MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10902 Seven Locks Road, Potomac Meeting Date: 9/22/2021

Resource: Master Plan Site #29/15 **Report Date:** 9/15/2021

(Scotland African M/E Zion Church)

Public Notice: 9/8/2021

Applicant: Scotland African Methodist Episcopal Zion Church

(Rev. Evalina Huggins, Agent) Tax Credit: Partial

Review: HAWP Staff: Michael Kyne

Permit Number: 961430

PROPOSAL: Request to alter the grade and raise existing church, new construction, site alterations,

new signage, and tree removal.

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #29/15, Scotland African M/E Zion Church

DATE: c. 1915 w/ 1967 Front Addition

Excerpt from *Places from the Past*:

Scotland African Methodist Episcopal Zion Church stands as a pillar of continuity, representing the early days of this post-Civil War black settlement. The congregation was organized in 1906 in a nearby house. Construction of the original church was begun in 1915 on land acquired from Otho Simms. The Scotland community dates from the post-Civil War era. A school for black children, known as Scotland School, had been built near the church site in 1874. The Scotland name originated with land patents to Scottish settlers in the 1700s.

Like Tobytown, the Scotland community, consisting of small one to four room houses, was identified for urban renewal in the 1960s due to its substandard living conditions. New housing units, in the form of townhouses, and sewer and water service drastically improved daily life for Scotland residents, but also changed the physical environment dramatically.

The church building dates from two periods. Construction of the original section, now a rear wing, was begun in 1915 and completed in 1924. An addition, completed in 1967, was built in front of the original church. The original section is frame with German siding and has pedimented windows with stained glass panes. The main front section, constructed of concrete block, was built in the 1960s. The first service was held in November 1967, and the cornerstone was laid in February 1968. The structure has been in continuous use as a religious meeting place since its construction.

The church and site are also critically important local sites that highlight the history of mid-century urban renewal and community resistance and resilience. The histories of Geneva Mason, Joyce Siegel, and the Save Our Scotland coalition of residents, neighbors, and faith groups, met, worshipped, and planned for

the future of the Scotland Community from this building. For more information on Save Our Scotland and the 20th century history if this community, Montgomery History has a compiled photo archive and online story gallery chronicling these events that is available at this link: https://montgomeryhistory.org/african-american-online-exhibits/.

Montgomery County recently honored the historic contributions of the Scotland community by renaming three county streets after Save Our Scotland co-founder Geneva Mason and Scotland elder William Dove.



Fig. 1: Subject property.

BACKGROUND:

The applicant previously appeared before the Commission at the August 18, 2021 HPC meeting for a preliminary consultation. Since that meeting the Church experienced a second round of extreme flooding that filled the basement with water and damaged the site. The project team has cleaned the site and mitigated that damage; however, it demonstrates that the historic site remains vulnerable from flooding and stormwater management deficiencies that this project seeks to remedy.

PROPOSAL:

The applicant proposes to alter the grade and raise the existing church, new construction, site alterations, new signage and tree removal at the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction at Master Plan Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and *the Secretary of the Interior's Standards for*

¹ Link to August 18, 2021 preliminary consultation staff report: https://montgomeryplanning.org/wp-content/uploads/2021/08/II.A-10902-Seven-Locks-Road-Potomac-Preliminary-Consultation.pdf Link to August 18, 2021 HPC meeting audio/video transcript: https://mncppc.granicus.com/MediaPlayer.php?publish_id=9787973c-0415-11ec-9f1e-0050569183fa

Rehabilitation (Standards). The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The applicant previously appeared before the Commission for a preliminary consultation at the August 18, 2021 HPC meeting. The preliminary consultation proposal included grade alteration, raising the existing church building, construction of a new addition, and site alterations. Specific work items included:

- Lifting the existing building (both the c. 1915 building and 1967 front addition) to address the issues with water runoff and the resulting flooding and structural hazards.
- Cladding the exposed foundation of the lifted building with stone.
- Parking area and access re-grading to be in line with the existing building.
- Cladding the 1967 front addition with wood siding to match the original c. 1915 section and replacing the windows in the 1967 front addition with decorative windows similar to or to match the existing.
- Restoring features of c. 1915 section, as necessary.
- Construction of a new addition and hyphen/connector at the west side (rear, as experienced from the public right-of-way of Seven Locks Road) of the existing building.
- Conversion of two existing windows on the west side of the 1967 front addition to windows, providing access to the proposed hyphen and new addition.
- Creation of 34 tandem parking spaces in the existing parking area.
- Flood mitigation measures, including the construction of retaining walls throughout the site, some excavation of the slope at the west side of the property, installation of below grade storm piping at the west side of the property, and creation of a bioretention area at the north side of the property.

The Commission was supportive of the applicant's proposal at the August 18, 2021 preliminary consultation, but provided the following recommendations:

- a. Consider retaining the CMU block exterior for the 1967 front addition, as this part of the building is significant to the community's development.
- b. Explore alternatives to matching the proposed cladding of the 1967 front addition with the original 1915 building, as this could create a false sense of historical development. Suggested alternatives included:
 - i. Fiber cement siding, with a different reveal/exposure.
 - ii. Stucco cladding.
 - iii. Exploring ways to maintain the existing CMU block by addressing insulation and condition issues from the interior.
- c. Comments regarding the proposed new addition were limited to:
 - i. Consider pushing the roof of the proposed hyphen back further from the front/left corner of the existing church building.
 - ii. Consider alternative locations for the proposed dumpsters and mechanical equipment.
 - iii. Emphasis was placed on the location of the proposed dumpsters at the front of the building.

The applicant has returned for a HAWP application with the following revisions and responses to the Commission's recommendations:

a. The 1967 front addition CMU block structure shall be retained to the extent reasonably feasible given that the above-grade mass will be raised/elevated as proposed for flood damage mitigation. There is, however, concern as to the structural condition & capacity of the existing walls &

foundations to safely accommodate both (1) the added dead load of additional courses of CMU & reconstructed roof, as well as (2) the anticipated live loads of the more open plan and more densely populated assembly activities. As such, the proposed design is to provide new foundations & interior perimeter bearing walls inboard of the existing CMU and to provide rainscreen cladding to the exterior of the building to maintain continuity of the lifted mass – see drawing 3/A3.50.

- b. As an alternative to matching the proposed cladding of the 1967 front addition with the original 1915 building, the proposed design is to provide 8.25" horizontal fiber cement siding with a more modern joint detail. Regarding the Commission's request to explore ways to maintain the existing CMU block by addressing insulation and condition issues from the interior, vapor-drive analysis based on average material vapor permeability indicates that for the intended life-span of the structure moving forward, a modern rainscreen assembly locating continuous insulation outboard of the structural mass wall as proposed will be more prudent than insulating on the interior side of the existing construction see sheet G3.01.
- c. Regarding the proposed new addition:
 - i. The roof of the proposed hyphen has been set further back from the front/left corner of the existing church building see drawing 1/A2.01.
 - ii. Given the size & placement constraints for the addition, locating the operationally required trash/recycling and mechanical equipment areas as proposed appears to be the most prudent. Vehicular access to the trash area necessitates its location off of the now shortened drive aisle, and a screened open-air enclosure would be more appropriate than a series of loose bins set along the rear retaining wall or walking bins from the rear to the north end of the property. While the mechanical equipment could certainly be located on the roof, the high probability of leaf- & branch-fall makes their covered location beneath the projected roof more ideal. See sheet C003 for contextual site plan, and see sheet A1.02 for proposed decorative screening.
 - iii. See response to item "c.ii" above.

The current proposal also includes the installation of a new church/address sign at the southwest side of the property (near the driveway entrance). The proposed sign will be a total of 7'-6" high. be internally illuminated, and have changeable letters. The proposed sign location is far removed from the historic church building, so that it will not interrupt the view of the historic building from the primary public right-of-way or detract from the character of site.

Four trees are proposed to be removed in preparation for the proposed new construction and site alterations. These trees include one (1) 20" dbh black walnut (good condition, but with a heavy lean), one (1) 7" dbh American hornbeam (poor condition), one (1) 37" dbh white oak (poor condition), and one (1) 36" dbh tulip poplar (moderate condition, but with failure likely, posing a hazard to the historic church building). The trees to be removed were assessed by a certified arborist, who supported their removal.

Staff remains supportive of the applicant's proposal. Regarding the existing church building, staff finds that the proposed work items will address flooding and persistent water infiltration damage, while retaining the character-defining features of the building. Staff supports the applicant's response to the Commission's concerns regarding the cladding of the 1967 front addition, finding that the proposed cladding will be clearly differentiated from the c. 1915 section, avoiding a false sense of historical development. This is consistent with *Standard #3*, which states "[e]ach property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."

Staff continues to find that design and materials of the proposed new addition are compatible with the forested, natural environment of the property, while being clearly differentiated from the existing building. This is consistent with *Standards #2* and *#9*. Because the proposed new addition will be connected to the existing 1967 front addition and not to the original c. 1915 section, it will not destroy historic materials that characterize the property, per *Standard 9*. Additionally, if the new addition were to be removed in the future, the essential form and integrity of the original building would be unimpaired. This is consistent with *Standard #10*.

As stated at the August 18, 2021 preliminary consultation, staff supports the proposed location of the new addition. The proposed location of the new addition is experienced as the rear from the public right-of-way of Seven Locks Road, and there are site constraints, limiting any new addition to the proposed location. These constraints include the Church's cemetery at the north side of the property and the parking area at the south side of the property. Construction of a new addition at the east side of the property would completely obscure the view of the historic building from the public right-of-way.

After full and fair consideration of the applicant's submission, staff finds the proposal consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found it consistent with the *Secretary of the Interior's Standards for Rehabilitation #2*, #3, #9, and #10 as outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission <u>approve</u> the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1), and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #2, #3, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION

301.563.3400

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Name:			HUGGINS, PASTOR				IEZ.ORG
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AGENT/C	ONTACT (if appli	cable):					
Name:	ANTUNOVICH AS: (ATTN: DESMONE			E-mail: DGRI	MBALL@ANT	<u>UNOVIC</u>	H.COM
Address:	1144 THIRD STRE	ET NE		City: WASHING	GTON, DC	Zip:	20002
)aytime F	Phone: <u>202-540-11</u>	71		Contractor Re	egistration N	lo.:	<u>N/A</u>
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HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

SINGLE-STORY HISTORIC CHURCH BUILDING WITH BASEMENT ROUGHLY CENTERED ON THE LONG NARROW HISTORIC PROPERTY. ORIGINAL STRUCTURE IS LIMITED TO THE WOOD-FRAMED WOOD-CLAD PORTION ON THE BACK OF THE BUILDING WITH THE ORIGINAL ORNATE HUNG WINDOWS AND GABLE ROOF. A PREVIOUS ADDITION, BUILT IN THE 1960'S, IS LIMITED TO THE CURRENT FRONT OF THE BUILDING. IN CONTRAST TO THE ORIGINAL STRUCTURE, THE PREVIOUS ADDITION IS COMPRISED OF PAINTED CMU, COMPLEMENTARY GABLE ROOF, AND LESS ORNATE HUNG WINDOWS. ALSO PRESENT ON THE PREVIOUS ADDITION IS A SMALL VESTIBLE AND MODEST METAL-CLAD SPIRE.

THE PROPERTY IS SURROUNDED ON THE WEST BY HEAVILY-WOODED AND HEAVILY-SLOPED ADJACENT PROPERTIES. LANDSCAPING IS LIMITED TO SHRUBBERY AROUND THE BUILDING, GRASSES THROUGHOUT, AND AN ASSORTMENT OF TREES. SITE PAVING IS LIMITED TO WALKWAY PAVERS AND THE DRIVEWAY (PREVIOUSLY THE ORIGINAL SEVEN LOCKS ROAD) RUNNING ALONG THE WEST OF THE BUILDING. THE CURRENT SEVEN LOCKS ROAD WAS RELOCATED ALONG THE EAST OF THE BUILDING IN THE LATE-1950'S/EARLY 1960'S.

CURRENT SEVEN LOCKS ROAD WAS BUILT SUCH THAT THE THE ELEVATION OF THE STREET WAS HIGHER THAN THE ELEVATION OF THE CHURCH. AS A RESULT THE BUILDING SITS WITHIN A VALLEY BETWEEN THE STREET AND ADJACENT HILL, AND HAS SUBSEQUENTLY ENCOUNTERED FOUNDATION DAMAGE DUE TO RAIN EVENTS.

Description of Work Proposed: Please give an overview of the work to be undertaken:

SEE ATTACHED PAGE

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address	Ottobal dist
SCOTLAND AFRICAN METHODIST EPISCOPAL ZION CHURCH ATTN: REV. DR. EVALINA HUGGINS, PASTOR 10902 SEVEN LOCKS ROAD POTOMAC, MD 20854	ANTUNOVICH ASSOCIATES ATTN: DESMOND GRIMBALL 1144 THIRD STREET NE WASHINGTON, DC 20002	
Adjacent and confronting	Property Owners mailing addresses	
MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION 2425 REEDIE DRIVE – 13TH & 14TH FLOORS WHEATON, MD 20902	RAMI & MELANIE KANDEL 7907 LAKENHEATH WAY POTOMAC, MD 20854-2735	
RAJEEV K. KAUL & GITIKA A. KAUL 7901 LAKENHEATH WAY ROCKVILLE, MD 20854-2735	DAVID C. & J. S. NEARPASS 7900 LAKENHEATH WAY ROCKVILLE, MD 20854-2735	
WILLY W. & JANEY K. NG 7931 LAKENHEATH WAY ROCKVILLE, MD 20854-2735	RASHID & LISA LEVIEDDIN 7929 LAKENHEATH WAY ROCKVILLE, MD 20854-2735	
YANG K. & M. S. KIM 7908 LAKENHEATH WAY ROCKVILLE, MD 20854-2735	SIQIAN HE & XIN WANG 7904 LAKENHEATH WAY ROCKVILLE, MD 20854	
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JOHN PHILLIPS LEGRAND, JR. 10800 SEVEN LOCKS ROAD ROCKVILLE, MD 20854-3255		
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Meeting Date: 8/18/2021

HPC Case No.: Agenda Item II.A

Master Plan Site/District/Atlas: #29/15, Scotland African M/E Zion Church

Historic Preservation Commission Preliminary Consultation Report

Address: 10902 Seven Locks Road, Potomac (Master Plan Site #29/15, Scotland African M/E Zion Church)

Applicant(s): Scotland African Methodist Episcopal Zion Church (Rev. Evalina Huggins, Agent) **Proposal:** Request to alter the grade and raise existing church, new construction, site alterations

Staff Contact: Michael Kyne

HPC Commissioners Providing Comments: Robert Sutton (Chair), Karen Burditt (Vice Chair), Sandra Heiler, Marsha Barnes, Jeffrey Hains, Julie Pelletier, James Doman, Mark Clements

Recommendations:

- The Commission was supportive of the applicant's proposal, but provided the following recommendations for greater compatibility:
 - a. Consider retaining the CMU block exterior for the 1967 front addition, as this part of the building is significant to the community's development.
 - b. Explore alternatives to matching the proposed cladding of the 1967 front addition with the original 1915 building, as this could create a false sense of historical development. Suggested alternatives included:
 - i. Fiber cement siding, with a different reveal/exposure.
 - ii. Stucco cladding.
 - iii. Exploring ways to maintain the existing CMU block by addressing insulation and condition issues from the interior.
 - c. Comments regarding the proposed new addition were limited to:
 - i. Consider pushing the roof of the proposed hyphen back further from the front/left corner of the existing church building.
 - ii. Consider alternative locations for the proposed dumpsters and mechanical equipment.
 - iii. Emphasis was placed on the location of the proposed dumpsters at the front of the building.

☐ Return for an additional preliminary consultation
☑ Return for a HAWP in accordance with the Commission's recommendation

9/13/2021 Design Team Response:

- a. The 1967 front addition CMU block structure shall be retained to the extent reasonably feasible given that the above-grade mass will be raised/elevated as proposed for flood damage mitigation. There is, however, concern as to the structural condition & capacity of the existing walls & foundations to safely accommodate both (1) the added dead load of additional courses of CMU & reconstructed roof, as well as (2) the anticipated live loads of the more open plan and more densely populated assembly activities. As such, the proposed design is to provide new foundations & interior perimeter bearing walls inboard of the existing CMU and to provide rainscreen cladding to the exterior of the building to maintain continuity of the lifted mass see drawing 3/A3.50.
- b. As an alternative to matching the proposed cladding of the 1967 front addition with the original 1915 building, the proposed design is to provide 8.25" horizontal fiber cement siding with a more modern joint detail. Regarding the Commission's request to explore ways to maintain the existing CMU block by addressing insulation and condition issues from the interior, vapor-drive analysis based on average material vapor permeability indicates that for the intended life-span of the structure moving

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forward, a modern rainscreen assembly locating continuous insulation outboard of the structural mass wall as proposed will be more prudent than insulating on the interior side of the existing construction – see sheet G3.01.

- c. Regarding the proposed new addition:
 - The roof of the proposed hyphen has been set further back from the front/left corner of the existing church building – see drawing 1/A2.01.
 - ii. Given the size & placement constraints for the addition, locating the operationally required trash/recycling and mechanical equipment areas as proposed appears to be the most prudent. Vehicular access to the trash area necessitates its location off of the now shortened drive aisle, and a screened open-air enclosure would be more appropriate than a series of loose bins set along the rear retaining wall or walking bins from the rear to the north end of the property. While the mechanical equipment could certainly be located on the roof, the high probability of leaf- & branch-fall makes their covered location beneath the projected roof more ideal. See sheet C003 for contextual site plan, and see sheet A1.02 for proposed decorative screening.
 - iii. See response to item "c.ii" above.



SCOTLAND A.M.E. ZION CHURCH

10902 SEVEN LOCKS ROAD POTOMAC, MD 20854

ISSUE FOR H.A.W.P.

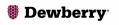
09/13/2021













HISTORIC PRESERVATION CONSULTANT

OWNER

SCOTLAND A.M.E. ZION CHURCH

10902 SEVEN LOCKS ROAD POTOMAC, MD 20854 ARCHITECT

ANTUNOVICH ASSOCIATES

1144 3RD STREET NE WASHINGTON, DC 20002 MAIN: 202. 540. 1144 ANTUNOVICH.COM STRUCTURAL ENGINEER

MGV ENGINEERS

6239 EXECUTIVE BLVD ROCKVILLE, MD 20852 MAIN: (301) 816 0648 MEP/FP

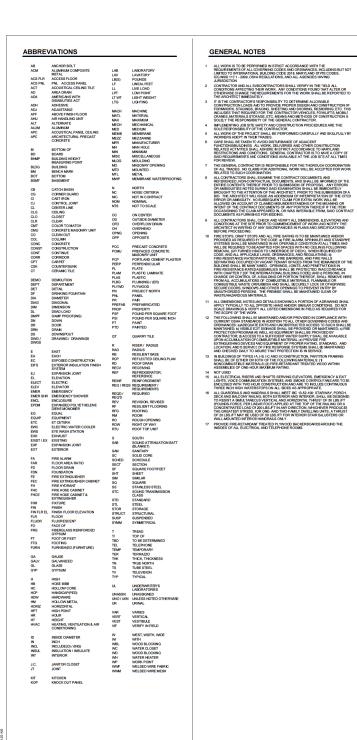
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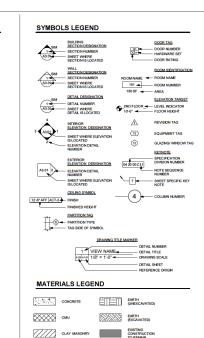
1110 N GLEBE ROAD, SUITE 300 ARLINGTON, VA 22201 MAIN: (703) 243-1200 CIVIL ENGINEER

DEWBERRY

2101 GAITHER ROAD, SUITE 340 ROCKVILLE, MD 20850 MAIN: (301) 337-2865 EHT TRACERIES

440 MASSACHUSETTS AVENUE NW WASHINGTON, DC 20001 MAIN: (202) 393-1199





CEMENT, SAND, GROUT, STONE GRAVEL

METAL (LARGE SCALE) PLYWOOD

IIIIIIIIIII CERAMIC TILE

NSULATION (RIGID)

FINISH WOOD

STEEL W/ SPRAY
APPLIED
FIREPROCEING

METAL (SMALL SCALE)

INSULATION, FIRESTOPPING MATT OR LOOSE!

WOOD, ROUGH BLOCKING

GLASS

ALL WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES, INCLIDING BUT NOT LIMITED TO INTERNATIONAL BUILDING CODE 2018, MAYEVAND STATE CODES, IOCANSI 1171 - 2009, OSHA REGUILATIONS, AND ALL AGENCIES HAVING JURISDICTION

JURISDICTION
ONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY IN THE FIELD ALL
CONDITIONS AFFECTING THEIR WORK. ANY CONDITIONS FOUND THAT ALTER OR
OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED TO
THE ARCHITECT MIMEDIATELY.

ALL DIMENSIONS, NOTES AND DETAILS SHOWING A PORTION OF ADRAWING SHALL APPLY TYPICALLY TO ALL DPPOSITE HAND AND/OR SIMILAR CONDITIONS. DO NOT SCALE BRAWINGS & VERIFY ALL LISTED DIMENSIONS IN FIELD AS REQUIRED FOR THE SCOPE OF THE WORP.

THEME NOTHICH WATERSTOPS ON ALL SIDES AS PRIFORMATE

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9/13/21 SSUE FOR HAWP. 9/10/21 SESIGN DEVELOPMENT 2/16/21 SCHEMATIC DESIGN No. Date Description SUBMISSIONS & REVISIONS OWNER SCOTLAND A.M.E. ZION 10902 SEVEN LOCKS ROAD POTOMAC, MD 20854 ADCHITECT ANTUNOVICH ASSOCIATES 1144 3RD STREET NE WASHINGTON, DC 20002 MAIN: 202, 540, 1144 ANTUNOVICH.COM MGV ENGINEERS 6239 EXECUTIVE BLVD ROCKVILLE, MD 20852 (301) 816 0648 M.E.P. & F.P. ENGINEERS GHT LIMITED 1110 N GLEEE ROAD, SUITE 300 ARLINGTON, VA 22201 (703) 243-1200 DEWRERRY 2101 GAITHER ROAD SUITE 340 ROCKVILLE, MD 20850 (301) 337-2865 LAMPSCADE (DOUTECT GENERAL CONTRACTOR PROJECT LOCATION SCOTLAND A.M.E. ZION CHURCH 10902 SEVEN LOCKS ROAD POTOMAC, MD 20854 GENERAL NOTES, SYMBOLS ABBREVIATIONS, AND DRAWING INDEX 02/01/2021 DRAWN BY: CHECKED BY G_{0.01}



EXTERIOR RENDERING LOOKING SOUTHEAST



EXTERIOR RENDERING LOOKING NORTHWEST

PPROVAL STAMPS

STREET SUBJECTOR HAMP STREET S

OWNER SCOTLAND A.M.E. ZION CHURCH 10902 SEVEN LOCKS ROAD POTOMAC, MD 20854

ANTUNOVICH
ASSOCIATES

ASCRETINE PLANNING STEEDON CRESION

1144 SRD STREET NE
WASHINGTON, DC 20002

MGV ENGINEERS
6239 EXECUTIVE BLVD
ROCKVILLE,MD 20852
(301) 816 0648

M.E.P. & F.P. ENGINEERS

GHT LIMITED

1110 N GLEBE ROAD, SUITE 300
ARLINGTON, VA 22201

CML ENGINEER

DEWBERRY
2101 GAITHER ROAD SUITE 340
ROCKYLLE MD 20850

LANDSCAPE /RCHITECT

NERAL CONTRACTOR

ROJECT LOCATION

SCOTLAND A.M.E. ZION CHURCH

1090? SEVEN LOCKS ROAD POTOMAC, MD 20854 DRAWING TITLE

EXTERIOR RENDERINGS

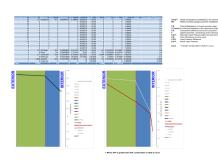
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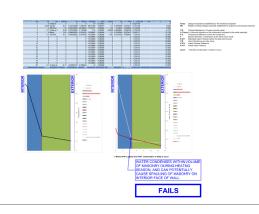
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	Material	T.R.	V.R.
0	Inside Air	0	0
0.625	Gyp Bd.	0.61	0.3
	Batt Insul	16	0.2
	Inside Air Film of Still Air	0.68	0.0008
	Block	1.53	0.3
0.1	Ext Paint	0.01	0.01
0.1	Outside Air Film 15MPH	0.17	0
12.925		19	0.8108

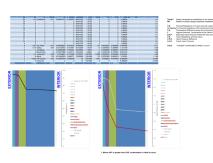
List materials in order from interior to exterior

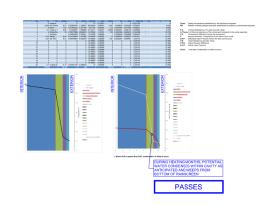




VAPOR DRIVE ANALYSIS: EXTERIOR INSULATION (EXISTING CMU CLAD 8 CONCEALED)

Thickness	Material	T.R.	V.R.
	Inside Air	0	0
	5/8" Drywall	0.61	0.027
	Block	1.53	0.3
	Inside Air Film of Still Air	0.68	0.0008
2	Mineral Wool Insul.	16	1.32
	Air Space	1	1
	Siding	0.44	1.3
0.01	Ext. Paint	0.01	0.01
	Outside Air Film 15MPH	0.17	0
12.585		20.44	3.9578





9/13/21 SSUE FOR HAWP.
No. Date Descripton
SUBMISSIONS & REVISIONS
OWNER
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POTOMAC, 102 20864 ANTUNOVICH
ASSOCIATES

ASSOCIA STRUCTURALENGINEER MGV ENGINEERS 6239 EXECUTIVE BLVD ROCKVILLE, MD 20852 (301) 816 0648 M.E.P. & F.P. ENGINEERS GHT LIMITED 1110 N GLEEE ROAD, SUITE 300 ARLINGTON, VA 22201 (703) 243-1200 DEWBERRY 2101 GAITHER ROAD SUITE 340 ROCKVILLE, MD 20850 (301) 337-2865 LANDSCAPE /RCHITECT GENERAL CONTRACTOR PROJECT LOCATION SCOTLAND A.M.E. ZION CHURCH 1090! SEVEN LOCKS ROAD POTOMAC, MD 20854 DRAWING TITLE HISTORIC APPROVAL EXHIBITS CHECKED BY: G3.01

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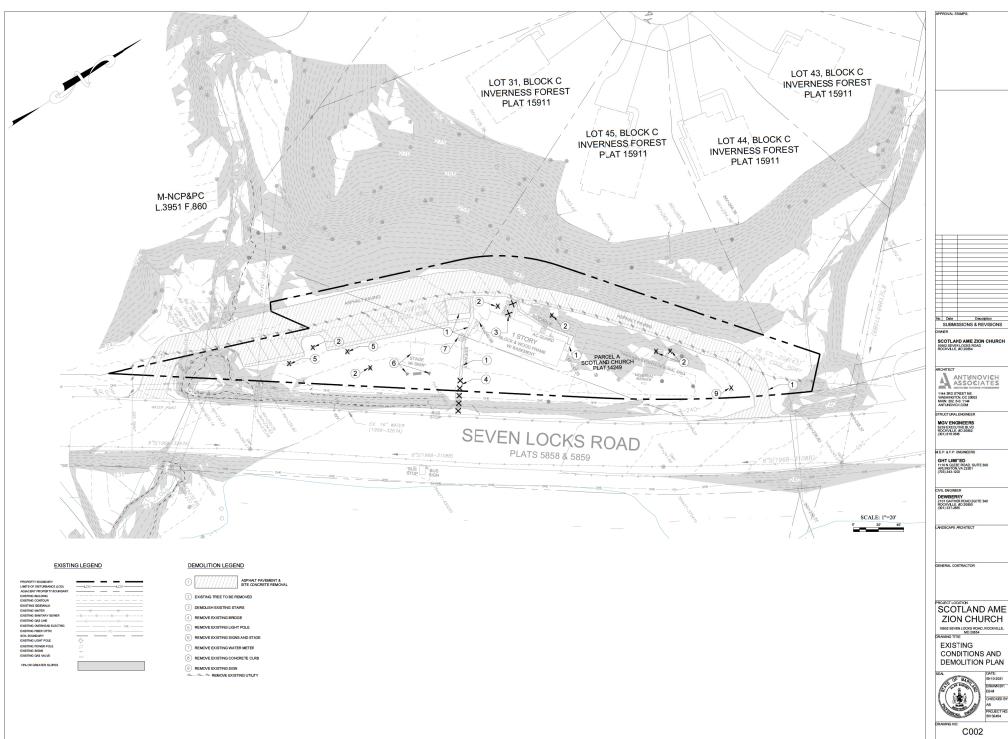


SCOTLAND A.M.E. ZION CHURCH - Histor	ic Preservation & New Const	truction 9/13/2021
Zoning Data:		
Parcel , Lot , Block:	N829 , N/A , N/A	
land Area:	37338 SF	per county records
Zoning District:	R-90	
Overlay Zone:	N/A	
*DR Overlay:	N/A	
Master Plan:	Potomac Subregion 2002	
Historic District/Landmark:	APPLICABLE	Scotland African Methodist Episcopal Zion Church
		included on the Montgomery County Master Plan for Historic Preservation
		listed in the Maryland Inventory of Historic Properties (Resource #29/015)
		NOT listed on the National Register of Historic Places
HPC Final HAWP Approval:	PENDING	in progress - application #961430
Current Use:	Civic & Institutional -	permitted use per Section 3.1.6.
	Religious Assembly	
Proposed Use:	Civic & Institutional -	NO CHANGE
	Religious Assembly	

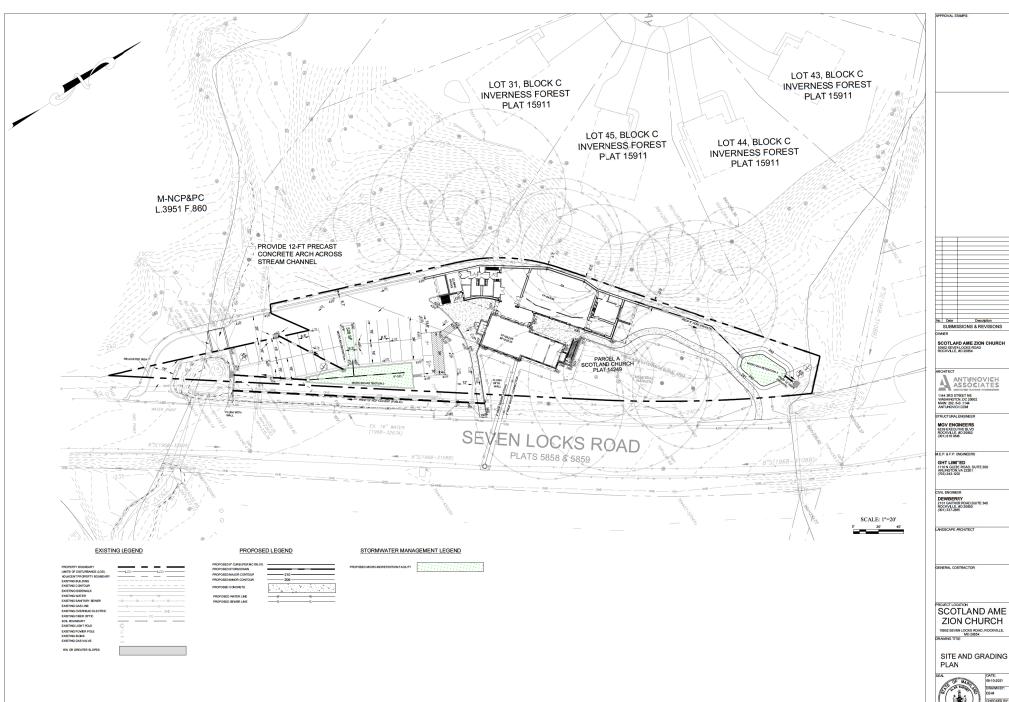
	Zoning Regulations (2014 ordinance as amended to-date)	Existing	//lowable/Required	Proposed	Notes/Remarks
Building Height (Feet)	Section 4.4.8.B.	129'-4"	35'-0"	±25'-3" @ modernization ±26'-10 1/2" @ addition	per Secion 4.1.7.C.1.a, measured to the highest point of roof surface regardless of roof type.
Fullding Height Measuring Point	Section 4.1.7.C.1.b.	EL. +238.00' (Average grade of pre-development along the front of the building parallel to the front setback line)	Average grade of either pre-deveopment or finished level of ground (whichever is more restrictive) along the front of the building parallel to the front setback line.	EL. +238.00* (Average grade of pre-development along the front of the building parallel to the front setback line)	
lot Area	Section 4.4.8.B.	37338 SF	9,000 SF min.	NO CHANGE	
lot Width at Front Building Line	Section 4.4.8.B.	EXISTING TO REMAIN	75°-0" min.	NO CHANGE	
lot Width at Front Lot Line	Section 4.4.8.B.	EXISTING TO REMAIN	25'-0" min.	NO CHANGE	
Density	Section 4.4.8.B.	NOT APPLICABLE	4.84 max units per acre (4.15 max units)	NOT APPLICABLE FOR RELIGIOUS ASSEMBLY USE	
Coverage	Section 4.4.8.B.	±4% (±1600 SF)	30% max (±11201.4 SF max.)	±19.4% (±5,640 SF addition & ±1,600 SF modernization = ±7,240 SF TOTAL)	include: cantilevered roofs
Front Setback	Section 4.4.8.B.	EXISTING TO REMAIN	30'-0" min.	NO CHANGE	
tear Setback	Section 4.4.8.B.	144'-3"	25'-0" min.	2'-1" @ sanctuary (6'-0" @ remainder of rear wall)	VARIANCE REQUESTED - reduce rear setback per plans
Side Setback	Section 4.4.8.B.	±194' @ north end ±290' @ south end	8'-0" min.	±149'-4" @ north end ±130'-5" @ south end	
Yehicle Parking Load Intensity Determinant	Section 6.2.4.B.	NOT APPLICABLE	Gross Fleor Area of Assembly Area	1520 SF	
Winimum Off-Street Parking -rounded up to the nearest whole number	Section 6.2.4.B.	14 spaces between 60°-75°	Min. 20 spaces per 1,000 SF of Assembly Area	31 spaces standard-sized	
			(min. 31 spaces)	between 76*-90* approach	
Size of Vehicle Spaces	Section 6.2.5.E.	EXISTING NONCONFORMING	Parking Angle: between 76*-90* 8.5' x 18' (standard) 75' x 16.5' (compact)	8.5' x 18' typical (with 2'-0" overhangs at curbs)	PARKING WAIVER REQUESTED PURSUANT TO ZONING ORDINANCE § 59.6.1.10.: allowance for tandem parking in religious assembly use (limited to dwelling unit use only per Section 6.2.5.E.S.)
Drive Aisle Width	Section 6.2.5.G.	±20'-0" (one-way)	20'-0" (one-way)	20'-0" (one-way)	
lot Frontage Area	Section 4.1.7.8.	14662 SF	NO REQUIREMENT	NO CHANGE	
Surface Parking within Lot Frontage	Section 6.2.5.M.3.b.	27% (3,978 SF)	50%	44% (6459 SF)	
Ncycle Parking Load Intensity Determinant	Section 6.2.4.C.	NOT APPLICABLE	Gross Floor Area	8025 SF	accounts for enclosed portions of development: 4,925 3 addition ±1,600 3F existing building ±1,500 FF existing basement
Winimum Bicycle Parking Spaces -rounded by the half	Section 6.2.4.C.	NONE EXISTING	Min. 1 space per 2,000 SF of GFA (min. 5 spaces) of which 15% are long-term (min. 1 spaces)	4 short-term +1 long-term = 5 total	
Size of Bicycle Spaces	Section 6.2.6.A.1.	NONE EXISTING	Horizontal 7:" x 18" (short-term) 1:0" x 30" (long-term)	PROVIDED short-term spaces on exterior racks; long-term space within building	long-term bike parking location, access & security as required per Section 6.2.6.B.1. and electric charging as required per Section 6.2.6.B.3. to be coordinated with owner
long-Term Bike Parking Shower Facilities	Section 6.2.6.8.3.a.	NONE EXISTING	no requirement for development with less than 50,000 SF of nonresidential gross floor area	NOT APPLICABLE	
long-Term Bike Parking Locker Facilities	Section 6.2.6.B.3.b.	NONE EXISTING	06 lockers per space (1 locker minimum)	1 locker	
long-Term Bike Parking Repair Stations	Section 6.2.6.8.4.	NONE EXISTING	NONE REQUIRED	NOT APPLICABLE FOR BUILDINGS W/<50,000 SF OF COMMERCIAL GFA	
loading Facilities	Section 6.2.8.B.	NONE EXISTING	NONE REQUIRED	NOT APPLICABLE FOR RELIGIOUS ASSEMBLY USE	
Surface Parking Lot Area	- no prescription -	NOT APPLICABLE	Actual	6459 SF	proposed is approximate pending design development
Parking Lot Landscaped Area (210 spaces)	Section 6.2.9.C.1.	NOT APPLICABLE	Min. 5% o' parking area to be provided ir landscaped islands (min. 323 SF)	328 SF	
Parking Lot Tree Canopy (≥10 spaces)	Section 6.2.9.C.2.	NOT APPLICABLE	25% coverage	NONE PROVIDED	PARKING WAIVER REQUESTED PURSUANT TO ZONING ORDINANCE § 59.6.1.10.
	Section 6.2.9.C.3.a.	NOT APPLICABLE	min. 10'-0" wide; min 3'-0" hedge/wall; and caropy trees 30'-0" O.C.	NONE PROVIDED	PARKING WAIVER REQUESTED PURSUANT TO ZONING ORDINANCE § 59.6.2.10.: will be limited to extent required for stormwater management
Parking Lot Perimeter Planting (210 spaces)					
Parking Lot Perimeter Planting (210 spaces) Sign Size	Section 6.7.8.B.2.b. & Section 6.7.8.B.2.d.	NONE EXISTING	40 SF max. 26'-0"-high max.	±32 SF ±9'-0"-high	per Section 6.7.5.8., supports less than 4' in width do not count toward sign area
		NONE EXISTING NONE EXISTING NONE EXISTING	40 SF max.		

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No. Date
SUBMISSIONS & REVISIONS
OWNER
SCOTLAND A.M.E. ZION
CHURCH
10002 SEVESLOCHS ROAD
POTTOMAC, 802 20864 STRUCTURALENGINEER MGV ENGINEERS 6239 EXECUTIVE BLVD ROCKVILLE, MD 20852 (301) 816 0648 M.E.P. & F.P. ENGINEERS GHT LIMITED 1110 N GLEEE ROAD, SUITE 300 ARLINGTON, VA 22201 (703) 243-1200 CMIL ENGINEER

DEWBERRY
2101 GAITHER ROAD SUITE 340
ROCKVILLE MD 20850
(301) 337-2865 LANDSCAPE /RCHITECT GENERAL CONTRACTOR PROJECT LOCATION SCOTLAND A.M.E. ZION CHURCH 1090! SEVEN LOCKS ROAD POTOMAC, MD 20854 DRAWING TITLE ZONING COMPLIANCE EXHIBITS **Z1.01**

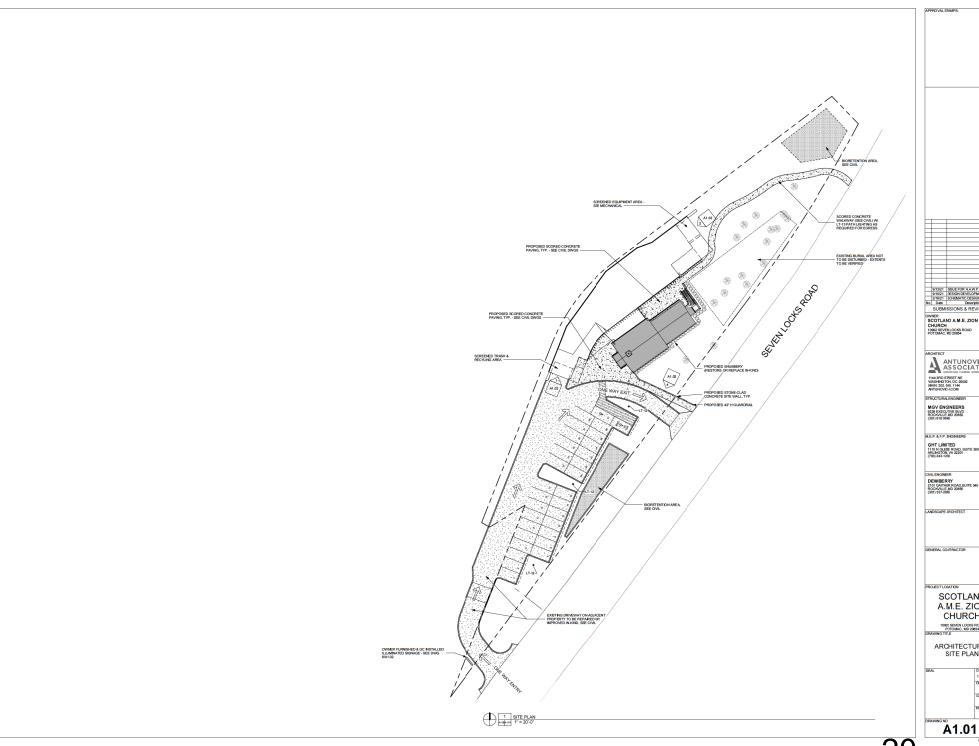


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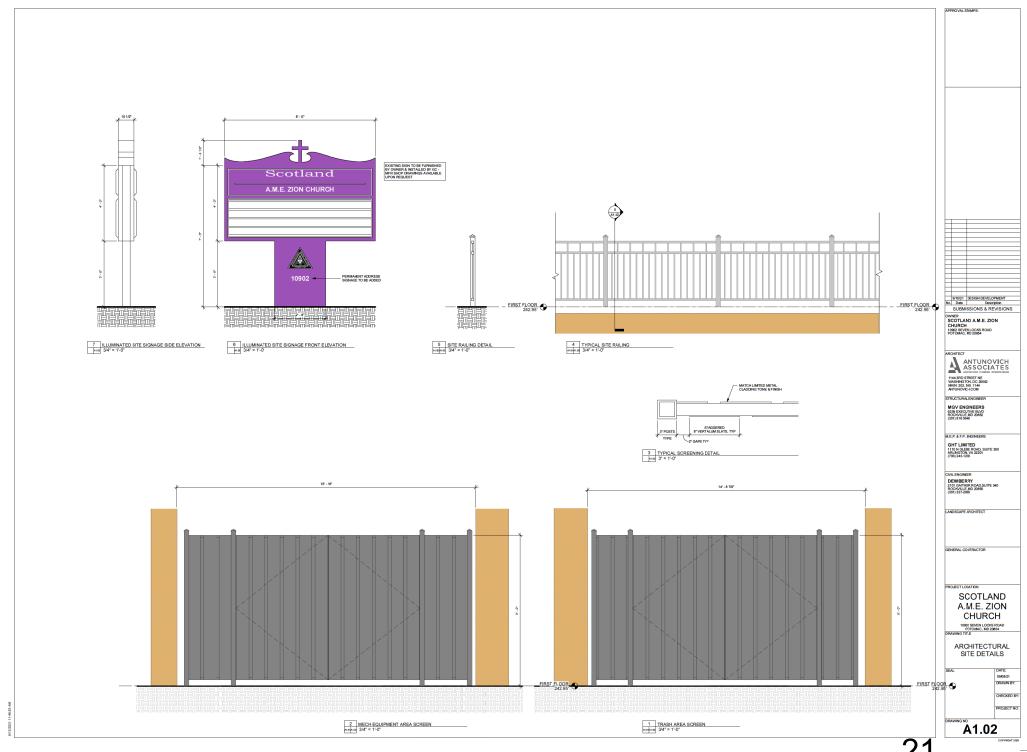


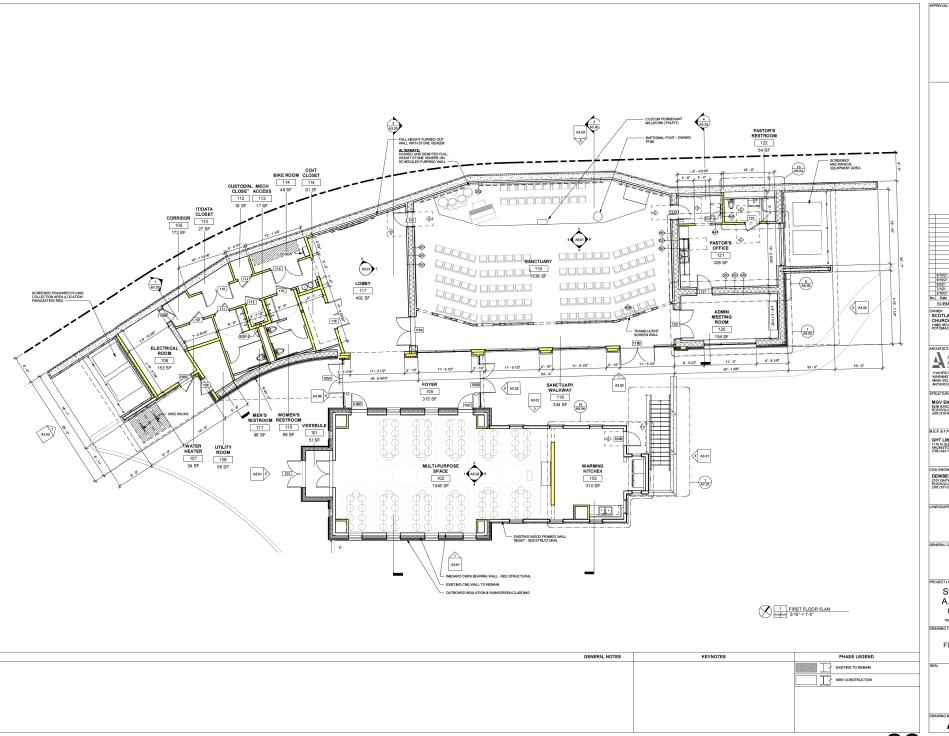


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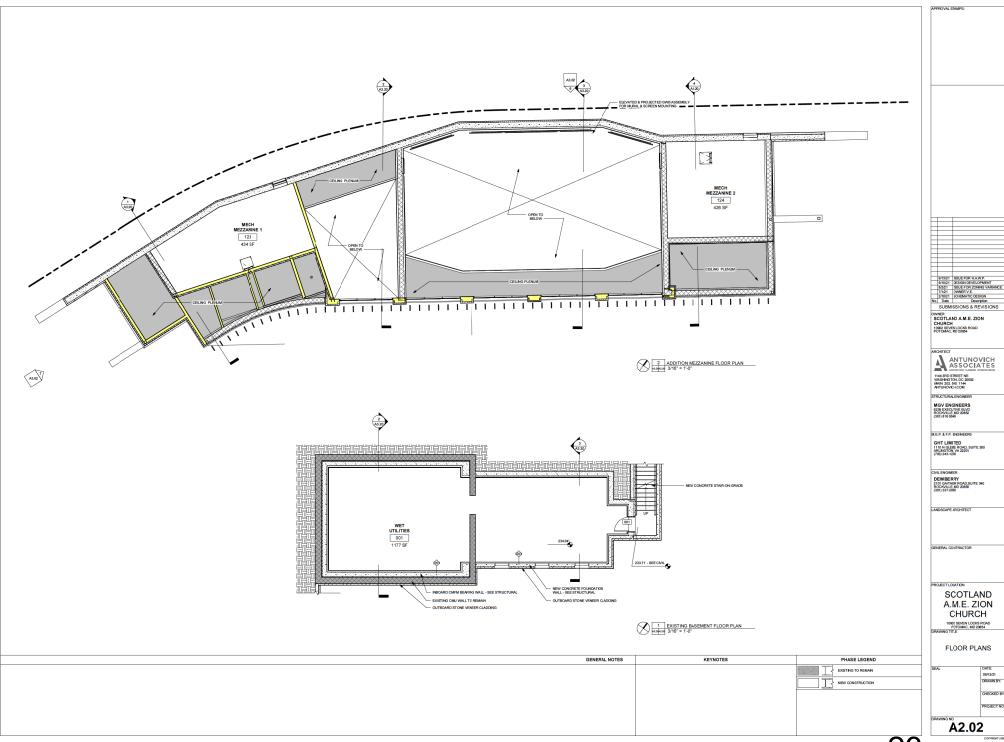


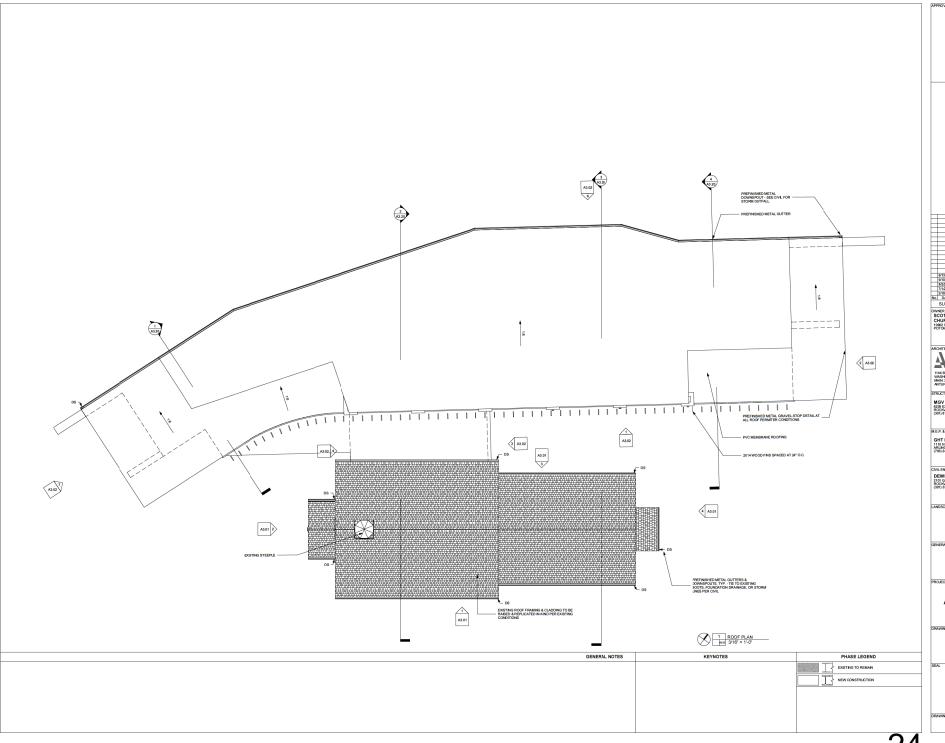
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SCOTLAND A.M.E. ZION
CHURCH
10002 SEVER LOCKS ROAD
POTOMAC, MD 20854 ANTUNOVICH ASSOCIATES ACCITECTURE PLANERS INTERORE DESIGN MGV ENGINEERS 6239 EXECUTIVE BLVD ROCKVILLE, MD 20852 (301) 816 0648 M.E.P. & F.P. ENGINEERS GHT LIMITED 1110 N GLEEE ROAD, SUITE 300 ARLINGTON, VA 22201 (703) 243-1200 DEWBERRY 2101 GAITHER ROAD SUITE 340 ROCKVILLE, MD 20850 (301) 337-2865 SCOTLAND A.M.E. ZION CHURCH 1090! SEVEN LOCKS ROAD POTOMAC, MD 20854 DRAWING TITLE ARCHITECTURAL SITE PLAN

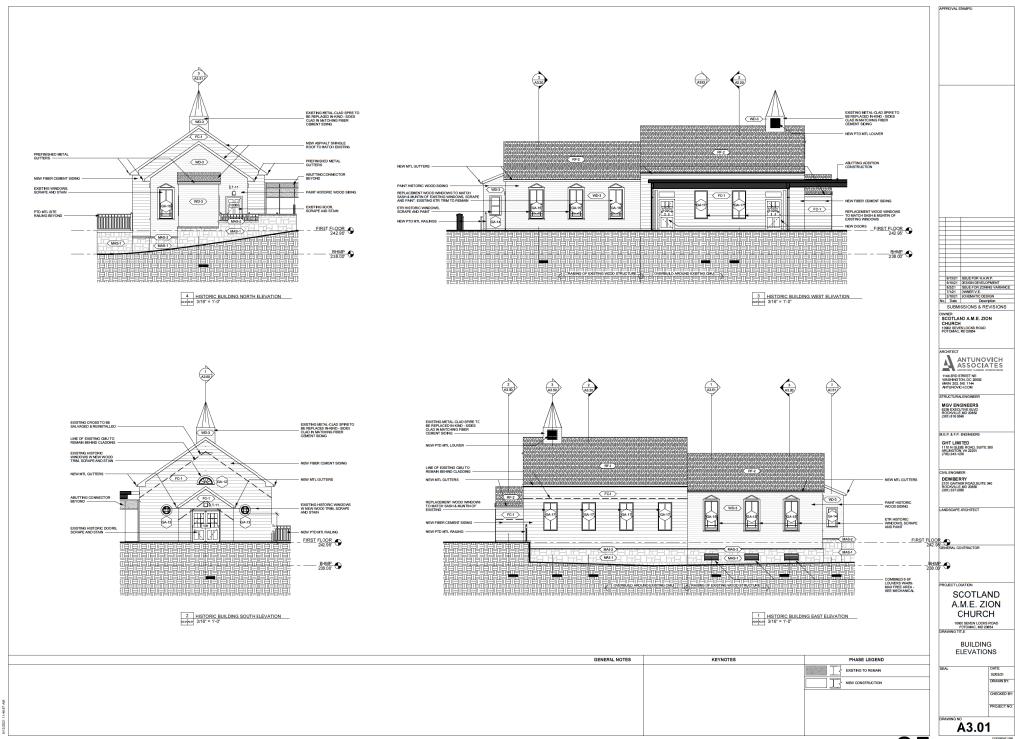


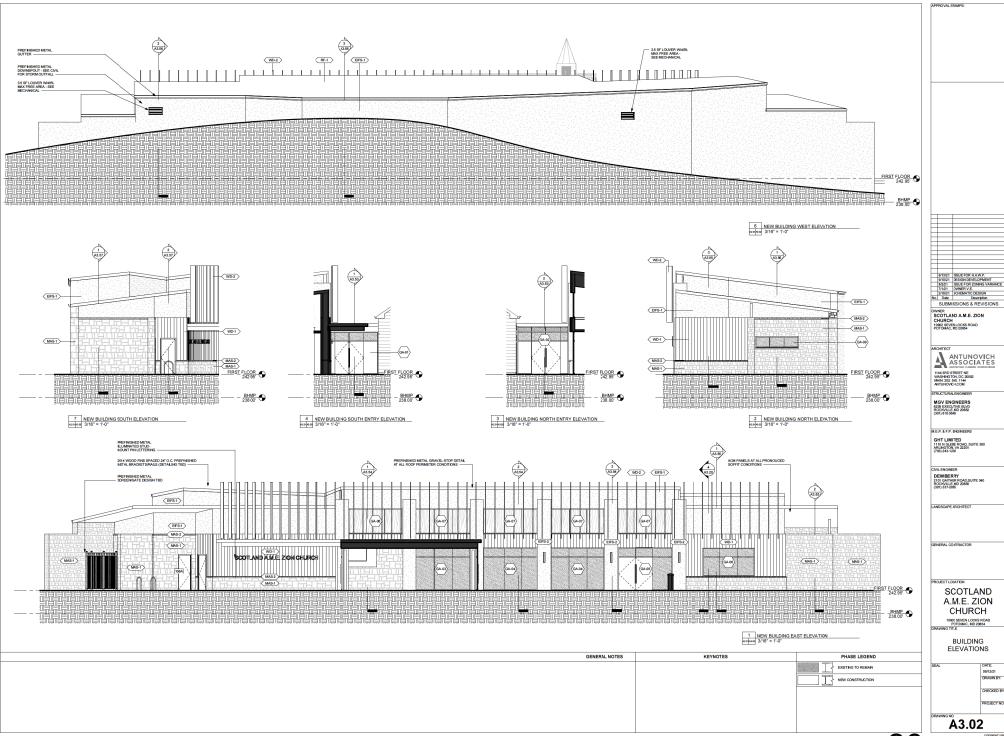


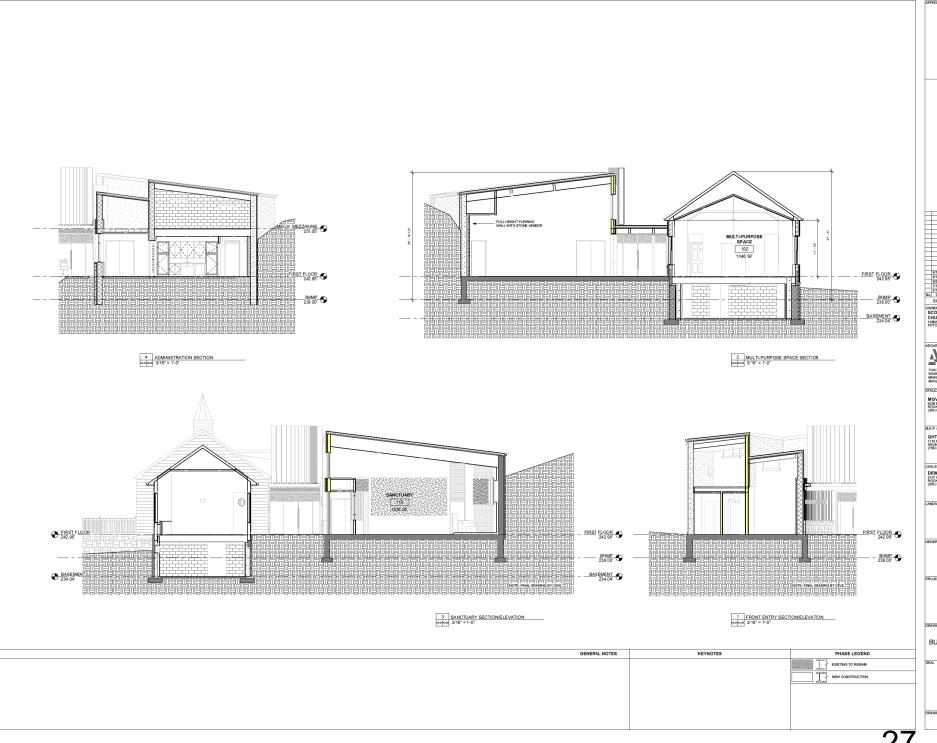
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9/10/21 SSIGN DEVELOPMENT
8/2/21 SSUE FOR ZONING VARIANCE
7/1/21 JOHEMATIC DESIGN
No. Date Description SUBMISSIONS & REVISIONS OWNER
SCOTLAND A.M.E. ZION
CHURCH
10802 SEVEN LOCKS ROAD
POTOMAC, MD 20854 ANTUNOVICH ASSOCIATES STRUCTURALENGINEER MGV ENGINEERS 6239 EXECUTIVE BLVD ROCKVILLE, MD 20852 (301) 816 0648 M.E.P. & F.P. ENGINEERS GHT LIMITED 1110 N GLEER ROAD, SUITE 300 ARLINGTON, VA 22201 (703) 243-1200 DEWBERRY 2101 GAITHER ROAD, SUITE 340 ROCKVILLE, MD 20850 (301) 337-2865 LANDSCAPE ARCHITECT GENERAL CONTRACTOR PROJECT LOCATION SCOTLAND A.M.E. ZION CHURCH 1090: SEVEN LOCKS ROAD POTOMAC, MD 20854 DRAWING TITLE FLOOR PLANS Ã2.01



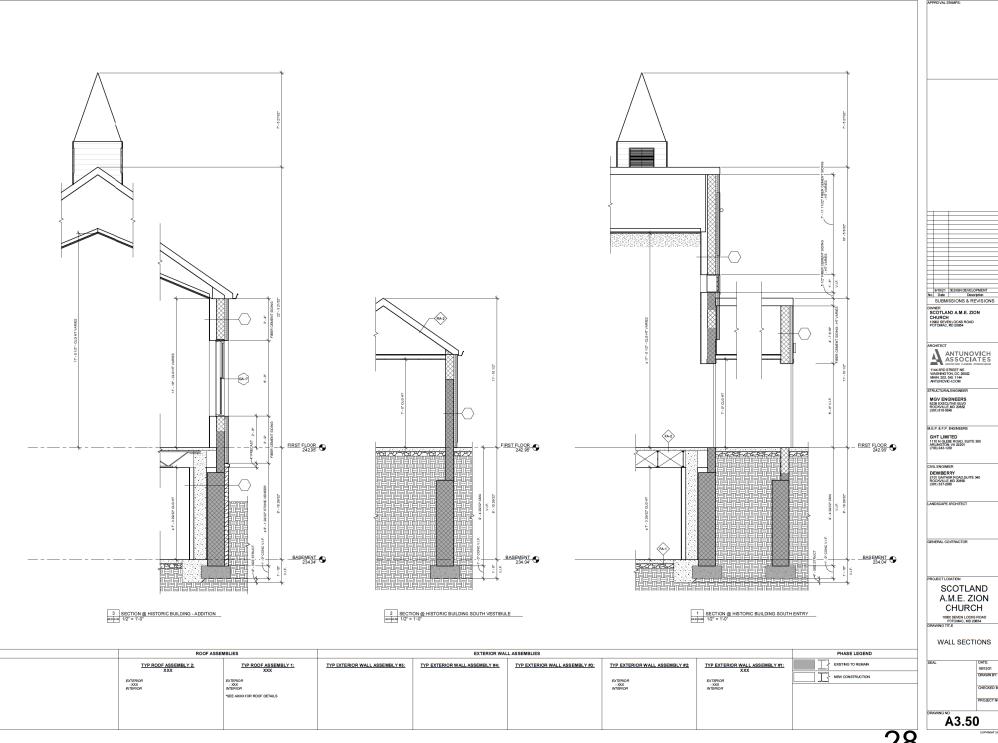


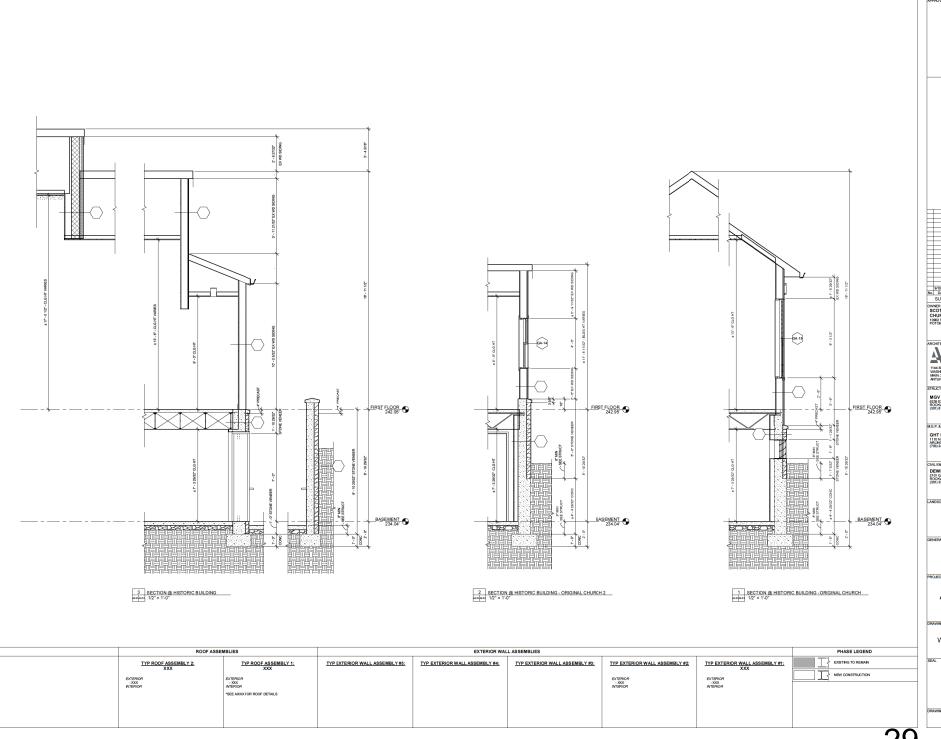




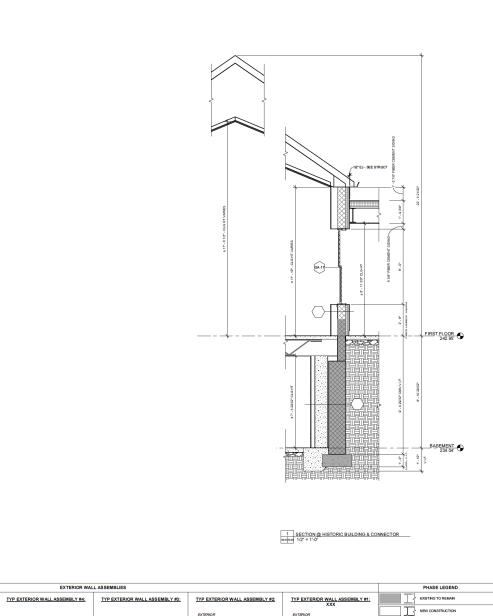


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SCOTLAND A.M.E. ZION
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10802 SEVET LOCKS ROAD
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| 9/10/21 | DESIGN DEVELOPMENT | No. | Date | Description | SUBMISSIONS & REVISIONS OWNER
SCOTLAND A.M.E. ZION
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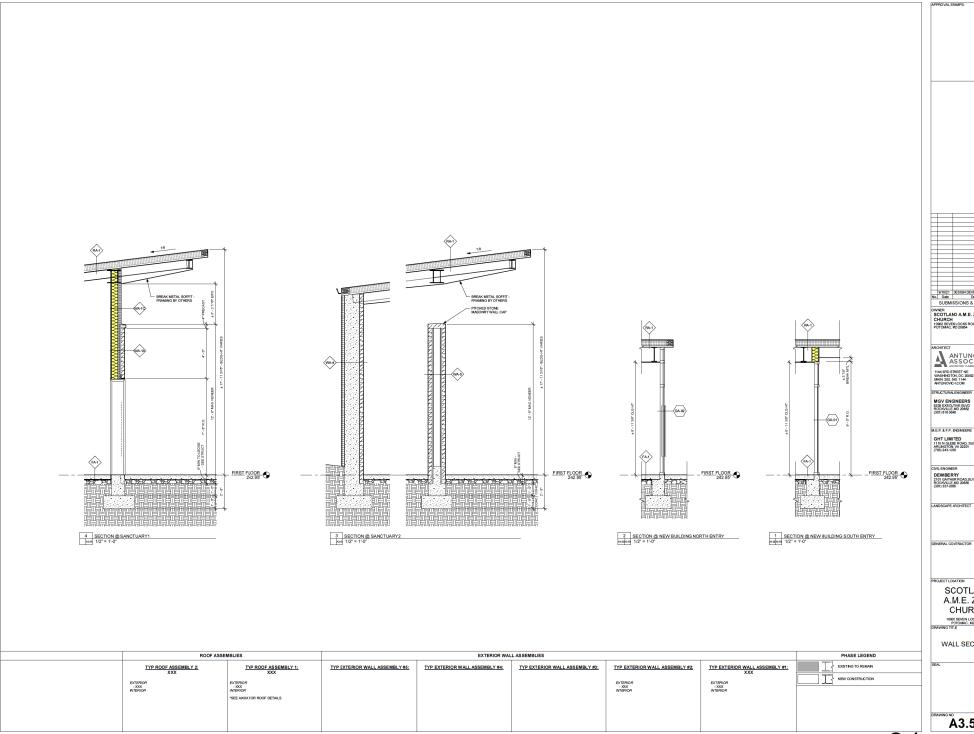
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*SEE AXXX FOR ROOF DETAILS

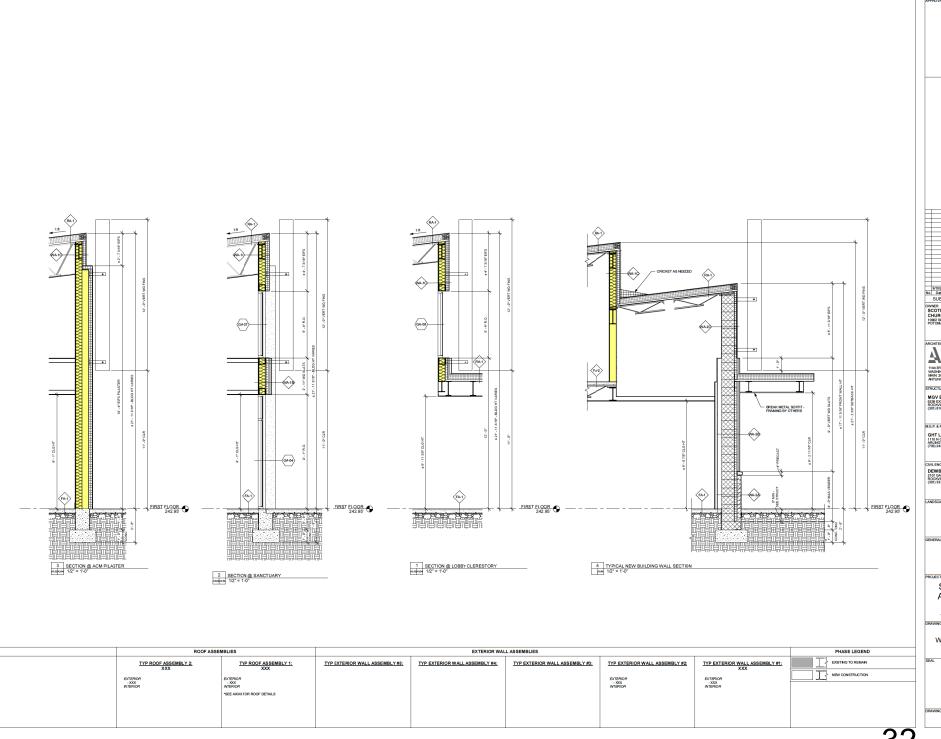
TYP EXTERIOR WALL ASSEMBLY #5:

9/10/21 XESIGN DEVELOPMENT
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SUBMISSIONS & REVISIONS
COWNER
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10002 SEVER LOCKS ROAD
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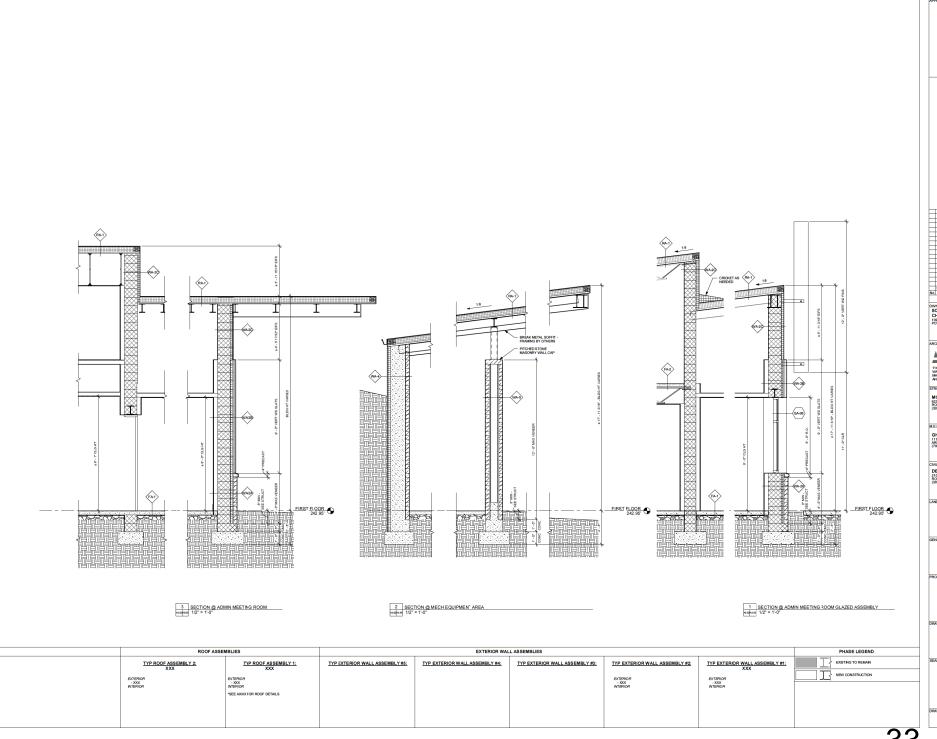
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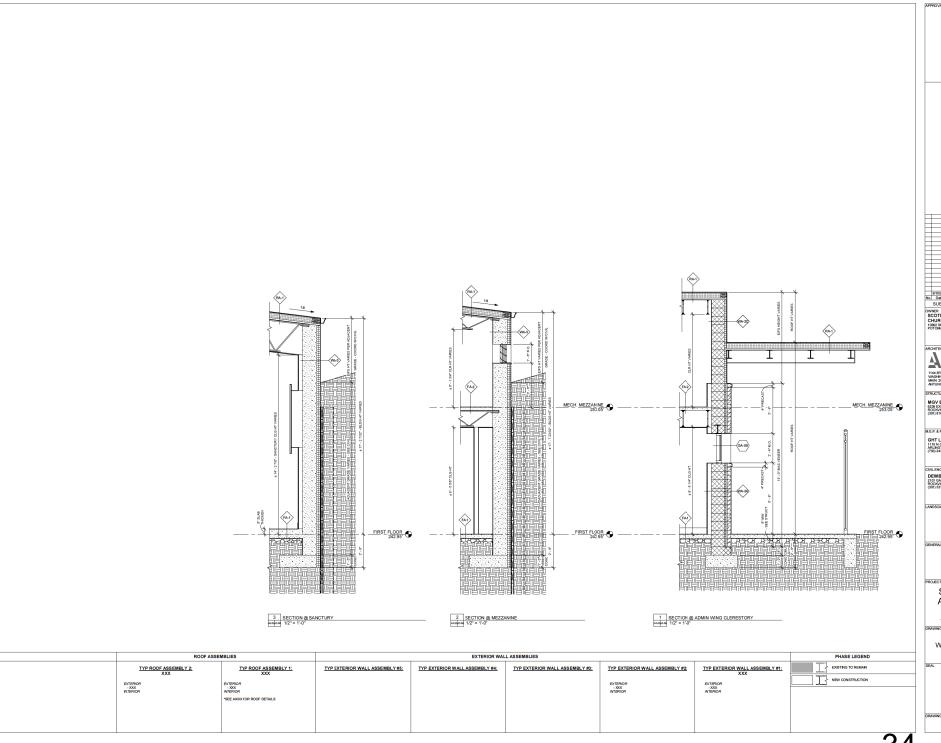
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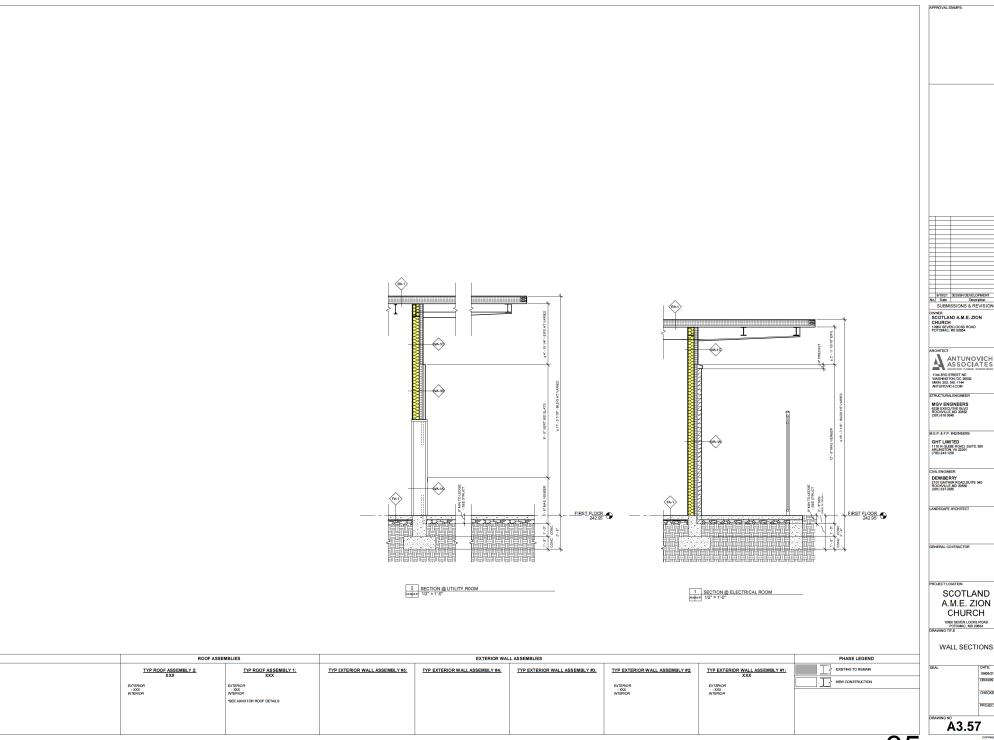
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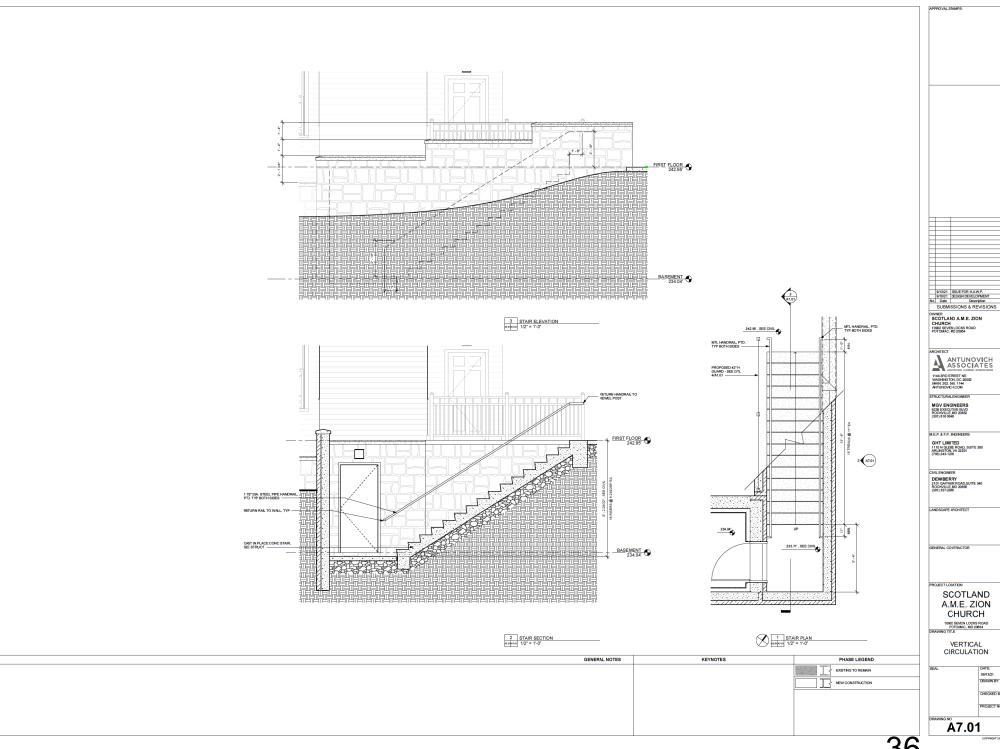
| 9/10/21 | DESIGN DEVELOPMENT | No. | Date | Description | SUBMISSIONS & REVISIONS OWNER SCOTLAND A.M.E. ZION CHURCH 10902 SEVER LOCKS ROAD POTOMAC, MD 20854 ANTUNOVICH ASSOCIATES STRUCTURALENGINEER MGV ENGINEERS 6239 EXECUTIVE BLVD ROCKVILLE, MD 20852 (301) 816 0648 M.E.P. & F.P. ENGINEERS GHT LIMITED 1110 N GLEEE ROAD, SUITE 300 ARLINGTON, VA 22201 (703) 243-1200 DEWBERRY 2101 GAITHER ROAD SUITE 340 ROCKVILLE, MD 20850 (301) 337-2865 LANDSCAPE /RCHITECT GENERAL CONTRACTOR PROJECT LOCATION SCOTLAND A.M.E. ZION CHURCH 1090! SEVEN LOCKS ROAD POTOMAC, MD 20854 DRAWING TITLE WALL SECTIONS Ã3.55

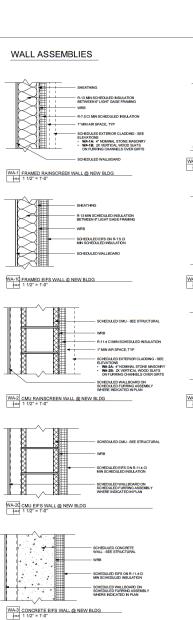


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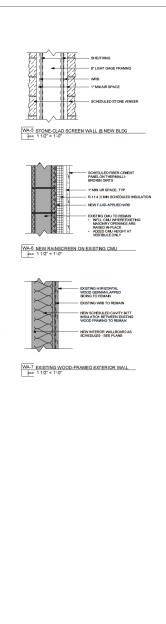
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No. Date Descriptor
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SCOTLAND A.M.E. ZION
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10002 SEVER LOCKS ROAD
POTCOMAC, 102 20864 ANTUNOVICH ASSOCIATES ACCITECTURE PLANERS INTERORE DESIGN WALL SECTIONS CHECKED BY

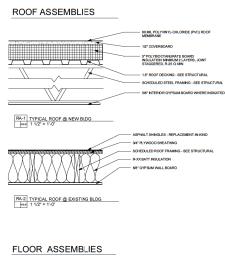


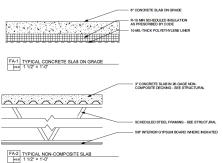


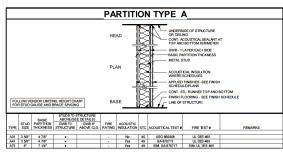
SCHEDULED CONCRETE
WALL - SEE STRUCTURAL
METAL LATH
SCHEDULED STONE VENEER

WA-4 STONE-CLAD CONCRETE SITE WALL @ NEW BLDG









				TRUCTURE							
	STUD	PARTITION	ABOVE (SE	GWB 6*	FIRE	ACCUISTIC					
E	SIZE	THICKNESS	STRUCTURE	ABOVE CLG			STC	ACOUSTICAL TEST #	FIRE TEST #	REMARKS	
	3 5/8"	4 7/8"				No	40	USG 860808	UL DES 465		
	3 5/8"	4 7/8"	•			Yes	49	SA-870717	UL DES 465		
	6"	7 1/4"	•			Yes	49	SIM. SA-870717	SIM: UL DES 465		
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		BLE FRAMING AT AL									
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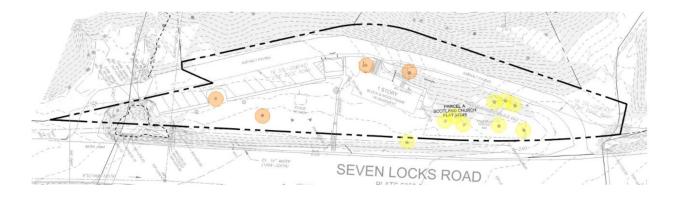
Glenstone

Scotland African Methodist Episcopal Zion Church

Tree Health Evaluation

Michael Burke

ISA Certified Arborist # PD - 1910A



The following tree health report consists of information and photos gathered on 8/23/2021 at 10902 Seven Locks Rd, Potomac MD. Tree health will be detailed for trees proposed for removal in preparation for construction. Trees proposed for removal are shown in orange on the plan (above) and will be detailed in order (as shown) from left to right.

Glenstone Museum (301) 983–5001 12002 Glen Road Potomac, Maryland 20854

Tree 1: 20" dbh Black Walnut

Based on visual observation, the above ground portion of this tree appears to be in good condition. The tree has a heavy lean in the direction of Seven Locks Rd. The root flare of this tree is buried which has likely negatively impacted overall tree health and anchorage. The parking lot location is poor for this species due to the nuisance caused by the large and numerous walnuts it produces. My overall impression of this tree is that removal is warranted.



Tree 2: 7" dbh American Hornbeam

Based on visual observation, the above ground portion of this tree appears to be in poor condition. There is a large pocket of decay which runs from ground level and extends throughout the upper portion of the canopy. Dieback is present in the upper portion of the canopy. My overall impression of this tree is that removal is warranted.



Tree 3: 37" dbh White Oak

Based on visual observation, the above ground portion of this tree appears to be in poor condition. The canopy is unbalanced as a result heavy pruning, likely for clearance to the building. The tree has a heavy lean towards the church. The root flare of this tree is buried which has likely negatively impacted overall tree health and anchorage. My overall impression of this tree is that removal is warranted.



Tree 4: 36" dbh Tulip Poplar

Based on visual observation, the above ground portion of this tree appears to be in moderate condition. Sooty mold was present on the foliage as a result of tulip tree aphid infestation. Large co-dominant stems are present which create an increased likelihood of failure with the church being a direct target. My overall impression of this tree is that removal is warranted.

