

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	507 New York Ave., Takoma Park	Meeting Date:	6/23/2021
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	6/16/2021
Applicant:	Jason Lange Nestor Gomez, Agent	Public Notice:	6/9/2021
Review:	HAWP	Tax Credit:	n/a
Permit No.:	954472	Staff:	Dan Bruechert
Proposal:	Porch Enclosure		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP with one condition:

1. Window specifications are required before Staff can stamp the permit drawings. Final review and approval authority for the proposed windows is delegated to Staff.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource to the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c.1940s

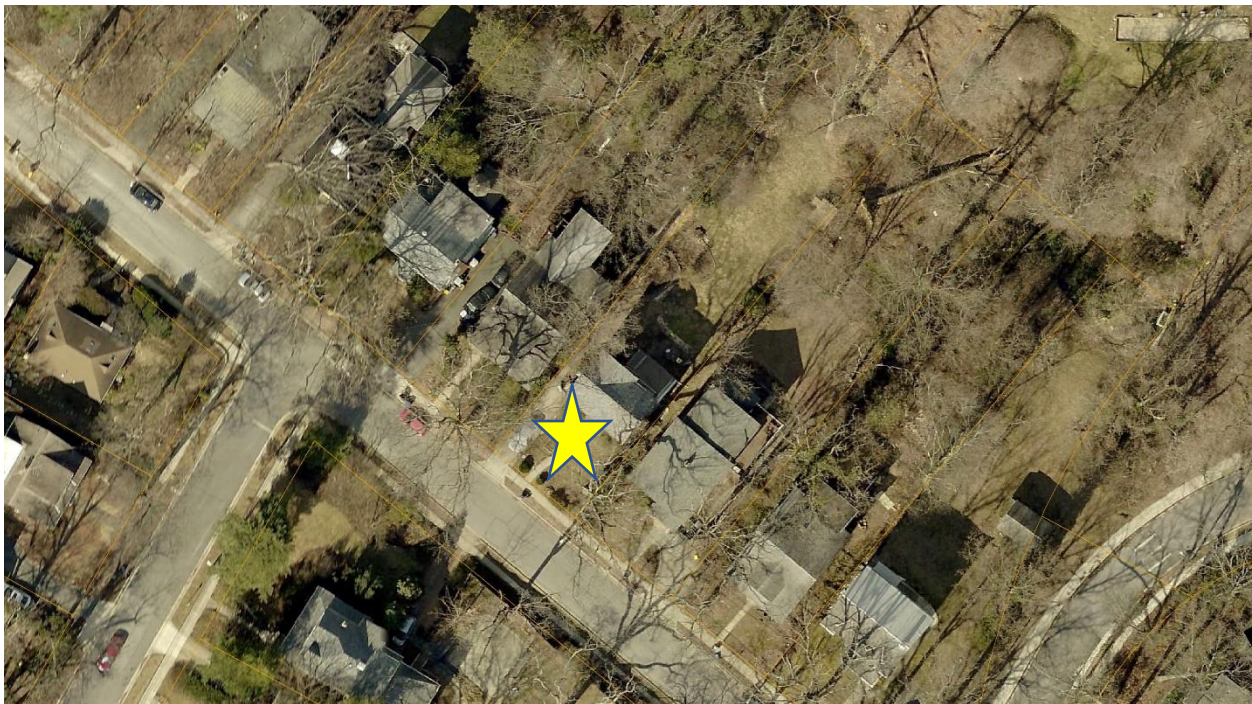


Figure 1: 507 New York Ave.

PROPOSAL

The applicant proposes to renovate the existing rear sunroom.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Demolition of Non-Contributing/Out-of-Period Resources should be permitted. However, any new building constructed in the place of a demolished building should be reviewed under the guidelines for new construction that follow.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The existing sunroom is a partially enclosed rear porch with a shed roof on brick piers. The applicant proposes to renovate the sunroom with new siding, windows, and skylights. Staff finds the work is compatible in character with the existing house and will not be visible from the right-of-way and recommends the HPC approve the HAWP.

As constructed, the existing porch does not contribute to the historic character of the house or the surrounding district. Staff supports removing the exiting siding and windows. In place of the existing siding, the applicant proposes to install fiber cement clapboards. Staff finds this is an appropriate material for new construction at the rear. On the roof, the applicant proposes to install two skylights. Staff finds these will not change the character of the roof and, were it not for the other work proposed in this HAWP, would have approved these at the Staff Level. The final change proposed is the new windows. The applicant proposes to install two pairs of six-over-one sash windows and a single lite, fixed window with frosted glass (this window is proposed for the new interior bathroom). No window specification was included with the HAWP application. Because this is a Non-Contributing Resource in a location that is not at all visible from the right-of-way, Staff finds virtually any window would be appropriate. Staff recommends the HPC include a condition for approval that permit drawings may not be stamped until a window specification is provided and final approval authority is delegated to Staff.

Staff finds that the proposal will not have an impact on the character of the resource or the surrounding district. Under the *Design Guidelines*, this proposal should be approved as a matter of course. Staff additionally finds the proposal complies with 24A-(b)(1), (2), and (d); and Standards 2, 9, and 10 and recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application with one condition;

1. Window specifications are required before Staff can stamp the permit drawings. Final review and approval authority for the proposed windows is delegated to Staff; under the Criteria for Issuance in Chapter 24A-8(b)(1) (2), and (d), and the *Takoma Park Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 954472
DATE ASSIGNED

APPLICANT:

Name: Jason Lange
Address: 507 New York Ave.
Daytime Phone: 202 999 9379

E-mail: langejason@gmail.com
City: Takoma Park Zip: 20912
Tax Account No.: 01061218

AGENT/CONTACT (if applicable):

Name: Nestor Gomez
Address:
Daytime Phone: 240 828 9923

E-mail: gocontractors77@gmail.com
City: Beltsville MD Zip: 20705
Contractor Registration No.: 105528

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 37/03

Is the Property Located within an Historic District? Yes/District Name Takoma Park Historic District
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 507 Street: New York Ave.
Town/City: Takoma Park Nearest Cross Street: Buffalo Ave.
Lot: 23 Block: 73 Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: Renovation |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 5/22/21

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The property is a two-story colonial revival-style single-family detached home in the Takoma Park Historical District where it is classified as a non-contributing resource. The house dates from the 1940S and has a brick exterior. It sits on one quarter acre lot and has a small creek running through the ravine along the back edge of the property.

Description of Work Proposed: Please give an overview of the work to be undertaken:

This project entails the renovation of a sunroom which is identified on the attached plans as an enclosed patio. The walls are to be re-framed with insulation so as to make the room into a bedroom. Skylights will also be added. The project also entails expanding the bathroom that currently abuts the enclosed patio. The enclosed patio currently sits on brick piers, which will remain. The renovated room will occupy the same square footage currently used by the enclosed patio. It will not add to the building' s footprint and, as can be seen in the attached photographs, no trees will be affected. Therefore, no tree survey is included here. The attached plans/elevations include the site plan and material specifications.

Work Item 3:

Description of Current Condition

Proposed Work:

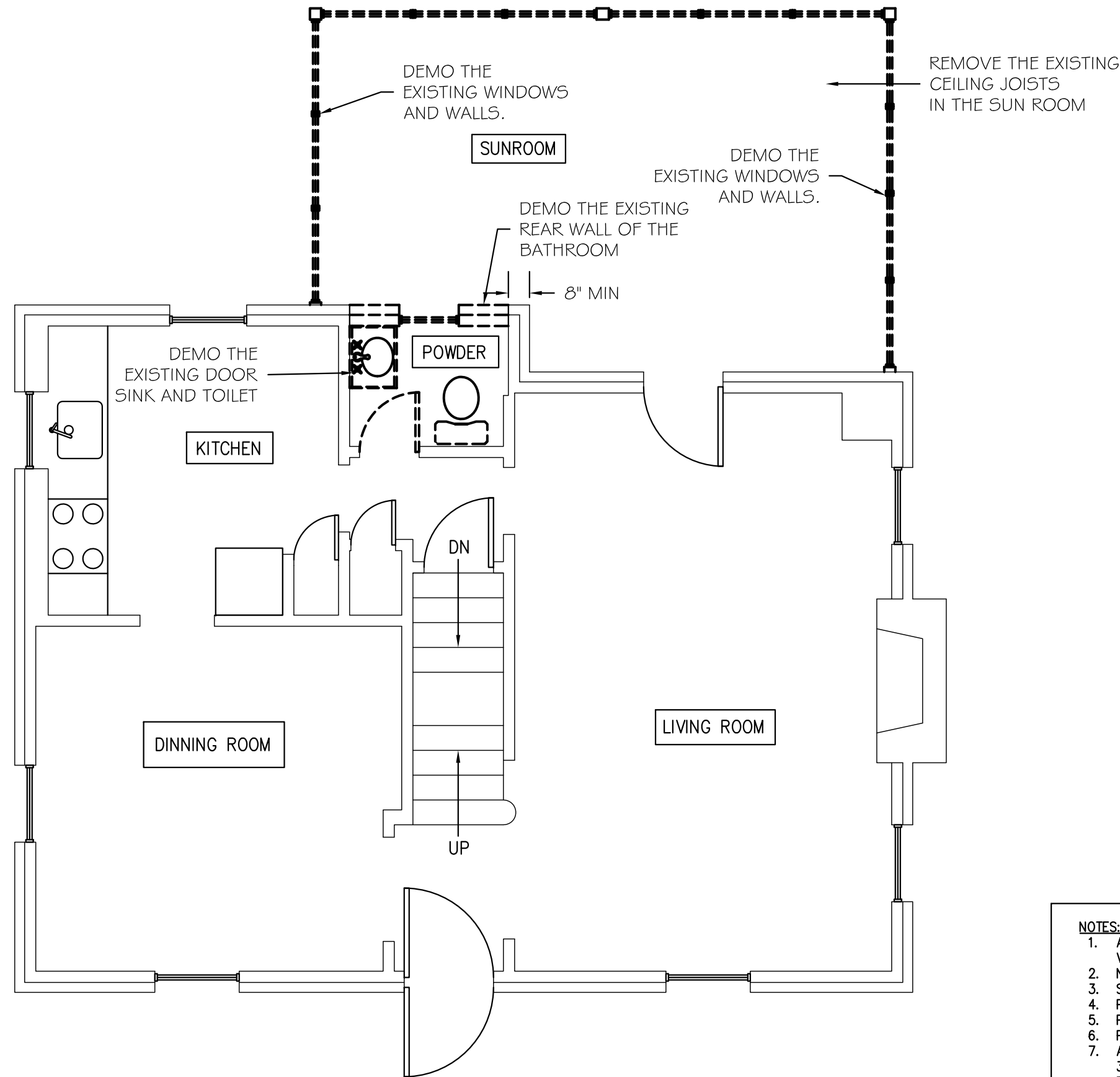
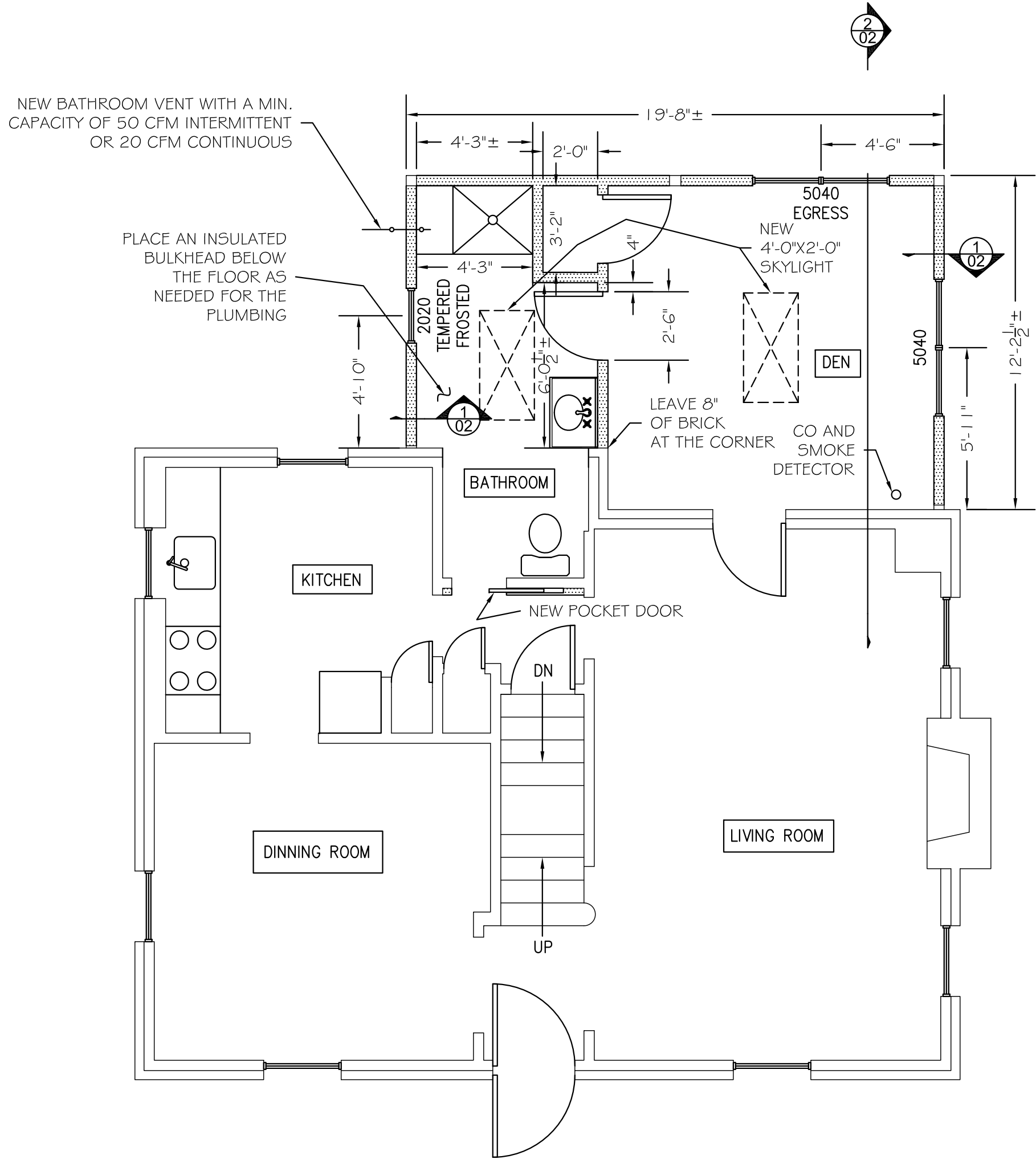
Work Item 1: <u>Renovate enclosed patio</u>	
Description of Current Condition: An enclosed patio sits on brick piers behind the house. It has minimal insulation.	Proposed Work: Replace the existing walls with new insulated walls. Add skylights to the existing roof.

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

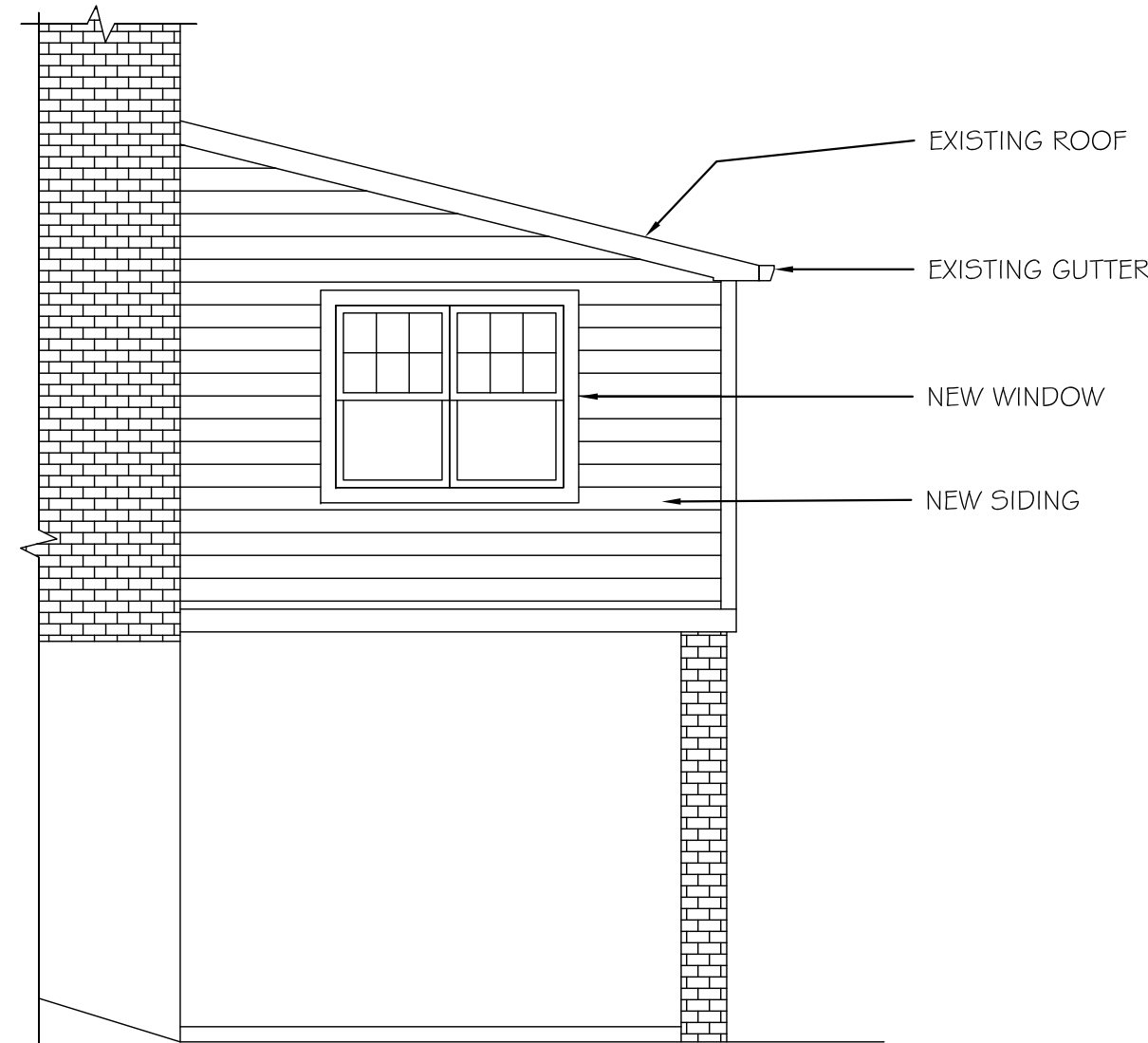
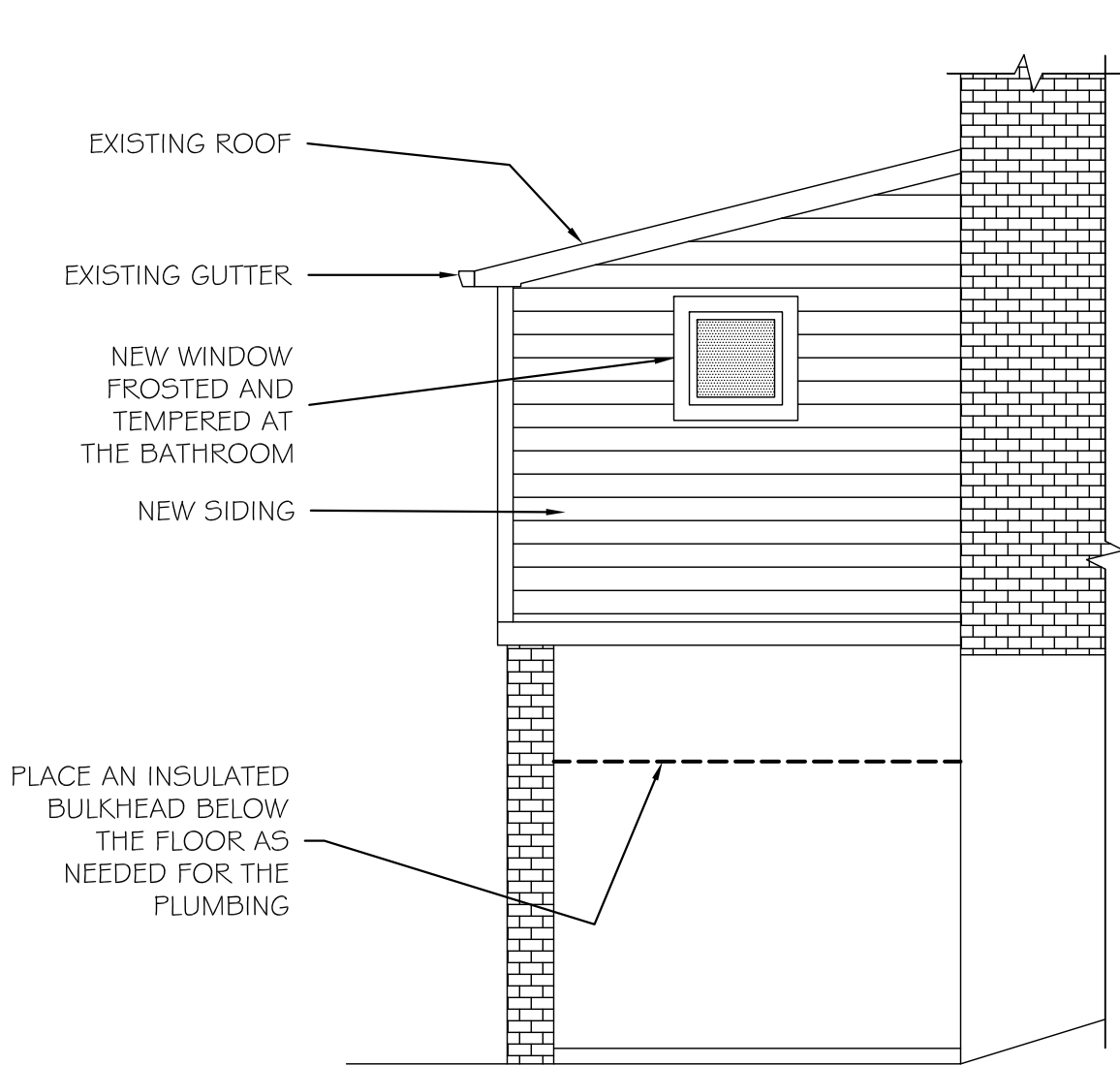
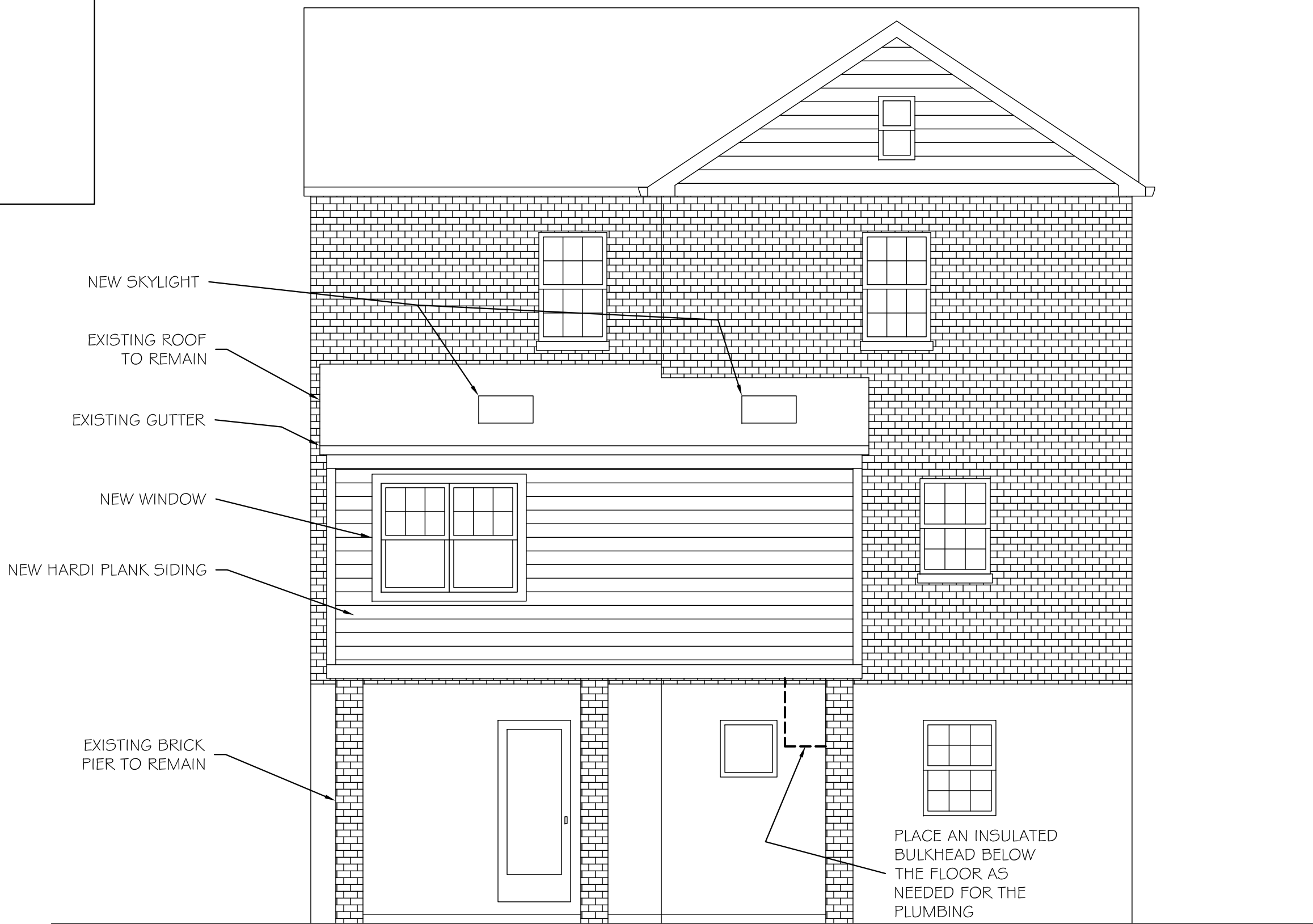
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 507 New York Ave Takoma Park MD 20912	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
509 New York Ave Takoma Park MD 20912	7427 Buffalo Ave Takoma Park MD 20912
504 Philadelphia Ave Takoma Park MD 20912	
505 New York Ave Takoma Park MD 20912	



- NOTES:
1. ALL DIMENSIONS LISTED AS ± ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
 2. NEW WINDOWS SHALL HAVE A SHGC OF 0.25 AND A U FACTOR OF 0.25
 3. SKYLIGHTS SHALL HAVE A SHGC OF 0.4 AND A U FACTOR OF 0.4
 4. PLACE R21 FOAM INSULATION IN THE NEW EXTERIOR WALLS
 5. PLACE R30 FOAM INSULATION BETWEEN THE ROOF FRAMING.
 6. PLACE R12 BETWEEN SLEEPERS ON THE STRUCTURAL SLAB OVER EXPOSED AIR.
 7. ALL WINDOWS MARKED EGRESS MUST MEET THE REQUIREMENTS OF IRC CHAPTER 3. VERIFY THE WINDOW CONFORMS BEFORE ORDERING THE WINDOW. MODIFY THE WINDOW SIZE AS NEEDED TO ENSURE THE WINDOW IS CLASSIFIED AS AN EGRESS WINDOW.
 8. USE TEMPERED WINDOWS WHEN REQUIRED BY IRC CHAPTER 3.
 9. ADD CO AND SMOKE DETECTORS WHEN REQUIRED BY CODE.



The Lange/MacKinnon Residence
507 New York Ave
Takoma Park, MD

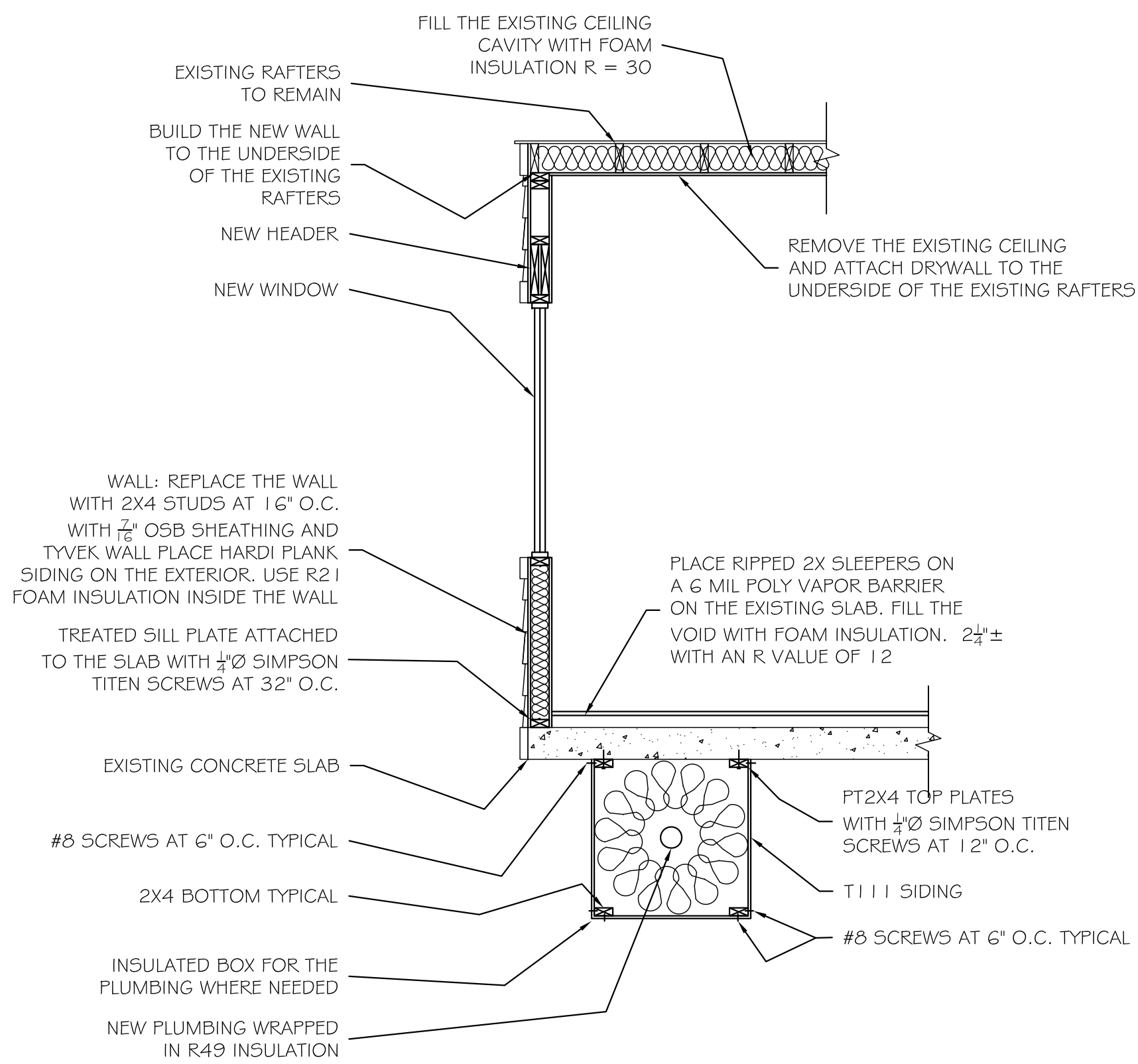
Architectural Plans

Drawn By: RAW

Date: 5-27-21

Scale: As Noted

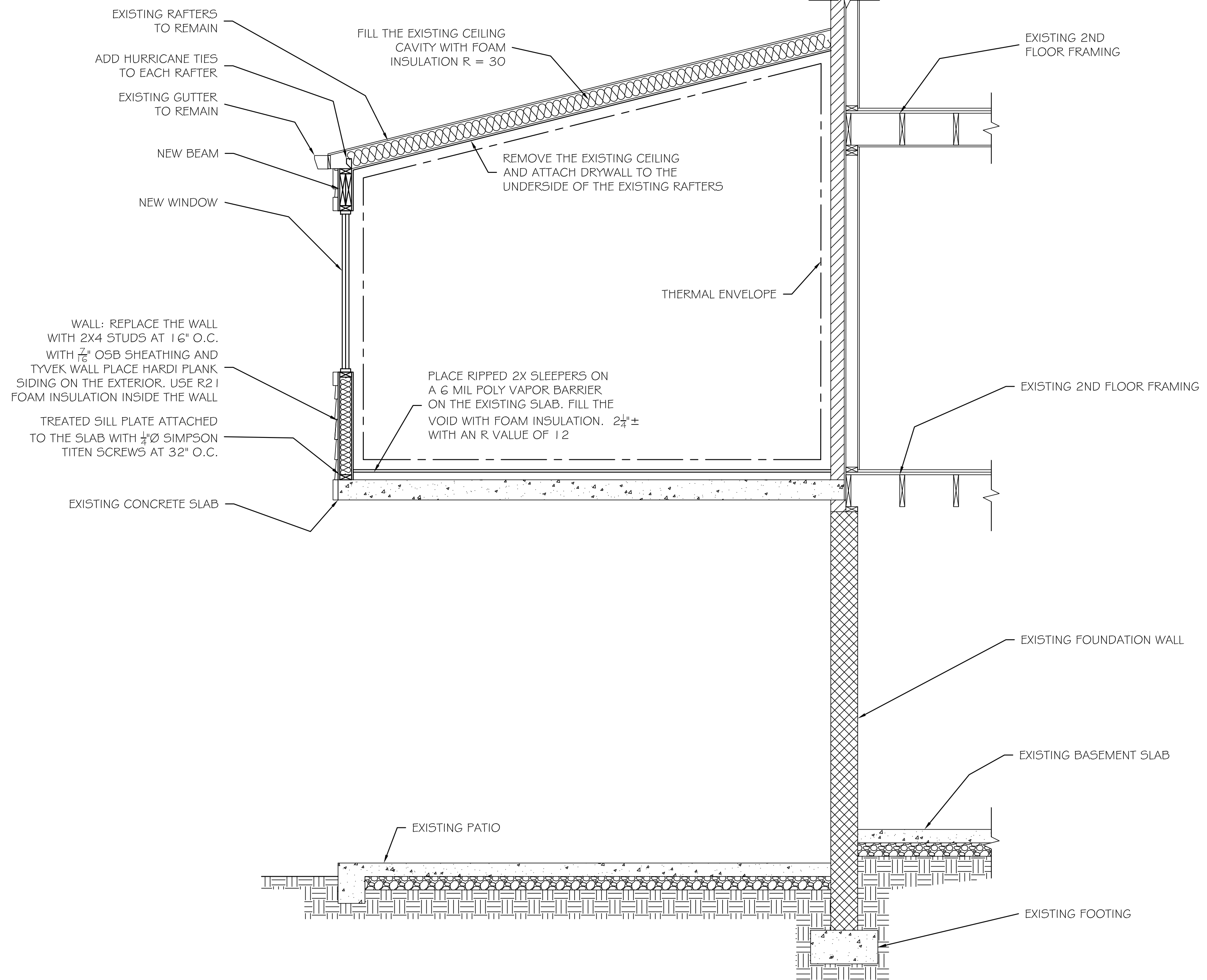
A001



SECTION

SCALE: 3/8" = 1'-0"

1
A002



SECTION

SCALE: 3/8" = 1'-0"

2
A002

The Lange/MacKinnon Residence
507 New York Ave
Takoma Park, MD

Sections

Drawn By: RAW

Date: 5-27-21

Scale: As Noted

A002

Scope of Work

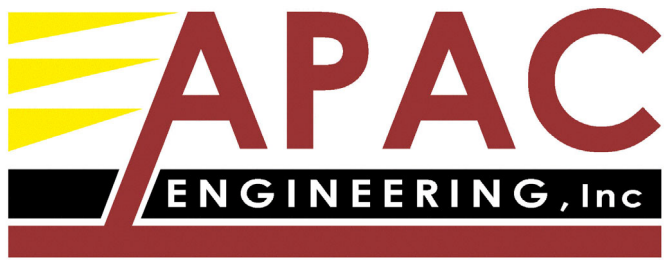
Renovation. Renovate the existing sunroom and expand the existing powder room to include a shower.

Drawing Index:

- A001 - Architectural Plans and Elevations
- A002 - Architectural Wall Sections
- S001 - Structural Plans
- S002 - Structural Specs and Details

Project Data

Jurisdiction: Montgomery County, MD
Building Codes: 2018 IRC as amended by Montgomery County



8555 16th Street Suite 200
Silver Spring, MD 20910

301-565-0543
301-563-9477 (fax)

No.	Revision / Issue	Date
01	**	**

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 25427, Expiration Date: 7/17/22.



The Lange/MacKinnon Residence
507 New York Ave
Takoma Park, MD

Cover Sheet

Drawn By: RAW

Date: 5-27-21

Scale: As Noted

CS000

Renovation
507 New York Ave - Takoma Park, MD

SITE PLAN CALCULATIONS:

WATER RUN OFF:
NO NEW IMPERMEABLE SOIL (NO SPECIAL PLAN REQUIRED).

LOT COVERAGE = 1667SF / 11250SF = 15%



Project Lange

Energy Code: 2018 IECC
Location: Takoma Park, Maryland
Construction Type: Single-family
Project Type: Addition
Climate Zone: 4 (4561 HDD)
Permit Date:
Permit Number:

Construction Site: 507 New York Ave
Takoma Park, MD 20912
Owner/Agent:
Designer/Contractor:

Compliance: Passes using UA trade-off
Compliance: 3.6% Better Than Code
Maximum UA: 55 Your UA: 53 Maximum SHGC: 0.40 Your SHGC: 0.29
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling: Cathedral Ceiling	205	30.0	0.0	0.034	6
Skylight: Vinyl Frame SHGC: 0.40	16			0.400	6
Wall: Wood Frame, 16" o.c.	331	21.0	0.0	0.057	16
Window: Vinyl Frame SHGC: 0.25	44			0.250	11
Floor: All-Wood Joist/Truss	205	12.0	0.0	0.067	14

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

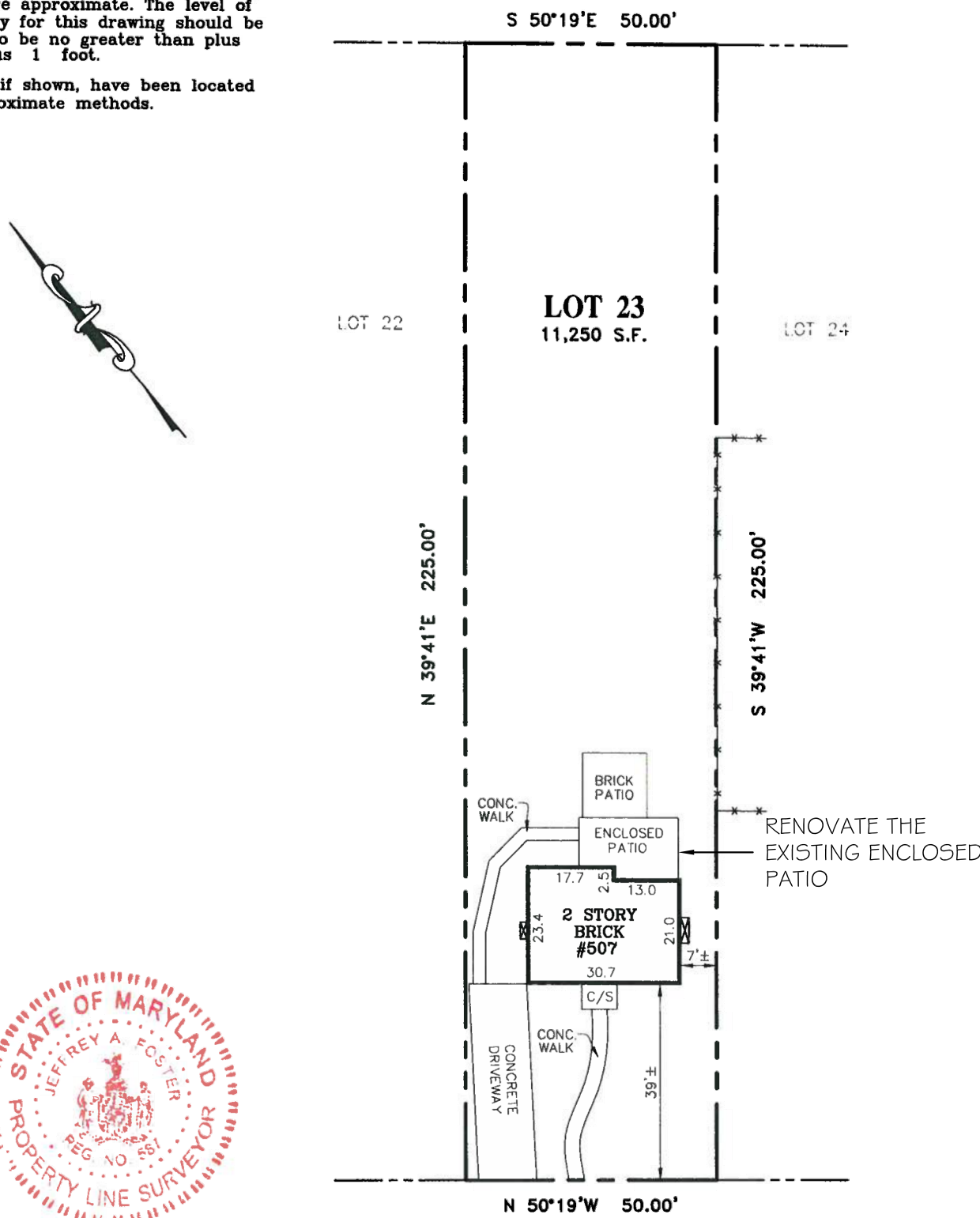
Robert Wixson - Engineer APAC Eng. Inc.
Name - Title Signature Date 5-27-21

Project Title: Lange Report date: 05/27/21
Data filename: Page 1 of 9

- CONSUMER INFORMATION NOTES:
- This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
 - This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
 - This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
 - Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
 - No Title Report furnished.

Notes:

- Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1 foot.
- Fences, if shown, have been located by approximate methods.



LOCATION DRAWING
LOT 23, BLOCK 73
TAKOMA PARK LOAN &
TRUST COMPANYS SUBDIVISION
TAKOMA PARK
MONTGOMERY COUNTY, MARYLAND

NEW YORK AVENUE
(40' R/W)

SURVEYOR'S CERTIFICATE	REFERENCES		SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 20270 Goldensrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100, Fax 301/948-1286
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.	PLAT BK. 2 PLAT NO. 142		
Jeffrey A. Foster MARYLAND PROPERTY LINE SURVEYOR REG. NO. 567 Expires: 04-08-2018	LIBER FOLIO	DATE OF LOCATIONS WALL CHECK: HSE. LOC.: 06-06-13	SCALE: 1" = 30' DRAWN BY: D.M.L. JOB NO.: 13-02560

Site Plan

Scale: 1" = 30'-0"

Scope of Work

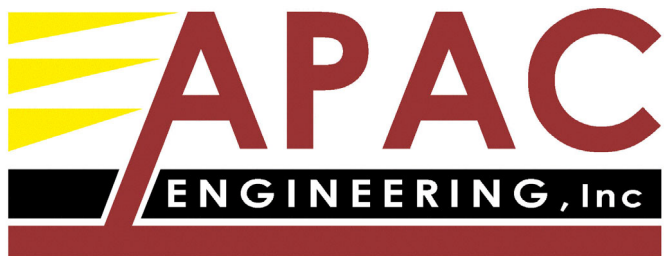
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507 New York Ave
Takoma Park, MD

Cover Sheet

Drawn By: RAW

Date: 5-27-21

Scale: As Noted

CS000

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507 New York Ave - Takoma Park, MD

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Generated by REScheck-Web Software
Compliance Certificate

Project Lange

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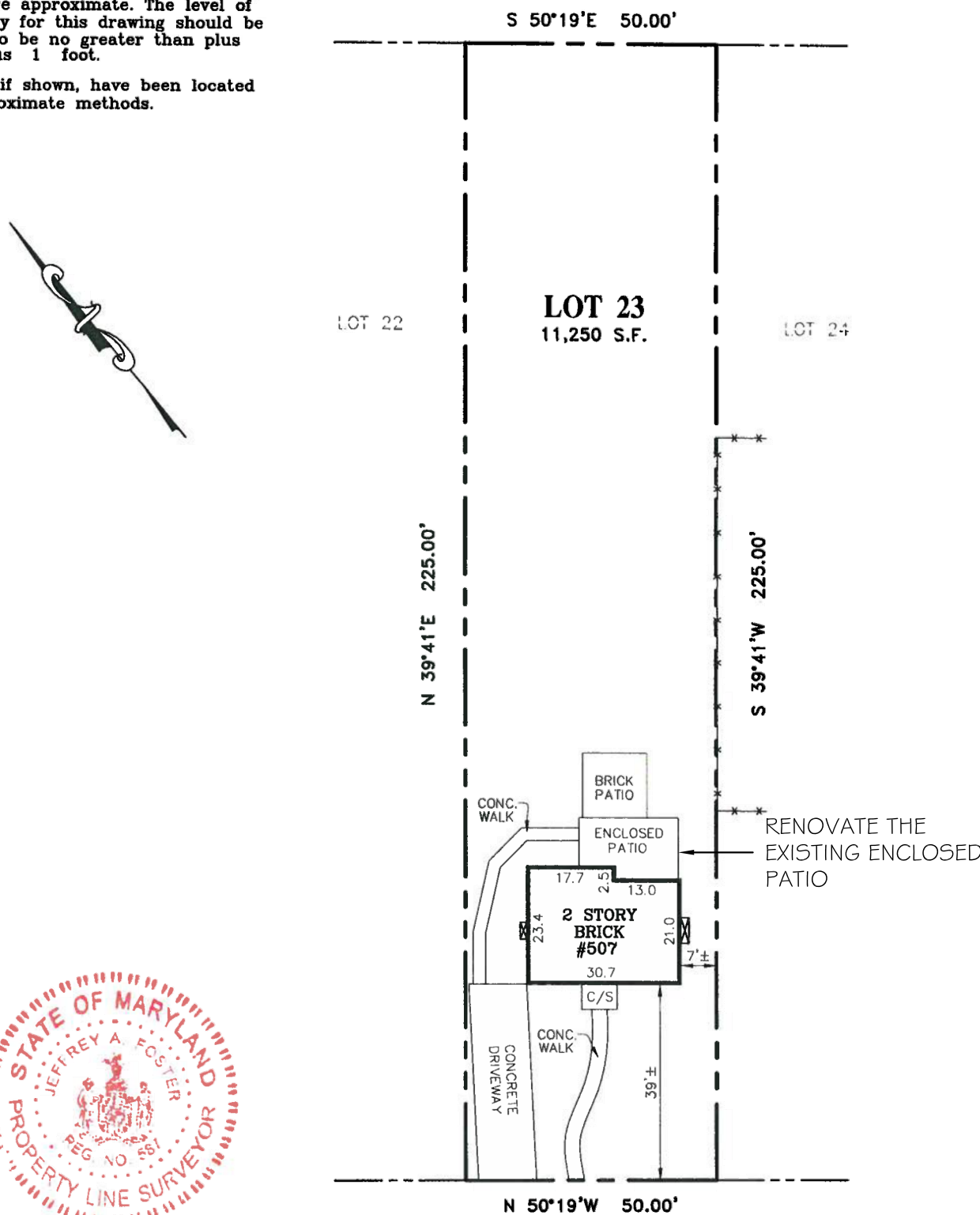
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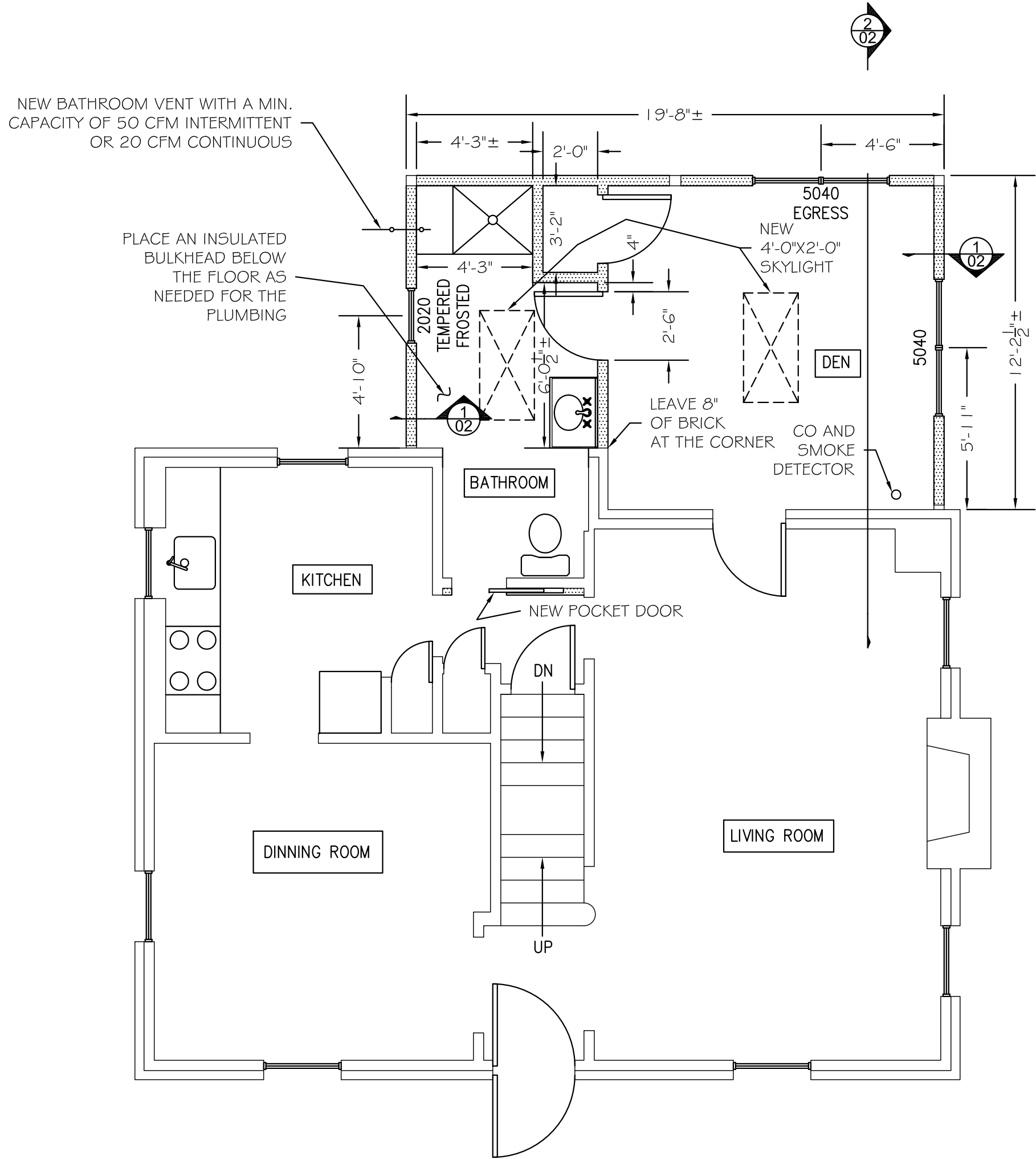
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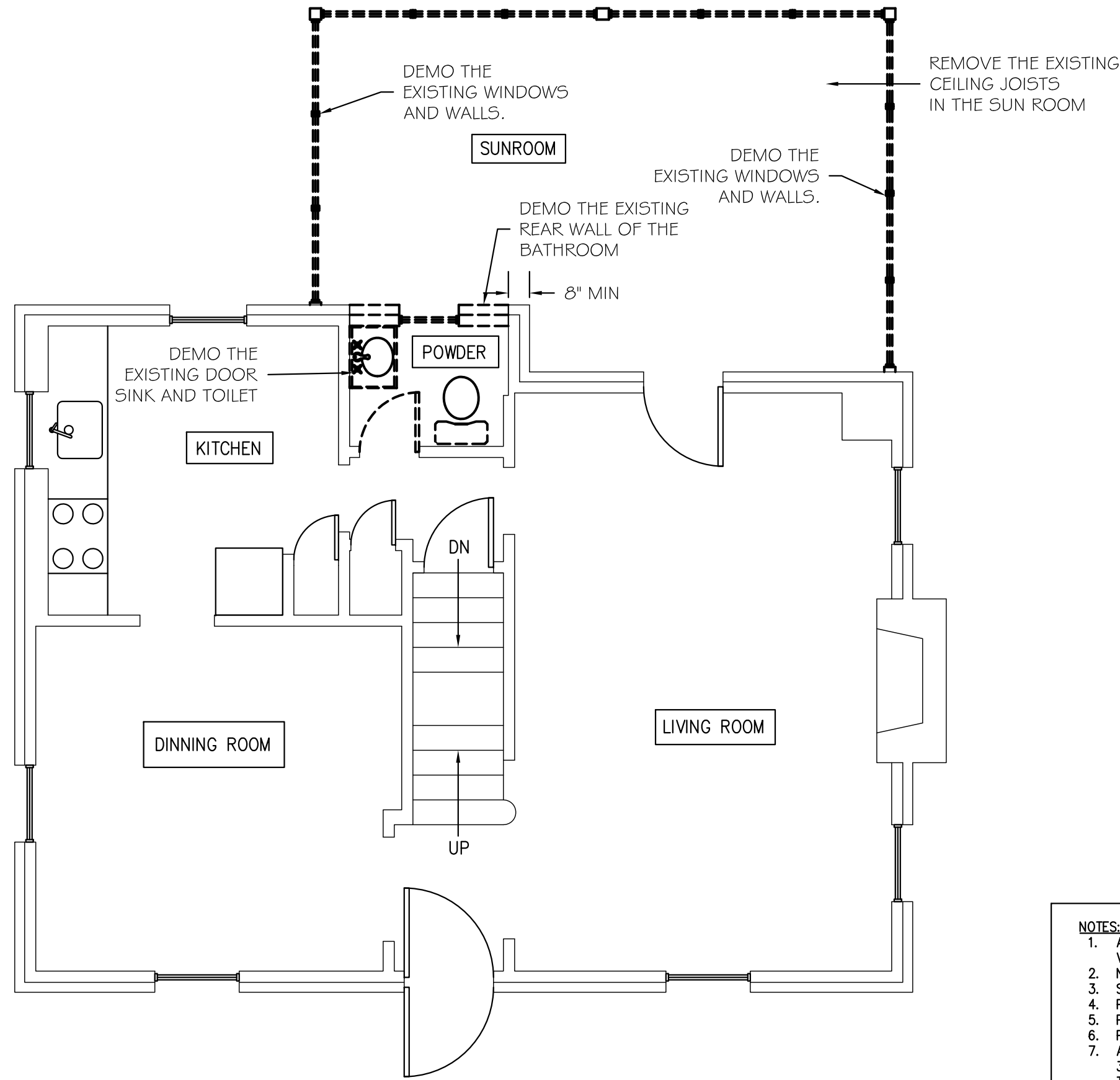
Site Plan

Scale: 1" = 30'-0"



1st Floor Plan

Scale: $\frac{1}{4}" = 1'-0"$



1st Floor Demolition Plan

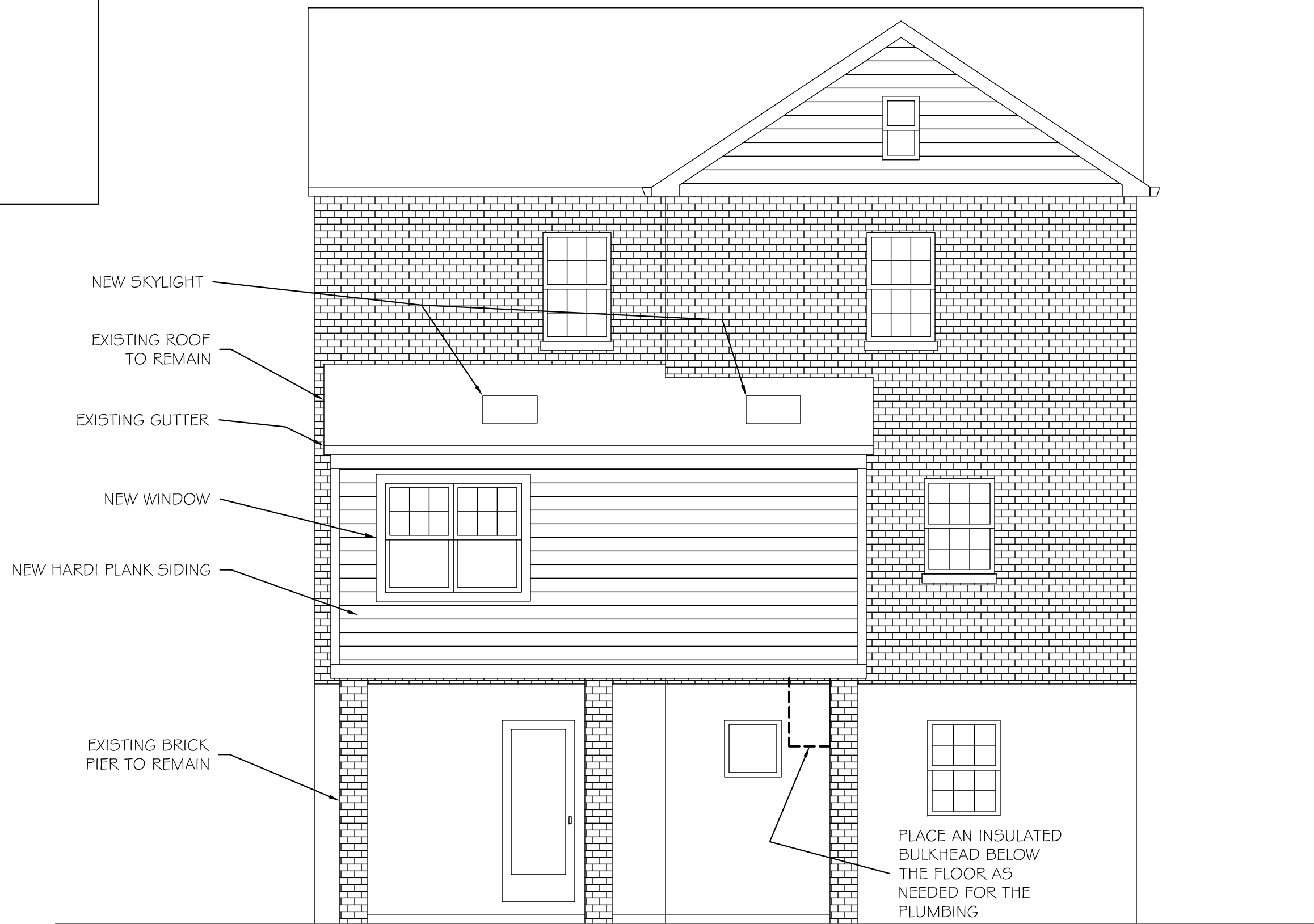
Scale: $\frac{1}{4}" = 1'-0"$

NOTES:

1. THE CONTRACTOR SHALL PROVIDE ADDITIONAL DEMO AS REQUIRED TO COMPLETE THE PROJECT EVEN IF NOT SHOWN ON THESE PLANS.
2. PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS REQUIRED.

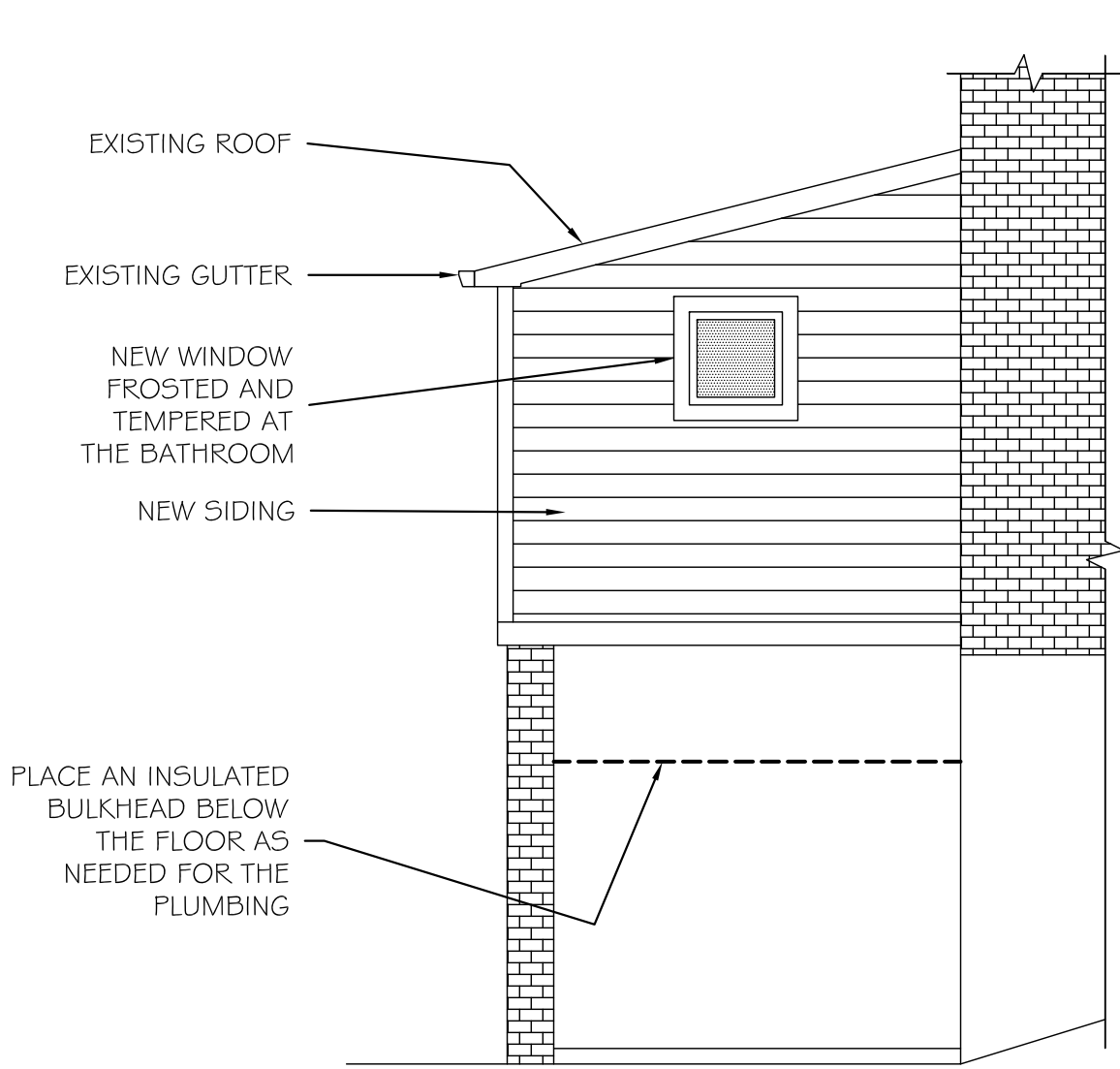
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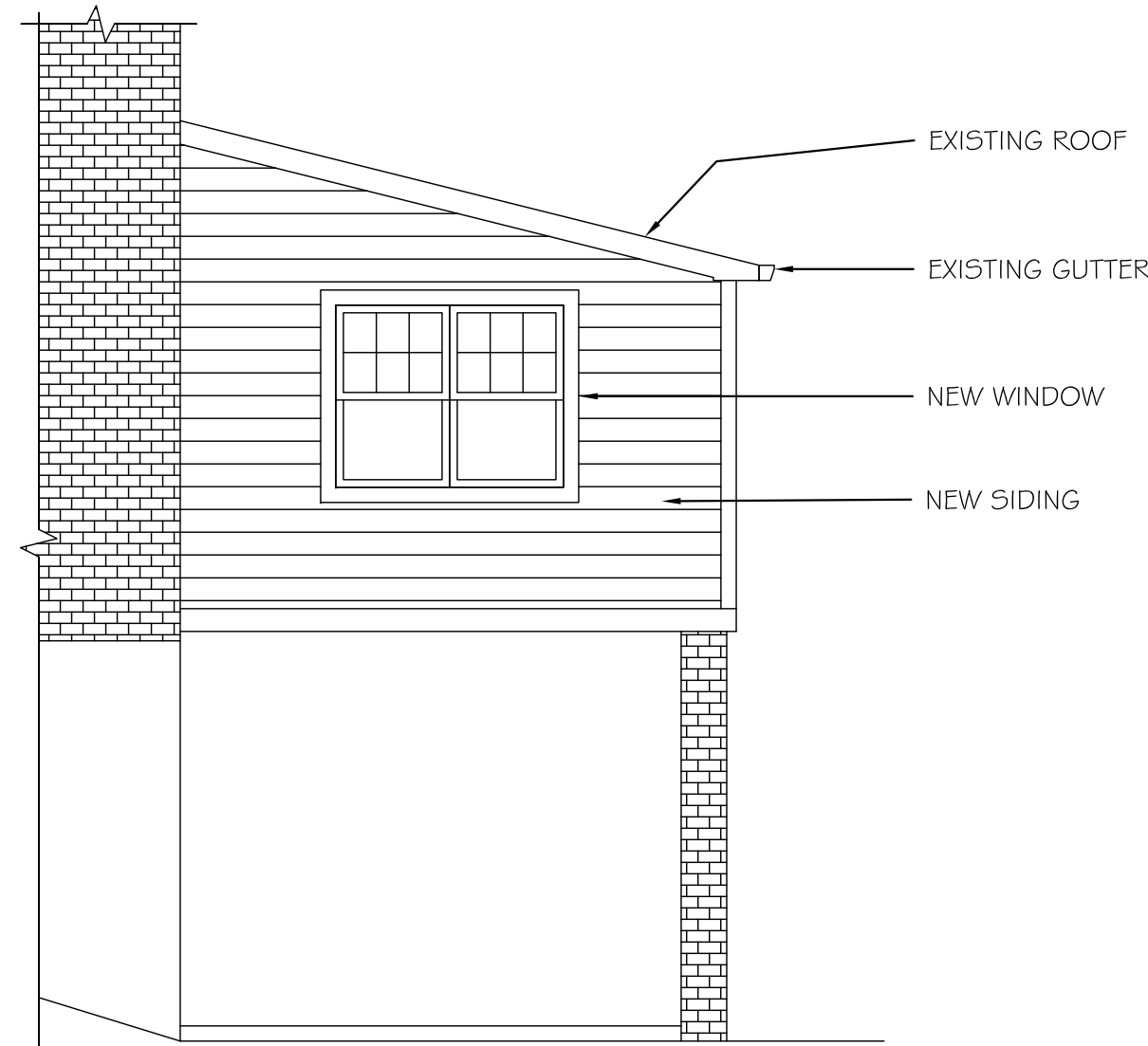
Rear Elevation

Scale: $\frac{1}{4}" = 1'-0"$



Left Elevation

Scale: $\frac{1}{4}" = 1'-0"$



Right Elevation

Scale: $\frac{1}{4}" = 1'-0"$

The Lange/MacKinnon Residence
507 New York Ave
Takoma Park, MD

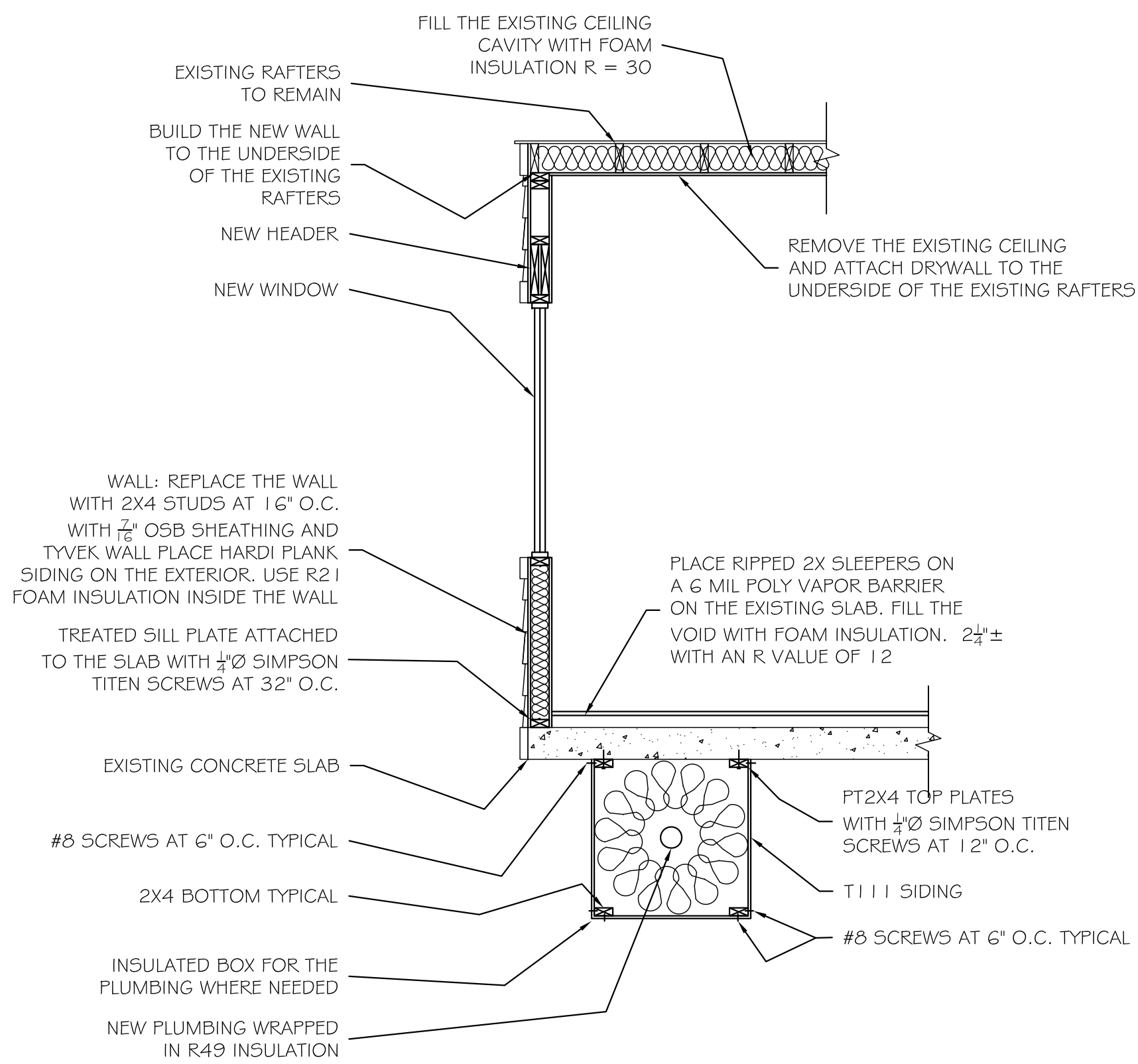
Architectural Plans

Drawn By: RAW

Date: 5-27-21

Scale: As Noted

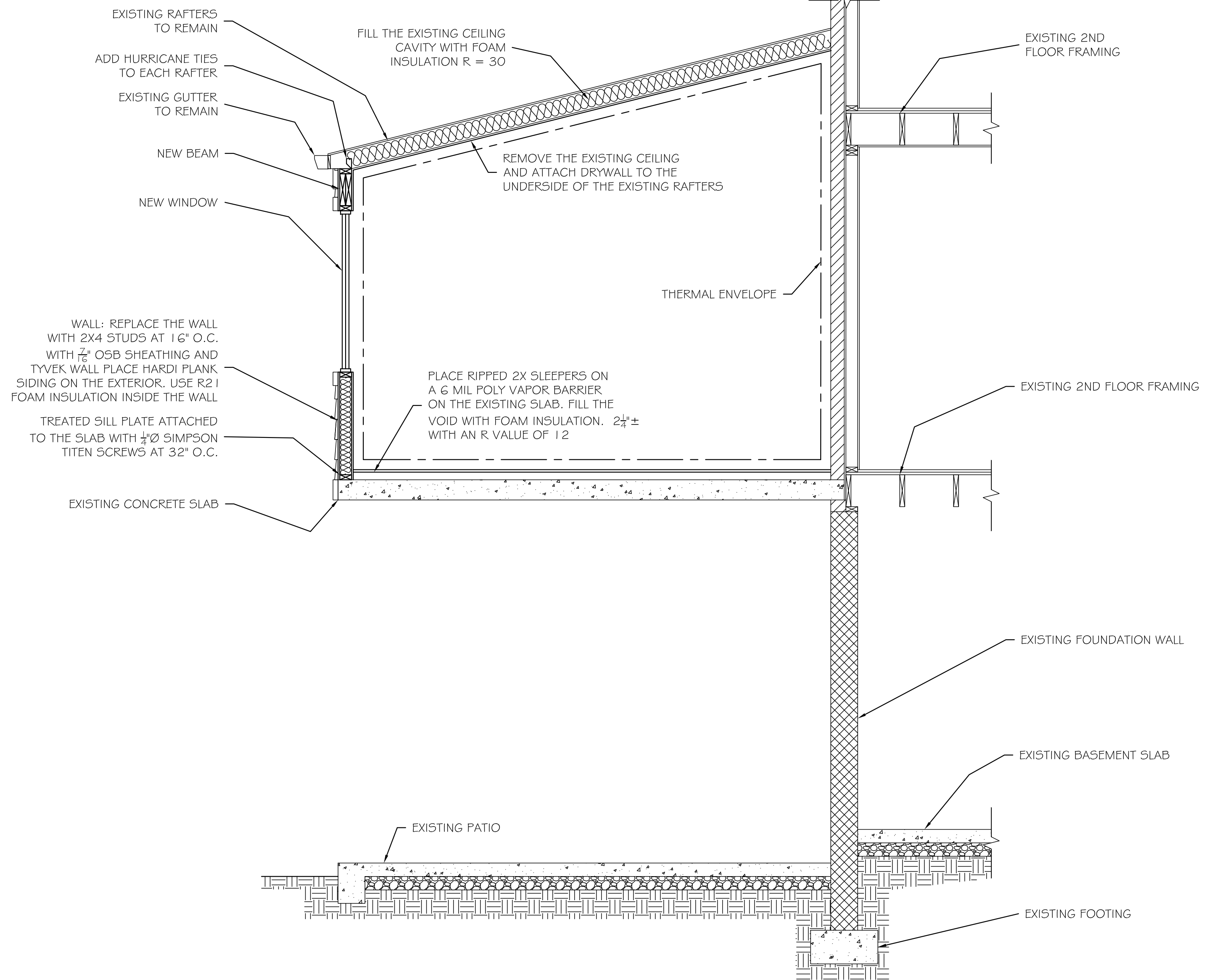
A001



SECTION

SCALE: 3/8" = 1'-0"

1
A002



SECTION

SCALE: 3/8" = 1'-0"

2
A002

The Lange/MacKinnon Residence
507 New York Ave
Takoma Park, MD

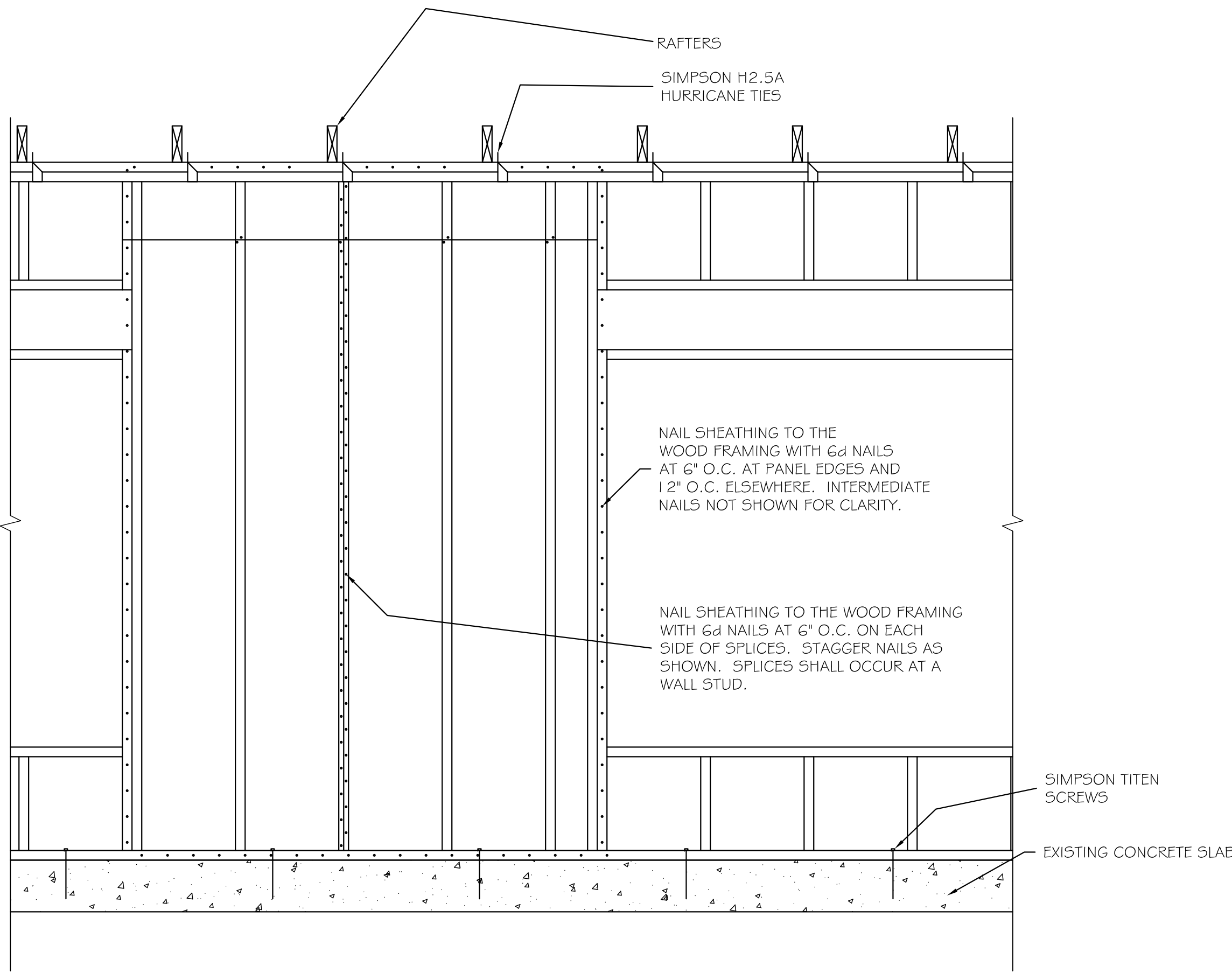
Sections

Drawn By: RAW

Date: 5-27-21

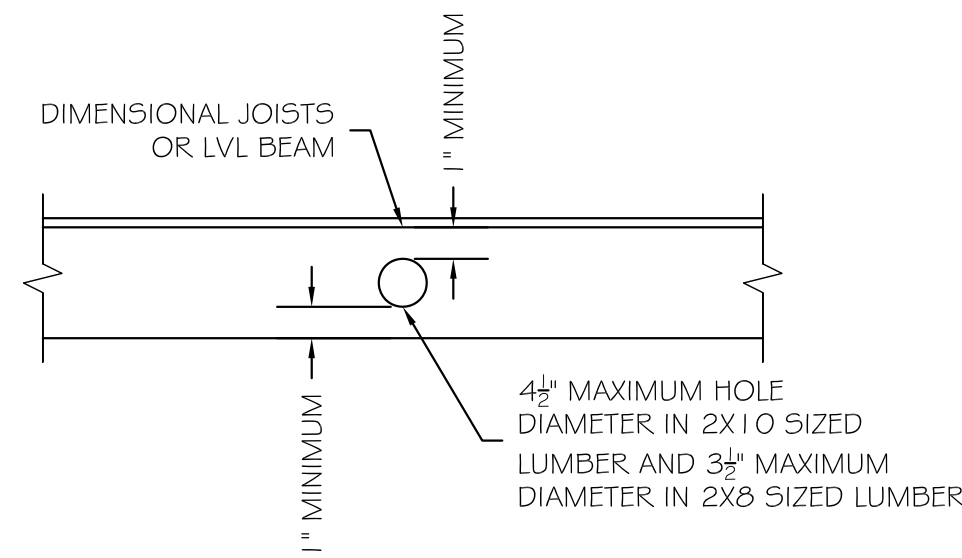
Scale: As Noted

A002



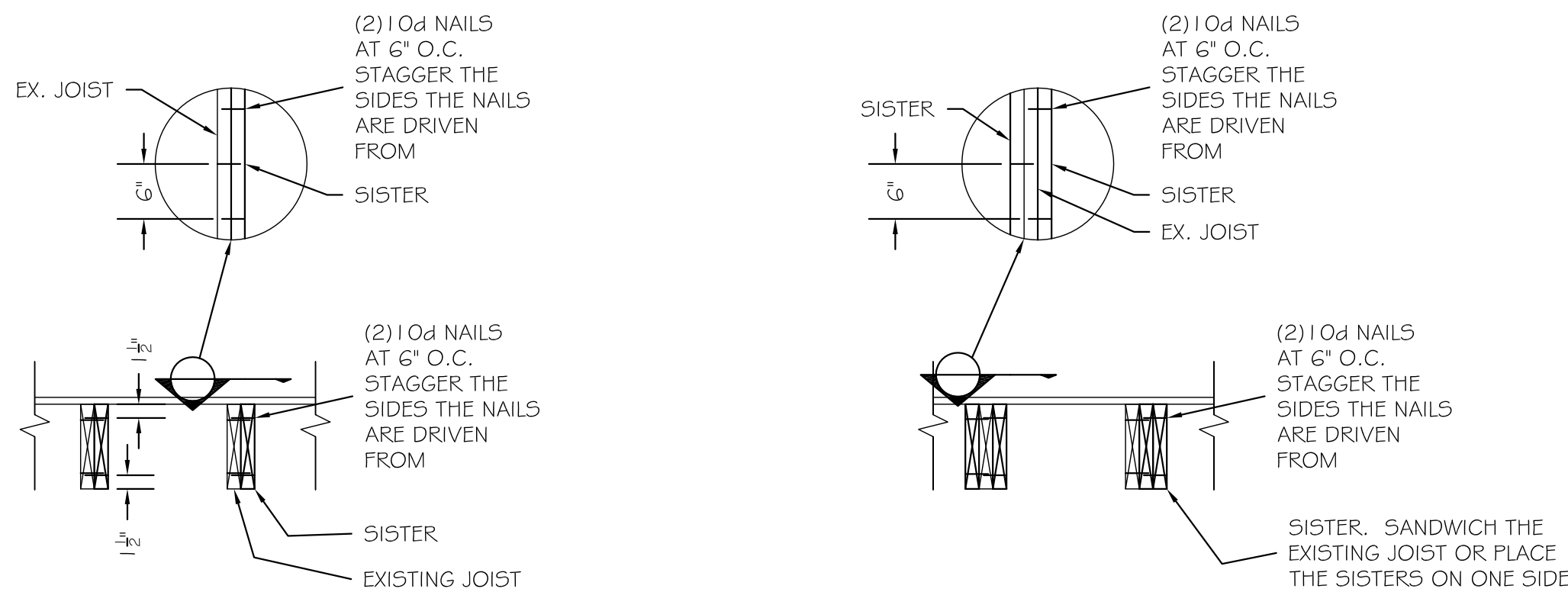
Typical Framing Elevation at EDP Panels

Scale: $\frac{3}{4}" = 1'-0"$



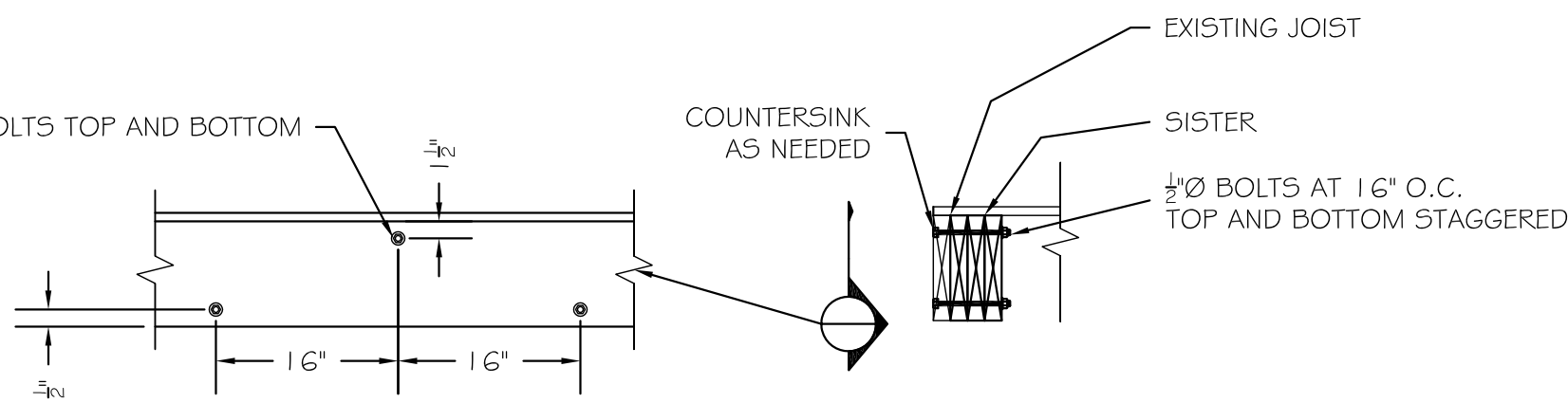
Typical Detail at Floor Joist/LVL Beam Holes

Scale: $\frac{3}{4}" = 1'-0"$



@Single Sister

@Double Sister



@Triple Sisters

Typical Sistering Details

Scale: NTS

- Structural Notes**
- All work and materials to comply with the requirements of the 2018 IBC and IRC codes as revised by Montgomery County.
 - Codes: the following design standards are applicable by reference:
TMS 402-2016 Building Code Requirements for Masonry Structures,
AWC NDS -2018 - Wood Frame Construction Manual for One and Two Family Dwellings.
ACI 318-14 Building Code Requirements for Reinforced Concrete
AISC - 360-16 Specifications for Steel Buildings.
 - Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
 - Structural steel:
A. All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
B. All structural tubing shall conform to ASTM A500, grd.B
C. All steel pipe shall be ASTM A53, type E or S, grade B
D. All welders shop and field, shall be certified. Use E70xx electrodes only.
E. All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
F. Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
G. All exterior structural steel shall receive rust preventative paint.
H. Connections:
I. All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
II. Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
 - Lumber:
A. Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
B. LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
C. Floor decking shall be 1/2" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw the floor decking to the joists.
D. Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically.
E. Provide double joists under all walls that run parallel to floor framing.
F. Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
G. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
H. Provide solid blocking below all wood posts.
I. All posts shall have Simpson Cap and Base Plates typ.
J. All joists shall have Simpson Hangers where applicable.
K. Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
L. All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R317 and R318 for protection against corrosion and termite damage.
M. All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
N. Wood lintels shall be as follows:
Opening $\leq 3'-0"$ - 2-2x6
3'-0" < Opening $\leq 5'-0"$ - 2-2x8
5'-0" < Opening $\leq 8'-0"$ - 2-2x10
Greater than 8'-0" - See plans

- Fasteners:
A. All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
B. Follow the manufacturer recommendations for setting epoxy bolts.
C. Expansion bolts shall be rawl power studs.
- Masonry:
A. Masonry construction shall be in conformance with the applicable sections of TMS 402-2016, "Building Code Requirements for Masonry Structures."
B. Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
C. All joints to be filled solid with mortar.
D. Mortar to comply with ASTM C270 (type M or S).
E. Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
F. Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
G. Lintels shall be as follows:
Opening $\leq 3'-0"$ - L4x3 1/2 LLV/ 4" of wall
3'-0" < Opening $\leq 7'-0"$ - L6x3 1/2 LLV/ 4" of wall.
Opening > 7'-0" - See Plan
- Cast in place concrete:
A. Concrete construction shall be in conformance with the applicable sections of ACI 318-14, "Part 3 - Construction Requirements."
B. Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
C. All concrete shall be placed with a slump of 4" ($\pm 1"$)
D. All concrete shall be normal weight, UNO.
E. All concrete exposed to weather shall have 6% $\pm 1\%$ entrained air.
F. Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
G. Concrete cover for reinforcement shall be:
Columns and beams 1 1/2"
Slabs 4"
Footings 3"
- Reinforcement:
A. Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
B. Welded wire fabric (wvf) shall conform to ASTM A185. Lap edges of wire fabric at least 6" in each direction.
- Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
- Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-14, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

Dead Loads:

SPF #2 - 25 PCF
1/2 Decking - 1.7 PSF
3/4 Decking - 2.5 PSF
Asphalt Shingles - 2.5 PSF
Slate Shingles - 15 PSF
1/2 Drywall - 2.2 PSF
Siding - 1.5 PSF
CMU - 2.0 PSF
Brick - 87 PCF
130 PCF

LIVE LOADS:

DECK: 40PSF
ATTIC: 20PSF
FLOOR: 40PSF
BALCONY: 60PSF
BEDROOM: 40PSF
ROOF: 30PSF

WIND SPEED: Vult = 115mph; Vasd = 89mph
WIND LOAD IMPORTANCE FACTOR: 1.0
WIND EXPOSURE FACTOR: B
WIND DESIGN PRESSURE: 11PSF

SNOW LOADS:

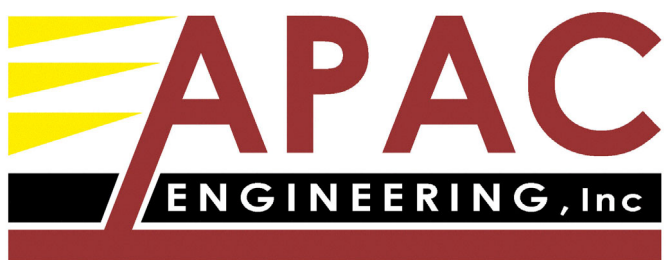
GROUND SNOW LOAD (PG): 30PSF
FLAT ROOF SNOW LOAD(PF): 30PSF
SNOW EXPOSURE FACTOR (CE): 0.9
SNOW IMPORTANCE FACTOR (I): 1.0

Deflection Limitations:

Rafters: L/240
Interior Walls and Partitions: H/180
Floors and Plastered Ceilings: L/360
All Other Structural Members: L/240
Ext. Walls with plaster or stucco finishes: L/360
Ext. Walls - Wind Loads with Brittle Finishes: L/240
Ext. walls - Wind Loads with Flexible Finishes: L/120

SEISMIC DESIGN DATA:

SEISMIC IMPORTANCE FACTOR (Ie): 1.0
SPECTRAL RESPONSE ACCELERATIONS: (Ss): 20.0%
(S1): 8.0%
SPECTRAL RESPONSE COEFFICIENTS: (Sds): 33%
(Sd1): 18.7%
SEISMIC DESIGN CATEGORY: B
SEISMIC SITE CLASSIFICATION: D
SEISMIC COEFFICIENT (Cs): 0.05
SEISMIC MODIFICATION FACTOR (R): 6.5
BASE SHEAR: 2.8k
ANALYSIS PROCEDURE: EQUIV. LATERAL FORCE
BASIC SFRS: LIGHT FRAMED WALLS



8555 16th Street Suite 200
Silver Spring, MD 20910

301-565-0543
301-563-9477 (fax)

No.	Revision / Issue	Date
01	**	**

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 25427, Expiration Date: 7/17/22.



The Lange/MacKinnon Residence
507 New York Ave
Takoma Park, MD

Structural Notes and Details

Drawn By: RAW

Date: 5-27-21

Scale: As Noted

S002

Existing property conditions photographs:



Detail: View from the rear of the back of the house and the attached enclosed patio sitting on brick piers.



Detail: View of the front of the house.

Applicant: Jason Lange

Existing property conditions photographs:

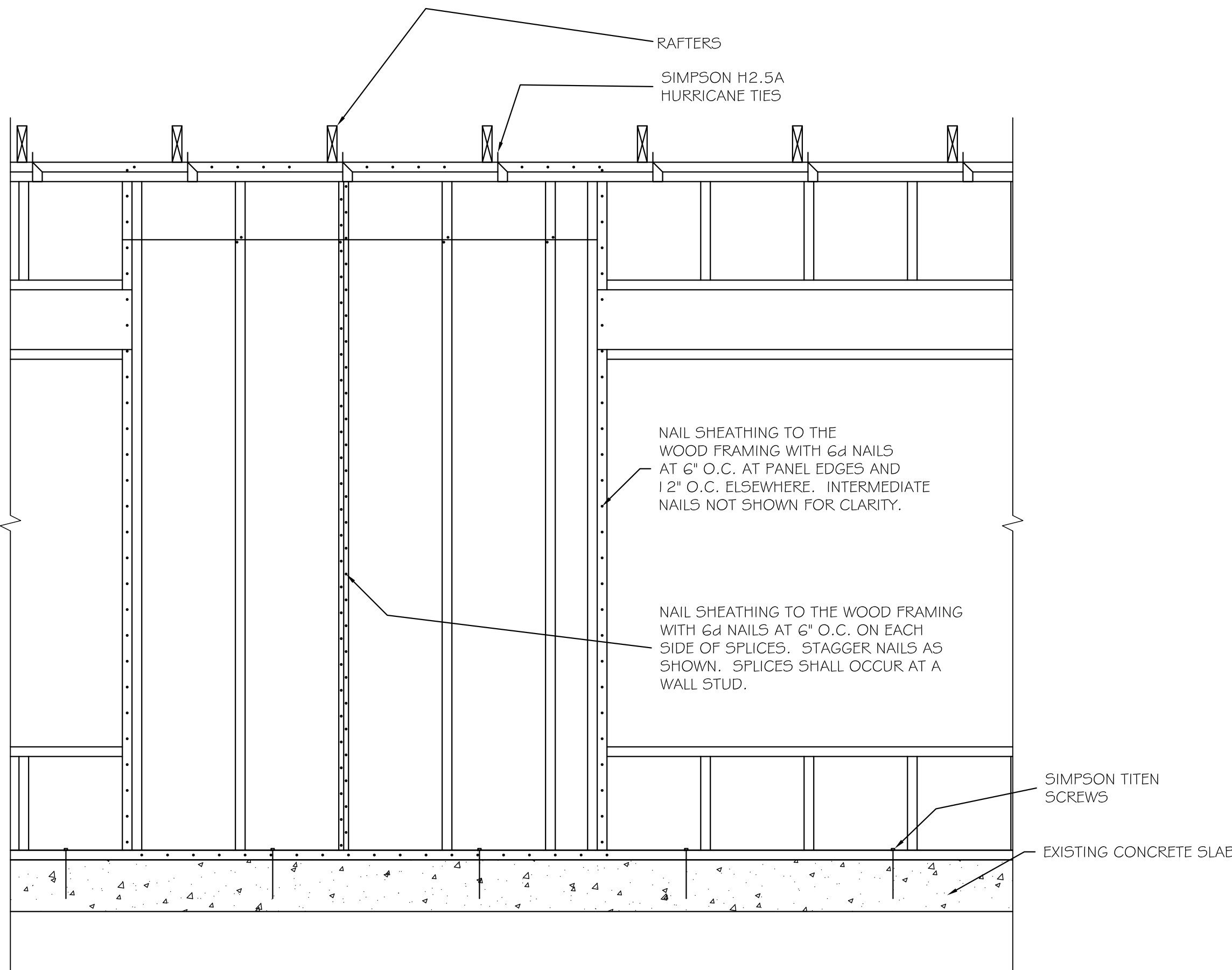


Detail: View from street, angled from west.



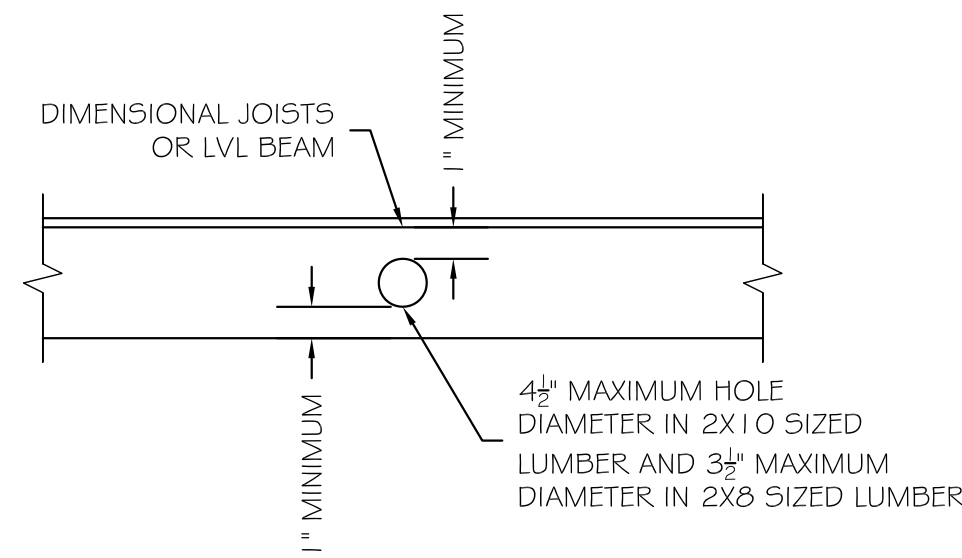
Detail: View from street, angled from east

Applicant: Jason Lange



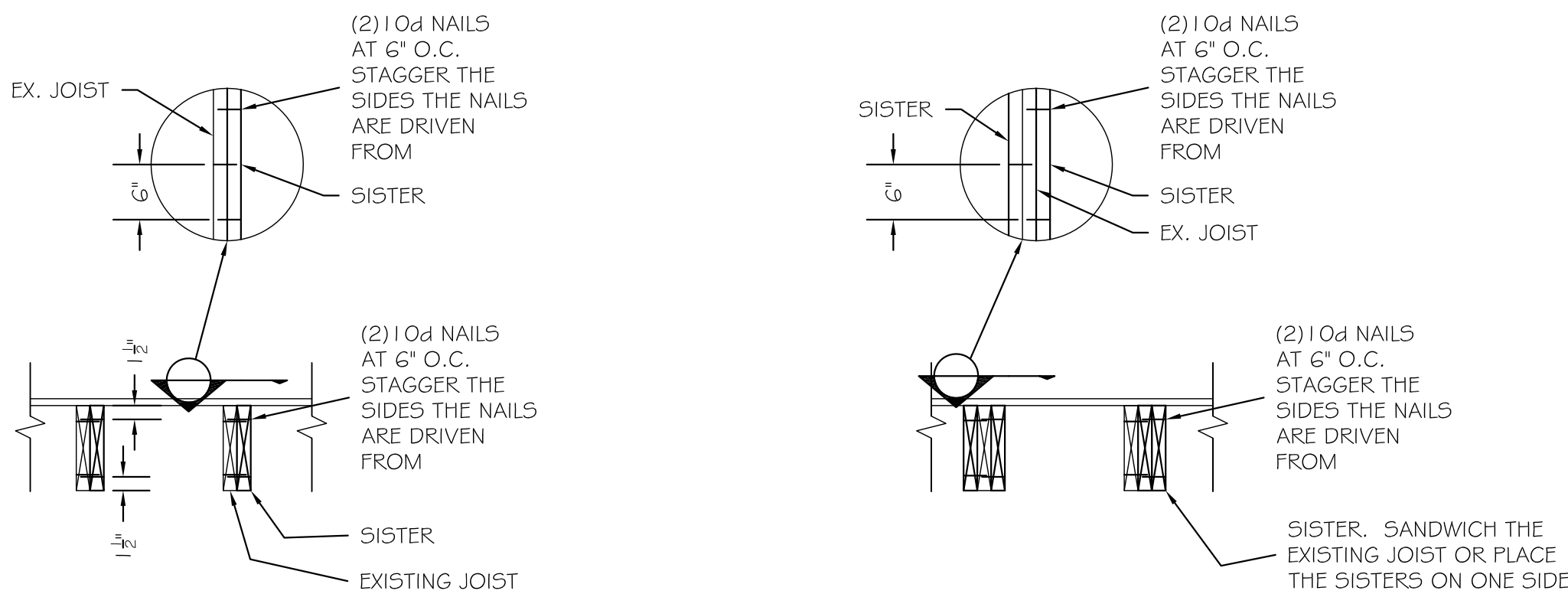
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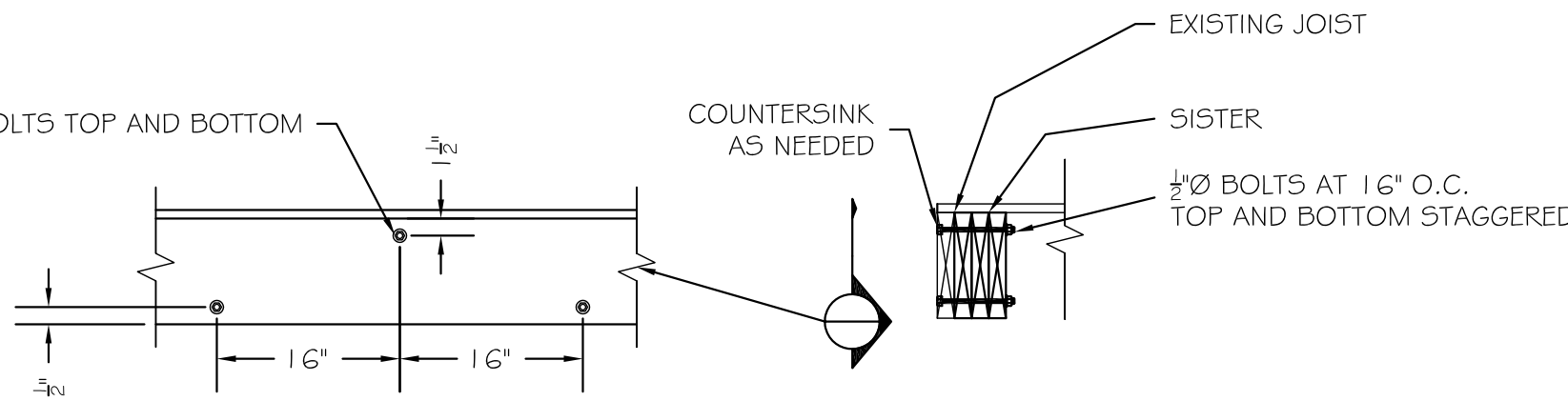
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- CMU - 87 PCF
- Brick - 130 PCF

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- DECK: 40PSF
- ATTIC: 20PSF
- FLOOR: 40PSF
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- BEDROOM: 40PSF
- ROOF: 30PSF

WIND LOADS

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- WIND EXPOSURE FACTOR: B
- WIND DESIGN PRESSURE: 11PSF

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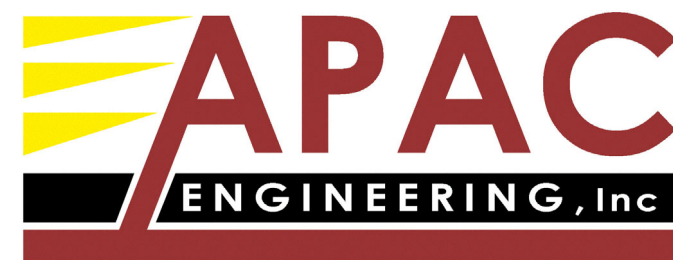
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- FLAT ROOF SNOW LOAD(PF): 30PSF
- SNOW EXPOSURE FACTOR (CE): 0.9
- SNOW IMPORTANCE FACTOR (I): 1.0

Deflection Limitations:

- Rafters: L/240
- Interior Walls and Partitions: H/180
- Floors and Plastered Ceilings: L/360
- All Other Structural Members: L/240
- Ext. Walls with plaster or stucco finishes: L/360
- Ext. Walls - Wind Loads with Brittle Finishes: L/240
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- (S1): 8.0%
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- (Sd1): 18.7%
- SEISMIC DESIGN CATEGORY: B
- SEISMIC SITE CLASSIFICATION: D
- SEISMIC COEFFICIENT (Cs): 0.05
- SEISMIC MODIFICATION FACTOR (R): 6.5
- BASE SHEAR: 2.8k
- ANALYSIS PROCEDURE: EQUIV. LATERAL FORCE
- BASIC SFRS: LIGHT FRAMED WALLS



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Silver Spring, MD 20910

301-565-0543
301-563-9477 (fax)

No.	Revision / Issue	Date
01	**	**

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 25427, Expiration Date: 7/17/22.



The Lange/MacKinnon Residence
507 New York Ave
Takoma Park, MD

Structural Notes and Details

Drawn By: RAW	S002
Date: 5-27-21	
Scale: As Noted	