mass – see drawing 3/A3.50.

- b. As an alternative to matching the proposed cladding of the 1967 front addition with the original 1915 building, the proposed design is to provide 8.25” horizontal fiber cement siding with a more modern joint detail. Regarding the Commission’s request to explore ways to maintain the existing CMU block by addressing insulation and condition issues from the interior, vapor-drive analysis based on average material vapor permeability indicates that for the intended life-span of the structure moving forward, a modern rainscreen assembly locating continuous insulation outboard of the structural mass wall as proposed will be more prudent than insulating on the interior side of the existing construction – see sheet G3.01.
- c. Regarding the proposed new addition:
  - i. The roof of the proposed hyphen has been set further back from the front/left corner of the existing church building – see drawing 1/A2.01.
  - ii. Given the size & placement constraints for the addition, locating the operationally required trash/recycling and mechanical equipment areas as proposed appears to be the most prudent. Vehicular access to the trash area necessitates its location off of the now shortened drive aisle, and a screened open-air enclosure would be more appropriate than a series of loose bins set along the rear retaining wall or walking bins from the rear to the north end of the property. While the mechanical equipment could certainly be located on the roof, the high probability of leaf- & branch-fall makes their covered location beneath the projected roof more ideal. See sheet C003 for contextual site plan, and see sheet A1.02 for proposed decorative screening.
  - iii. See response to item “c.ii” above.

The current proposal also includes the installation of a new church/address sign at the southwest side of the property (near the driveway entrance). The proposed sign will be a total of 7’-6” high, be internally illuminated, and have changeable letters. The proposed sign location is far removed from the historic church building, so that it will not interrupt the view of the historic building from the primary public right-of-way or detract from the character of site.

Four trees are proposed to be removed in preparation for the proposed new construction and site alterations. These trees include one (1) 20” dbh black walnut (good condition, but with a heavy lean), one (1) 7” dbh American hornbeam (poor condition), one (1) 37” dbh white oak (poor condition), and one (1) 36” dbh tulip poplar (moderate condition, but with failure likely, posing a hazard to the historic church building). The trees to be removed were assessed by a certified arborist, who supported their removal.

Staff remains supportive of the applicant’s proposal. Regarding the existing church building, staff finds that the proposed work items will address flooding and persistent water infiltration damage, while retaining the character-defining features of the building. Staff supports the applicant’s response to the Commission’s concerns regarding the cladding of the 1967 front addition, finding that the proposed cladding will be clearly differentiated from the c. 1915 section, avoiding a false sense of historical development. This is consistent with *Standard #3*, which states “[e]ach property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.”

Staff continues to find that design and materials of the proposed new addition are compatible with the forested, natural environment of the property, while being clearly differentiated from the existing building. This is consistent with *Standards #2 and #9*. Because the proposed new addition will be connected to the existing 1967 front addition and not to the original c. 1915 section, it will not destroy historic materials that characterize the property, per *Standard 9*. Additionally, if the new addition were to be removed in the future, the essential form and integrity of the original building would be unimpaired. This is consistent with *Standard #10*.

As stated at the August 18, 2021 preliminary consultation, staff supports the proposed location of the new addition. The proposed location of the new addition is experienced as the rear from the public right-of-way of Seven Locks Road, and there are site constraints, limiting any new addition to the proposed location. These constraints include the Church's cemetery at the north side of the property and the parking area at the south side of the property. Construction of a new addition at the east side of the property would completely obscure the view of the historic building from the public right-of-way.

After full and fair consideration of the applicant's submission, staff finds the proposal consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found it consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #3, #9, and #10* as outlined above.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1), and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #3, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



FOR STAFF ONLY:

HAWP# 961430

DATE ASSIGNED \_\_\_\_\_

# APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION  
301.563.3400

**APPLICANT:** SCOTLAND AFRICAN METHODIST

EPISCOPAL ZION CHURCH

Name: ATTN: REV. DR. EVALINA HUGGINS, PASTOR E-mail: EVALINA45@GMAIL.COM;  
PEHUGGINS@BEMOREAMEZ.ORG

Address: 10902 SEVEN LOCKS ROAD

City: POTOMAC, MD

Zip: 20854

Daytime Phone: 301-980-8793

Tax Account No.: 02285421

**AGENT/CONTACT (if applicable):**

Name: ANTUNOVICH ASSOCIATES  
(ATTN: DESMOND GRIMBALL)

E-mail: DGRIMBALL@ANTUNOVICH.COM

Address: 1144 THIRD STREET NE

City: WASHINGTON, DC

Zip: 20002

Daytime Phone: 202-540-1171

Contractor Registration No.: N/A

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property RESOURCE #29/015

Is the Property Located within an Historic District? Yes/District Name

X No/Individual Site Name SCOTLAND A.M.E. ZION CHURCH

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

NOT APPLICABLE

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information. YES: ZONING VARIANCE REQUEST FOR REAR SETBACK & TANDEM PARKING, AND SIGN REVIEW VARIANCE FOR LOCATION

Building Number: 10902

Street: SEVEN LOCKS ROAD

Town/City: POTOMAC, MD

Nearest Cross Street: BELLS MILL ROAD

Lot: N/A

Block: N/A

Subdivision: N/A

Parcel: N829

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

☒ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☒ Addition

☐ Fence

☐ Solar

☐ Demolition

☒ Hard scape/Landscape

☒ Tree removal/planting

☒ Grading/Excavation

Roof

☒ Window/Door

☒ Other: SIGNAGE

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby accept this to be a condition for the issuance of this permit.

DESMOND NET GRIMBALL  
Signature of owner or authorized agent

7/27/2021  
Date

# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

SINGLE-STORY HISTORIC CHURCH BUILDING WITH BASEMENT ROUGHLY CENTERED ON THE LONG NARROW HISTORIC PROPERTY. ORIGINAL STRUCTURE IS LIMITED TO THE WOOD-FRAMED WOOD-CLAD PORTION ON THE BACK OF THE BUILDING WITH THE ORIGINAL ORNATE HUNG WINDOWS AND GABLE ROOF. A PREVIOUS ADDITION, BUILT IN THE 1960'S, IS LIMITED TO THE CURRENT FRONT OF THE BUILDING. IN CONTRAST TO THE ORIGINAL STRUCTURE, THE PREVIOUS ADDITION IS COMPRISED OF PAINTED CMU, COMPLEMENTARY GABLE ROOF, AND LESS ORNATE HUNG WINDOWS. ALSO PRESENT ON THE PREVIOUS ADDITION IS A SMALL VESTIBLE AND MODEST METAL-CLAD SPIRE.

THE PROPERTY IS SURROUNDED ON THE WEST BY HEAVILY-WOODED AND HEAVILY-SLOPED ADJACENT PROPERTIES. LANDSCAPING IS LIMITED TO SHRUBBERY AROUND THE BUILDING, GRASSES THROUGHOUT, AND AN ASSORTMENT OF TREES. SITE PAVING IS LIMITED TO WALKWAY PAVERS AND THE DRIVEWAY (PREVIOUSLY THE ORIGINAL SEVEN LOCKS ROAD) RUNNING ALONG THE WEST OF THE BUILDING. THE CURRENT SEVEN LOCKS ROAD WAS RELOCATED ALONG THE EAST OF THE BUILDING IN THE LATE-1950'S/EARLY 1960'S.

CURRENT SEVEN LOCKS ROAD WAS BUILT SUCH THAT THE THE ELEVATION OF THE STREET WAS HIGHER THAN THE ELEVATION OF THE CHURCH. AS A RESULT THE BUILDING SITS WITHIN A VALLEY BETWEEN THE STREET AND ADJACENT HILL, AND HAS SUBSEQUENTLY ENCOUNTERED FOUNDATION DAMAGE DUE TO RAIN EVENTS.

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

SEE ATTACHED PAGE

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
**[Owner, Owner's Agent, Adjacent and Confronting Property Owners]**

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
SCOTLAND AFRICAN METHODIST EPISCOPAL ZION CHURCH ATTN: REV. DR. EVALINA HUGGINS, PASTOR 10902 SEVEN LOCKS ROAD POTOMAC, MD 20854	ANTUNOVICH ASSOCIATES ATTN: DESMOND GRIMBALL 1144 THIRD STREET NE WASHINGTON, DC 20002
<b>Adjacent and confronting Property Owners mailing addresses</b>	
MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION 2425 REEDIE DRIVE – 13TH & 14TH FLOORS WHEATON, MD 20902	RAMI & MELANIE KANDEL 7907 LAKENHEATH WAY POTOMAC, MD 20854-2735
RAJEEV K. KAUL & GITIKA A. KAUL 7901 LAKENHEATH WAY ROCKVILLE, MD 20854-2735	DAVID C. & J. S. NEARPASS 7900 LAKENHEATH WAY ROCKVILLE, MD 20854-2735
WILLY W. & JANEY K. NG 7931 LAKENHEATH WAY ROCKVILLE, MD 20854-2735	RASHID & LISA LEVIEDDIN 7929 LAKENHEATH WAY ROCKVILLE, MD 20854-2735
YANG K. & M. S. KIM 7908 LAKENHEATH WAY ROCKVILLE, MD 20854-2735	SIQIAN HE & XIN WANG 7904 LAKENHEATH WAY ROCKVILLE, MD 20854
JOHN PHILLIPS LEGRAND, JR. 10800 SEVEN LOCKS ROAD ROCKVILLE, MD 20854-3255	



## ANTUNOVICH ASSOCIATES

ARCHITECTURE • PLANNING • INTERIOR DESIGN

Chicago • Washington DC • Los Angeles • Austin

**Meeting Date:** 8/18/2021

**HPC Case No.:** Agenda Item II.A

**Master Plan Site/District/Atlas:** #29/15, Scotland African M/E Zion Church

### **Historic Preservation Commission Preliminary Consultation Report**

**Address:** 10902 Seven Locks Road, Potomac (Master Plan Site #29/15, Scotland African M/E Zion Church)

**Applicant(s):** Scotland African Methodist Episcopal Zion Church (Rev. Evalina Huggins, Agent)

**Proposal:** Request to alter the grade and raise existing church, new construction, site alterations

**Staff Contact:** Michael Kyne

**HPC Commissioners Providing Comments:** Robert Sutton (Chair), Karen Burditt (Vice Chair), Sandra Heiler, Marsha Barnes, Jeffrey Hains, Julie Pelletier, James Doman, Mark Clements

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### **Recommendations:**

- The Commission was supportive of the applicant's proposal, but provided the following recommendations for greater compatibility:
  - a. Consider retaining the CMU block exterior for the 1967 front addition, as this part of the building is significant to the community's development.
  - b. Explore alternatives to matching the proposed cladding of the 1967 front addition with the original 1915 building, as this could create a false sense of historical development. Suggested alternatives included:
    - i. Fiber cement siding, with a different reveal/exposure.
    - ii. Stucco cladding.
    - iii. Exploring ways to maintain the existing CMU block by addressing insulation and condition issues from the interior.
  - c. Comments regarding the proposed new addition were limited to:
    - i. Consider pushing the roof of the proposed hyphen back further from the front/left corner of the existing church building.
    - ii. Consider alternative locations for the proposed dumpsters and mechanical equipment.
    - iii. Emphasis was placed on the location of the proposed dumpsters at the front of the building.

☐ Return for an additional preliminary consultation

☒ Return for a HAWP in accordance with the Commission's recommendation

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### **9/13/2021 Design Team Response:**

- a. The 1967 front addition CMU block structure shall be retained to the extent reasonably feasible given that the above-grade mass will be raised/elevated as proposed for flood damage mitigation. There is, however, concern as to the structural condition & capacity of the existing walls & foundations to safely accommodate both (1) the added dead load of additional courses of CMU & reconstructed roof, as well as (2) the anticipated live loads of the more open plan and more densely populated assembly activities. As such, the proposed design is to provide new foundations & interior perimeter bearing walls inboard of the existing CMU and to provide rainscreen cladding to the exterior of the building to maintain continuity of the lifted mass – see drawing 3/A3.50.
- b. As an alternative to matching the proposed cladding of the 1967 front addition with the original 1915 building, the proposed design is to provide 8.25" horizontal fiber cement siding with a more modern joint detail. Regarding the Commission's request to explore ways to maintain the existing CMU block by addressing insulation and condition issues from the interior, vapor-drive analysis based on average material vapor permeability indicates that for the intended life-span of the structure moving





## ANTUNOVICH ASSOCIATES

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forward, a modern rainscreen assembly locating continuous insulation outboard of the structural mass wall as proposed will be more prudent than insulating on the interior side of the existing construction – see sheet G3.01.

- c. Regarding the proposed new addition:
  - i. The roof of the proposed hyphen has been set further back from the front/left corner of the existing church building – see drawing 1/A2.01.
  - ii. Given the size & placement constraints for the addition, locating the operationally required trash/recycling and mechanical equipment areas as proposed appears to be the most prudent. Vehicular access to the trash area necessitates its location off of the now shortened drive aisle, and a screened open-air enclosure would be more appropriate than a series of loose bins set along the rear retaining wall or walking bins from the rear to the north end of the property. While the mechanical equipment could certainly be located on the roof, the high probability of leaf- & branch-fall makes their covered location beneath the projected roof more ideal. See sheet C003 for contextual site plan, and see sheet A1.02 for proposed decorative screening.
  - iii. See response to item “c.ii” above.



NOTE: IMAGE MAY NOT REFLECT CURRENT CONSTRUCTION DOCUMENTS.

## SCOTLAND A.M.E. ZION CHURCH

10902 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

ISSUE FOR H.A.W.P.

09/13/2021



OWNER  
**SCOTLAND A.M.E. ZION CHURCH**

10902 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
**ANTUNOVICH ASSOCIATES**

1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN: 202.540.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
**MGV ENGINEERS**

6239 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
MAIN: (301) 816 0648

MEP/FP  
**GHT LIMITED**

1110 N GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
MAIN: (703) 243-1200

CIVIL ENGINEER  
**DEWBERRY**

2101 GAITHER ROAD, SUITE 340  
ROCKVILLE, MD 20850  
MAIN: (301) 337-2865

HISTORIC PRESERVATION CONSULTANT  
**EHT TRACERIES**

440 MASSACHUSETTS AVENUE NW  
WASHINGTON, DC 20001  
MAIN: (202) 393-1199

## DRAWING INDEX

[illegible][illegible]

**BUILDING SECTION DESIGNATION**  
 DETAIL NUMBER  
 SHEET WHERE SECTION IS LOCATED

**DOOR TAG**  
 DOOR NUMBER  
 HARDWARE SET  
 DOOR FINISH

**ROOM DESIGNATION**  
 ROOM NAME  
 ROOM NUMBER  
 AREA

**WALL SECTION DESIGNATION**  
 DETAIL NUMBER  
 SHEET WHERE SECTION IS LOCATED

**ROOM DESIGNATION**  
 ROOM NAME  
 ROOM NUMBER  
 AREA

**DETAIL DESIGNATION**  
 DETAIL NUMBER  
 SHEET WHERE DETAIL IS LOCATED

**ELEVATION TAGSET**  
 2ND FLOOR - LEVEL INDICATOR  
 10'-0" - FLOOR HEIGHT

**INTERIOR ELEVATION DESIGNATION**  
 DETAIL NUMBER  
 SHEET WHERE ELEVATION IS LOCATED  
 ELEVATION TAG, NUMBER

**REVISION TAG**  
 REVISION TAG  
 EQUIPMENT TAG  
 GLAZING WINDOW TAG



















**EXTERIOR ELEVATION DESIGNATION**  
 DETAIL NUMBER  
 SHEET WHERE ELEVATION IS LOCATED  
 ELEVATION TAG, NUMBER

**SECTION SYMBOL**  
 FINISH  
 FINISHED HEIGHT

**PARTITION TAG**  
 PARTITION TYPE  
 TAG SIDE OF SYMBOL

**DRAWING TITLE MARKER**  
 DETAIL NUMBER  
 DETAIL TITLE  
 DRAWING SCALE  
 DETAIL SHEET  
 REFERENCE ORIGIN

### MATERIALS LEGEND

	CONCRETE		EARTH (UNEXCAVATED)
	CMU		EARTH (EXCAVATED)
	CLAY MASONRY		EXISTING CONSTRUCTION TO REMAIN
	CEMENT SAND, GROUT, STONE		GRAVEL
	METAL (LARGE SCALE)		PLYWOOD
	METAL (SMALL SCALE)		CERAMIC TILE
	INSULATION, FIREPROOFING, BATT OR LOOSE		INSULATION (RIGID)
	WOOD, ROUGH BLOCKING		FINISH SPRAY APPLIED FIREPROOFING
	GLASS		STEEL W/ SPRAY APPLIED FIREPROOFING

SHEET #		SHEET NAME		02/18/2021 - SCHEMATIC DESIGN	06/02/2021 - OWNER V.F.	06/02/2021 - ISSUE FOR ZONING VARIANCE
<b>GENERAL</b>						
G-00	COVER PAGE			*	*	*
G-01	GENERAL NOTES, SYMBOLS, ABBREVIATIONS, AND DRAWING INDEX			*	*	*
G-01	CODE COMPLIANCE			*	*	*
G-01	EXTERIOR RENDERINGS			*	*	*
G-01	HISTORIC APPROVAL EXHIBITS			*	*	*
<b>ZONING</b>						
Z-01	ZONING COMPLIANCE EXHIBITS			*	*	*
<b>CIVIL</b>						
C-01	COVER SHEET			*	*	*
C-02	EXISTING CONDITIONS AND DEMOLITION PLAN			*	*	*
C-03	SITE & SURVEY PLAN			*	*	*
C-04	STORMWATER MANAGEMENT PLAN			*	*	*
C-05	UTILITY PLAN			*	*	*
C-06	DETAILS			*	*	*
C-06A	EXISTING CONDITIONS PLAN			*	*	*
<b>DEMOLITION</b>						
D-01	DEMOLITION SEQUENCING DIAGRAMS			*	*	*
D-02	DEMOS PLANS & ELEVATIONS			*	*	*
<b>ARCHITECTURAL</b>						
A-01	ARCHITECTURAL SITE PLAN			*	*	*
A-02	ARCHITECTURAL SITE DETAILS			*	*	*
A-01	FLOOR PLANS			*	*	*
A-02	FLOOR PLANS			*	*	*
A-03	ROOF PLAN			*	*	*
A-01	BUILDING ELEVATIONS			*	*	*
A-02	BUILDING ELEVATIONS			*	*	*
A-03	BUILDING ELEVATIONS			*	*	*
A-01	WALL SECTIONS			*	*	*
A-02	WALL SECTIONS			*	*	*
A-03	WALL SECTIONS			*	*	*
A-04	WALL SECTIONS			*	*	*
A-05	WALL SECTIONS			*	*	*
A-06	WALL SECTIONS			*	*	*
A-07	WALL SECTIONS			*	*	*
A-01	INTERIOR ELEVATIONS			*	*	*
A-02	INTERIOR ELEVATIONS			*	*	*
A-03	INTERIOR ELEVATIONS			*	*	*
A-04	INTERIOR ELEVATIONS			*	*	*
A-05	REFLECTED CEILING PLANS			*	*	*
A-06	REFLECTED CEILING PLANS			*	*	*
A-07	VERTICAL CIRCULATION			*	*	*
A-01	ASSEMBLY YOUTH			*	*	*
A-02	DOOR SCHEDULE			*	*	*
A-03	DOOR AND WINDOW ASSEMBLY SCHEDULE			*	*	*
A-04	ARCHITECTURAL SCHEDULES			*	*	*
<b>STRUCTURAL</b>						
S-001	STRUCTURAL NOTES			*	*	*
S-002	FOUNDATION, FOOTING, 1ST FLOOR FRAMING PLAN			*	*	*
S-003	MEZZANINE & ROOF, 1ST FLOOR FRAMING PLAN			*	*	*
S-004	TYPICAL DETAILS & SECTIONS			*	*	*
S-005	TYPICAL DETAILS & SECTIONS			*	*	*
S-006	SECTIONS			*	*	*
S-007	SECTIONS			*	*	*
S-008	SECTIONS			*	*	*
S-009	SECTIONS			*	*	*
<b>MECHANICAL</b>						
M-001	MECHANICAL COVER SHEET			*	*	*
M-001	MECHANICAL NEW WORK PLANS			*	*	*
<b>PLUMBING</b>						
P-001	PLUMBING COVER SHEET			*	*	*
P-001	PLUMBING SITE PLAN			*	*	*
P-001	PLUMBING FLOOR PLANS			*	*	*
P-002	PLUMBING FLOOR PLANS			*	*	*
P-003	PLUMBING ROOF PLAN			*	*	*
P-001	PLUMBING DETAIL SHEET			*	*	*
P-001	PLUMBING REIR SHEET			*	*	*
P-002	PLUMBING REIR SHEET			*	*	*
P-001	PLUMBING SCHEDULE SHEET			*	*	*
<b>ELECTRICAL</b>						
E-001	ELECTRICAL COVER SHEET			*	*	*
E-001	ELECTRICAL SITE PLAN			*	*	*
E-001	ELECTRICAL POWER PLANS			*	*	*
E-001	ELECTRICAL LIGHTING PLAN			*	*	*
E-000	ELECTRICAL LIGHT FUTURE SCHEDULE & COME/BACK			*	*	*
E-000	ELECTRICAL POWER RISER & PANEL SCHEDULE SHEET			*	*	*
E-001	ELECTRICAL PANEL SCHEDULE SHEET			*	*	*
<b>FF&amp;E ALARM</b>						
FF&E ALARM						

APPROVAL STAMPS:

ARCHITECT

**ANTUNOVICH ASSOCIATES**  
ARCHITECTURE • PLANNING • INTERIOR DESIGN

STRUCTURALENGINEER

**MGV ENGINEERS**  
6230 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
(301) 816 0648

M.E.P. &amp; F.P. ENGINEERS

**GHT LIMITED**  
1110 N GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CML ENGINEER

**DEWBERRY**  
2101 GAITHER ROAD, SUITE 340  
ROCKVILLE, MD 20850  
(301) 337-2866

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

### PROJECT LOCATION

SCOTLAND  
A M E Z I O N

10101 SEVEN LOOKS ROAD  
POTOMAC, MD 20854

GENERAL NOTES,  
SYMBOLS,  
ABBREVIATIONS, AND

CEA

DATE:	02/01/2021
DRAWN BY:	

	CHECKED BY
	PROJECT NO.

DRAWING NO  
**G0.01**



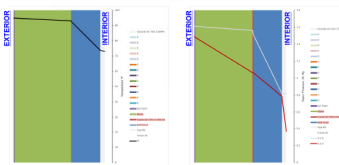


**VAPOR DRIVE ANALYSIS:**  
INTERIOR INSULATION  
(EXISTING CMU REMAINS EXPOSED)

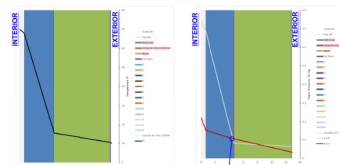
Thickness	Material	T/R	V/R
0	Inside Air	0	0
0.625	Gyp Bd.	0.61	0.3
	4 Bolt Insul	.16	0.2
0.1	Inside Air Film of Still Air	0.68	0.0008
8	Block	1.53	0.3
0.1	Ext Paint	0.01	0.01
0.1	Outside Air Film 15MPH	6.17	0
13.72		16	9.17

List materials in order from interior to exterior

Thickness	Inches
T.R.	Thermal Resistance or R-value
V.R.	Vapor Resistance

[illegible]

1. Where ANF is greater than EVF, condensation is likely to occur

[illegible]

1. Where RVP is greater than SWP, condensation is likely to occur

WATER CONDENSES WITHIN VOLUME OF MASONRY DURING HEATING SEASON, AND CAN POTENTIALLY CAUSE SPAULING OF MASONRY ON INTERIOR FACE OF WALL

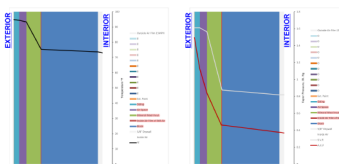
**FAILS**

**VAPOR DRIVE ANALYSIS:**  
EXTERIOR INSULATION  
(EXISTING CMU CLAD & CONCEALED,

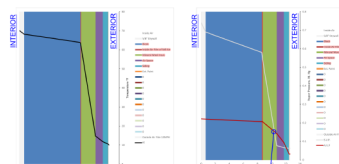
Thickness	T.R.	V.R.
0 Inside Air	0	0
0.625 5/8" Drywall	0.61	0.027
6 Block	1.53	0.3
0.1 Inside Air Film of Still Air	0.68	0.0009
2 Mineral Wool Insul.	16	1.32
1 Air Space	1	1
0.75 Siding	0.44	1.3
0.01 Ext. Paint	0.01	0.01
0.1 Outside Air Film 15MPH	0.17	0
<b>Total</b>	<b>20.4</b>	<b>3.75</b>

List materials in order from interior to exterior.

Thickness	Inches
T.R.	Thermal Resistance or R-value
V.R.	Vapor Resistance

[illegible]

5. Where AAT is greater than 50%, compensation is likely to come

[illegible]

DURING HEATING MONTHS, POTENTIAL WATER CONDENSES WITHIN CAVITY AS ANTICIPATED AND WEEPS FROM BOTTOM OF RAINSCREEN

## PASSES

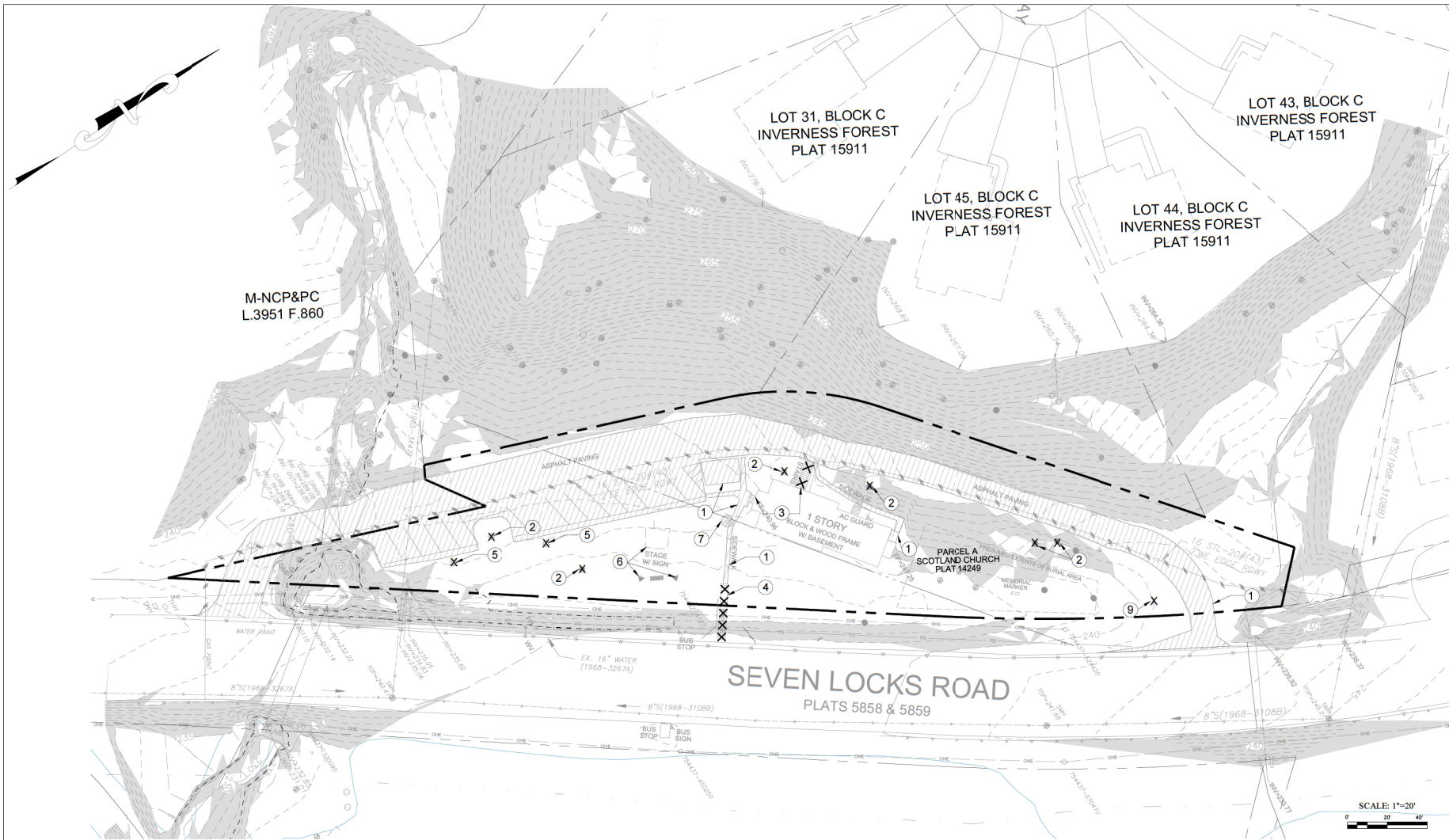


**Answers**

[illegible]

DRAWING NO  
**Z1.01**





# EXISTING LEGEND

PROPERTY BOUNDARY	---
LIMITS OF DISTURBANCE (LOD)	---
ADJACENT PROPERTY BOUNDARY	---
EXISTING BUILDING	---
EXISTING CONTOUR	---
EXISTING SIDEWALK	---
EXISTING WATER	---
EXISTING SANITARY SEWER	---
EXISTING GAS LINE	---
EXISTING OVERHEAD ELECTRIC	---
EXISTING FIBER OPTIC	---
SOIL BOUNDARY	---
EXISTING LIGHT POLE	---
EXISTING POWER POLE	---
EXISTING SIGN	---
EXISTING GAS VALVE	---
15% OR GREATER SLOPES	---

# DEMOLITION LEGEND

1	ASPHALT PAVEMENT & SITE CONCRETE REMOVAL
2	EXISTING TREE TO BE REMOVED
3	DEMOLISH EXISTING STAIRS
4	REMOVE EXISTING BRIDGE
5	REMOVE EXISTING LIGHT POLE
6	REMOVE EXISTING SIGNS AND STAGE
7	REMOVE EXISTING WATER METER
8	REMOVE EXISTING CONCRETE CURB
9	REMOVE EXISTING SIGN
	REMOVE EXISTING UTILITY

APPROVAL STAMP:	
SUBMISSIONS & REVISIONS	
No.	Date
OWNER	
SCOTLAND AME ZION CHURCH	
1000 SEVEN LOCKS ROAD	
ROCKVILLE, MD 20854	
ARCHITECT	
ANTONOVICH ASSOCIATES	
1144 3RD STREET NE	
WASHINGTON, DC 20002	
MAR. 22, 2014	
ANTONOVICH.COM	
STRUCTURAL ENGINEER	
MOV ENGINEERS	
6239 EXECUTIVE BLVD	
ROCKVILLE, MD 20855	
(301) 815-0646	
M.E.P. & P.E. ENGINEERS	
GHT LIMITED	
1000 SEVEN LOCKS ROAD, SUITE 300	
ARLINGTON, VA 22201	
(703) 243-1200	
CIVIL ENGINEER	
DEWBERRY	
2101 GARTHER ROAD, SUITE 340	
ROCKVILLE, MD 20850	
(301) 337-2800	
LANDSCAPE ARCHITECT	
GENERAL CONTRACTOR	
PROJECT LOCATION	
SCOTLAND AME ZION CHURCH	
1000 SEVEN LOCKS ROAD, ROCKVILLE,	
MD 20854	
DRAWING TITLE	
EXISTING CONDITIONS AND DEMOLITION PLAN	
SEA	DATE
10-10-2021	
DRAWN BY:	EB-M
CHECKED BY:	AS
PROJECT NO.:	91132454
DRAWING NO.:	C002





#### EXISTING LEGEND

PROPERTY BOUNDARY	---
LIMITS OF DISTURBANCE (LOD)	---
ADJACENT PROPERTY BOUNDARY	---
EXISTING BUILDING	---
EXISTING CONTOUR	---
EXISTING SIDEWALK	---
EXISTING WATER	---
EXISTING SANITARY SEWER	---
EXISTING GAS LINE	---
EXISTING OVERHEAD ELECTRIC	---
EXISTING FIBER OPTIC	---
SOIL BOUNDARY	---
EXISTING LIGHT POLE	---
EXISTING POWER POLE	---
EXISTING SIGN	---
EXISTING GAS VALVE	---
1% OR GREATER SLOPES	---

#### PROPOSED LEGEND

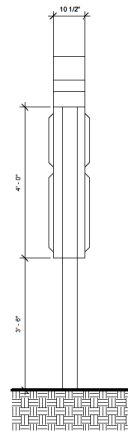
PROPOSED P-CURB (PERMANENT 100.0)	---
PROPOSED TYPEDRAIN	---
PROPOSED MAJOR CONTOUR	---
PROPOSED MINOR CONTOUR	---
PROPOSED CONCRETE	---
PROPOSED WATER LINE	---
PROPOSED SEWER LINE	---

#### STORMWATER MANAGEMENT LEGEND

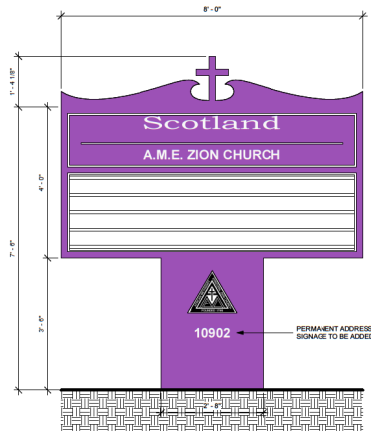
PROPOSED MICRO-RETENTION FACILITY	---
-----------------------------------	-----

APPROVAL STAMP:	
NO. / DATE	DESCRIPTION
SUBMISSIONS & REVISIONS	
OWNER	
SCOTLAND A.M.E. ZION CHURCH	
10802 SEVEN LOCKS ROAD, ROCKVILLE, MD 20854	
ARCHITECT	
ANTONOVICH ASSOCIATES	
1144 3RD STREET NE	
WASHINGTON, DC 20002	
MAR. 22, 2021 1144	
ANTONOVICH.COM	
STRUCTURAL ENGINEER	
MOV ENGINEERS	
6239 EXECUTIVE BLVD	
ROCKVILLE, MD 20855	
(301) 818-0646	
M.E.P. & P.P. ENGINEERS	
GHT LIMITED	
2101 GARTHER ROAD, SUITE 300	
ARLINGTON, VA 22201	
(703) 243-1200	
CIVIL ENGINEER	
DEWBERRY	
2101 GARTHER ROAD, SUITE 340	
ARLINGTON, VA 22201	
(703) 337-2800	
LANDSCAPE ARCHITECT	
GENERAL CONTRACTOR	
PROJECT LOCATION	
SCOTLAND A.M.E. ZION CHURCH	
10802 SEVEN LOCKS ROAD, ROCKVILLE, MD 20854	
DRAWING TITLE	
SITE AND GRADING PLAN	
SEA	DATE
10-10-2021	
DRAWN BY:	ES-M
CHECKED BY:	AS
PROJECT NO.:	91132454
DRAWING NO.:	C003



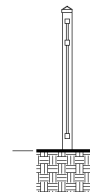


7 ILLUMINATED SITE SIGNAGE SIDE ELEVATION  
3/4" = 1'-0"

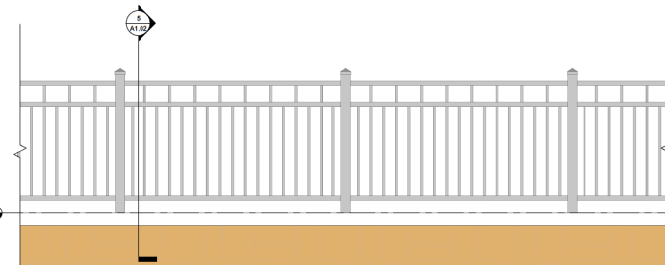


6 ILLUMINATED SITE SIGNAGE FRONT ELEVATION  
3/4" = 1'-0"

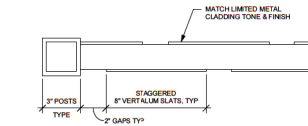
EXISTING SIGN TO BE FURNISHED BY OWNER & INSTALLED BY GC. - MFC SHOP DRAWINGS AVAILABLE UPON REQUEST



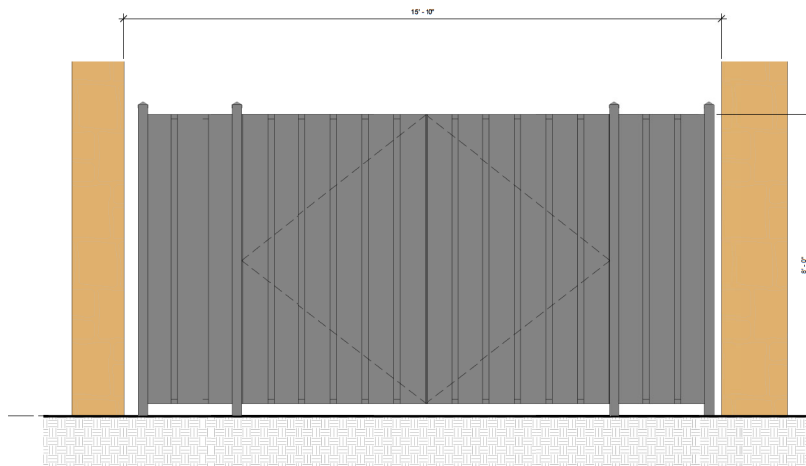
5 SITE RAILING DETAIL  
3/4" = 1'-0"



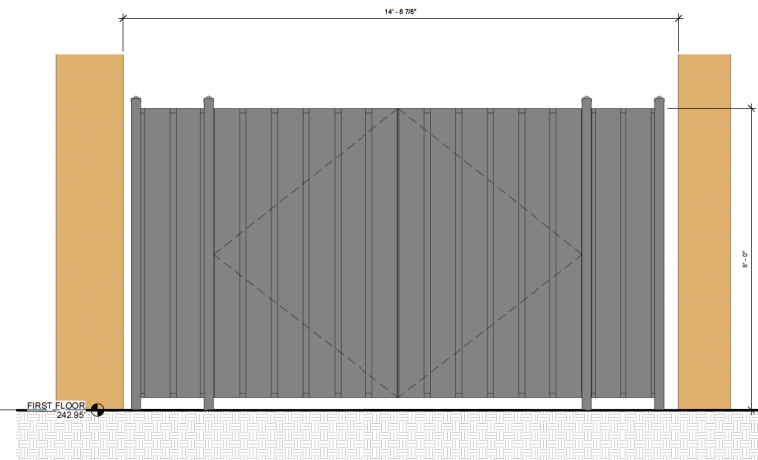
4 TYPICAL SITE RAILING  
3/4" = 1'-0"



3 TYPICAL SCREENING DETAIL  
3/4" = 1'-0"



2 MECH EQUIPMENT AREA SCREEN  
3/4" = 1'-0"



1 TRASH AREA SCREEN  
3/4" = 1'-0"

APPROVAL STAMPS:

191021 DESIGN DEVELOPMENT  
No. Date Description  
SUBMISSIONS & REVISIONS

OWNER  
SCOTLAND A.M.E. ZION  
CHURCH  
10902 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
ANTUNOVICH ASSOCIATES  
1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN 202.550.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
MGV ENGINEERS  
8200 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
(301) 811-0044

M.E.P. & P. ENGINEERS  
GHT LIMITED  
1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
DEWBERRY  
2101 GATHER ROAD, SUITE 340  
ROCKVILLE, MD 20850  
(301) 537-2000

LANDSCAPE ARCHITECT

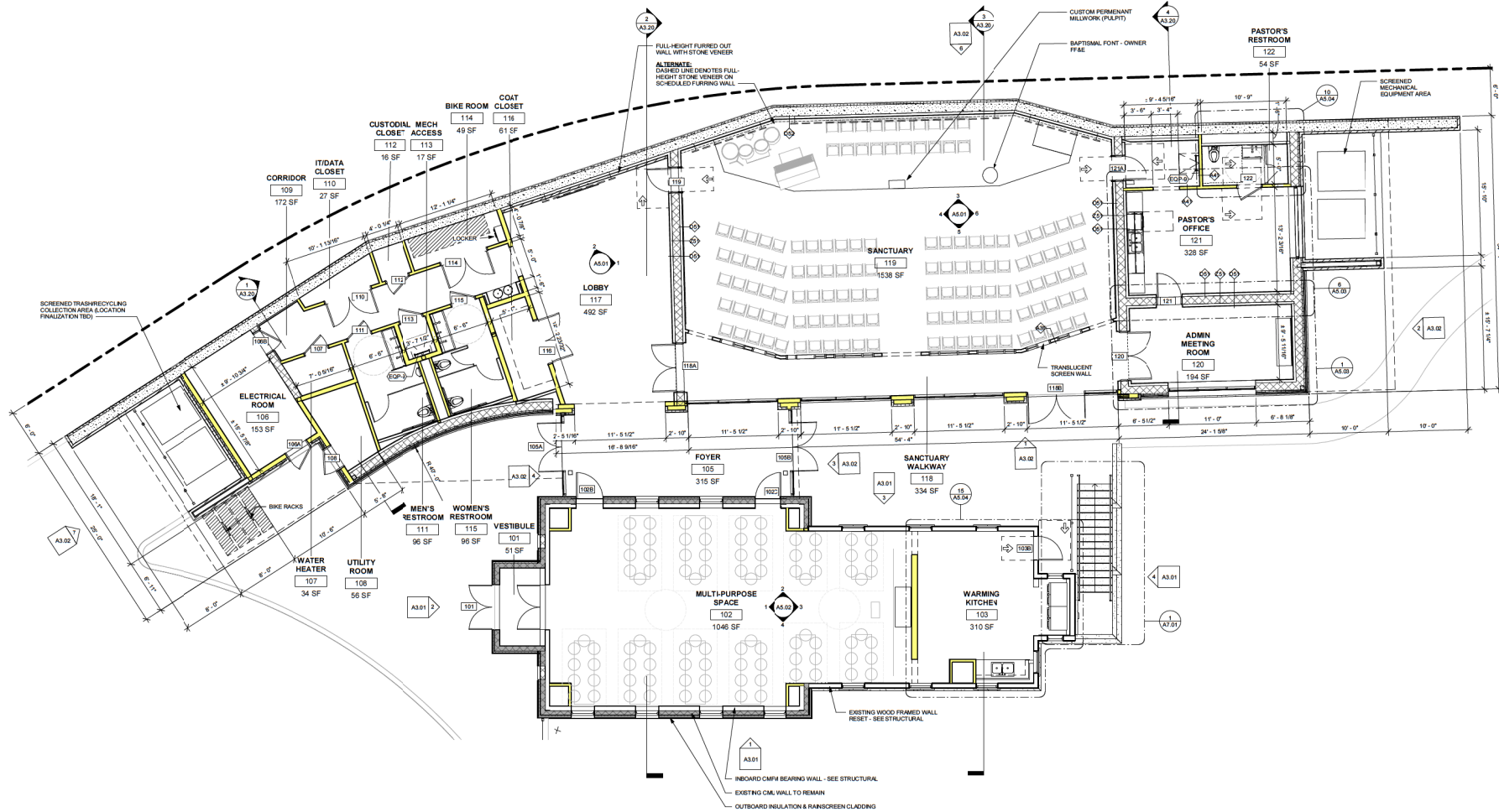
GENERAL CONTRACTOR

PROJECT LOCATION  
SCOTLAND  
A.M.E. ZION  
CHURCH  
10902 SEVEN LOCKS ROAD  
POTOMAC, MD 20854  
DRAWING TITLE  
ARCHITECTURAL  
SITE DETAILS

SEAL  
DATE 06/20/21  
DRAWN BY:  
CHECKED BY:  
PROJECT NO:

DRAWING NO  
A1.02

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1 FIRST FLOOR PLAN  
 3/16" = 1'-0"

GENERAL NOTES

KEYNOTES

PHASE LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION

APPROVAL STAMPS

No.	Date	Description
9/10/21		ISSUE FOR H.A.W.P.
9/10/21		DESIGN DEVELOPMENT
9/22/21		ISSUE FOR ZONING VARIANCE
1/1/21		OWNER V.L.
1/1/21		SCHEMATIC DESIGN

SUBMISSIONS & REVISIONS

OWNER  
**SCOTLAND A.M.E. ZION CHURCH**  
 1060 SEVEN LOCKS ROAD  
 POTOMAC, MD 20854

ARCHITECT  
**ANTUNOVICH ASSOCIATES**  
 1144 3RD STREET NE  
 WASHINGTON, DC 20002  
 MAIN 202.560.1144  
 ANTUNOVICH.COM

STRUCTURAL ENGINEER  
**MGV ENGINEERS**  
 8208 EXECUTIVE BLVD  
 ROCKVILLE, MD 20852  
 (301) 811-0046

M.E.P. & P. ENGINEERS  
**GHT LIMITED**  
 1110 N. GLEBE ROAD, SUITE 300  
 ARLINGTON, VA 22201  
 (703) 243-1200

LANDSCAPE ARCHITECT  
**DEWBERRY**  
 2110 GARTHER ROAD, SUITE 340  
 ROCKVILLE, MD 20850  
 (301) 537-2060

GENERAL CONTRACTOR

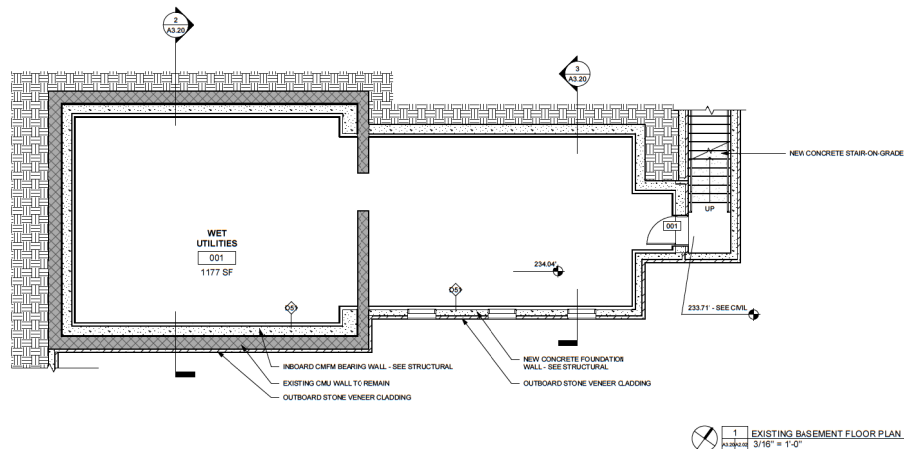
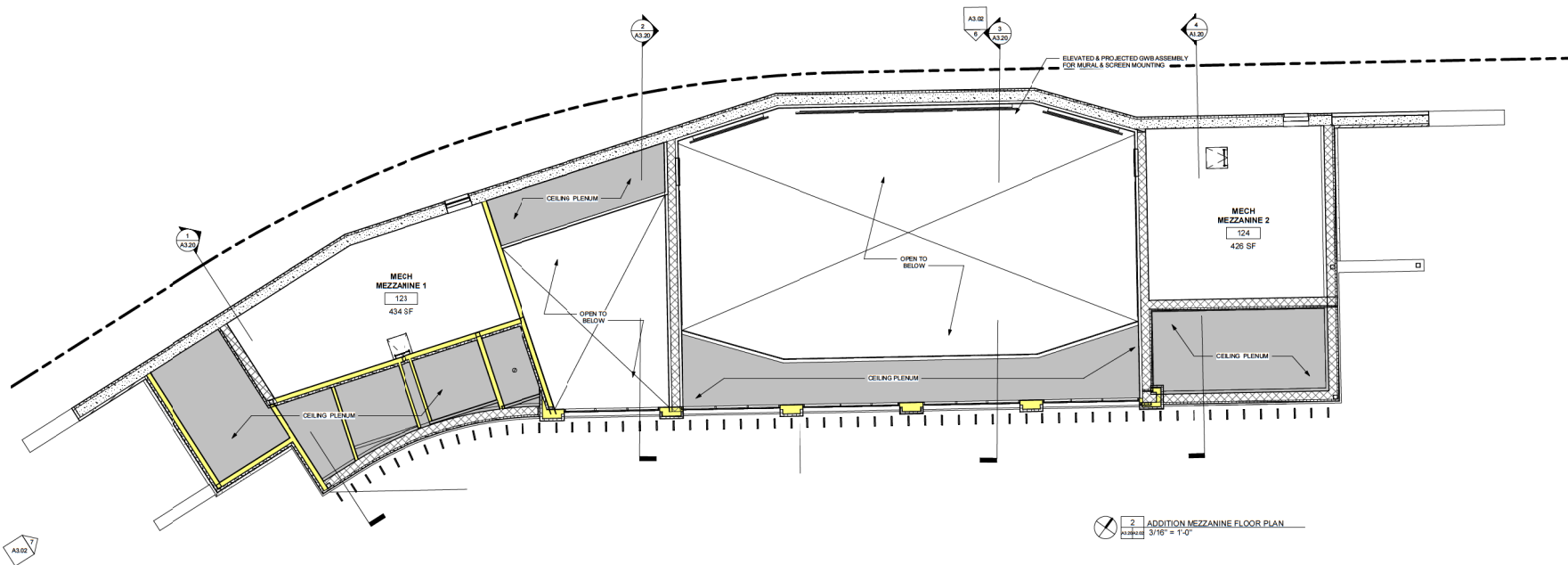
PROJECT LOCATION  
**SCOTLAND A.M.E. ZION CHURCH**  
 1060 SEVEN LOCKS ROAD  
 POTOMAC, MD 20854

DRAWING TITLE

FLOOR PLANS

SEAL  
 DATE: 09/2/21  
 DRAWN BY:  
 CHECKED BY:  
 PROJECT NO:

DRAWING NO  
**A2.01**



GENERAL NOTES

KEYNOTES

PHASE LEGEND

EXISTING TO REMAIN  
NEW CONSTRUCTION

APPROVAL STAMPS:

9/10/21 ISSUE FOR H.A.W.P.  
9/10/21 DESIGN DEVELOPMENT  
9/22/21 ISSUE FOR ZONING VARIANCE  
1/1/22 OWNER V.E.  
1/1/22 SCHEMATIC DESIGN

Submissions & Revisions

OWNER  
SCOTLAND A.M.E. ZION  
CHURCH  
1060 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
ANTUNOVICH ASSOCIATES  
1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN 202.560.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
MGV ENGINEERS  
8206 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
(301) 811-0044

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1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
DEWBERRY  
210 GATHER ROAD SUITE 340  
ROCKVILLE, MD 20850  
(301) 537-2000

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

SCOTLAND  
A.M.E. ZION  
CHURCH  
1060 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

DRAWING TITLE

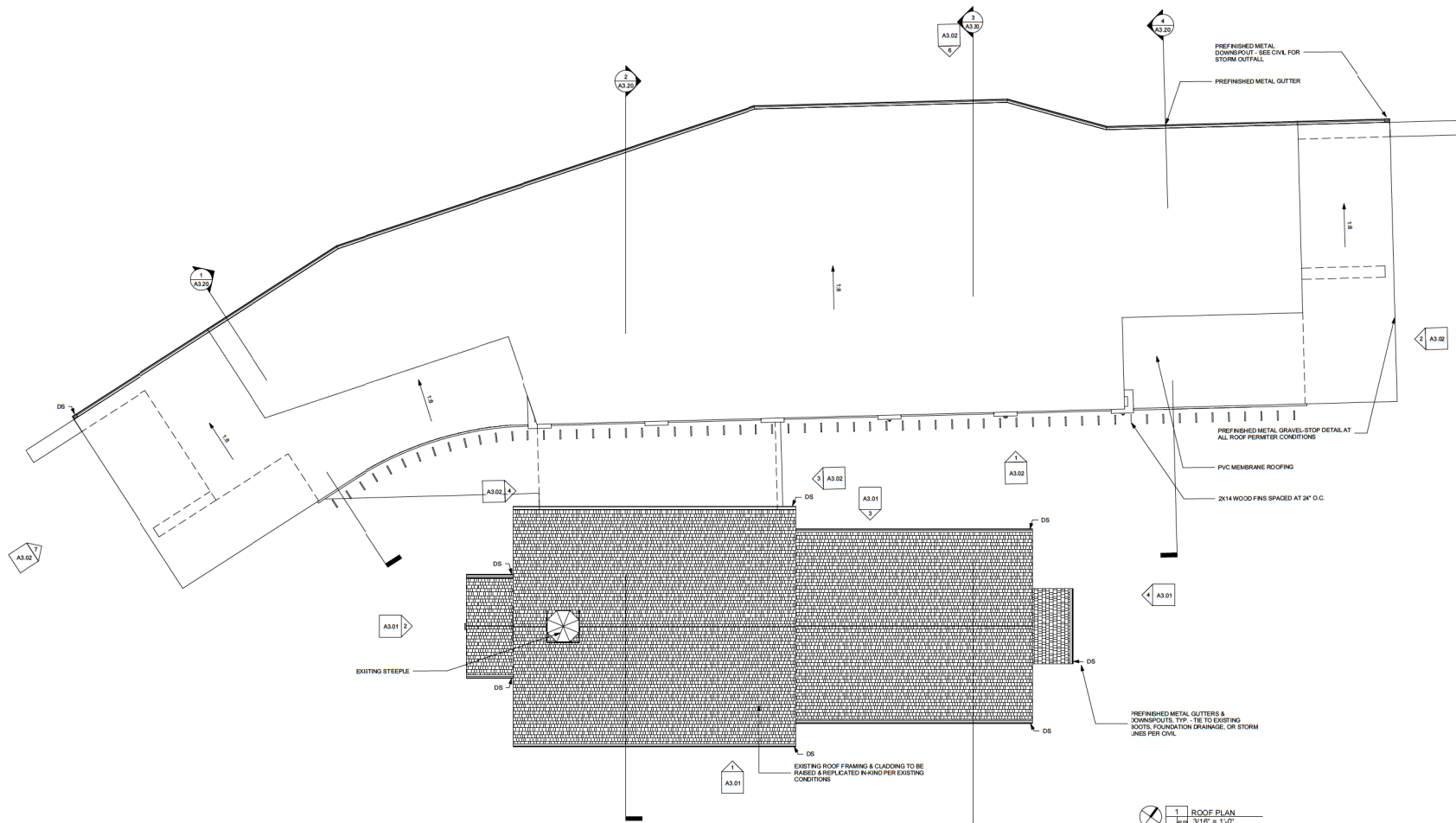
FLOOR PLANS

SEAL

DATE  
09/13/21  
DRAWN BY:  
CHECKED BY:  
PROJECT NO:

DRAWING NO  
A2.02

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1 ROOF PLAN  
3/16\"/>

#### GENERAL NOTES

#### KEYNOTES

#### PHASE LEGEND

	EXISTING TO REMAIN
	NEW CONSTRUCTION

#### APPROVAL STAMPS:

No.	Date	Description
9/10/21		ISSUE FOR H.A.W.P.
9/10/21		DESIGN DEVELOPMENT
9/22/21		ISSUE FOR ZONING VARIANCE
1/1/22		OWNER V.E.
1/1/22		SCHEMATIC DESIGN

#### SUBMISSIONS & REVISIONS

OWNER  
**SCOTLAND A.M.E. ZION CHURCH**  
1060 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
**ANTUNOVICH ASSOCIATES**  
1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN 202.560.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
**MGV ENGINEERS**  
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ROCKVILLE, MD 20852  
(301) 811-0066

M.E.P. & P.P. ENGINEERS  
**GHT LIMITED**  
1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
**DEWBERRY**  
2101 GANTHER ROAD, SUITE 340  
ROCKVILLE, MD 20850  
(301) 537-2065

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION  
**SCOTLAND A.M.E. ZION CHURCH**  
1060 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

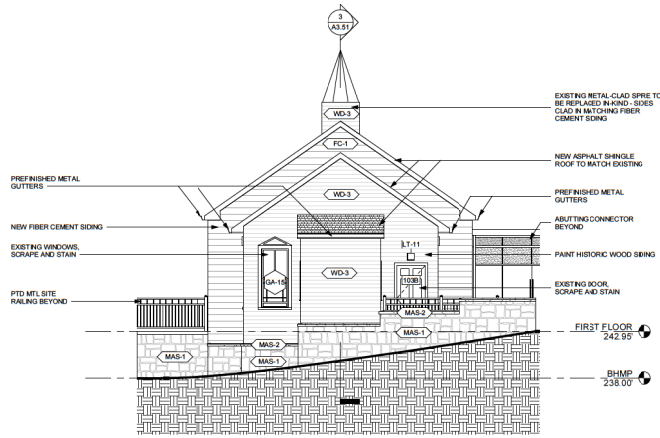
DRAWING TITLE  
**ROOF PLAN**

SEAL	DATE 02/1/2024
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

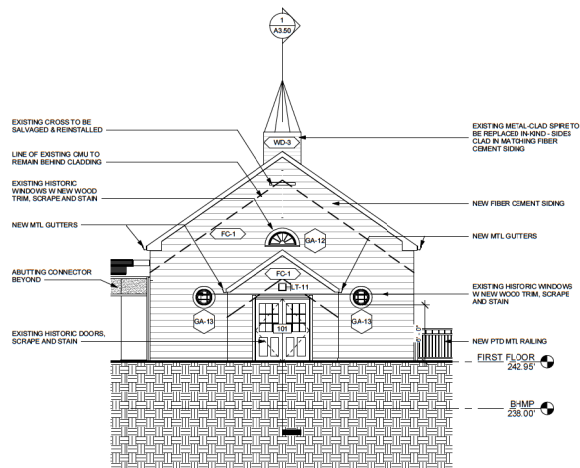
DRAWING NO  
**A2.03**

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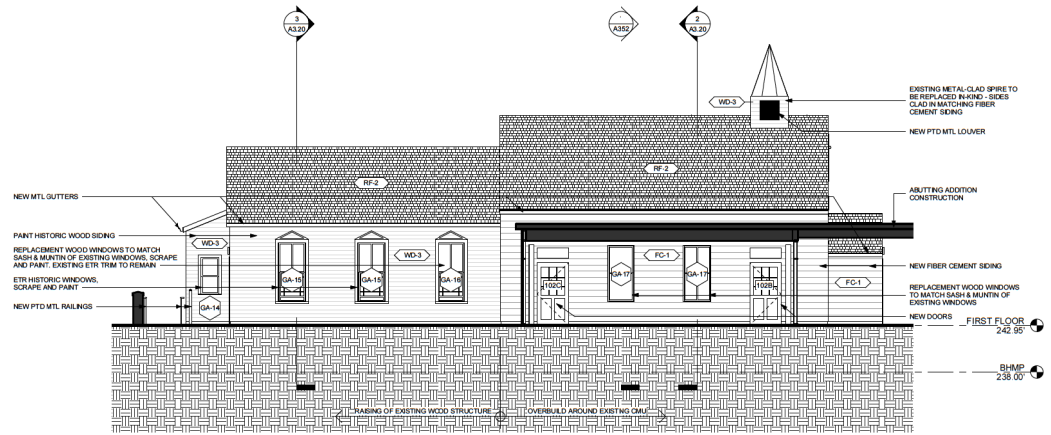




4 HISTORIC BUILDING NORTH ELEVATION  
3/16" = 1'-0"



2 HISTORIC BUILDING SOUTH ELEVATION  
3/16" = 1'-0"



3 HISTORIC BUILDING WEST ELEVATION  
3/16" = 1'-0"



1 HISTORIC BUILDING EAST ELEVATION  
3/16" = 1'-0"

#### GENERAL NOTES

#### KEYNOTES

#### PHASE LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION

#### APPROVAL STAMPS:

9/13/21	ISSUE FOR H.A.W.P.	
9/10/21	DESIGN DEVELOPMENT	
8/2/21	ISSUE FOR ZONING VARIANCE	
7/1/21	OWNER V.E.	
2/18/21	SCHEMATIC DESIGN	
No.	Date	Description
SUBMISSIONS & REVISIONS		

SUBMISSIONS & REVISIONS

OWNER  
SCOTLAND A.M.E. ZION  
CHURCH  
1060 SEVEN LOOKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
ANTUNOVICH ASSOCIATES  
1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN 202.560.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
MGV ENGINEERS  
8208 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
(301) 811-0044

M.E.P. & P. ENGINEERS  
GHT LIMITED  
1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
DEWBERRY  
210 GANTHER ROAD, SUITE 340  
ROCKVILLE, MD 20850  
(301) 537-2080

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION  
SCOTLAND  
A.M.E. ZION  
CHURCH  
1060 SEVEN LOOKS ROAD  
POTOMAC, MD 20854

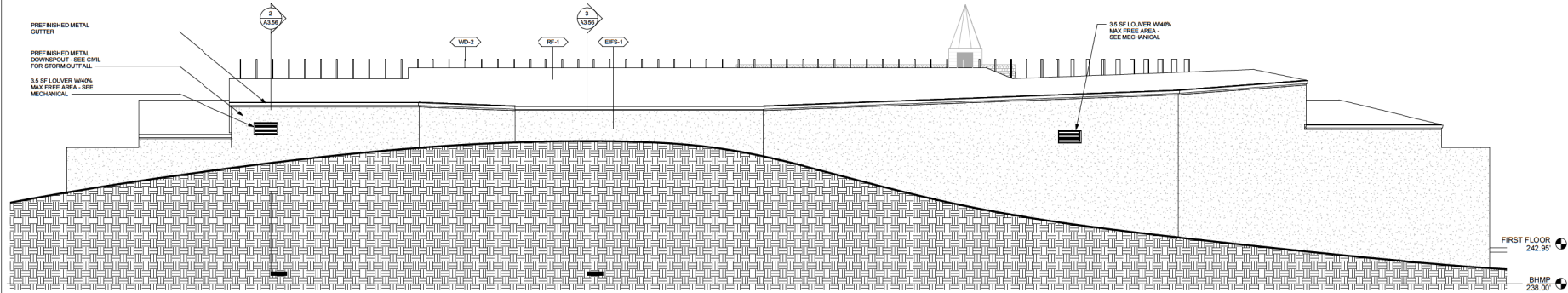
DRAWING TITLE  
BUILDING  
ELEVATIONS

SEAL  
DATE 02/03/21  
DRAWN BY:  
CHECKED BY:  
PROJECT NO.

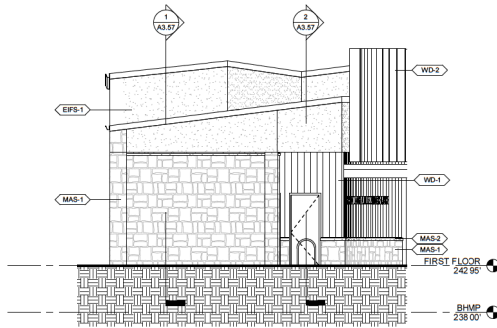
DRAWING NO  
A3.01

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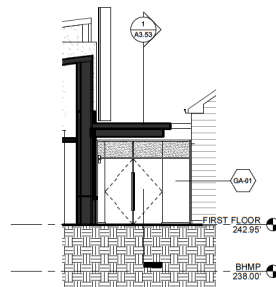




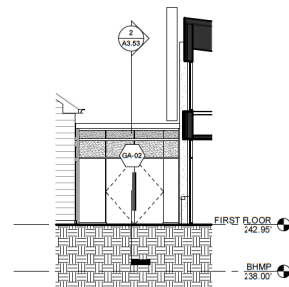
6 NEW BUILDING WEST ELEVATION  
3/16" = 1'-0"



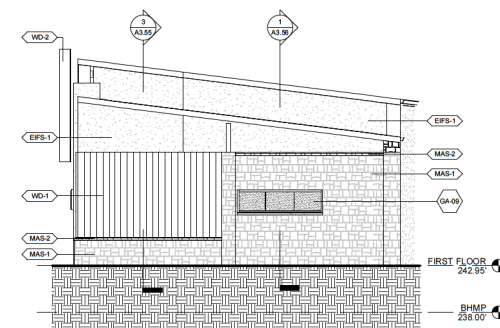
7 NEW BUILDING SOUTH ELEVATION  
3/16" = 1'-0"



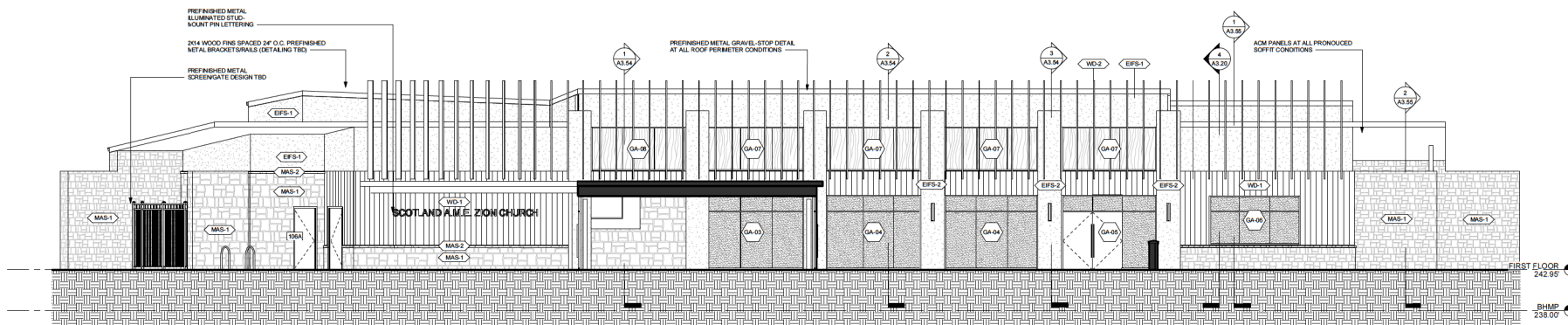
4 NEW BUILDING SOUTH ENTRY ELEVATION  
3/16" = 1'-0"



3 NEW BUILDING NORTH ENTRY ELEVATION  
3/16" = 1'-0"



2 NEW BUILDING NORTH ELEVATION  
3/16" = 1'-0"



1 NEW BUILDING EAST ELEVATION  
3/16" = 1'-0"

#### GENERAL NOTES

#### KEYNOTES

#### PHASE LEGEND

	EXISTING TO REMAIN
	NEW CONSTRUCTION

#### APPROVAL STAMPS

9/10/21 ISSUE FOR H.A.W.P.  
9/10/21 DESIGN DEVELOPMENT  
9/22/21 ISSUE FOR ZONING VARIANCE  
1/1/22 OWNER V.E.  
1/1/22 SCHEMATIC DESIGN

SUBMISSIONS & REVISIONS  
OWNER  
SCOTLAND A.M.E. ZION CHURCH  
1063 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
ANTUNOVICH ASSOCIATES  
1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN 202.561.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
MGV ENGINEERS  
828 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
(301) 811-0048

M.E.P. & P. ENGINEERS  
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1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
DEWBERRY  
210 GARTHER ROAD SUITE 340  
ROCKVILLE, MD 20850  
(301) 537-2065

LANDSCAPE ARCHITECT

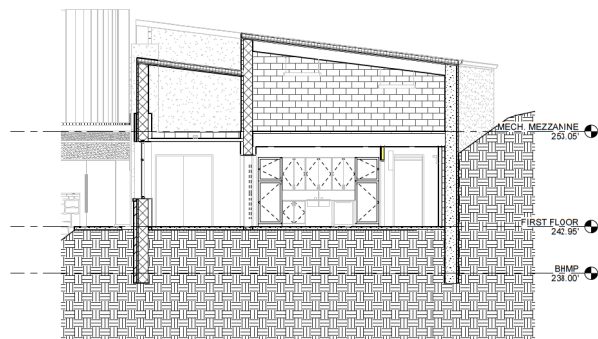
GENERAL CONTRACTOR

PROJECT LOCATION  
SCOTLAND A.M.E. ZION CHURCH  
1063 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

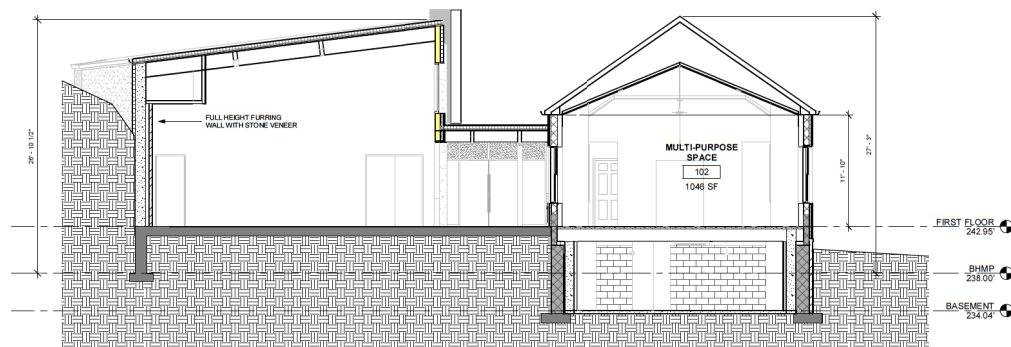
BUILDING ELEVATIONS

SEAL  
DATE  
DRAWN BY  
CHECKED BY  
PROJECT NO.

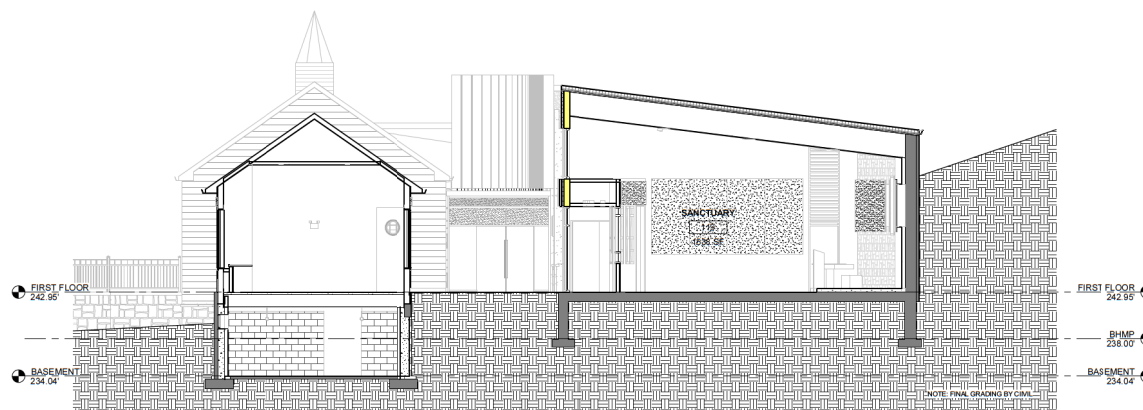
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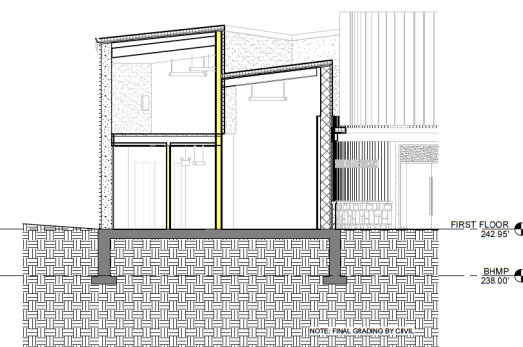
4 ADMINISTRATION SECTION  
3/16" = 1'-0"



2 MULTI-PURPOSE SPACE SECTION  
3/16" = 1'-0"



3 SANCTUARY SECTION/ELEVATION  
3/16" = 1'-0"



1 FRONT ENTRY SECTION/ELEVATION  
3/16" = 1'-0"

#### GENERAL NOTES

#### KEYNOTES

#### PHASE LEGEND

	EXISTING TO REMAIN
	NEW CONSTRUCTION

#### APPROVAL STAMPS:

No.	Date	Description
9/10/21		ISSUE FOR H.A.W.P.
9/10/21		DESIGN DEVELOPMENT
9/22/21		ISSUE FOR ZONING VARIANCE
10/1/21		OWNER V.E.
10/1/21		SCHEMATIC DESIGN

#### SUBMISSIONS & REVISIONS

OWNER  
SCOTLAND A.M.E. ZION  
10803 SEVEN LOOKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
**ANTUNOVICH ASSOCIATES**  
1144 3RD STREET NE  
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ANTUNOVICH.COM

STRUCTURAL ENGINEER  
**MGV ENGINEERS**  
8208 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
(301) 811-0044

M.E.P. & P.E. ENGINEERS  
**GHT LIMITED**  
1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
**DEWBERRY**  
2110 GANTHER ROAD, SUITE 340  
ROCKVILLE, MD 20855  
(301) 537-2085

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION  
**SCOTLAND A.M.E. ZION CHURCH**  
10803 SEVEN LOOKS ROAD  
POTOMAC, MD 20854

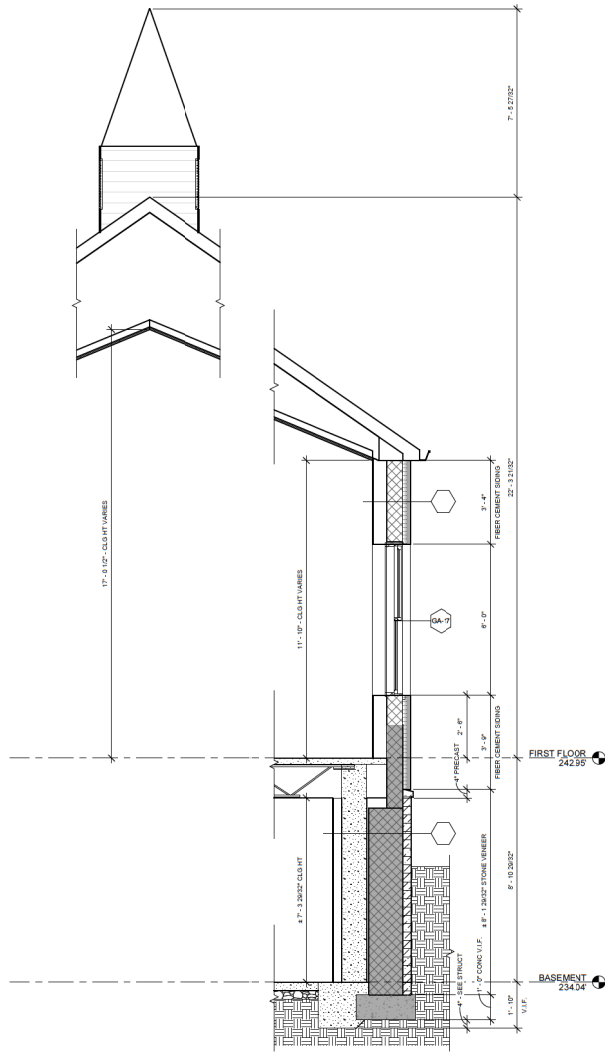
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#### BUILDING SECTIONS

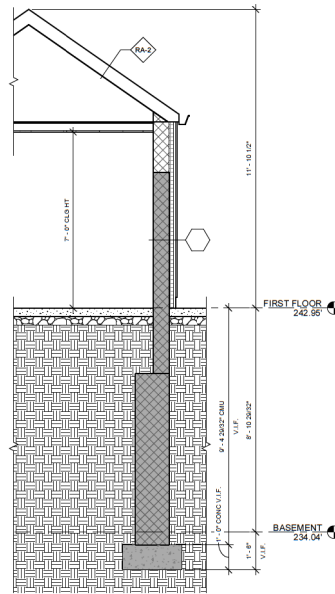
SEAL	DATE 01/16/21
	DRAWN BY
	CHECKED BY
	PROJECT NO.

DRAWING NO.  
**A3.20**

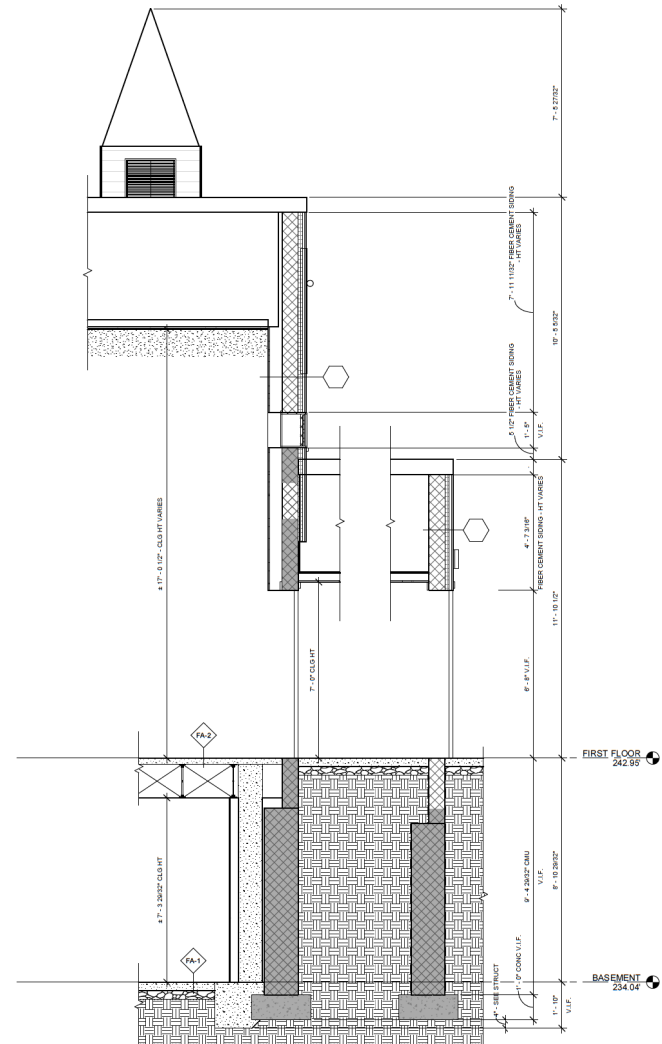
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3 SECTION @ HISTORIC BUILDING - ADDITION  
 1/2" = 1'-0"



2 SECTION @ HISTORIC BUILDING SOUTH VESTIBULE  
 1/2" = 1'-0"

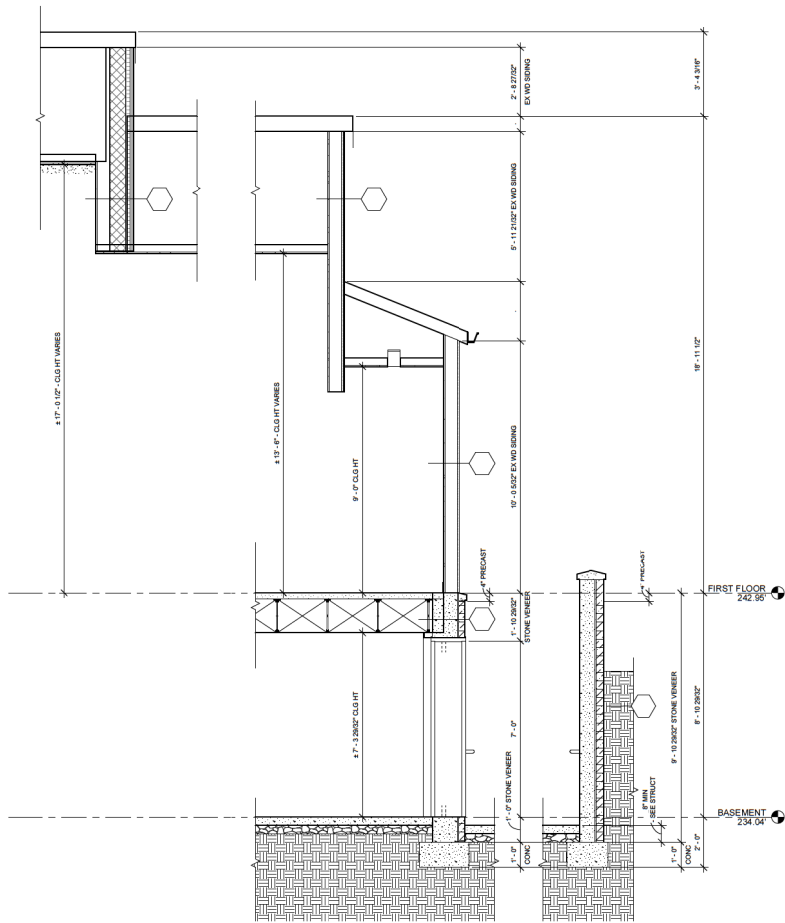


1 SECTION @ HISTORIC BUILDING SOUTH ENTRY  
 1/2" = 1'-0"

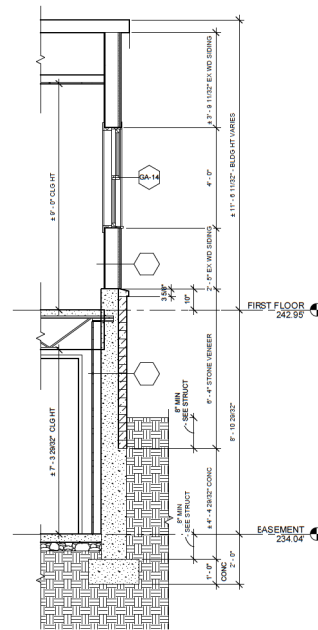
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TYP ROOF ASSEMBLY 2: XXX		TYP ROOF ASSEMBLY 1: XXX		TYP EXTERIOR WALL ASSEMBLY #5:	TYP EXTERIOR WALL ASSEMBLY #4:	TYP EXTERIOR WALL ASSEMBLY #3:	TYP EXTERIOR WALL ASSEMBLY #2:	TYP EXTERIOR WALL ASSEMBLY #1: XXX	<div>EXISTING TO REMAIN</div> <div>NEW CONSTRUCTION</div>
EXTERIOR XXX INTERIOR		EXTERIOR XXX INTERIOR *SEE AXXX FOR ROOF DETAILS					EXTERIOR XXX INTERIOR	EXTERIOR XXX INTERIOR	

APPROVAL STAMPS:

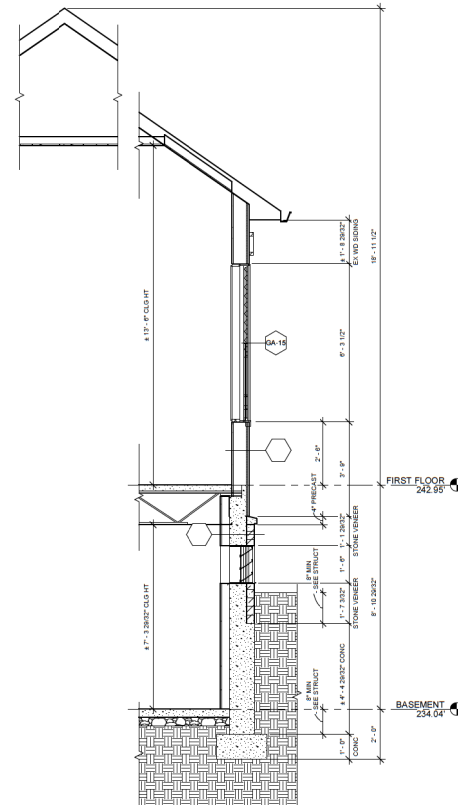
No.	Date	Description
191021	DESIGN DEVELOPMENT	
SUBMISSIONS & REVISIONS		
OWNER SCOTLAND A.M.E. ZION CHURCH 1060 SEVEN LOOKS ROAD POTOMAC, MD 20854		
ARCHITECT ANTUNOVICH ASSOCIATES 1144 3RD STREET NE WASHINGTON, DC 20002 MAIN 202.560.1144 ANTUNOVICH.COM		
STRUCTURAL ENGINEER MGV ENGINEERS 828 EXECUTIVE BLVD ROCKVILLE, MD 20852 (301) 811-0404		
M.E.P. & F.P. ENGINEERS GHT LIMITED 1110 N. GLEBE ROAD, SUITE 300 ARLINGTON, VA 22201 (703) 243-1200		
LANDSCAPE ARCHITECT DEWBERRY 210 GARTHER ROAD, SUITE 340 ROCKVILLE, MD 20850 (301) 537-2065		
GENERAL CONTRACTOR		
PROJECT LOCATION SCOTLAND A.M.E. ZION CHURCH 1060 SEVEN LOOKS ROAD POTOMAC, MD 20854		
DRAWING TITLE WALL SECTIONS		
SEAL	DATE 09/2/21	DRAWN BY:
	CHECKED BY:	PROJECT NO:
DRAWING NO A3.50		



3 SECTION @ HISTORIC BUILDING  
1/2" = 1'-0"



2 SECTION @ HISTORIC BUILDING - ORIGINAL CHURCH 2  
1/2" = 1'-0"



1 SECTION @ HISTORIC BUILDING - ORIGINAL CHURCH  
1/2" = 1'-0"

ROOF ASSEMBLIES			EXTERIOR WALL ASSEMBLIES					PHASE LEGEND
TYP ROOF ASSEMBLY 2: XXX	TYP ROOF ASSEMBLY 1: XXX	TYP EXTERIOR WALL ASSEMBLY #3: XXX	TYP EXTERIOR WALL ASSEMBLY #4: XXX	TYP EXTERIOR WALL ASSEMBLY #3: XXX	TYP EXTERIOR WALL ASSEMBLY #2: XXX	TYP EXTERIOR WALL ASSEMBLY #1: XXX		
EXTERIOR XXX INTERIOR	EXTERIOR XXX INTERIOR *SEE ABOVE FOR ROOF DETAILS				EXTERIOR XXX INTERIOR	EXTERIOR XXX INTERIOR		EXISTING TO REMAIN
								NEW CONSTRUCTION

APPROVAL STAMPS:

19/02/21 DESIGN DEVELOPMENT  
No. Date Description  
SUBMISSIONS & REVISIONS

OWNER  
SCOTLAND A.M.E. ZION  
CHURCH  
1063 SEVEN LOOKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
ANTUNOVICH ASSOCIATES  
1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN 202.550.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
MGV ENGINEERS  
828 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
(301) 811-0066

M.E.P. & F.P. ENGINEERS  
GHT LIMITED  
1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
DEWBERRY  
218 SARTHER ROAD, SUITE 340  
ROCKVILLE, MD 20850  
(301) 537-2065

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION  
SCOTLAND  
A.M.E. ZION  
CHURCH  
1063 SEVEN LOOKS ROAD  
POTOMAC, MD 20854

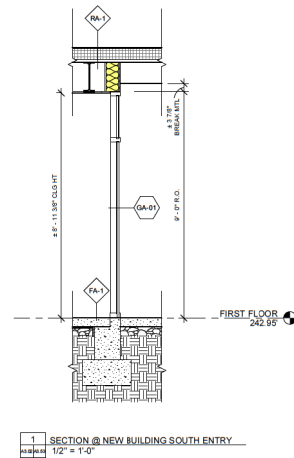
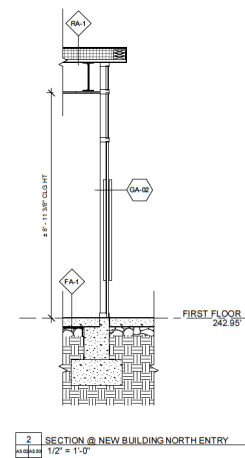
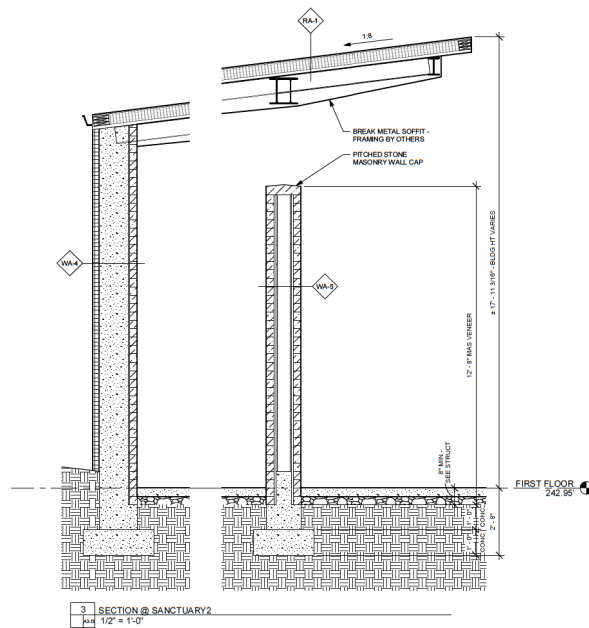
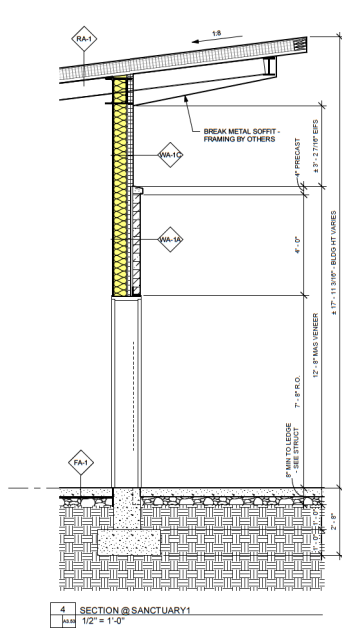
DRAWING TITLE  
WALL SECTIONS



SEAL DATE  
09/12/21  
DRAWN BY:  
CHECKED BY:  
PROJECT NO:

DRAWING NO  
A3.51



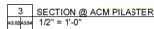
ROOF ASSEMBLIES		EXTERIOR WALL ASSEMBLIES						PHASE LEGEND						
TYP ROOF ASSEMBLY 2: XXX		TYP ROOF ASSEMBLY 1: XXX		TYP EXTERIOR WALL ASSEMBLY #3:		TYP EXTERIOR WALL ASSEMBLY #4:		TYP EXTERIOR WALL ASSEMBLY #5:		TYP EXTERIOR WALL ASSEMBLY #6:		TYP EXTERIOR WALL ASSEMBLY #7: XXX		<div><div></div><div></div></div> EXISTING TO REMAIN
EXTERIOR -XXX INTERIOR		EXTERIOR -XXX INTERIOR  *SEE AROXX FOR ROOF DETAILS								EXTERIOR -XXX INTERIOR		EXTERIOR -XXX INTERIOR		<div><div></div><div></div></div> NEW CONSTRUCTION
														DATE: 08/2/21
														DRAWN BY:
														CHECKED BY:
														PROJECT NO:
DRAWING NO.														A3.52



ROOF ASSEMBLIES		EXTERIOR WALL ASSEMBLIES						PHASE LEGEND	
TYP ROOF ASSEMBLY 2: XXX	TYP ROOF ASSEMBLY 1: XXX	TYP EXTERIOR WALL ASSEMBLY #:	TYP EXTERIOR WALL ASSEMBLY #4:	TYP EXTERIOR WALL ASSEMBLY #3:	TYP EXTERIOR WALL ASSEMBLY #2:	TYP EXTERIOR WALL ASSEMBLY #1: XXX			EXISTING TO REMAIN
EXTERIOR XXX INTERIOR	EXTERIOR XXX INTERIOR *SEE ABOVE FOR ROOF DETAILS				EXTERIOR XXX INTERIOR	EXTERIOR XXX INTERIOR			NEW CONSTRUCTION

APPROVAL STAMPS:

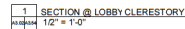
19/02/21	DESIGN DEVELOPMENT
No.	Date
SUBMISSIONS & REVISIONS	
OWNER SCOTLAND A.M.E. ZION CHURCH 10603 SEVEN LOOKS ROAD POTOMAC, MD 20854	
ARCHITECT ANTUNOVICH ASSOCIATES 1144 3RD STREET NE WASHINGTON, DC 20002 MAIN 202.550.1144 ANTUNOVICH.COM	
STRUCTURAL ENGINEER MGV ENGINEERS 8208 EXECUTIVE BLVD ROCKVILLE, MD 20852 (301) 811-0044	
M.E.P. & P.P. ENGINEERS OHT LIMITED 1110 N. GLEBE ROAD, SUITE 300 ARLINGTON, VA 22201 (703) 243-1200	
CIVIL ENGINEER DEWBERRY 210 GARTHER ROAD SUITE 340 ROCKVILLE, MD 20850 (301) 537-2060	
LANDSCAPE ARCHITECT	
GENERAL CONTRACTOR	
PROJECT LOCATION SCOTLAND A.M.E. ZION CHURCH 10603 SEVEN LOOKS ROAD POTOMAC, MD 20854	
DRAWING TITLE WALL SECTIONS	
SEAL	DATE 09/12/21
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:
DRAWING NO	A3.53



3	SECTION @ ACM PILASTER
A3.02/A3.04	1/2" = 1'-0"





2	SECTION @ SANCTUARY
A332A3.54	1/2" = 1'-0"



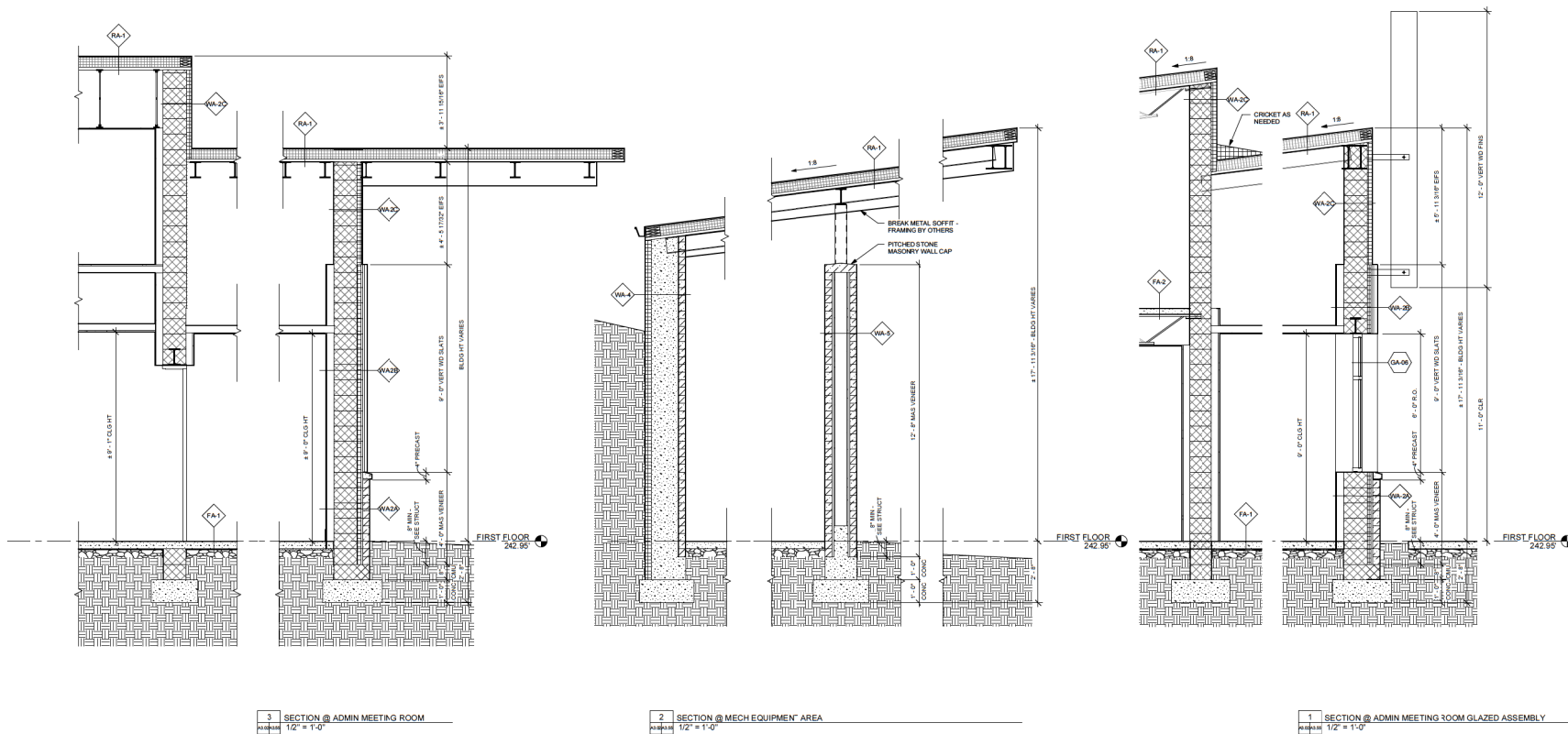
1	SECTION @ LOBBY CLERESTORY
AS.03/AS.04	1/2" = 1'-0"



4	TYPICAL NEW BUILDING WALL SECTION
A354	1/2" = 1'-0"

ROOF ASSEMBLIES		EXTERIOR WALL ASSEMBLIES						PHASE LEGEND	
<b>TYP ROOF ASSEMBLY 2:</b> XXX  EXTERIOR -XXX INTERIOR	<b>TYP ROOF ASSEMBLY 1:</b> XXX  EXTERIOR -XXX INTERIOR  *SEE AXXXX FOR ROOF DETAILS	<b>TYP EXTERIOR WALL ASSEMBLY #3:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #4:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #5:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #6:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #7:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #1:</b> XXX  EXTERIOR -XXX INTERIOR	 EXISTING TO REMAIN  NEW CONSTRUCTION	SEAL: _____ DATE: 08/2/21 DRAWN BY: _____ CHECKED BY: _____ PROJECT NO: _____ DRAWING NO: _____ <b>A3.54</b>

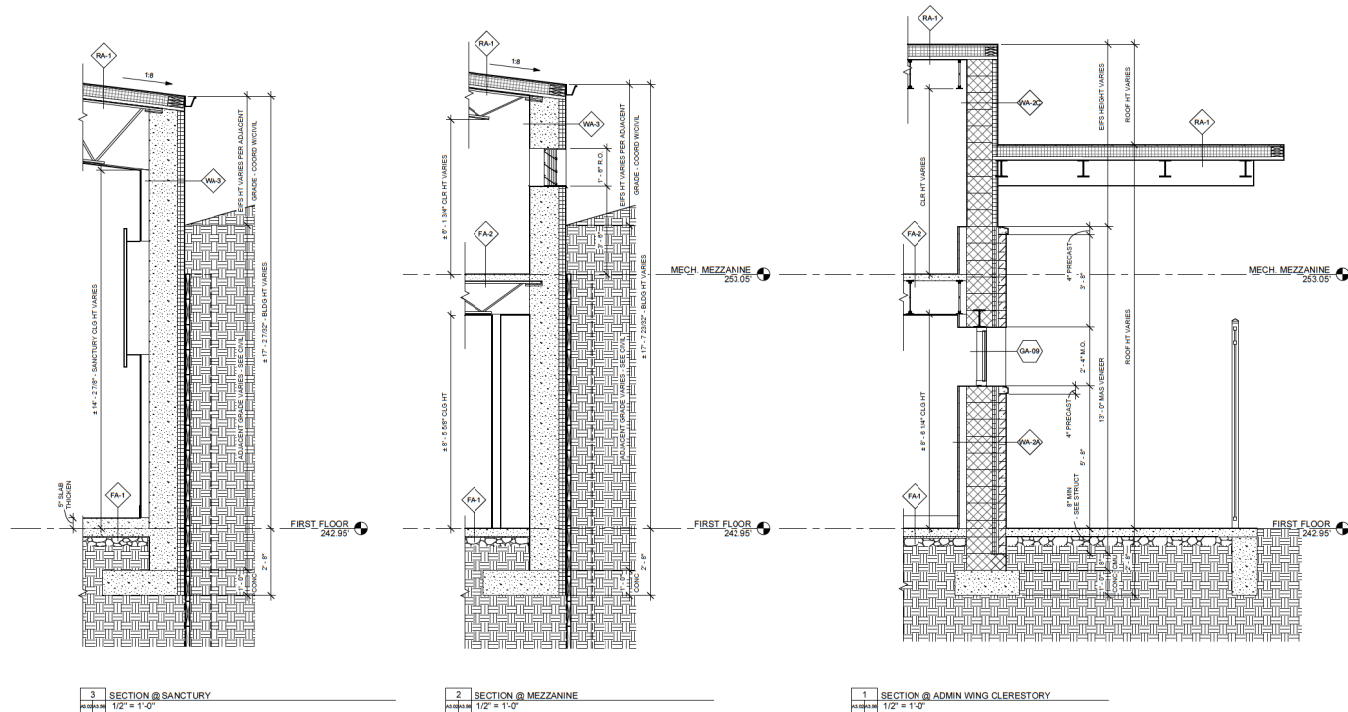




ROOF ASSEMBLIES		EXTERIOR WALL ASSEMBLIES					PHASE LEGEND	
TYP ROOF ASSEMBLY 2: XXX	TYP ROOF ASSEMBLY 1: XXX	TYP EXTERIOR WALL ASSEMBLY #1:	TYP EXTERIOR WALL ASSEMBLY #2:	TYP EXTERIOR WALL ASSEMBLY #3:	TYP EXTERIOR WALL ASSEMBLY #4:	TYP EXTERIOR WALL ASSEMBLY #5:	EXISTING TO REMAIN	NEW CONSTRUCTION
EXTERIOR XXX INTERIOR	EXTERIOR XXX INTERIOR *SEE AXXXX FOR ROOF DETAILS							

APPROVAL STAMPS:

191021	DESIGN DEVELOPMENT
No.	Date
SUBMISSIONS & REVISIONS	
OWNER	SCOTLAND A.M.E. ZION CHURCH
1063 SEVEN LOOKS ROAD	POTOMAC, MD 20854
ARCHITECT	ANTUNOVICH ASSOCIATES
1144 3RD STREET NE	WASHINGTON, DC 20002
MAIN 202.560.1144	ANTUNOVICH.COM
STRUCTURAL ENGINEER	MOV ENGINEERS
828 EXECUTIVE BLVD	ROCKVILLE, MD 20852
(301) 811-0048	
M.E.P. & P. ENGINEERS	GHT LIMITED
1110 N. GLEBE ROAD, SUITE 300	ARLINGTON, VA 22201
(703) 243-1200	
CIVIL ENGINEER	DEWBERRY
218 GANTHER ROAD, SUITE 340	ROCKVILLE, MD 20850
(301) 537-2065	
LANDSCAPE ARCHITECT	
GENERAL CONTRACTOR	
PROJECT LOCATION	SCOTLAND A.M.E. ZION CHURCH
1063 SEVEN LOOKS ROAD	POTOMAC, MD 20854
DRAWING TITLE	WALL SECTIONS
DATE	09/2/21
DRAWN BY:	
CHECKED BY:	
PROJECT NO.	
DRAWING NO.	A3.55



ROOF ASSEMBLIES		EXTERIOR WALL ASSEMBLIES						PHASE LEGEND	
TYP ROOF ASSEMBLY 2: XXX	TYP ROOF ASSEMBLY 1: XXX	TYP EXTERIOR WALL ASSEMBLY #3:	TYP EXTERIOR WALL ASSEMBLY #4:	TYP EXTERIOR WALL ASSEMBLY #5:	TYP EXTERIOR WALL ASSEMBLY #2:	TYP EXTERIOR WALL ASSEMBLY #1: XXX			EXISTING TO REMAIN
EXTERIOR XXX INTERIOR	EXTERIOR XXX INTERIOR *SEE AXXXX FOR ROOF DETAILS				EXTERIOR XXX INTERIOR	EXTERIOR XXX INTERIOR			NEW CONSTRUCTION
								SEAL	DATE 09/12/01
									DRAWN BY:
									CHECKED BY:
									PROJECT NO:
								DRAWING NO	A3.56

APPROVAL STAMPS:

19/02/21 DESIGN DEVELOPMENT  
No. 1 Date 1 Description

SUBMISSIONS & REVISIONS

OWNER  
SCOTLAND A.M.E. ZION  
CHURCH  
1063 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
ANTUNOVICH ASSOCIATES  
1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN 202.550.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
MGV ENGINEERS  
828 EISENHOWER BLVD  
ROCKVILLE, MD 20852  
(301) 811-0066

M.E.P. & P. ENGINEERS  
GHT LIMITED  
1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
DEWBERRY  
210 GARTHER ROAD, SUITE 340  
ROCKVILLE, MD 20850  
(301) 537-2065

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

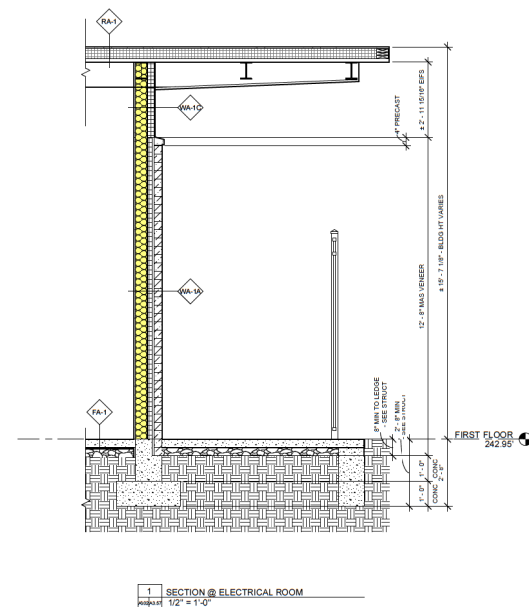
PROJECT LOCATION  
SCOTLAND  
A.M.E. ZION  
CHURCH  
1063 SEVEN LOCKS ROAD  
POTOMAC, MD 20854



WALL SECTIONS

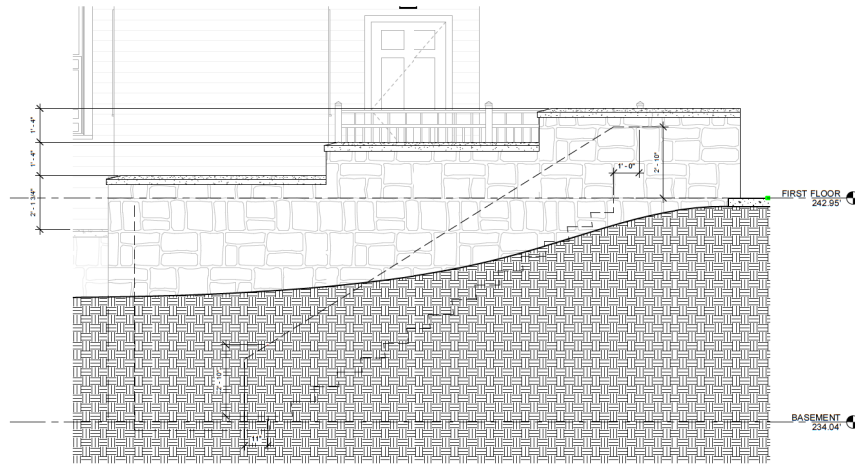
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09/12/01  
DRAWN BY:  
CHECKED BY:  
PROJECT NO:

DRAWING NO  
A3.56

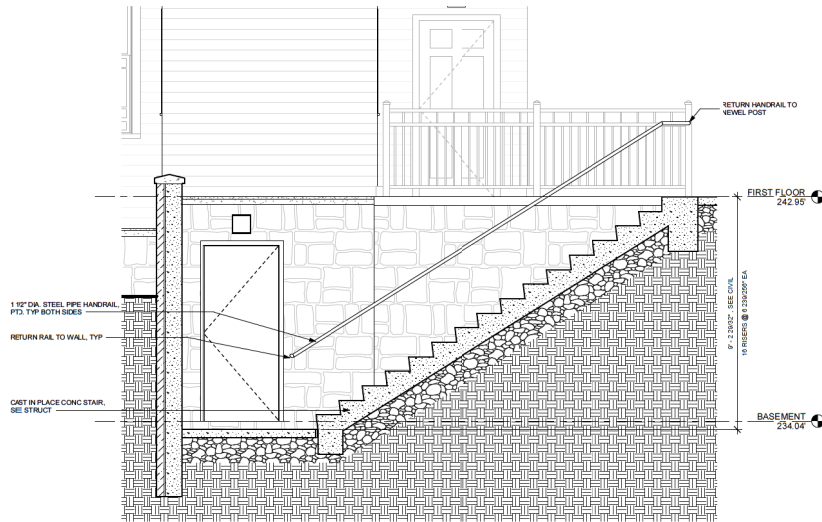
COPYRIGHT 2001



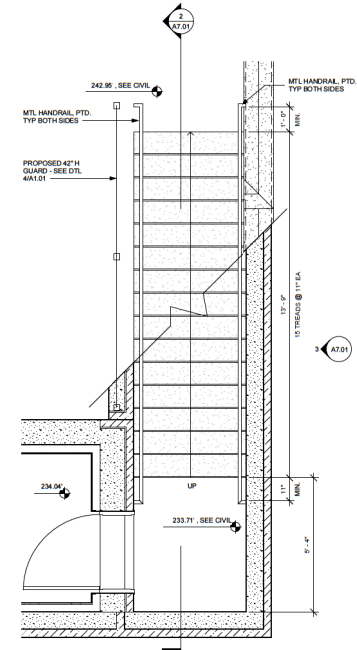
ROOF ASSEMBLIES		EXTERIOR WALL ASSEMBLIES						PHASE LEGEND	
<b>TYP ROOF ASSEMBLY 2:</b> XXX	<b>TYP ROOF ASSEMBLY 1:</b> XXX	<b>TYP EXTERIOR WALL ASSEMBLY #3:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #4:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #5:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #2:</b>	<b>TYP EXTERIOR WALL ASSEMBLY #1:</b> XXX		EXISTING TO REMAIN	
EXTERIOR - SOX INTERIOR	EXTERIOR - SOX INTERIOR *SEE AROOXTOR ROOF DETAILS				EXTERIOR - SOX INTERIOR	EXTERIOR - SOX INTERIOR		NEW CONSTRUCTION	



3 STAIR ELEVATION  
1/2" = 1'-0"



2 STAIR SECTION  
1/2" = 1'-0"



1 STAIR PLAN  
1/2" = 1'-0"

#### GENERAL NOTES

#### KEYNOTES

#### PHASE LEGEND

	EXISTING TO REMAIN
	NEW CONSTRUCTION

#### APPROVAL STAMPS:

9/10/21 ISSUE FOR PLAN SET  
9/10/21 DESIGN DEVELOPMENT  
No. Date Description

#### SUBMISSIONS & REVISIONS

OWNER  
SCOTLAND A.M.E. ZION  
CHURCH  
10603 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

ARCHITECT  
ANTUNOVICH ASSOCIATES  
1144 3RD STREET NE  
WASHINGTON, DC 20002  
MAIN 202.560.1144  
ANTUNOVICH.COM

STRUCTURAL ENGINEER  
MGV ENGINEERS  
8208 EXECUTIVE BLVD  
ROCKVILLE, MD 20852  
(301) 811-0044

M.E.P. & P.E. ENGINEERS  
GHT LIMITED  
1110 N. GLEBE ROAD, SUITE 300  
ARLINGTON, VA 22201  
(703) 243-1200

CIVIL ENGINEER  
DEWBERRY  
2101 GATHER ROAD, SUITE 340  
ROCKVILLE, MD 20850  
(301) 537-2065

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

#### PROJECT LOCATION

SCOTLAND  
A.M.E. ZION  
CHURCH  
10603 SEVEN LOCKS ROAD  
POTOMAC, MD 20854

#### DRAWING TITLE

VERTICAL  
CIRCULATION

SEAL DATE 09/13/21  
DRAWN BY:  
CHECKED BY:  
PROJECT NO:

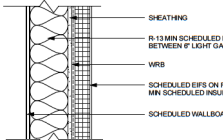
DRAWING NO  
A7.01

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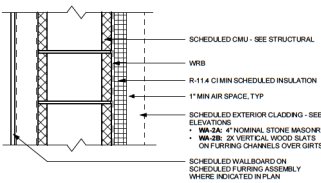
A cross-section diagram of a scheduled exterior wall assembly. The diagram shows the following layers from the exterior to the interior:

- SHEATHING**: The outermost layer, indicated by a line pointing to the exterior face of the wall.
- R-13 MIN SCHEDULED INSULATION BETWEEN 6" LIGHT GAGE FRAMING**: Indicated by a line pointing to the insulation between the vertical studs.
- WRB**: Water-resistive barrier, indicated by a line pointing to the layer immediately inside the insulation.
- R-7.5 G MIN SCHEDULED INSULATION**: Indicated by a line pointing to the insulation between the horizontal joists.
- 1" MIN AIR SPACE, TYP**: Indicated by a line pointing to the gap between the WRB and the exterior cladding.
- SCHEDULED EXTERIOR CLADDING - SEE ELEVATIONS**: Indicated by a line pointing to the outer surface of the wall. Below this, two options are listed:
  - **WA-1A: 4" NOMINAL STONE MASONRY**
  - **WA-1B: 2X VERTICAL WOOD SLATS ON FLURTING CHANNELS OVER GIRTS**
- SCHEDULED WALLBOARD**: The innermost layer, indicated by a line pointing to the interior face of the wall.

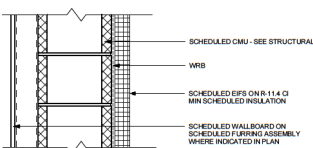
11



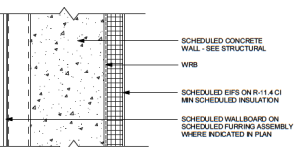
75.0	1.72 = 1.5
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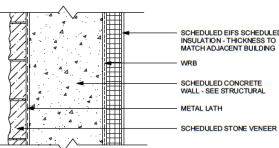
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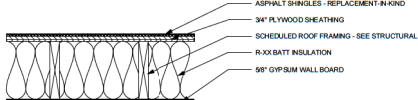


1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Diagram illustrating the cross-section of a roof assembly, showing the following components from top to bottom:

- MEGAPLANE
- 1/2" COVERBOARD
- 2" POLYISOCYANURATE BOARD INSULATION MINIMUM 2 LAYERS, JOINT STAGGERED, R-25 G/MIN
- 1 1/2" ROOF DECKING - SEE STRUCTURAL
- SCHEDULED STEEL FRAMING - SEE STRUCTURAL
- 5/8" INTERIOR GYPSUM BOARD WHERE INDICATED

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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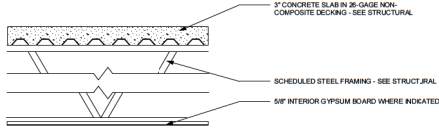
11

6" CONCRETE SLAB ON GRADE

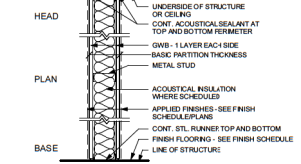
R-10 MN SCHEDULED INSULATION AS PRESCRIBED BY CODE

10-MIL-THICK POLYETHYLENE LINER

1



$$1\frac{1}{2} = 1.5$$



TYPE	STUD SIZE	BASIC PARTITION THICKNESS	STUDS TO STRUCTURE ABOVE (SEE DETAILS)		FIRE RATING	ACOUSTIC INSULATION	STC	ACOUSTICAL TEST #	FIRE TEST #	REMARKS
			GWB TO STRUCTURE	GWB # ABOVE CLG						
A31	3 5/8"	4 7/8"	*		-	No	40	USG 860808	UL DES 405	
A41	3 5/8"	4 7/8"	*		-	Yes	40	SA-870717	UL DES 405	
A73	6"	7 1/4"	*		-	Yes	40	SIM SA-870717	SIM UL 265 405	

A. REFERENCE ROOM FINISH SCHEDULE FOR BASEBOARD FINIS. FINISHES NOT SHOWN ON PARTITION TYPES

- [illegible]

[illegible]





Tree 1: 20" dbh Black Walnut

Based on visual observation, the above ground portion of this tree appears to be in good condition. The tree has a heavy lean in the direction of Seven Locks Rd. The root flare of this tree is buried which has likely negatively impacted overall tree health and anchorage. The parking lot location is poor for this species due to the nuisance caused by the large and numerous walnuts it produces. My overall impression of this tree is that removal is warranted.



Tree 2: 7" dbh American Hornbeam

Based on visual observation, the above ground portion of this tree appears to be in poor condition. There is a large pocket of decay which runs from ground level and extends throughout the upper portion of the canopy. Dieback is present in the upper portion of the canopy. My overall impression of this tree is that removal is warranted.





Tree 3: 37" dbh White Oak

Based on visual observation, the above ground portion of this tree appears to be in poor condition. The canopy is unbalanced as a result heavy pruning, likely for clearance to the building. The tree has a heavy lean towards the church. The root flare of this tree is buried which has likely negatively impacted overall tree health and anchorage. My overall impression of this tree is that removal is warranted.



Tree 4: 36" dbh Tulip Poplar

Based on visual observation, the above ground portion of this tree appears to be in moderate condition. Sooty mold was present on the foliage as a result of tulip tree aphid infestation. Large co-dominant stems are present which create an increased likelihood of failure with the church being a direct target. My overall impression of this tree is that removal is warranted.

