

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6124 MacArthur Boulevard, Bethesda	Meeting Date:	8/18/2021
Resource:	Master Plan Site #35/47 (<i>Bonfield's Garage</i>)	Report Date:	8/11/2021
Applicant:	William Fuchs (Christopher M. Ruhlen, Agent)	Public Notice:	8/4/2021
Review:	Preliminary Consultation	Tax Credit:	N/A
Case Number:	N/A	Staff:	Michael Kyne
PROPOSAL: After the fact tree removal, grading, site alteration, new hardscape construction			

STAFF RECOMMENDATION:

Staff recommends that the applicant make any revisions based upon the HPC's comments and return with a HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #35/47, *Bonfield's Garage*
 STYLE: Automobile Repair Garage
 DATE: c. 1927

Excerpt from *Places from the Past*:

Bonfield's Garage, one of the last early automobile repair garages, represents the transformation of lower Montgomery County from a farming community into a residential suburb. The Bonfield family opened an auto repair garage here about 1927. For 70 years, Walter Bonfield, inheriting the business from his father, operated the garage and lived in the second-level apartment over the shop. Adjacent to the building are open-air grease pits, predating the hydraulic lifts in today's service stations. Bonfield expanded his business in 1936, installing gas pumps to supplement the automobile repair service. The 2½-story front-gable structure is a traditional building form used for commercial structures as early as the mid-1800s. In contrast, the metal streamline sign announcing Bonfield's services was a response to the faster pace of the automobile age.



Fig. 1: Subject property, as marked by the blue star.

BACKGROUND:

The applicants previously appeared before the Commission for preliminary consultations for building alterations at the July 24, 2019 and September 11, 2019 HPC meetings. The applicants subsequently submitted a HAWP application (HAWP #897899), which was approved by the Commission at the December 18, 2019 HPC meeting.¹

PROPOSAL:

The applicant proposes after the fact tree removal, grading, site alteration, new hardscape construction.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction at Master Plan Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

¹ Link to the audio/video transcript of the July 24, 2019 HPC meeting:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=62bbb12f-af0e-11e9-b703-0050569183fa

Link to the July 24, 2019 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2019/07/II.A-6124-MacArthur-Boulevard-Bethesda.pdf>

Link to photographs of the subject property, as presented at the July 24, 2019 HPC meeting:

<https://montgomeryplanning.org/wp-content/uploads/2019/07/Photos-for-II.A-6124-MacArthur-Boulevard-Bethesda.pdf>

Link to the audio/video transcript of the September 11, 2019 HPC meeting:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=88b51f16-d56f-11e9-b703-0050569183fa

Link to the September 11, 2019 preliminary consultation staff report:

<https://montgomeryplanning.org/wp-content/uploads/2019/09/II.A-6124-MacArthur-Boulevard-Bethesda.pdf>

Link to the audio/video transcript of the December 18, 2019 HPC meeting:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=d7f65486-2283-11ea-a240-0050569183fa

Link to December 18, 2019 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2019/12/I.I-6124-MacArthur-Boulevard-Bethesda.pdf>

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The subject property is a c. 1927 automobile repair garage with c. 1990s rear addition, which projects to the southeast (left side, as viewed from the public right-of-way of MacArthur Boulevard). The applicants previously appeared before the Commission for preliminary consultations for building alterations at the July 24, 2019 and September 11, 2019 HPC meetings. The applicants subsequently submitted a HAWP application (HAWP #897899), which was approved by the Commission at the December 18, 2019 HPC meeting. The previous approval included the following work items:

- Removal of an existing non-historic rear (southwest) deck and construction of a new deck with enclosed refrigeration/storage boxes in its place.
- Construction of a new deck on the west/northwest side of an existing non-historic rear addition and historic building.
- Enclosure of the covered walkway on the front (northeast) side of the existing non-historic rear addition.
- Construction of a balcony/bridge, connecting the parking/proposed delivery area at the front (northeast) side of the property to the proposed refrigeration/storage at the rear.
- Conversion of the non-original fixed windows behind the sliding garage doors on the façade of the historic building to an entry.

In June 2021, historic preservation staff conducted a follow up site visit to the subject property. Upon inspection, staff determined that unpermitted work had occurred at the rear of the property, including:

- Additional site clearing.
- Tree removals.
- Significant regrading.
- Construction of a new retaining wall ranging from approximately 2' to 6' in height.

The applicant proposes the to revise their previous approval to address these unpermitted changes. Specifically, the applicant proposes the following:

- Regrading at the southwest side of the property and installation of a new retaining wall (24" to 67" high) constructed from 6" x 6" treated wood timbers to address erosion issues.
 - A small employee parking area defined by retaining wall will be created in the regraded area.
 - The proposed regrading and retaining wall construction is being proposed to address erosion issues caused by the property's estimated 25% slope to the rear.
- Removal of vegetation, shrubs, and two trees (one boxelder tree and one holly tree) at the southwest side of the property, where the proposed regrading will occur.
 - The applicant has provided a letter from a certified arborist, stating that the boxelder tree is a hazard and recommending immediate removal.
 - The vegetation removal is being proposed to accommodate the proposed regrading, relocation of an existing propane tank, establishment of electrical service, and construction of the previously approved new deck.
 - The holly tree is located within the footprint of the previously approved new deck and conflicts with the approved plan.

Staff notes that the proposed work area is adjacent to Winward Place and Leeward Place, which provide access to residential properties located south and west of the subject property.

Staff is generally supportive of [a portion of](#) the applicant's proposal, given the hazardous condition of the

boxelder tree and the need to remove the existing vegetation and regrade the site to accommodate the previously approved new deck and associated utilities. However, staff finds that the proposed new retaining is incompatible with and detracts from the character defining features of the historic c. 1924 automobile garage, contrary to *Standards* #2 and #9. Although the retaining wall is negligibly visible, at best, from the public right-of-way of MacArthur Boulevard, it is clearly visible from the public rights-of-way of Winward Place and Leeward Place.

Accordingly, staff recommends remediation of the retaining wall, which has already been constructed, and asks for the Commission's guidance regarding appropriate options. Remediation options include, but are not limited to:

- Returning the site and grade to its previous condition, as documented by staff's July 24, 2019 photographs (<https://montgomeryplanning.org/wp-content/uploads/2019/07/Photos-for-II.A-6124-MacArthur-Boulevard-Bethesda.pdf>).
- Reconstructing the retaining, using more appropriate materials (i.e., poured concrete, concrete block, or parged block).
- Applying an appropriate veneer or finish to the already constructed retaining wall, taking visual cues from the historic building.
- Plantings/landscaping in front of the retaining wall to help it blend into the existing environment.

Staff met with the applicant in July 2021 and requested the following information, which has not yet been provided:

- A cross-section, showing the footers for the new deck piers, as-built.
- A narrative, specifically focusing on the technical challenges and site conditions that deteriorated during construction of the new deck.
- Options for the Commission to consider for the retaining wall, including material finishes, regrading, site alterations, tree planting, and landscaping.

The applicant has stated that they intend to provide this information before the August 18, 2021 HPC meeting, in which case it will be sent to the HPC as supplemental materials.

STAFF RECOMMENDATION:

Staff recommends that the applicant make any revisions based upon the HPC's comments and return with a HAWP application.



FOR STAFF ONLY:
HAWP# 897899
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Silber Fuchs LLC c/o William Fuchs
Address: 4845 Massachusetts Ave
Daytime Phone: 202-363-0884

E-mail: bill@wagshals.com
City: Washington Zip: 20016
Tax Account No.: 07-00418062

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 35/47

Is the Property Located within an Historic District? Yes/District Name
☒ No/Individual Site Name Bonfield's Garage

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 6124 Street: MacArthur Blvd.
Town/City: Bethesda Nearest Cross Street: Windward Place
Lot: 2, Part Lot 1 Block: _____ Subdivision: Bonair Heights Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>Landscape wall</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

William W. Fuchs
Signature of owner or authorized agent

7-14-2021
Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Bonfield's Garage is a two-story A-frame building with partial basement that originally functioned as an auto repair shop. In the mid 1990s, a side and rear addition were built onto the garage creating an "L" shape plan with a covered walkway at the front of the building. At this time, the building was used by The Wild Bird Center. Later, the building interiors were renovated by Kennet & Kennet law Offices. Most recently, the Montgomery County Historic Preservation Commission approved a HAWP application (#897899) to allow various alterations to the building and site to facilitate the adaptive reuse of the premises for a commercial restaurant and retail (i.e., delicatessen) use. Please refer to the approved HAWP plans attached hereto as Exhibit A for more information.

The site is bounded on the west and south sides by streets, and on the north by land that is owned by the U.S. Army Corps of Engineers and leased to the applicant, beyond which is MacArthur Boulevard. The neighboring property to the east is a surface parking lot. The property is steeply sloping toward the rear and is accessed by MacArthur Boulevard.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed work is to amend the existing HAWP #897899 to expand the scope of work to include additional site modifications in the area located to the rear of the southern facade (i.e., south of the enclosed deck approved with HAWP #897899, adjacent to Leeward Place). The additional site modifications include additional site clearing, tree removal, regrading, and the construction of a new landscape wall, as described on the following Page 3 of this application and in the attached Exhibits.

Work Item 1: Regrading and New Landscape Wall

Description of Current Condition:

The property slopes significantly from the face of the building at the eastern corner of the rear yard diagonally to the asphalt, dropping approximately 9' with an estimated slope of 25%. The rear yard has some low herbaceous vegetation and two trees. However, the vegetation does not deter a erosion issue onto a neighboring property and the owner has received complaints about this issue.

Proposed Work:

The property's new regrading will eliminate the erosion issue with the installation of a new landscape wall. The landscape wall is constructed using stacked 6" x 6" (nom.) treated wood timbers with concealed treated wood pilings. At the top of the wall, closest to the building will be a flat area for ingress and egress. At the bottom of the wall, there will be limited on-site employee parking.

Work Item 2: Site clearing and Tree removal

Description of Current Condition:

The rear yard has some low, spotty herbaceous vegetation and a few perennial shrubs and two trees, including a holly tree and a boxelder. The holly tree is located within the footprint of the enclosed deck approved with HAWP #897899. The boxelder leans significantly, down slope, toward Leeward Place.

Proposed Work:

In order to regrade the rear yard to eliminate the erosion issue, allow utilities to relocate an existing propane tank and establish electrical service, and allow for the construction of the new enclosed deck, the area must be cleared of its existing vegetation. The holly tree is located within the footprint of the approved enclosed deck and conflicts with the approved plan. The boxelder was inspected by a certified arborist and was determined to be a potential hazard due to its leaning stance. The arborist recommended immediate removal of the boxelder as its condition would not improve. (Please see arborist's letter included in submission as Exhibit F.)

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**Bonfield's Garage
6124 MacArthur Blvd.
Bethesda, Maryland**

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING	
Owner's mailing address: Silber Fuchs LLC c/o William Fuchs 4845 Massachusetts Ave. Washington, DC 20016	Owner's Agent's mailing address:
Adjacent and Confronting Property Owners mailing address	
MACARTHUR ASSOC LTD PRTNSHP 6106 MACARTHUR BLVD BETHESDA MD 20816-3204 <small>Lot P1 Tax Acct: 07-00430177</small>	HELMUT J SCHIMANSKY & CATHY KIEFER 4230 LEEWARD PL BETHESDA MD 20816-3203 <small>Lot P12, LT PT 15 Tax Acct: 07-00847351</small>
PAUL SINGLETON & SUZANNE ROSEN 6200 WINDWARD PL BETHESDA MD 20816-3226 <small>Lot 19 Tax Acct: 07-03412244</small>	PETER F RUNDLET LAURA RUNDLET 4443 SPRINGDALE ST NW WASHINGTON, DC 20016 <small>Lot 3 Tax Acct: 07-00418073</small>
MARK MCINTURFF REVOCABLE TR101 4224 LEEWARD PL BETHESDA MD 20816-3203 <small>Lot P12, Lot Pt 15 Tax Acct: 07-00425397</small>	BRET KOLOW 4210 LEEWARD PL BETHESDA MD 20816-3203 <small>Lot P13 Tax Acct: 07-00435807</small>

Adjacent and Confronting Properties:

Bethesda, MD 20816

6106 MacArthur Boulevard

6204 MacArthur Boulevard

6206 MacArthur Boulevard

6208 MacArthur Boulevard

4210 Leeward Place

4224 Leeward Place

4230 Leeward Place

6200 Windward Place

6201 Windward Place

6202 Windward Place

6203 Windward Place

6204 Windward Place

6205 Windward Place

6207 Windward Place

4443 Springdale Street NW Washington, DC 20016

Exhibit A

Approved Plans
January 2020



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: January 22, 2020

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services
FROM: Michael Kyne *MK*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #897899: Building alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the December 18, 2019 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bill Fuchs (Tom Manion, Architect)
Address: 6124 MacArthur Boulevard, Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



6124 Macarthur Blvd.
Bethesda, Maryland 20816

LOCATION

USE GROUP CLASSIFICATION

CONSTRUCTION
CLASSIFICATION

ZONING INFORMATION

SUBDIVISION: 0001 bon air heights
LOT: 2 & Part of 1
BLOCK: 206
PLAT: /206
PLAT BOOK:
LIBER: 17572
FOLIO: 0545

Occupancy Plan

The image contains four architectural sketches of a two-story house with a gambrel roof. The sketches are arranged in a 2x2 grid. The top-left sketch is a front elevation showing a house with a gambrel roof, a central entrance with a small porch, and several windows. The top-right sketch is a side elevation showing a long, two-story house with a gambrel roof and a series of windows. The bottom-left sketch is a section view showing the interior of the house, including the roof structure and the foundation. The bottom-right sketch is a rear elevation showing a house with a gambrel roof, a small porch, and a series of windows.

BASEMENT:
-no new work

SECOND:
-no new work

APPLICABLE CODES

- 2015 ICC International Building Code (IBC) w/ Anne Arundel County Supplement
Article 14

- NFPA National Electrical Code (NEC) 2014

- 2013 ICC International

- 2015 ICC International Fuel Gas Code (IFGC)

- Accessible and Usable Building and Facilities Code, ICC ANSI A117.1 (2009)
- Maryland Accessibility Code COMAR 05.02.02

- 2015 ICC International Mechanical Code (IMC)

- 2015 NFPA I Fire Code (National Fire Protection Association)

- 2013 NFPA 72/2010 Fire Alarm Code

- 2015 NFPA 1 & 101 Life Safety Code (National Fire Protection Association)

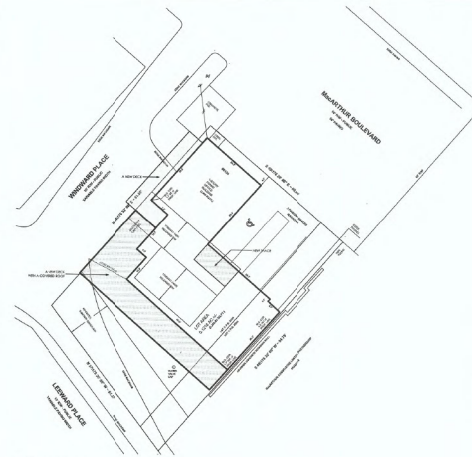
- 2015 ICC International Energy Conservation Code (IECC)

- 2013 ICC International Existing Building Code (IEBC)

CONSULTANTS

MEP ENGINEER:
SAI Engineering Incorporated
13662 Office Place, Suite #101
Woodbridge, VA 22192
Office: 703-590-8200

SITE PLAN



Site Plan

SCALE: 1" = 20'

ID	Name
G1.1	General Information
G1.2	Project Notes
C1.1	Site Plan
D1.1	Demo Plans
D1.2	Demo Plans
S.0	Structural Notes
S-1	Foundation Plan
S-2	First Floor Framing Plan
S-3	Second Floor & Low Roof Framing Plan
S-4	Roof Framing Plan
S-5	Details
S-6	Details
S-7	Details
A1.1	Basement Floor Plan
A1.2	First Floor Plan
A1.3	Second Floor Plan
A1.4	Roof Plan
A1.5	Life Safety Egress Plan
A2.1	Front & Rear Elevation
A2.2	Right & Left Elevation
A2.3	Section
A3.1	Construction Details
A3.2	Door & Window Schedules
A3.3	Door & Window Details
A4.1	Interior Elevations
A4.2	Schedules
E001	Abbreviations, Symbols and Specifications
E002	Specifications
E101	Demolition Plan
E201	New Work - Lighting Plan
E301	New Work - Power Plan
E501	Electrical Site Plan & Details
E601	Panel Schedule
M001	Specifications
M002	Specifications
M101	Existing / Demolition Floor Plans
M201	New Work Plans
M202	2nd Floor Attic/Roof Plan
M401	Schedules
M501	Details
M502	Details
M503	Details
M504	Details
P001	Plumbing Note & Details
P201	Sanitary Waste & Venting Floor Plan
P301	Domestic Hot & Cold Water Floor Plan
P401	Plumbing Riser Diagrams
P402	Plumbing Riser Diagrams

ABBREVIATIONS:

ADJA: AMERICANS WITH DISABILITIES ACT
AFF: NEW UNIFORMED-FIREFIGHTER
BE: JOIN IN
CIC: CONCENTRATED
CONC: CONCENTRATE
COOR: COORDINATE
DIA: JAMMER
EA: EACH
EQ: EQUAL
ERR: DESIGNED TO REMAIN
EX: EACH WAY
BKG: DURING
FR: FIRE RATED
FR: FIBERGLASS REINFORCED FIBER
FRT: FOOTING
G: GROUND
GPS: ID# (GPS) BOARD#
H: HALL
MKT: AMMUNITION
MKT: MAKE A MARCH
MKT: ACTUAL
NIC: NON CONTRACT
O/C: ON ORDER
O/C: CONTRACT FURNISHED
CONTRACTOR INSTALLED
OPG: OPENING
P.F.E.: PORTABLE FIRE EXTINGUISHER
P.F.E.: PARTED
REQD: REQUIRED
S.M.: SMOKE
T.S.: TYPICAL
T.S.: UNUSUAL STEEL
T.S.: SPECIAL
V.P.: VENTILATION
V.P.: VENTILATED
W.B.: WATER RESISTANT

WATER RESISTANT

Sandra Heiler

MH 2220

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED
OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS
OF THE STATE OF MARYLAND.*

LICENSE NO.: 3727-R
EXPIRATION DATE: 06/30/2020

MANION + ASSOCIATES ARCHITECTS
7307 MacArthur Blvd. Ste. 216, Bethesda, Maryland 20816
T:301.229.7000 F:301.229.7171 www.manionandassociates.com

PROJECT PHASE: Partial Interior Demo

ISSUE DATE: 9.9.19

DRAWN BY: CJJ

REVISIONS: 10.1.19 10.15

CHECKED BY: TM

11.4.19 11.8.19 11.20.19 11.21

Wagshal's BBQ and Deli (Bonfield's Garage)
6124 Macarthur Blvd.
Bethesda, Maryland 20816

■ **DO NOT SCALE DRAWINGS** ■

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and must notify this office of any variations from the dimensions and conditions shown.

G1.1

15



WINDWARD PLACE

WINDWARD PLACE
20' WIDE PUBLIC
VARIABLE PARKWAY

LEEWARD PLACE
20' WIDE PUBLIC
VARIABLE PARKWAY

MACARTHUR BOULEVARD
60' WIDE PUBLIC
VARIABLE PARKWAY

SCALE: 1" = 10'

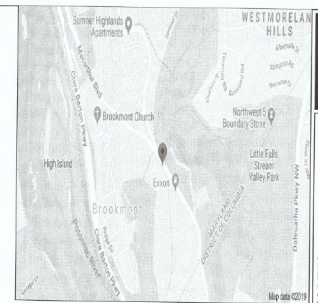
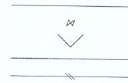
PLAT REFERENCE:
PLAT BOOK 3, PLAT 206

DEED REFERENCE:
LIBER 32454, FOLIO 72

6124 MACARTHUR BOULEVARD
7TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

LEGEND

- EASEMENT LINE
- FIRE HYDRANT
- PROPERTY CORNER
- PROPERTY LINE
- OVERHEAD WIRE(S)
- UTILITY POLE



PK 12.30

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE
DRAWINGS WERE PREPARED BY ME OR
UNDER MY CLOSE PERSONAL SUPERVISION
AND I AM A LICENSED PROFESSIONAL
ENGINEER IN THE STATE OF MARYLAND
LICENSE NO. 3727 &
EXPIRATION DATE 05/08/2020

C.I.I.

Wagshal's BBQ and Deli (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816

Site Plan

DO NOT SCALE DRAWINGS
Written dimensions on these drawings shall
control over any dimensions taken from the
drawings. The engineer is not responsible for
any errors or omissions in the drawings or
for any dimensions and conditions on the job
that may differ from those shown on the drawings.

MANION ASSOCIATES ARCHITECTS
7307 MacArthur Blvd. Ste. 216, Bethesda, Maryland 20816
T:301.229.7000 F:301.229.7171 www.manionassociates.com
PROJECT PHASE: Partial Interior Demo
DRAWN BY: C.J.J.
CHECKED BY: TM
REVISIONS: 10.1.19 10.15.19 11.4.19 11.8.19 11.20.19 11.21.19



GENERAL DEMOLITION NOTES

WALLS:

REMOVE ALL EXISTING PANELED WALLS AND DRYWALL AS NOTED ON PLANS. PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR FLOOR JOISTS, ROOF RAFTERS, BEARING WALLS, ETC. PRIOR TO DEMOLITION.

FLOORS:

PULL UP ANY AREAS OF FLOORING DAMAGED OR TO BE REPLACED. SEE FINISH SCHEDULE FOR FLOOR FINISHES. REMOVE AND REPLACE ANY DETERIORATED SUB-FLOORING. BUILD OVER EXPOSED OPENINGS IN FLOOR, RESTRUCTURE AS NECESSARY.

CEILINGS:

REMOVE CEILINGS IN ROOMS TO BE RENOVATED, EXPOSE JOISTS, INSPECT, AND MARK ALL JOISTS REQUIRING STRUCTURAL REINFORCEMENT. COORDINATE WITH ARCHITECT AS REQUIRED.

WINDOWS AND DOORS:

REMOVE EXISTING WINDOWS AND DOORS AS NOTED ON PLANS- SAVE FOR POSSIBLE REUSE. STRIP OPENINGS OF ALL TRIM, COUNTERWEIGHTS, SILLS, HINGES, ETC. LINTELS AND STRUCTURAL FRAMING TO REMAIN UNLESS NOTED OTHERWISE.

ELECTRICAL:

REMOVE ALL EXISTING WIRING IN AREAS TO BE RENOVATED. CHECK FOR POTENTIAL REUSE OF OUTLET CIRCUITS, CHECK ALL WIRING FROM BOX TO SUB-PANEL. CUT AND CAP (PER CODE) ANY LINES TO BE ABANDONED.

PLUMBING:

DISCONNECT EXISTING SUPPLY AND DRAIN LINES IN AREAS TO BE RENOVATED. REUSE AND RECONNECT TO NEW LINES AND LOCATIONS AS POSSIBLE. CHECK CONDITION OF EXISTING SUPPLIES, VENTS, STACKS, AND DRAINS. CLEAN OUT AND REPAIR AS NECESSARY.

HVAC:

DUCTS TO REMAIN. RELOCATE LINES IF REQUIRED BY NEW WORK. UPGRADE HVAC SYSTEM IF NEED BE, TO MEET NEW HEATING AND AIR CONDITIONING REQUIREMENTS.

SAVE:

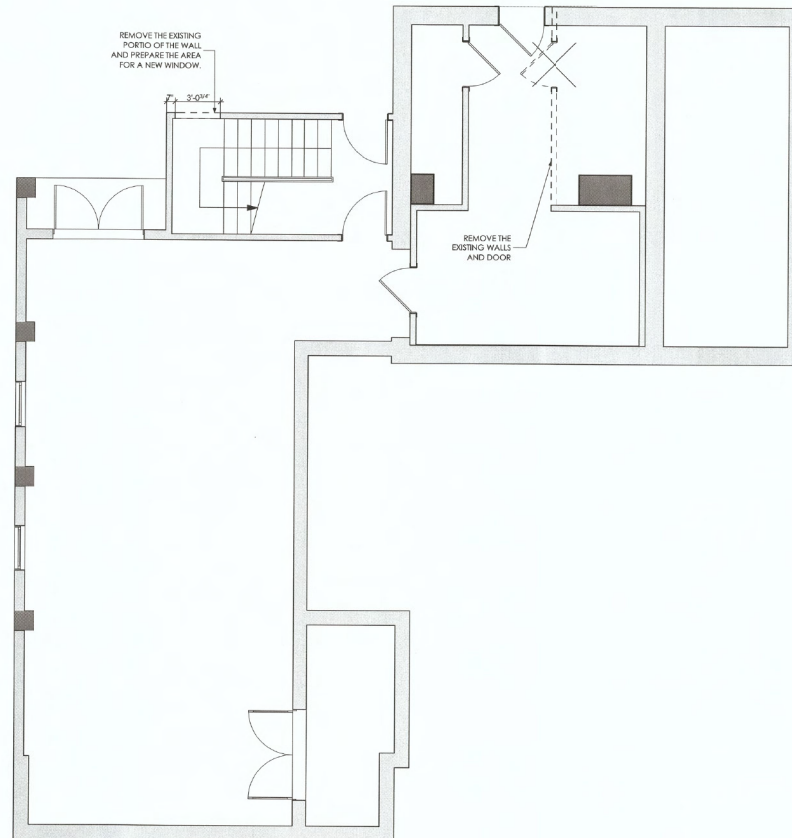
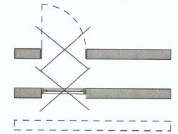
WINDOWS, AND DOORS ARE TO BE REMOVED IN TACT FOR POSSIBLE REUSE. SAVE ALL CABINETS AND APPLIANCES FOR POSSIBLE REUSE. COORDINATE WITH ARCHITECT/ OWNER BEFORE DISPOSAL.

DEMOLITION LEGEND

EXISTING TO REMAIN



ITEMS TO BE DEMOLISHED



Basement Floor Demo

SCALE: 1/4" = 1'-0"

Handwritten signature: Samuel H. H. 12.20

PROFESSIONAL CERTIFICATION
I, the undersigned, being a duly licensed Professional Engineer in the State of Maryland, do hereby certify that the foregoing is a true and correct copy of the original as submitted to me for my review and approval.

EXCISE NO. 327-A
ISSUED FOR THE STATE

D1.1

DO NOT SCALE DRAWINGS
When dimensions on these drawings (plan, section, elevation, etc.) are not in accordance with the notes, the notes shall prevail. The contractor shall verify and be responsible for the accuracy of the dimensions and must notify the office of any variations from the dimensions and conditions shown.

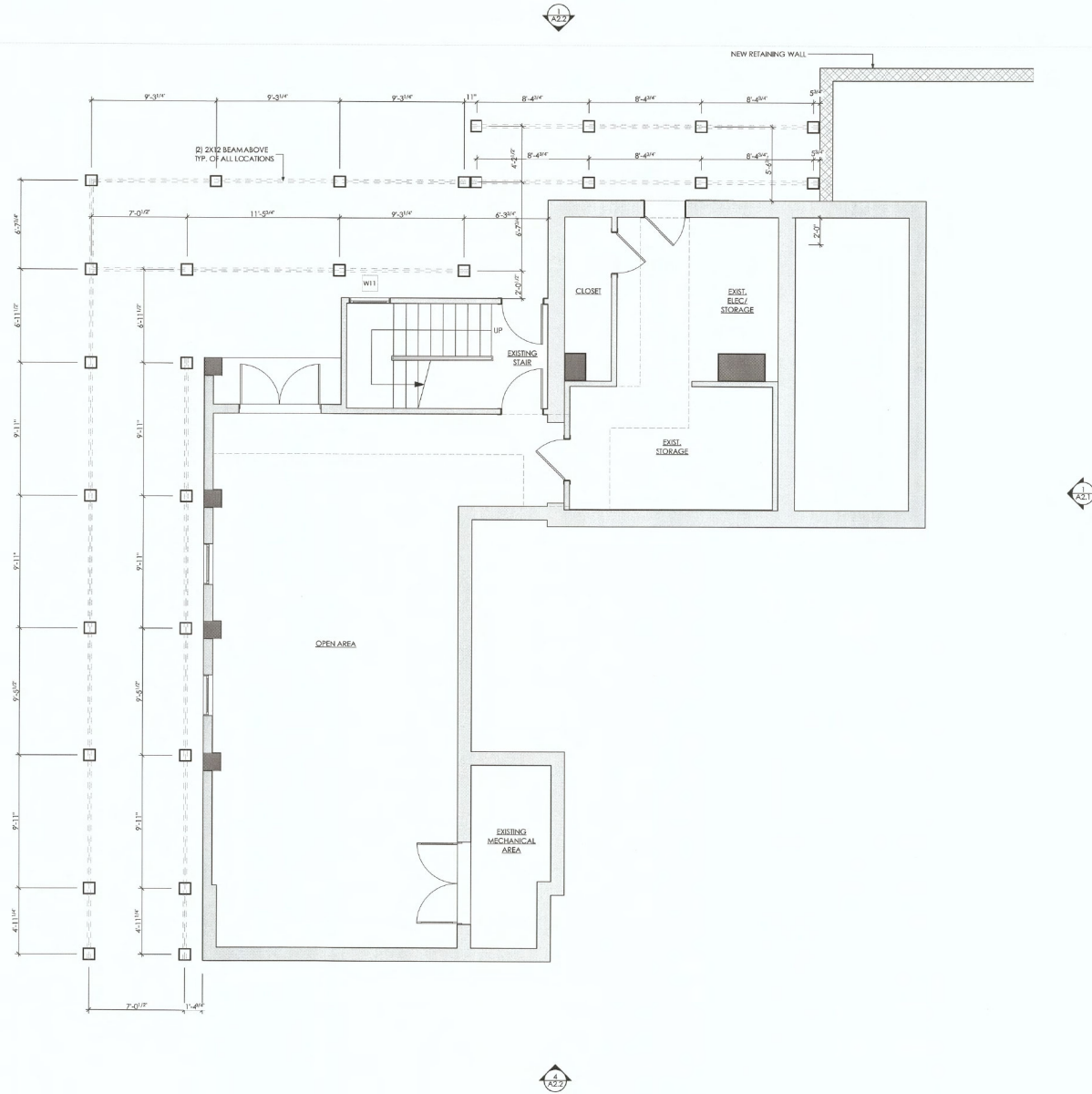
Wagshal's BBQ and Deli (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816



MANION ASSOCIATES ARCHITECTS
7307 MacArthur Blvd. Ste. 216 Bethesda, Maryland 20816
1-301-229-7000 F-301-229-7171 www.manionandassociates.com
PROJECT PHASE: Partial Interior Demo
ISSUED DATE: 9.6.19
REVISIONS: 10.1.19 10.15.19
DRAWN BY: C.J.J.
CHECKED BY: T.M.



Basement Floor
SCALE: 1/4" = 1'-0"



DRAWING SYMBOL KEYS	
	DOOR
	PLUMBING FIXTURE
	WINDOW
	APPLIANCE
	SKYLIGHT
	LIGHT FIXTURE
	WALL TYPE KEY
	ELEVATION KEYNOTE
	DOWN SPOUT

WALL LEGEND	
	EXISTING WALL
	NEW WALL

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7307 MACARTHUR BLVD. SUITE 210
BETHESDA, MD 20814
TEL: 301.229.7000 FAX: 301.229.7171
www.manionassociates.com

Wagshal's BBQ and Deli (Bonfield's Garage)
6124 Macarthur Blvd.
Bethesda, Maryland 20816
Basement Floor Plan

PROFESSIONAL CERTIFICATION
I, the undersigned, being a duly licensed Professional Architect under the laws of the State of Maryland, do hereby certify that this is a true and correct copy of the original design and specification for the above described project, and that I am a duly licensed Professional Architect under the laws of the State of Maryland.
LICENSE NO. 1377-R
EXPIRATION DATE 12/31/2020

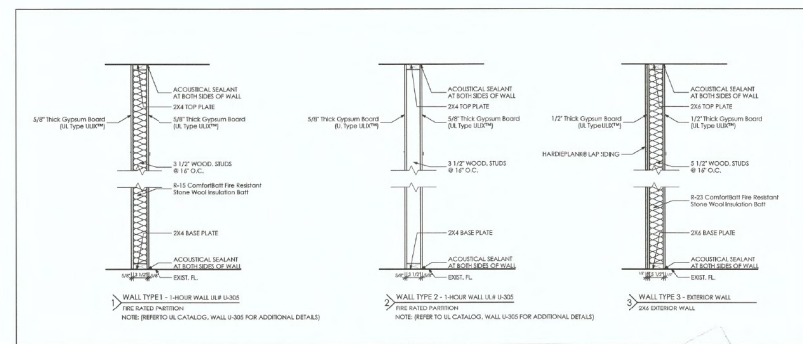
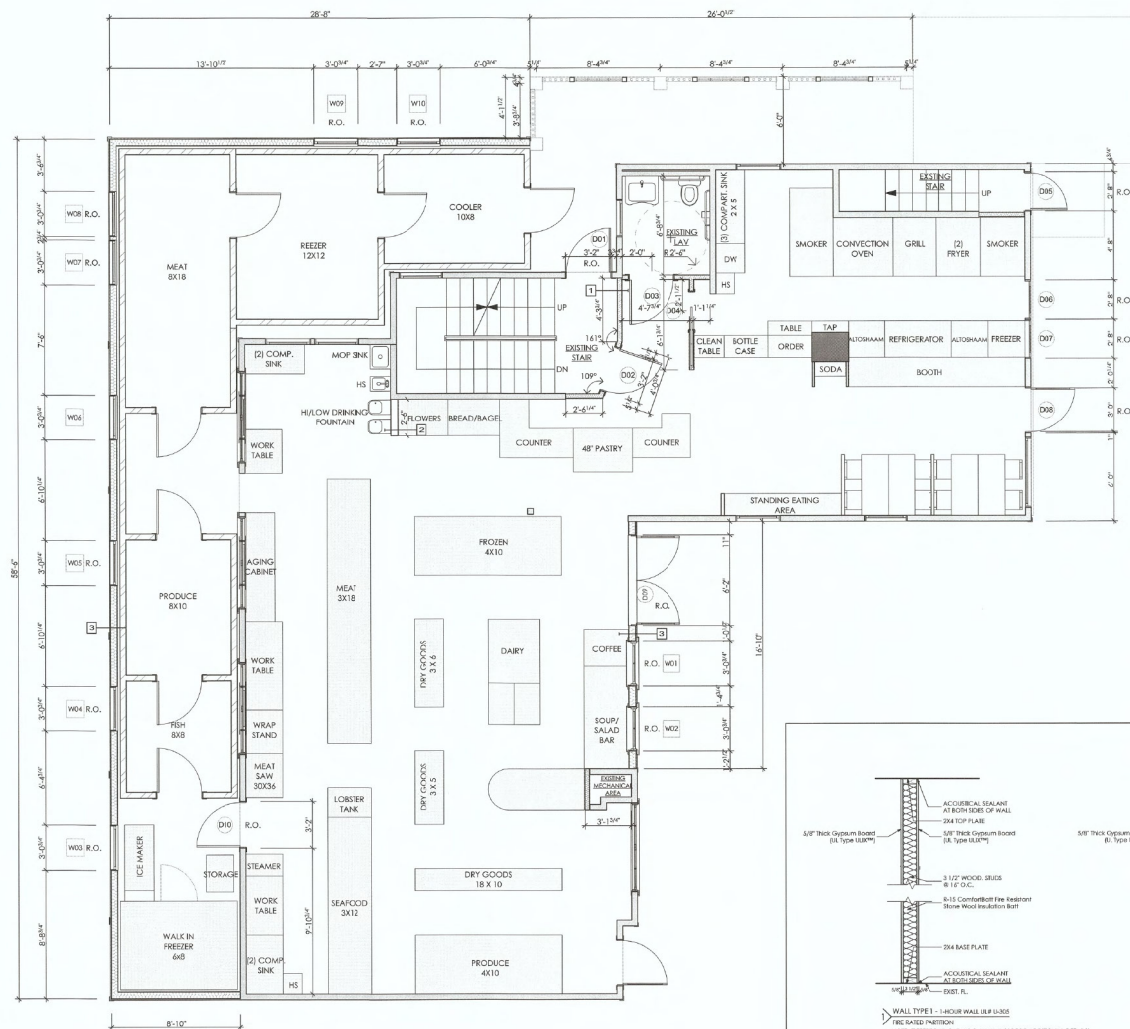
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These drawings are for informational purposes only. They are not to be used for construction. The contractor shall verify all dimensions and conditions shown on the drawings and shall be responsible for any discrepancies. The contractor shall be responsible for any discrepancies between the drawings and the actual conditions shown on the drawings.

REVISIONS

NO.	DATE	DESCRIPTION
1	10.15.19	ISSUE DATE 9.9.19
2	11.4.19	11.4.19 11.8.19 11.20.19 11.21.19

DRAWN BY: CJJ
CHECKED BY: TM

First Floor
SCALE: 1/4" = 1'-0"



Wall Types

DRAWING SYMBOL KEYS

- DOOR
- PLUMBING FIXTURE
- WINDOW
- APPLIANCE
- SKYLIGHT
- LIGHT FIXTURE
- WALL TYPE KEY
- ELEVATION KEYNOTE
- DOWN SPOUT

WALL LEGEND

- EXISTING WALL
- NEW WALL

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 PROJECT PHASE: Partial Interior Demo
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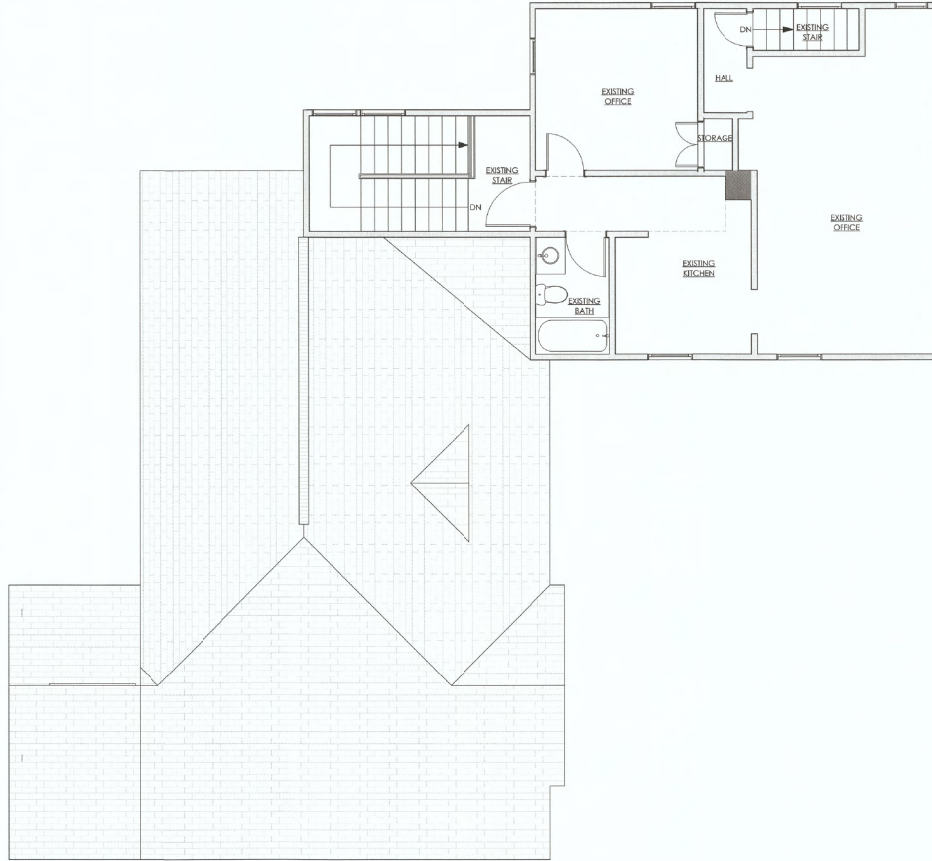
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 Bethesda, Maryland 20816

First Floor Plan

DO NOT SCALE DRAWINGS

Written dimensions on these drawings shall govern over all other dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. No field modifications or changes shall be made without the approval of the architect.

A1.2



Second Floor
SCALE: 1/4" = 1'-0"

NO CHANGES ON THIS LEVEL

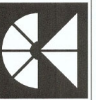
Sandra H. H. H.
1-25-20

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I HEREBY CERTIFY THAT THESE
DRAWINGS HAVE BEEN PREPARED
OR SUPERVISED BY ME AND
I AM A LICENSED ARCHITECT IN THE STATE OF MARYLAND
LICENSE NO. 3727-A
EXPIRATION DATE: 06/06/2020

A1.3

DRAWING SYMBOL KEYS	
	DOOR
	PLUMBING FIXTURE
	WINDOW
	APPLIANCE
	SKYLIGHT
	LIGHT FIXTURE
	WALL TYPE KEY
	ELEVATION KEYNOTE
	DOWN SPOUT

WALL LEGEND	
	EXISTING WALL
	NEW WALL



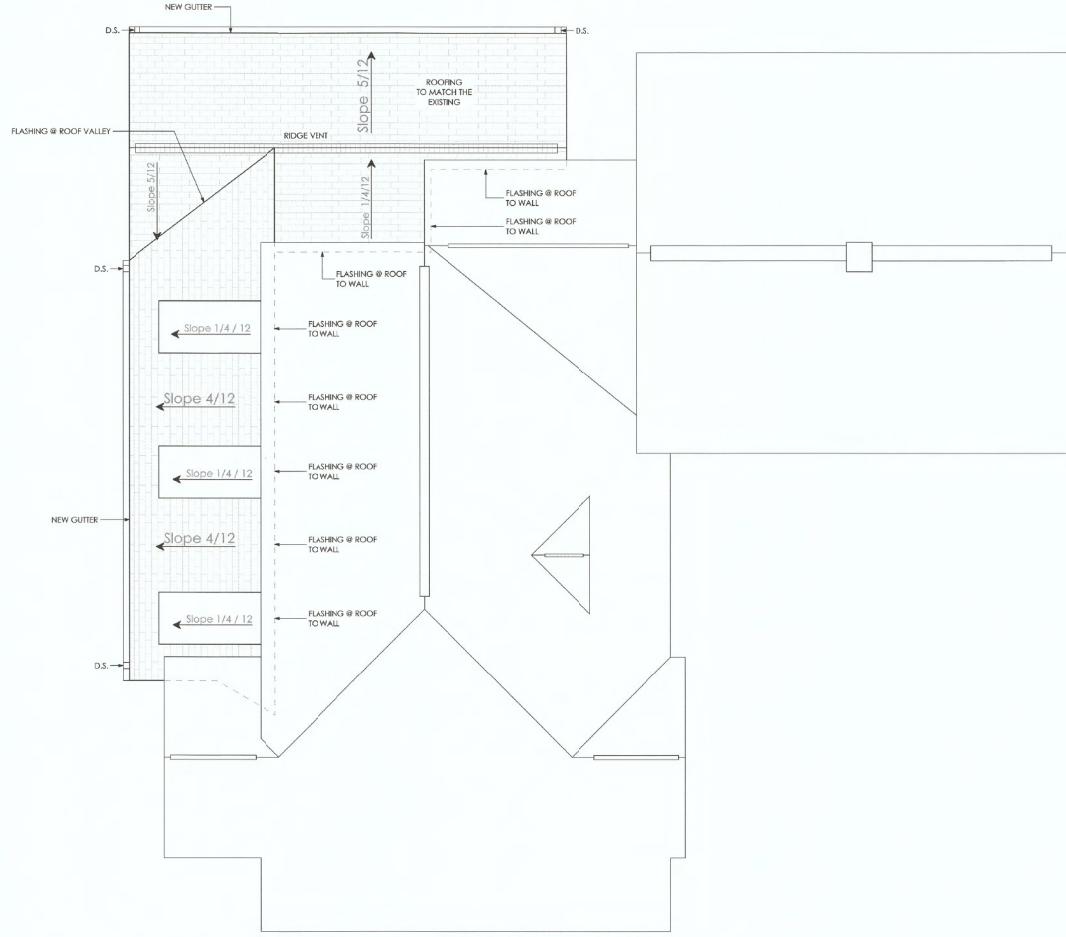
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11419 LILBURN RD. SUITE 200
BETHESDA, MD 20814
T: 301.229.7000 F: 301.229.7171 www.manionandassociates.com
PROJECT PHASE: Partial Interior Demo
ISSUE DATE: 9.9.19
REVISIONS: 10.1.19 10.15.19
DRAWN BY: C.J.J. CHECKED BY: T.M.
11.4.19 11.8.19 11.20.19 11.21.19



Wagshal's BBQ and DELI (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816
Second Floor Plan

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Contractors shall verify and be responsible
for all dimensions and conditions on the job.
No part of these drawings shall be reproduced
without the written consent of the architect.
From the dimensions and conditions shown.

Roof
SCALE: 1/4" = 1'-0"



DRAWING SYMBOL KEYS

DOOR	PLUMBING FIXTURE
WINDOW	APPLIANCE
SKYLIGHT	LIGHT FIXTURE
WALL TYPE KEY	ELEVATION KEYNOTE
DOWN SPOUT	



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7700 MacArthur Blvd., Suite 200
Bethesda, Maryland 20814
T: 301.279.7000 F: 301.279.7171 www.manionandassociates.com
PROJECT PHASE: Partial Interior Demo
DRAWN BY: C.J.J.
ISSUE DATE: 9.9.19
REVISIONS: 10.1.19 10.15.19
11.4.19 11.8.19 12.01.19 11.21.19
CHECKED BY: TM



Wagshal's BBQ and Deli (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816
Roof Plan

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I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS.
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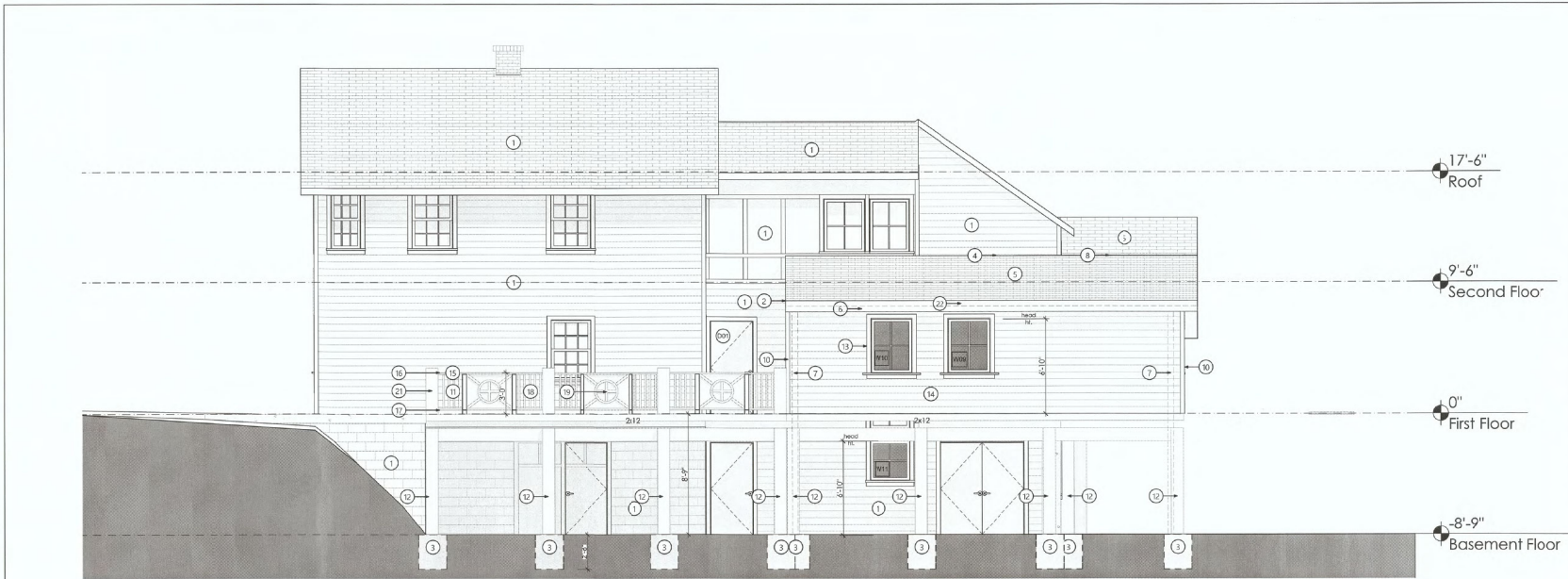
A1.4



A1.5

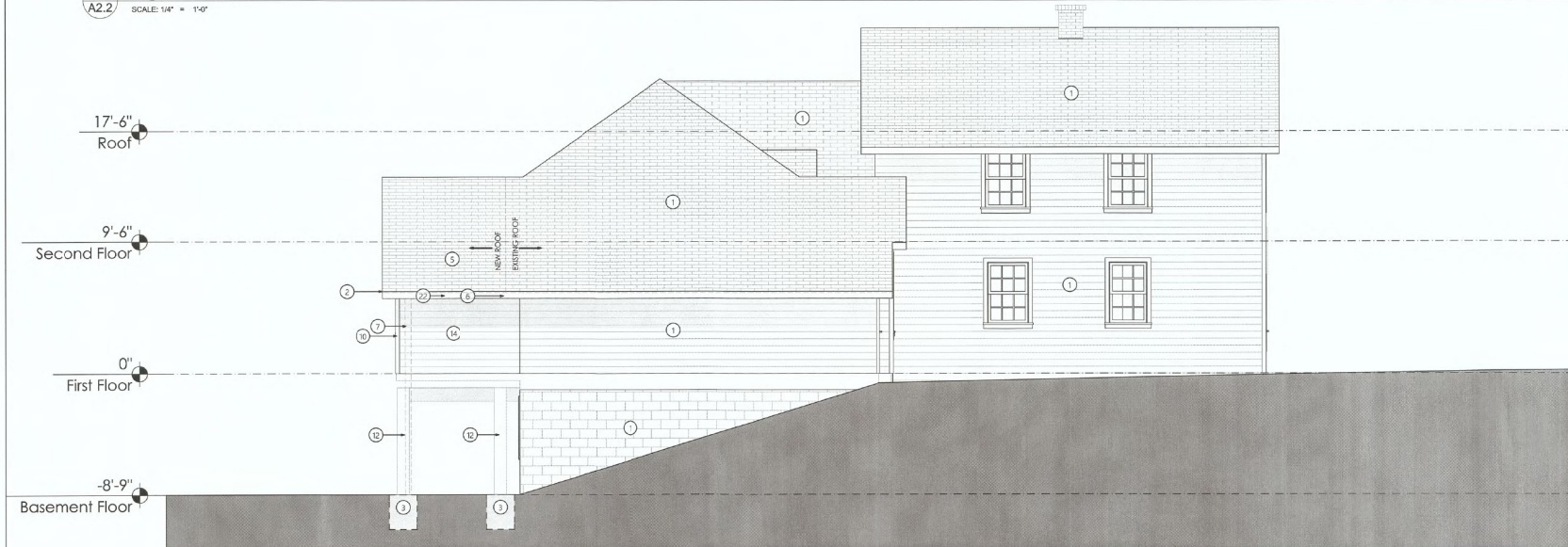
BOARD OF ARCHITECTS
3727R
THOMAS MARDON
STATE OF MARYLAND
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Written communications on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and must notify this office of any variations from the dimensions and conditions shown.



1 Right Elevation

A2.2 SCALE: 1/4" = 1'-0"



4 Left Elevation

A2.2 SCALE: 1/4" = 1'-0"

DRAWING SYMBOL KEYS	
○	DOOR
△	PLUMBING FIXTURE
□	WINDOW
○	APPLIANCE
○	SKYLIGHT
○	LIGHT FIXTURE
○	WALL TYPE KEY
○	ELEVATION KEYNOTE
○	DOWN SPOUT

- ELEVATION KEY NOTES**
- 1) EXISTING TO REMAIN
 - 2) METAL DRIP EDGE
 - 3) FOOTING PER STRUCTURAL PLAN
 - 4) FLASHING AT ROOF TO WALL CONNECTION
 - 5) CERTAINTED ASPHALT SHINGLES ON #30 ROOFING PAPER ON 5/8" PLYWOOD SHEATHING
 - 6) METAL GUTTER
 - 7) METAL DOWNSPOUT
 - 8) RIDGE VENT
 - 9) 5/4 X 6 BORAL RAKE BOARD
 - 10) BORAL 5/4 X 4 CORNER BOARD TRIM
 - 11) RAILING HEIGHT PER CODE
 - 12) 6x6 P.T.P. STRUCTURAL POST WRAPPED IN A DECORATIVE COLUMN
 - 13) BORAL 5/4 X 4 BORAL WINDOW TRIM TYPICAL AT ALL SIMILAR CONDITIONS: V.J.T. TO MATCH EX.
 - 14) HARDI PLANK LAP SIDING
 - 15) 2X6 TOP RAIL CAP
 - 16) 2X6 HORIZONTAL TOP RAILING BOARD
 - 17) 2X6 HORIZONTAL BOTTOM RAILING BOARD
 - 18) 2X2 RAILING PICKETS SPACED PER CODE
 - 19) DECORATIVE RAILING ELEMENT
 - 20) DECORATIVE 1 X 6 VERTICAL BORAL TRIM
 - 21) 10X10 RAILING POST
 - 22) 5/4 X 6 FASCIA BOARD

Samuel Heller
ME
1/20/24

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT AND REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND.
LICENSE NO. 3727-A
EXPIRATION DATE 03/31/2025



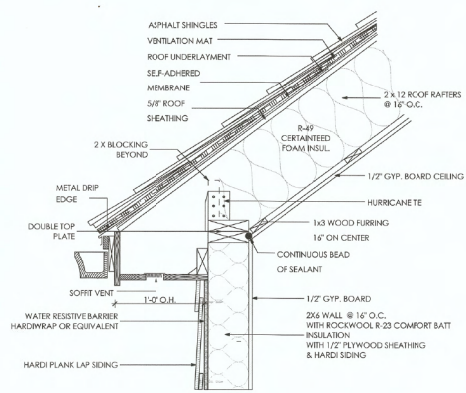
MANION & ASSOCIATES ARCHITECTS
7000 Rockville Pike, Suite 200
Rockville, MD 20854
TEL: 301.229.7000 FAX: 301.229.7171 www.manionandassociates.com
PROJECT PHASE: Partial Interior Demo
ISSUE DATE: 9.9.19
REVISIONS: 10.1.19 10.15.19
DRAWN BY: CJJ
CHECKED BY: TM



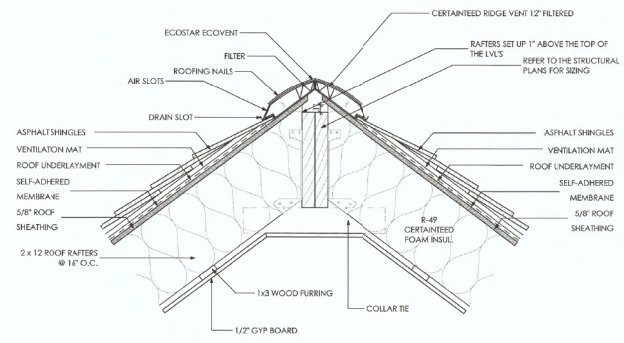
Wagshal's BBQ and Deli (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816
Right & Left Elevation

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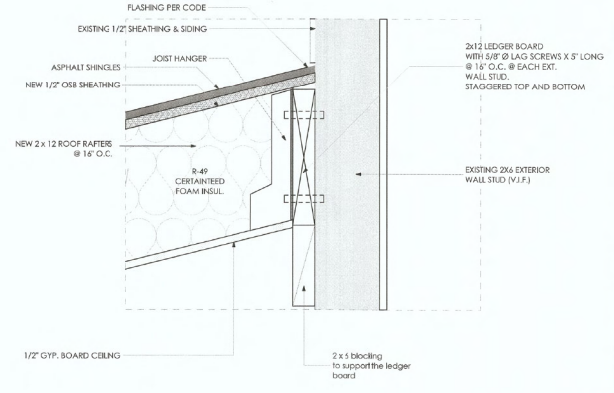
A2.2



1 Eave Detail
A3.1 SCALE: 1 1/2" = 1'-0"



2 Ridge Detail
A3.1 SCALE: 1 1/2" = 1'-0"



3 Roof To Wall Detail
A3.1 SCALE: 3" = 1'-0"

Handwritten signature and date:
10/2/19

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LICENSE NO. 3727-R
EXPIRATION DATE: 04/01/2022

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DRAWN BY: C.J.J.
CHECKED BY: TM

ISSUE DATE: 9.9.19
REVISIONS: 10.1.19 10.15.19
11.4.19 11.18.19 12.01.19 11.21.19

Wagshal's BBQ and Deli (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816
Construction Details

DO NOT SCALE DRAWINGS
Written dimensions on these drawings (not dimensions taken from the model) govern over dimensions taken from the model. Contractors shall verify and be responsible for all dimensions and conditions on the job from the dimensions and conditions shown.

A3.1

DOOR SCHEDULE

Story	Mark	Unit Size		Material	Frame Type	FIRE RATING	Hardware				NOTES
		Width	Height				Function	Mfr.	Model #	Finish	
First Floor											
	D01	3'-0"	6'-8"	Hollow Core Mtl	Knock Dn Mtl. Ptd.	1 1/2 HOUR	Fire Exit Stair	Von Duprin	98NL-OP-F		Fire Rated - Provide all necessary accessories & door mounted closer. Submit cut sheet for review.
	D02	3'-0"	6'-8"	Hollow Core Mtl	Knock Dn Mtl. Ptd.	1 1/2 HOUR	Fire Exit Stair	Von Duprin	98NL-OP-F	US26D	Fire Rated - Provide all necessary accessories & door mounted closer. Submit cut sheet for review.
	D03	3'-0"	6'-8"	Solid Core Wd. Ptd.	Knock Dn Mtl. Ptd.	N/A	Bathroom Lock Passage	Yale	Cylindrical Lever Handle 4600 N	626	Provide door mounted closer. Submit cut sheet for review.
	D04	2'-6"	6'-8"	Solid Core Wd. Ptd.	Knock Dn Mtl. Ptd.	3/4 HOUR	Exit Stair				Pocket door
	D05	2'-6"	6'-8"	Hollow Core Mtl	Knock Dn Mtl. Ptd.	1 1/2 HOUR	Exit Stair	Von Duprin	35A series	US26D	Fire Rated - Provide all necessary accessories & door mounted closer. Submit cut sheet for review.
	D06	2'-6"	6'-8"	Commercial Glass Storefront Door	Aluminum	1 HOUR	Exit			US26D	Fire Rated - Provide all necessary accessories & door mounted closer. Submit cut sheet for review.
	D07	2'-6"	6'-8"	Commercial Glass Storefront Door	Aluminum	1 HOUR	Exit			US26D	Fire Rated - Provide all necessary accessories & door mounted closer. Submit cut sheet for review.
	D08	3'-0"	6'-8"	Commercial Glass Storefront Door	Aluminum	1 HOUR	Exit	Von Duprin		US26D	Fire Rated - Provide all necessary accessories & door mounted closer. Submit cut sheet for review.
	D09	6'-0"	6'-10"	Commercial Glass Storefront Door	Aluminum	1 HOUR	Exit			US26D	Fire Rated - Provide all necessary accessories & door mounted closer. Submit cut sheet for review.
D10	3'-0"	6'-8"	Hollow Core Mtl	Knock Dn Mtl. Ptd.	1 1/2 HOUR	Fire Exit Stair	Von Duprin	98NL-OP-F	US26D	Fire Rated - Provide all necessary accessories & door mounted closer. Submit cut sheet for review.	

WINDOW SCHEDULE- NORTH CENTRAL CLIMATE ZONE

Story	Mark	Model #	Size (frame)		Type	Temper	Egress	GLAZING THICKNESS	U - VALUE MAX.30 OR LESS	SHGC - VALUE MAX.40 OR LESS	Manufacturer	Color	Notes
			Width	Height									
Basement Floor	W11	SCA3618/SCC3636 W/2" SPACE	3'-0"	3'-0"	CASEMENT	Y	N	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Wincow		Auralast® Pine
First Floor	W01	SCA3618/SCC3660 W/2" SPACE	3'-0"	5'-8"	CASEMENT/ANNING	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Wincow		Auralast® Pine
	W02	SCC3660	3'-0"	5'-8"	CASEMENT/ANNING	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Wincow		Auralast® Pine
	W03	SCC3648	3'-0"	4'-0"	CASEMENT	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Wincow		Auralast® Pine
	W04	SCC3648	3'-0"	4'-0"	CASEMENT	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Wincow		Auralast® Pine
	W05	SCC3648	3'-0"	4'-0"	CASEMENT	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Wincow		Auralast® Pine
	W06	SCC3648	3'-0"	4'-0"	CASEMENT	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Wincow		Auralast® Pine
	W07	SCC3648	3'-0"	4'-0"	CASEMENT	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Window		Auralast® Pine
	W08	SCC3648	3'-0"	4'-0"	CASEMENT	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Window		Auralast® Pine
	W09	SCC3648	3'-0"	4'-0"	CASEMENT	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Window		Auralast® Pine
	W10	SCC3648	3'-0"	4'-0"	CASEMENT	Y	Y	Low-E 366 Argon 7/8" Grilles Between the Glass, Bronze Reflective Tinted BetterVue Screen	.28	.17	Steline™ Clad-Wood Window		Auralast® Pine

DOOR GENERAL NOTES:

DOOR GENERAL NOTES:

1. CONTRACTOR TO COORDINATE ALL ROUGH OPENINGS WITH DOOR SCHEDULE, PLANS AND ELEVATIONS PRIOR TO ORDERING DOORS. IF DISCREPANCIES ARE FOUND, CONTACT THE ARCHITECT IMMEDIATELY.
2. CHECK DRAWINGS FOR SWING DIRECTIONS AND LOCATIONS.
3. PROVIDE ALL NECESSARY HARDWARE, WEATHER STRIPPING, TRIM PIECES ETC.
4. HARDWARE: LEVER HANDLE HARDWARE TO MEET ADA REQUIREMENTS. SUBMIT CUT SHEET TO OWNER/ARCHITECT PRIOR TO ORDERING. PROVIDE MASTER KEY FOR UNLOCKING OF ALL DOORS.
5. INTERIOR WOOD DOORS TO BE LEMUEUX, KEEB OR SIMPSON SOLID W.D.
6. ALL DOORS IN WALLS OTHER THAN 3 5/8" MT. STUD WALLS TO HAVE JAMB EXTENDERS AS NECESSARY.
7. FIELD VERIFY EXISTING DOOR OPENING SIZES AND COORDINATE AS REQUIRED.
8. PROVIDE 1 3/8" DIAMETER SOLID MTL. COMMERCIAL DOOR STOP BY INOX, MODEL DS202, OR APPROVED EG. AT DOORS 2, 4, 5, 6, 7 AND 8. FINISH TO MATCH DOOR HARDWARE.
9. EACH DOOR TO RECEIVE 1 1/2 PAIR OF STEEL HINGES (FINISH US26D) WITH SILENCERS.
10. INSURE ALL EXISTING DOORS TO THE OUTSIDE WILL BE SELF CLOSING AND RODENT PROOF.
11. ALL DOOR LOCKS SHALL NOT REQUIRE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT TO OPERATE.
12. ALL DOORS SHALL BE OPENABLE WITH NO MORE THAN ONE RELEASING OPERATION.

WINDOW GENERAL NOTES:

1. WINDOWS SPECIFIED ARE BY Jeld-Wen Steline™.
2. WINDOWS ARE ALUMINUM CLAD WOOD, FRAME & SASH COLOR, GLASS TYPE GLASS, WITH GRILLE TYPE, CASING TO BE FIELD APPLIED UNLESS NOTED OTHERWISE. SEE ELEVATIONS FOR GRILLE PATTERNS AND OPENING DIRECTIONS.
3. PROVIDE ALL NECESSARY HARDWARE - HARDWARE FINISH, WEATHER STRIPPING, TRIM PIECES, ETC.
4. PROVIDE INSECT SCREENS FOR ALL OPERABLE WINDOWS (UNLESS NOTED OTHERWISE) COLOR TO BE BLACK.
5. REFER TO PLANS AND ELEVATIONS FOR WINDOW LOCATIONS, VERIFY SIZES AND QUANTITIES PRIOR TO ORDERING.
6. APPLY SEALANT AROUND EXTERIOR PERIMETER BEHIND WINDOW TRIM AND SET INTO OPENING.
7. APPLY FOAM BACKER ROD AND SEALANT TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT.
8. APPLY LOW EXPANSION SPRAY FOAM AROUND ALL WINDOW JAMBS.
9. WINDOWS JSTED AS TEMPERED ARE FOR REFERENCE ONLY. COORDINATE WITH WINDOW SUPPLIER AND APPLICABLE CODES TO VERIFY REQUIRED LOCATIONS/ WINDOW TO BE TEMPERED PRIOR TO BIDDING/ PURCHASING.
10. ALL WINDOWS TO HAVE JAMB EXTENDERS AS NECESSARY FOR 4-5/16" & 6-9-16" JAMBS. COORDINATE REQUIRED DEPTHS WITH PLAN.
11. FIELD VERIFY WINDOW HEIGHTS AND CLEARANCES PRIOR TO PURCHASING.
12. WINDOWS TO HAVE ADHESIVE FLASHING & SILL PANS- INSTALL PER MFR'S RECOMMENDATIONS



MANION & ASSOCIATES ARCHITECTS
7301 MacArthur Blvd, Ste. 216, Bethesda, Maryland 20816
T:301.229.7000 F:301.229.7171 www.manionandassociates.com
PROJECT PHASE: Partial Interior Demo
DRAWN BY: C.J.J.
REVISIONS: 10.1.19 10.15.19
CHECKED BY: TM
11.4.19 11.8.19 11.20.19 11.21.19

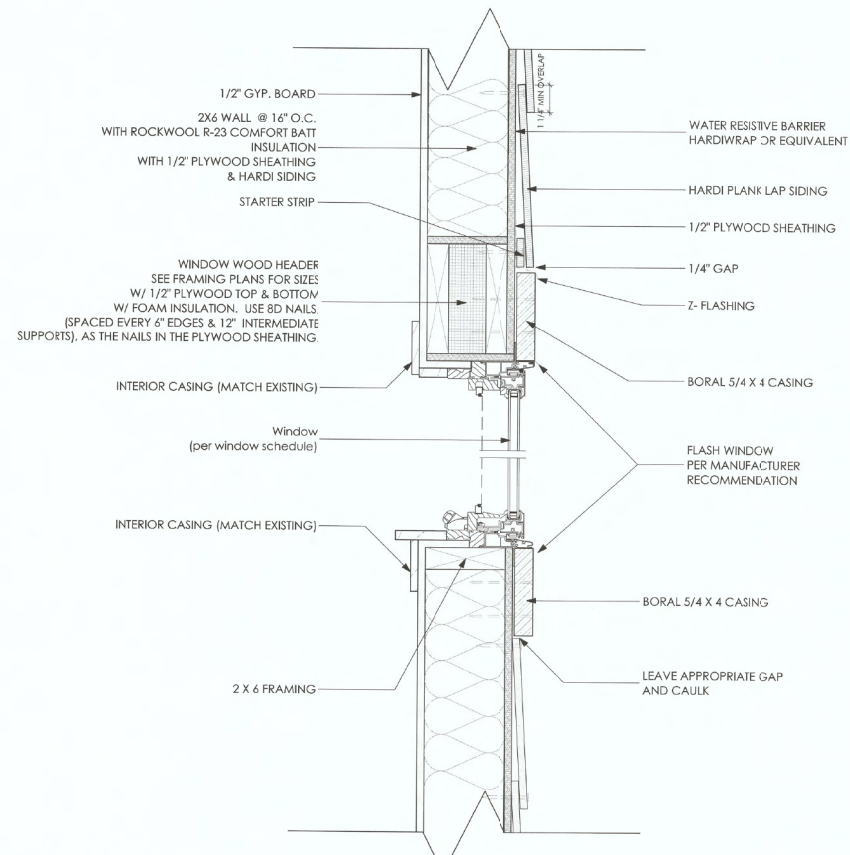


Wagshal's BBQ and Deli (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816
Door & Window Schedules

■ **DO NOT SCALE DRAWINGS** ■
Written dimensions on these drawings shall prevail over any scaled dimensions. For all dimensions and conditions on the job and that modify the office of any violations from the drawings and conditions herein.

PROFESSIONAL CERTIFICATION
I, THE SIGNER, CERTIFY THAT THIS
DRAWING WAS PREPARED BY ME AND
I AM A LICENSED PROFESSIONAL ARCHITECT
IN THE STATE OF MARYLAND.
LICENSE NO. 13727
EXPIRATION DATE: 06/06/2025

A3.2



Window Detail
SCALE: 3/4" = 1'-0"

Signature
11.4.19

FEDERAL CERTIFICATION
DOCUMENTS HAVE BEEN PREPARED
IN ACCORDANCE WITH THE
NATIONAL BOARD OF FIRE UNDERWRITERS
AND LOCAL AGENCY REQUIREMENTS
OF THE STATE OF MARYLAND
EXPIRATION DATE: 07/01/2023

A3.3

DO NOT SCALE DRAWINGS
Within dimensions on these drawings shall
have precedence over scaled dimensions.
Dimensions are given in feet and inches
for all dimensions and conditions in this job
and must notify the office of any violations
from the dimensions and conditions shown.

Wagshal's BBQ and Deli (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816
Door & Window Details



MANION + ASSOCIATES ARCHITECTS
7307 MacArthur Blvd. Ste. 216, Bethesda, Maryland 20816
T:301.229.7000 F:301.229.7171 www.manionandassociates.com
PROJECT PHASE: Partial Interior Demo
ISSUE DATE: 9.9.19
DRAWN BY: CJJ
CHECKED BY: TM
REVISIONS: 10.1.19 10.15.19
11.4.19 11.8.19 11.20.19 11.21.19

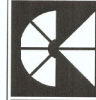
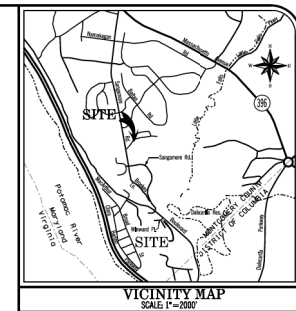
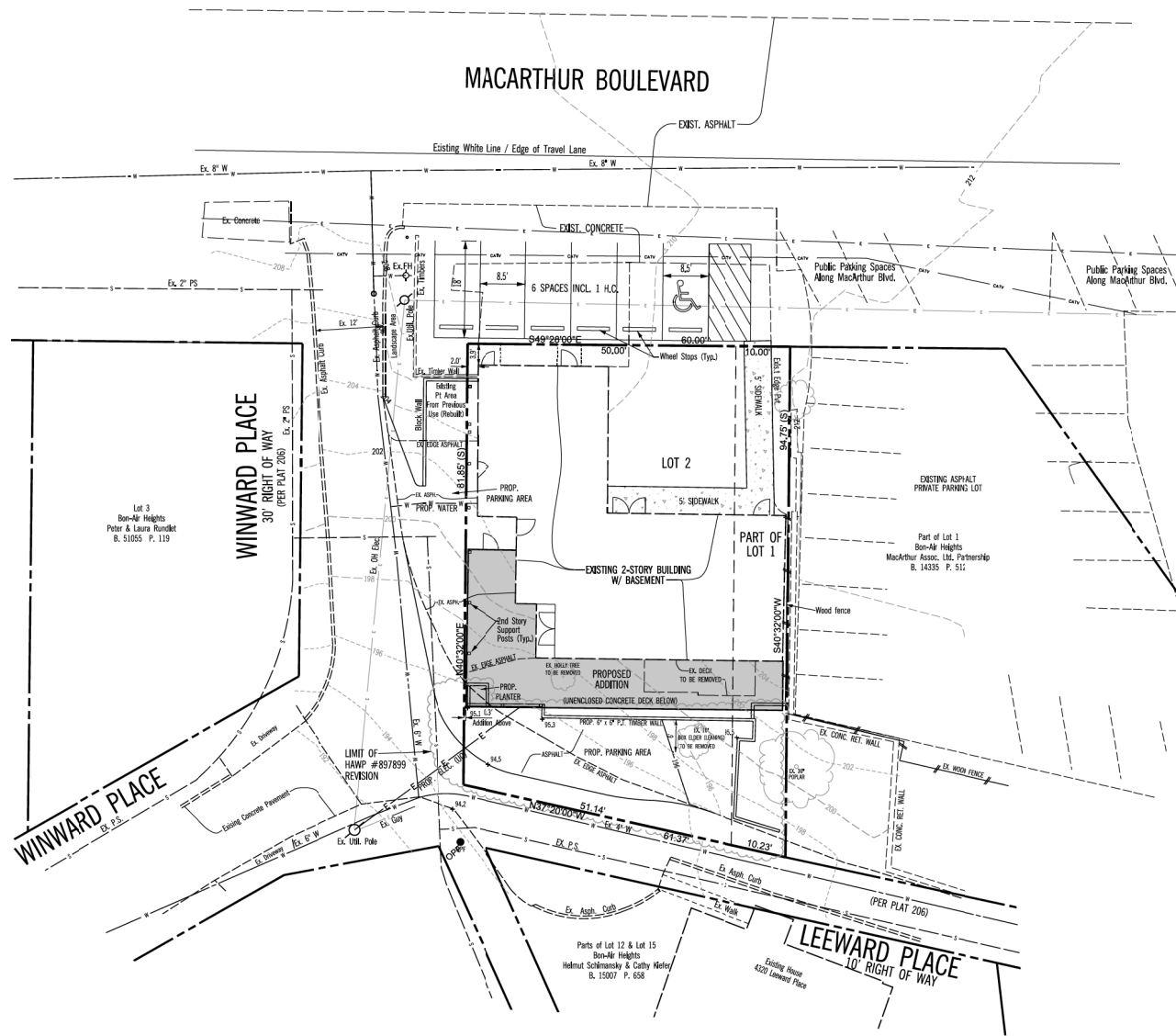
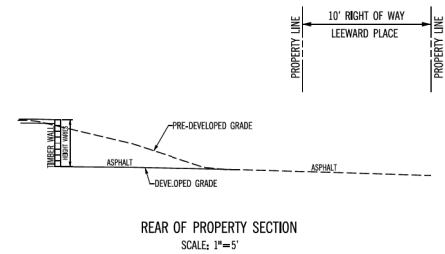


Exhibit B

Updated Site Plan
July 2021



- PROPOSED AMENDMENTS TO HAWP #897899
1. Area in rear cleared to facilitate construction of rear deck.
 2. The steep grade was regraded and P.T. timber wall added to reduce slope and correct a continuing erosion problem.
 3. An existing Holly Tree and Box Elder removed. Holly tree was within footprint of addition and Box Elder was leaning and determined to be dangerous by certified Arborist.



SITE SOLUTIONS, INC.
18808 Amaranth Drive
Germantown, Maryland 20874-1211
(301) 840-7980 Fax (301) 840-7981
Planning • Landscape Architecture • Engineering

OWNER:
SILBER FUCHS LLC
6124 MACARTHUR BOULEVARD
BETHESDA, MD 20816
ATTN: BILL FUCHS

NO.	REVISION	DATE

SITE PLAN
WAGSHAL'S BBQ & DELI
(BONFIELD'S GARAGE)
LOT 2 & PART OF LOT 1, BON-AIR HEIGHTS
BETHESDA ELECTION DISTRICT #7
MONTGOMERY COUNTY, MARYLAND

JUL	1"=10'
DESIGN	SCALE
OWN	1 OF 1
CHECKED	SHEET
7/14/2021	3020
PLUT DATE	D-

Exhibit C

Landscape Wall Details



24"

45"

54"

55"

60"

62"

67"

49"

48"

46"

38"

6" x 6" (nom.) treated wood timbers (typ.)

Dimensions indicate height above surrounding grade

Exhibit D

Pre-Construction Site Photographs







Image capture: Mar 2012 © 2021 Google

Bethesda, Maryland



Street View







Exhibit E

Current Site Photographs











Exhibit F

Arborist Letter



10563 Metropolitan Avenue, Kensington, MD 20895
301-942-6700
www.mulherontreeexperts.com

June 10, 2019

Manion & Associates
7307 Macarthur Boulevard
Suite 216
Bethesda, MD 20816

RE: 6124 Macarthur Boulevard – 16" Boxelder Tree

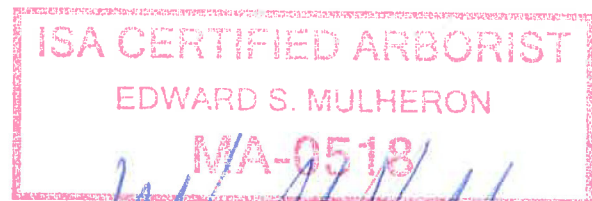
Dear Tom,

I have inspected the Boxelder tree at the South side of the above referenced address that is concerning you. This tree has virtually no root flair and is growing at a severe angle and I believe it could fail at any time. When it does fail it will likely cause damage to the neighbor's property and car. I recommend immediate removal as this trees condition will never improve, only worsen in time.

Please feel free to call me if you have any questions.

Sincerely,

Edward Mulheron
ISA Certified Arborist MA-0518
MD Tree Expert License #715
ISA Certified Utility Specialist
ISA Certified Tree Risk Assessor #1072
MDA Certified Compost Operator
Certified Treecare Safety Professional #2405



MD TREE EXPERT
LIC. NO. 715