

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|--|-----------------------|--------------|
| Address: | 10701 Colesville Rd., Silver Spring | Meeting Date: | 4/14/2021 |
| Resource: | Master Plan Site #33/22 <i>Robert B. Morse Water Filtration Complex</i> | Report Date: | 4/7/2021 |
| Applicant: | Montgomery County Dept. of Parks (Julie Mueller, Agent) | Public Notice: | 3/31/2021 |
| Review: | HAWP | Tax Credit: | No |
| Case Number: | 902232 REVISION | Staff: | Michael Kyne |
| PROPOSAL: | Sidewalk construction and other hardscape alterations | | |

STAFF RECOMMENDATION:

- Approve
- Approve with conditions

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #33/22, *Robert B. Morse Water Filtration Complex*
STYLE: Georgia Revival
DATE: c. 1929-36



Fig. 1: Subject property, as marked by the blue star.

PROPOSAL:

The Commission approved the applicants' proposal for the following work items at the February 12, 2020 HPC meeting:

- Installation of new sections of concrete sidewalk along the west side of Colesville Road.
- Modification of the end treatment of an existing W-style guardrail.

The applicants propose the following revisions to the previously approved HAWP:

- Installation of a sidewalk encircling the sides and rear of the historic treatment plant building.
 - The previous approval called for pedestrians to walk through the paved parking lot without a sidewalk; however, this approach has been deemed unsatisfactory and unsafe.

APPLICABLE GUIDELINES:**Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (c) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: j.mueller@montgomeryparks.org Contact Person: Ulric Mueller
Daytime Phone No.: 301-650-4390

Tax Account No.: _____

Name of Property Owner: MNCPPC Daytime Phone No.: As Above

Address: 9500 Brunnet Ave Silver Spring MD 20901
Street Number City State Zip Code

Contractor: Dept of Parks Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10701 Street: Colesville Rd

Town/City: Silver Spring Nearest Cross Street: Hillwood Dr.

Lot: _____ Block: _____ Subdivision: 0001

Liber: 17992 Folio: 0690 Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Flaze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Well (complete Section 4)
- Other: Sidewalk

1B. Construction cost estimate: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

1/15/20
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

902232

1. WRITTEN DESCRIPTION OF PROJECT:

a. *Description of existing structural and environmental setting, including historic features and significance.*

Originally built for the Washington Suburban Sanitary Commission, the Robert E. Morse Water Treatment Plant is located at 10700 and 10701 Columbia Pike, straddling both sides of the road in Silver Spring (M: 33/22). The proposed project is located on the west side (10701), today known as Burnt Mills West Special Park. This portion of the park consists of the former treatment plant building, a dam, and small ancillary structures. Originally constructed on the site of former mills, the treatment plant was decommissioned in the early 1960s. At that time, equipment was removed and hardscape elements, such as curbs, sidewalks, and parking areas were extensively altered (see attached 1962 plan). The site on both sides of Colesville Road was purchased in 1996 and 2000 by M-NCPPC for parkland. The west building served as office space for some time until it was vacated more than 10 years ago.

The site is individually listed on the Master Plan for Historic Preservation. In 2008, it was documented by the Historic American Engineering Record (<https://www.loc.gov/pictures/item/md1796/>).

b. *General description of project and its effect on the historic resources and environmental setting.*

The project proposes to install concrete sidewalks along Colesville Road to provide hikers on the Northwest Branch trail system with a paved connection between the trails on either side of the road. Currently the trail on the west side ends at a sidewalk that does not extend northward all the way to the south paved driveway to Burnt Mills West Special Park. It ends in a grassy area that includes a steep slope which extends to the curb. This makes walking along the edge extremely difficult. Furthermore, there is no sidewalk going north from the park's north driveway to the paved bus stop and pedestrian crosswalk leading across Colesville Road to the east side where hikers can reconnect to the trail system in Burnt Mills East Special Park.

A sidewalk is not planned in front of the building facing Colesville Road as there is not enough space between it and the street to install one without compromising the historic setting more than already happened when Colesville Road was widened many years ago. Instead, Parks is proposing to install a sidewalk encircling the side and rear of the building. HAWP #902232 originally approved for this project called for pedestrians to walk through the paved parking lot without a sidewalk. However, upon further consideration, this has been deemed unsatisfactory and unsafe, thus the revised proposal.

The project entails the following per the attached plans:

- Installing new concrete sidewalks
- Installing concrete retaining wall at northern section outside of the historic boundary.
- Modifying the existing guardrail at the southern end to allow the sidewalk to connect safely to the existing sidewalk that crosses the bridge.
- Painting crosswalk stripping across existing driveways to alert drivers to possibility of pedestrians at this location.

The work will not adversely affect the historic integrity of the site and will help pedestrians more safely access the natural and cultural resources in this park.

2. **SITE PLAN:** see original HAWP attached

3. **PLANS AND ELEVATIONS:** see new attached

4. **MATERIAL SPECIFICATIONS:** see original HAWP attached

5. **PHOTOGRAPHS:** see original HAWP attached

6. **TREE SURVEY:** N/A

7. **ADDRESS OF ADJACENT AND CONFRONTING PROPERTY OWNERS:** The historic environmental setting of this site is surrounded by MNCPPC-owned property. There are no other adjacent property owners.

MONTGOMERY COUNTY PARKS BURNT MILLS SPECIAL PARK

GENERAL NOTES:

- THE HORIZONTAL DATUM OF THIS SURVEY IS MARYLAND STATE PLANE (NAD83). THE VERTICAL DATUM OF THIS SURVEY IS NAVD 88.
- THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE. CONTRACTOR TO VERIFY IN THE FIELD AS NECESSARY. ABOVE GROUND UTILITIES & IMPROVEMENTS FIELD LOCATED BY MERIDIAN SURVEYS. INVERT ELEVATIONS HAVE BEEN OBTAINED WHERE ACCESS IS AVAILABLE. ALL CONTRACTORS MUST CALL "MISS UTILITY" PRIOR TO ANY EXCAVATIONS.
- THIS PROPERTY APPEARS ON TAX MAP JP33, PARCEL P171. THE PROPERTY IS CURRENTLY ZONED R-90 (RESIDENTIAL, ONE FAMILY, DETACHED), AND IS IN ELECTION DISTRICT NO. 5. WSSC 200' SHEET 21.NE01.
- TOPOGRAPHY IS BASED ON SURVEY PERFORMED BY MONTGOMERY COUNTY PARKS DATED AUGUST 2018 AND SUPPLEMENTED WITH PUBLICLY AVAILABLE GIS RECORDS.
- ALL SIDEWALKS AND NATURAL SURFACE TRAILS TO HAVE 1.5% MAXIMUM CROSS-SLOPE.
- CONTRACTOR TO MAINTAIN EXISTING DRAINAGE TOPOGRAPHY ALONG ROUTE OF PROJECT.
- ALL GRADING TO BE AT A MAXIMUM 3:1 SLOPE TO MATCH EXISTING GRADE WITHIN PROJECT LOD.
- SIDEWALK SHALL BE SLOPED TOWARDS ROADWAY UNLESS OTHERWISE SPECIFIED.
- CURBS SHALL BE PLACED ON SMOOTH HORIZONTAL CURVES AND SHALL NOT BE FORMED WITH A SERIES OF TANGENTS.
- FOLLOW SHM STANDARD MD 104.04-01 FOR TRAFFIC CONTROL THROUGHOUT PROJECT. TRAVELWAY CLOSURE, IF NECESSARY, SHALL FOLLOW SHM STANDARD 104.04-06.
- ALL ENTRANCES SHALL REMAIN FUNCTIONAL THROUGHOUT CONSTRUCTION.
- DETAIL DRAWINGS AND SCHEDULES DESCRIBE CONSTRUCTION AT GIVEN AREAS. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL UTILIZE EQUIVALENT CONSTRUCTION METHODS IN ALL AREAS NOT DETAILED.
- ALL NOTES ON DRAWINGS SHALL BE ASSUMED AS TYPICAL, UNLESS OTHERWISE SHOWN OR NOTED ON THE DRAWINGS.
- ALL NOTES SUPPLEMENT THE PLANS AND ARE IN NO WAY TO BE CONSIDERED AS EXCLUDING IN ANY ITEM IN THEM.
- IT SHALL BE THE DUTY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS GIVEN ON THE DRAWINGS AND TO REPORT TO THE ENGINEER ANY ERROR OR INCONSISTENCY WITH THE ACTUAL CIRCUMSTANCES IN THE FIELD BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ITEMS REQUIRED TO PROVIDE A SITE CLEAR OF OBSTRUCTIONS (ABOVE & BELOW GRADE) AND GRADED TO SPECIFIED ELEVATIONS.
- ALL BIDDERS: THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED PRIOR TO SUBMITTING BIDS.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SITE SUB-CONTRACTORS/BIDDERS WITH FULL AND COMPLETE SETS OF ALL DRAWINGS FOR THEIR USE IN PREPARING BIDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DELAYS AND COSTS ARISING DURING CONSTRUCTION FROM BIDS BASED UPON INCOMPLETE SETS OF SITE BID DOCUMENTS.
- CLARK | AZAR & ASSOCIATES, INC. WILL RELEASE CAD BASE FILES OF THE SITE CIVIL DRAWINGS TO THE SUCCESSFUL CONTRACTOR AFTER A RELEASE IS SIGNED. NO CAD FILES WILL BE RELEASED PRIOR TO AWARD OF CONTRACT.
- CONTRACTOR SHALL PROVIDE CERTIFIED TRAFFIC MANAGER ALONG WITH 24 HR PHONE NUMBER TO MDSHA UPON SELECTION.



VICINITY MAP
SCALE: 1"=2000'

PROPERTY ADDRESS
BURNT MILLS SPECIAL PARK
10701 COLUMBIA PIKE
SILVER SPRING, MD 20901

OWNER:
MARYLAND NATIONAL CAPITAL PARK AND PLANNING
9500 BRUNETT AVENUE
SILVER SPRING, MD 20901

GENERAL DEMOLITION NOTES

- ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH MONTGOMERY COUNTY PARKS AND PHASED TO NOT ADVERSELY AFFECT OPERATIONS.
- CONTRACTOR SHALL PROVIDE REQUIRED SIGNAGE AND FLAGMEN ALONG ALL PUBLIC STREETS ADJACENT TO THE SITE TO ASSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC IF REQUIRED. ALL TRAFFIC CONTROLS MUST BE IN ACCORDANCE WITH THE MOST CURRENT MUTCD AND MAINTED REQUIREMENTS AND WITH THE MOST CURRENT MONTGOMERY COUNTY DOT WORK ZONE TRAFFIC CONTROL STANDARDS AND DETAILS.
- ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE MOST CURRENT APPLICABLE EPA, OSHA, AND MDSHA REGULATIONS AND MUST COMPLY WITH THE MOST CURRENT FEDERAL, STATE AND/OR LOCAL REGULATIONS AND CODES APPLICABLE TO SAID WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH REPRESENTATIVE UTILITY COMPANIES AND IMPLEMENTING REQUIRED UTILITY-RELATED WORK ACCORDINGLY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER TO OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES, STRUCTURES, AND AREAS FROM DAMAGE-ANY ITEM TO SHOWN TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH ACCEPTABLE MATERIAL, AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- IN THE EVENT THAT, DURING DEMOLITION OR CONSTRUCTION ACTIVITIES THE CONTRACTOR ENCOUNTERS ANY EXISTING UTILITIES/STRUCTURES NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR DIRECTIONS PRIOR TO PROCEEDING WITH ANY WORK.
- ALL SAWCUTS ARE TO BE STRAIGHT AND EVEN. JAGGED EDGES WILL NOT BE ACCEPTED.
- IT IS THE INTENT OF THE DEMOLITION PHASE TO PROVIDE A SITE CLEAR OF ALL PHYSICAL CONSTRAINTS THAT WILL IMPIDE NEW CONSTRUCTION.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE AN OVERALL PICTURE OF DEMOLITION THAT WILL BE PERFORMED THROUGHOUT CONSTRUCTION.
- PRIOR TO THE START OF CONSTRUCTION AN ON-SITE MEETING WITH MONTGOMERY COUNTY PARKS AND THEIR GENERAL CONTRACTOR SHALL BE HELD TO DISCUSS TIMING OF OPERATIONS AND CONSTRUCTION COORDINATION.
- BEFORE ANY EXCAVATION (BELOW SUBGRADE) IS ALLOWED, THE CONTRACTOR SHALL VERIFY THAT NO UTILITY PIPING IS IN THE VICINITY OF EXCAVATION.
- THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL UNDERGROUND UTILITIES IN THE AREA OF PROPOSED WORK ARE LOCATED PRIOR TO COMMENCING CONSTRUCTION WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.
- THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (NOT LOCATED BY MISS UTILITY) WITHIN CONSTRUCTION LIMITS AT THEIR EXPENSE. ALL UTILITIES SHOWN ON THE PLANS ARE PROVIDED FOR INFORMATION ONLY AND SHALL BE CONSIDERED APPROXIMATE. MCPS WILL NOT LOCATE ANY OF THE EXISTING UNDERGROUND UTILITIES, ANY UTILITIES OR OTHER UNDERGROUND FACILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
- WHEN AN ITEM IS STATED TO BE REMOVED, IT SHALL INCLUDE REMOVAL OF ANY AND ALL APPURTENANCES ABOVE OR BELOW GRADE ASSOCIATED WITH SAID ITEM.
- ALL SIDEWALKS ARE TO BE REMOVED AT THE NEAREST WHOLE PANEL.
- ALL CURBING TO BE REMOVED AT THE NEAREST JOINT.
- ALL GRASS AREAS TO BE DISTURBED ARE TO BE STABILIZED WITH SOG.

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. BEFORE EXCAVATION THE CONTRACTOR IS RESPONSIBLE FOR CALLING TICKET CHECK AT 1-866-821-4226 TO VERIFY THAT ALL UTILITIES HAVE BEEN MARKED, 48 HOURS AFTER CALLING MISS UTILITY. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

| DESIGN | | |
|---------------------|------|------------------|
| Landscape Architect | Date | Checked By |
| Architect | Date | Checked By |
| Sean Lindeman, P.E. | Date | Jason Azar, P.E. |
| Engineer | Date | Checked By |
| Drawn by | Date | Checked By |

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 120208 Expiration Date: 12/31/2021

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunnet Avenue
Silver Spring, Maryland 20901
(301) 455-2535

| REVIEW AND APPROVAL | | ISSUED FOR PROCUREMENT ON | |
|----------------------|------|---------------------------|------|
| | | REVISIONS | |
| | Date | Rev. No. | Date |
| Project Manager | Date | | |
| Construction Manager | Date | | |
| Park Manager | Date | | |

Burnt Mills West Special Park
10701 Columbia Pike
Silver Spring, Maryland 20901

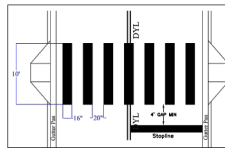
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COVER SHEET

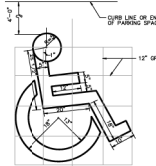
| | | | | | | | | | | | |
|----------|-----------|------------------|--------------------|----------------|--------------------------|---------------------------|---|----------|---|----------|---|
| SIGN NO. | 1 | SIGN NO. | 2 | SIGN NO. | 3 | SIGN NO. | 4 | SIGN NO. | 5 | SIGN NO. | 6 |
| SIGN | STOP | RESERVED PARKING | MAXIMUM FINE \$250 | VAN ACCESSIBLE | NO PARKING IN ACCESSIBLE | STOP HERE FOR PEDESTRIANS | | | | | |
| STD. NO. | R1-1 | R7-8 | R7-8(3) | R7-8A | RB-1(2) | R1-5C | | | | | |
| SIZE | 30" X 30" | 12" X 18" | 12" X 9" | 9" X 18" | 12" X 18", 12" X 6" | 36" X 48" | | | | | |

PAVEMENT MARKING LEGEND

| | |
|--|---|
| | SOLID WHITE, 4" WIDTH |
| | SOLID YELLOW, 4" WIDTH |
| | INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE |
| | SOLID YELLOW, 4" WIDTH, 45° ANGLE, 2" GAP |
| | SOLID WHITE STOP LINE, 16" WIDTH |



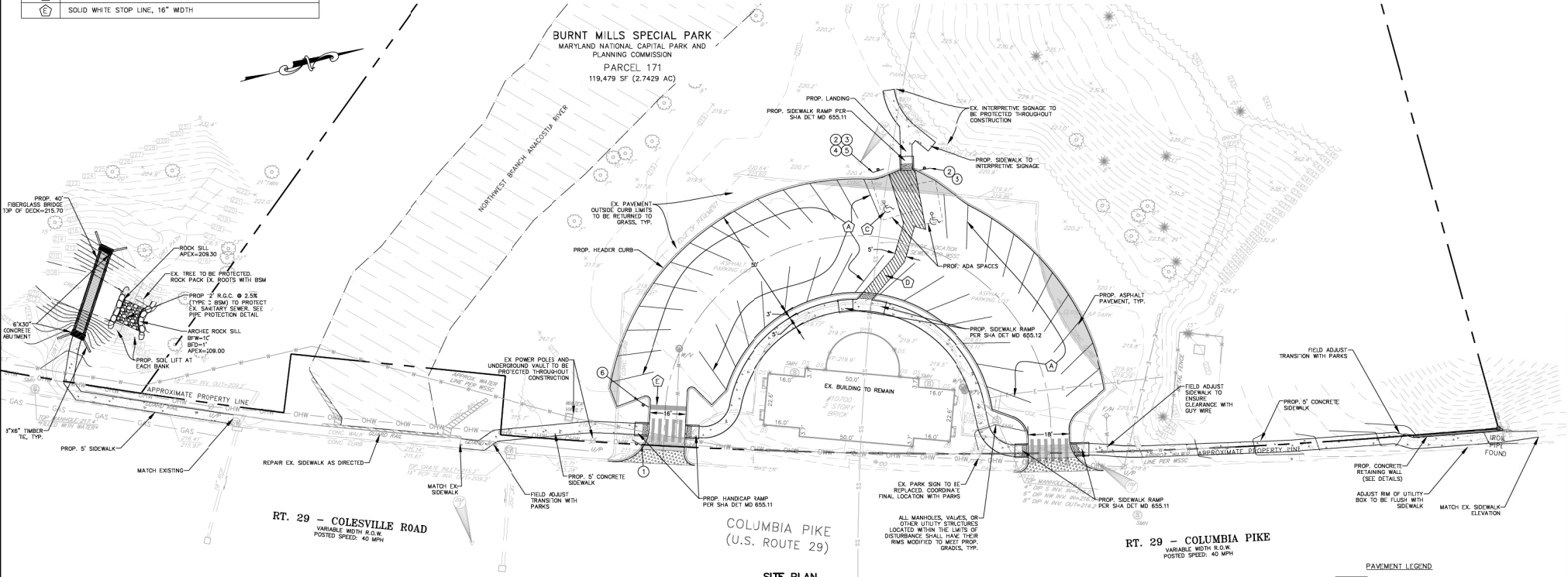
TYPICAL CROSSWALK
SCALE: N.T.S.



HANDICAP SYMBOL
SCALE: N.T.S.

GENERAL SIGNING AND PAVEMENT MARKING NOTES:

- ALL PROPOSED SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISIONS THEREOF:
 - MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE MARYLAND STATE HIGHWAYS STANDARD SIGN BOOK.
 - THE MARYLAND STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
- PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS, AND TO COMPLY WITH STANDARDS REFERENCED IN NOTE 1.
- ANY EXISTING PAVEMENT MARKINGS, WHICH WILL CONFLICT WITH PROPOSED PAVEMENT MARKINGS, SHALL BE COMPLETELY ERASED.
- LIMITS OF PROPOSED PAVEMENT MARKINGS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO INSURE THE PROPOSED PAVEMENT MARKINGS CONTINUE UNTIL EXISTING PAVEMENT MARKINGS CAN BE MATCHED.
- SAVAGE AND REUSE ANY SIGN WHERE POSSIBLE, TYP.
- FIRE LANE SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH MTRS GUIDELINES.
- RESERVED PARKING SHALL BE PROVIDED FOR THE PRINCIPAL, ASSISTANT PRINCIPAL, ADMINISTRATIVE SECRETARY, OFFICE SECRETARY, CATERIA MANAGER AND OPERATIONS MANAGER AT THE LOCATIONS OF SIGN 24.



SITE PLAN
SCALE: 1"=20'

PAVEMENT LEGEND

| | |
|--|----------------------------------|
| | PROP. ASPHALT PAVEMENT |
| | PROP. CONCRETE SIDEWALK |
| | PROP. DETECTABLE WARNING SURFACE |
| | PROP. CONCRETE ENTRANCE APRON |

CLARK AZAR & ASSOCIATES
2040 Century Blvd, Suite 220
Germantown, MD 20874
(301) 528-2010
www.clarkazar.com
A Woman Owned Small Business

| DESIGN | | |
|---------------------|------|-------------|
| Landscape Architect | Date | Checked By: |
| Architect | Date | Checked By: |
| Engineer | Date | Checked By: |
| Drawn by | Date | Checked By: |

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 120288. Expiration Date: 12/31/2023

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunnet Avenue
Silver Spring, Maryland 20901
(301) 455-2535

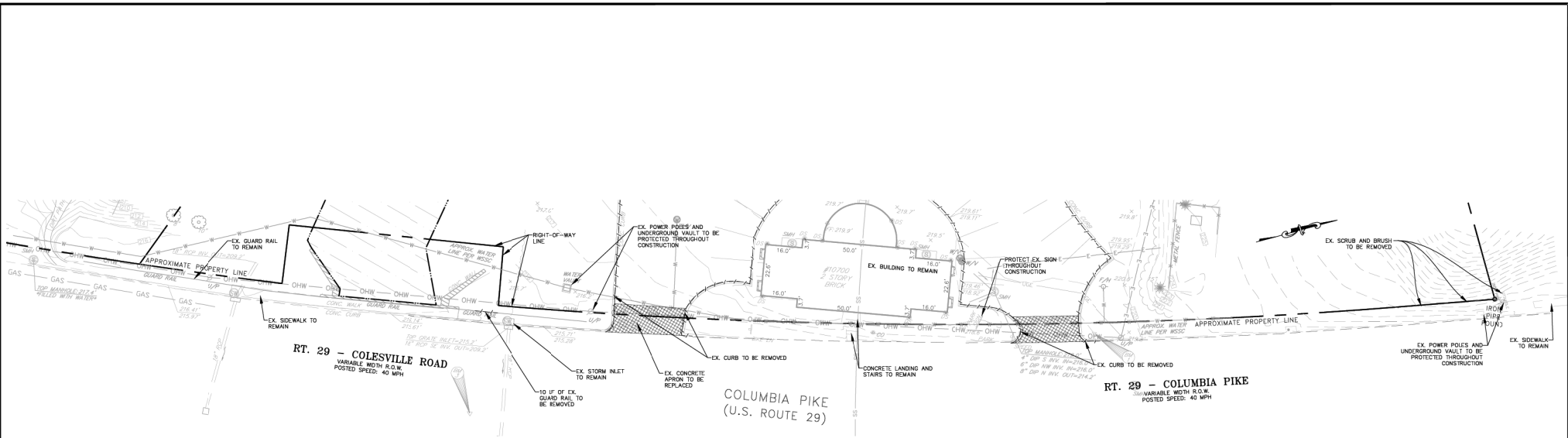
| REVIEW AND APPROVAL | |
|----------------------|------|
| Project Manager | Date |
| Construction Manager | Date |
| Park Manager | Date |

| ISSUED FOR PROCUREMENT ON | | |
|---------------------------|------|-------------|
| REVISIONS | | |
| Rev. No. | Date | Description |
| | | |
| | | |

Burnt Mills West Special Park
10701 Columbia Pike
Silver Spring, Maryland 20901

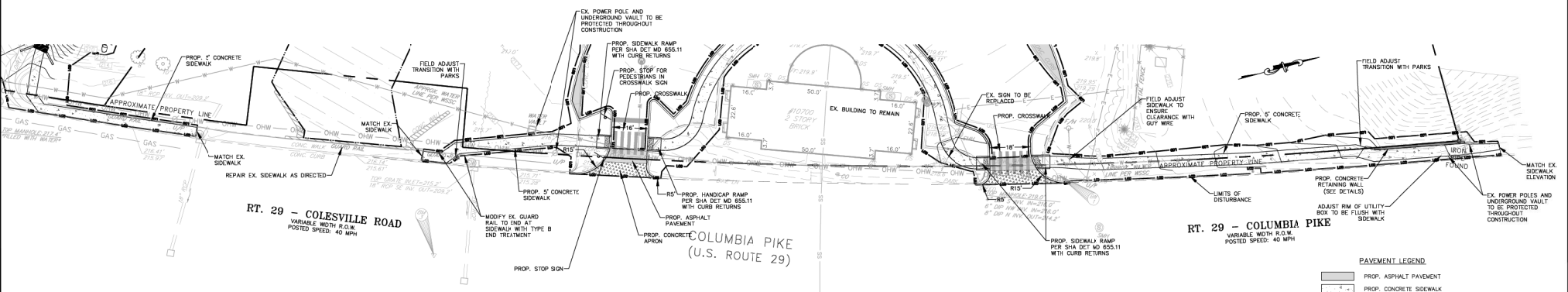
SCALE: AS SHOWN Liber ____ Folio ____

DWG. #
C-200
SHT. # ____ of
SITE PLAN



RIGHT-OF-WAY DEMOLITION PLAN

SCALE: 1"=20'



RIGHT-OF-WAY PLAN

SCALE: 1"=20'

PAVEMENT LEGEND

| | |
|--|---|
| | PROP. ASPHALT PAVEMENT |
| | PROP. CONCRETE SIDEWALK |
| | PROP. DETECTABLE WARNING SURFACE |
| | PROP. CONCRETE ENTRANCE APRON |
| | EX. CONCRETE ENTRANCE APRON TO BE REMOVED |

CLARK AZAR & ASSOCIATES
 2040 Century Blvd, Suite 220
 Germantown, MD, 20874
 (301) 528-2010
 www.clarkazar.com
 A Woman Owned Small Business

| DESIGN | | |
|---------------------|------|------------|
| Landscape Architect | Date | Checked By |
| Architect | Date | Checked By |
| Engineer | Date | Checked By |
| Drawn by | Date | Checked By |

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 41558. Expiration Date: 12-31-2021

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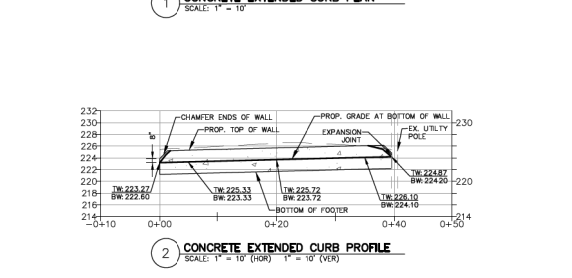
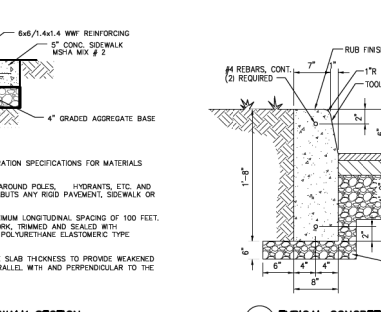
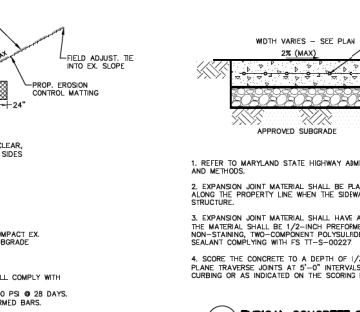
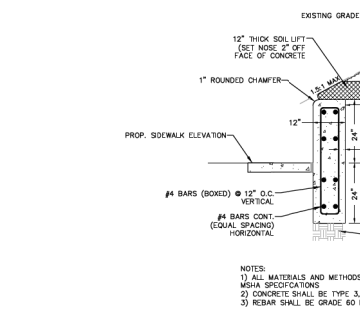
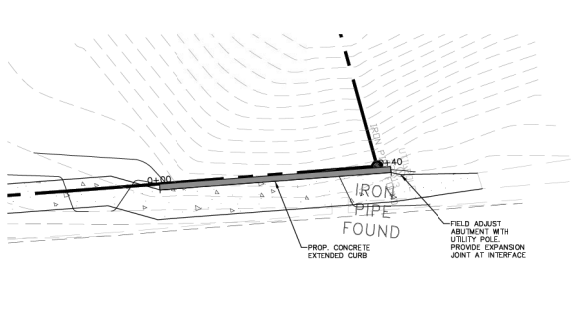
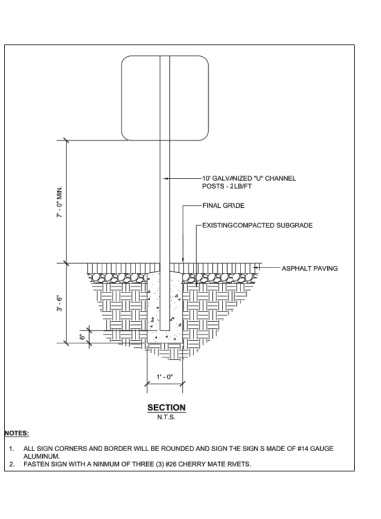
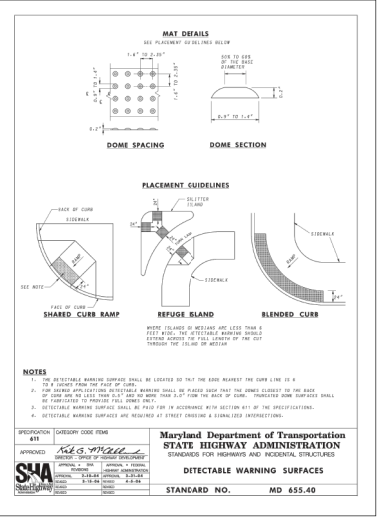
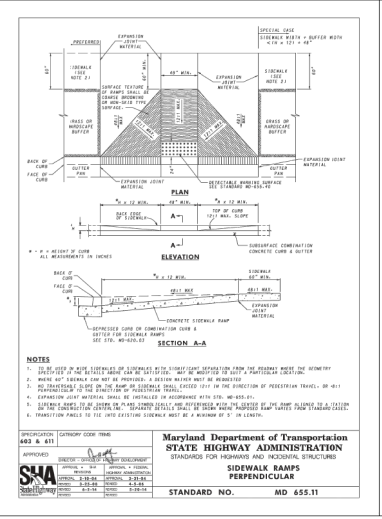
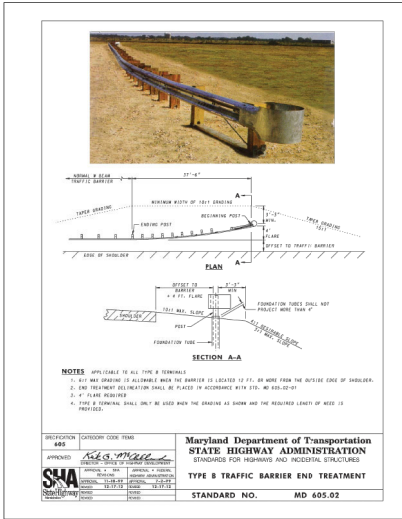
| REVIEW AND APPROVAL | |
|----------------------|------|
| Project Manager | Date |
| Construction Manager | Date |
| Park Manager | Date |

| ISSUED FOR PROCUREMENT ON | | |
|---------------------------|------|-------------|
| REVISIONS | | |
| Rev. No. | Date | Description |
| | | |
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| | | |

Burnt Mills West Special Park
 10701 Columbia Pike
 Silver Spring, Maryland 20901

SCALE: AS SHOWN Liber ____ Folio ____

DWG. # **C-201**
 SHEET # ____ of
SHA PLAN



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 (301) 528-2010
 www.clarkazar.com
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| DESIGN | | |
|---------------------|------|------------|
| Landscape Architect | Date | Checked By |
| Architect | Date | Checked By |
| Engineer | Date | Checked By |
| Drawn by | Date | Checked By |

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 121234 Expiration Date: 12/31/2023



The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Parks
 9500 Brunnet Avenue
 Silver Spring, Maryland 20901
 (301) 455-2535

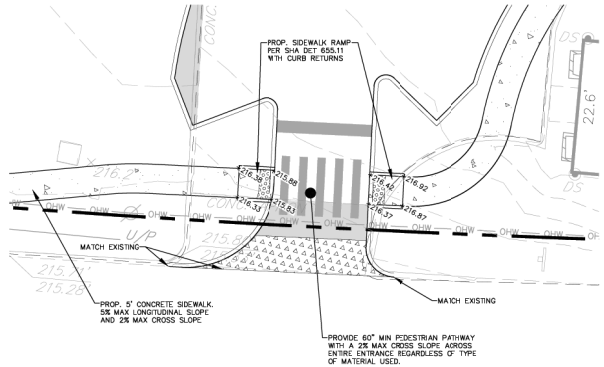
| REVIEW AND APPROVAL | |
|----------------------|------|
| Project Manager | Date |
| Construction Manager | Date |
| Park Manager | Date |

| ISSUED FOR PROCUREMENT ON | | |
|---------------------------|------|-------------|
| Rev. No. | Date | Description |
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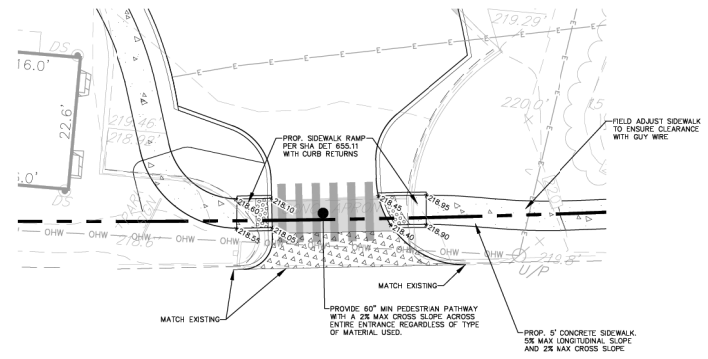
Burnt Mills West Special Park
 10701 Columbia Pike
 Silver Spring, Maryland 20901

SCALE: AS SHOWN Liber ____ Folio ____

DWG. # **C-205**
 SHT. # ____ of ____
 SITE DETAILS



ADA_BLOWUP
SCALE: 1"=10'



ADA_BLOWUP
SCALE: 1"=10'

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| DESIGN | | |
|---------------------|------|------------|
| Role | Date | Checked By |
| Landscape Architect | | |
| Architect | | |
| Engineer | | |
| Drawn by | | |

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 121228 Expiration Date: 12-31-2021

3/1/2021



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunnet Avenue
Silver Spring, Maryland 20901
(301) 455-2535

| REVIEW AND APPROVAL | |
|----------------------|------|
| Role | Date |
| Project Manager | |
| Construction Manager | |
| Park Manager | |

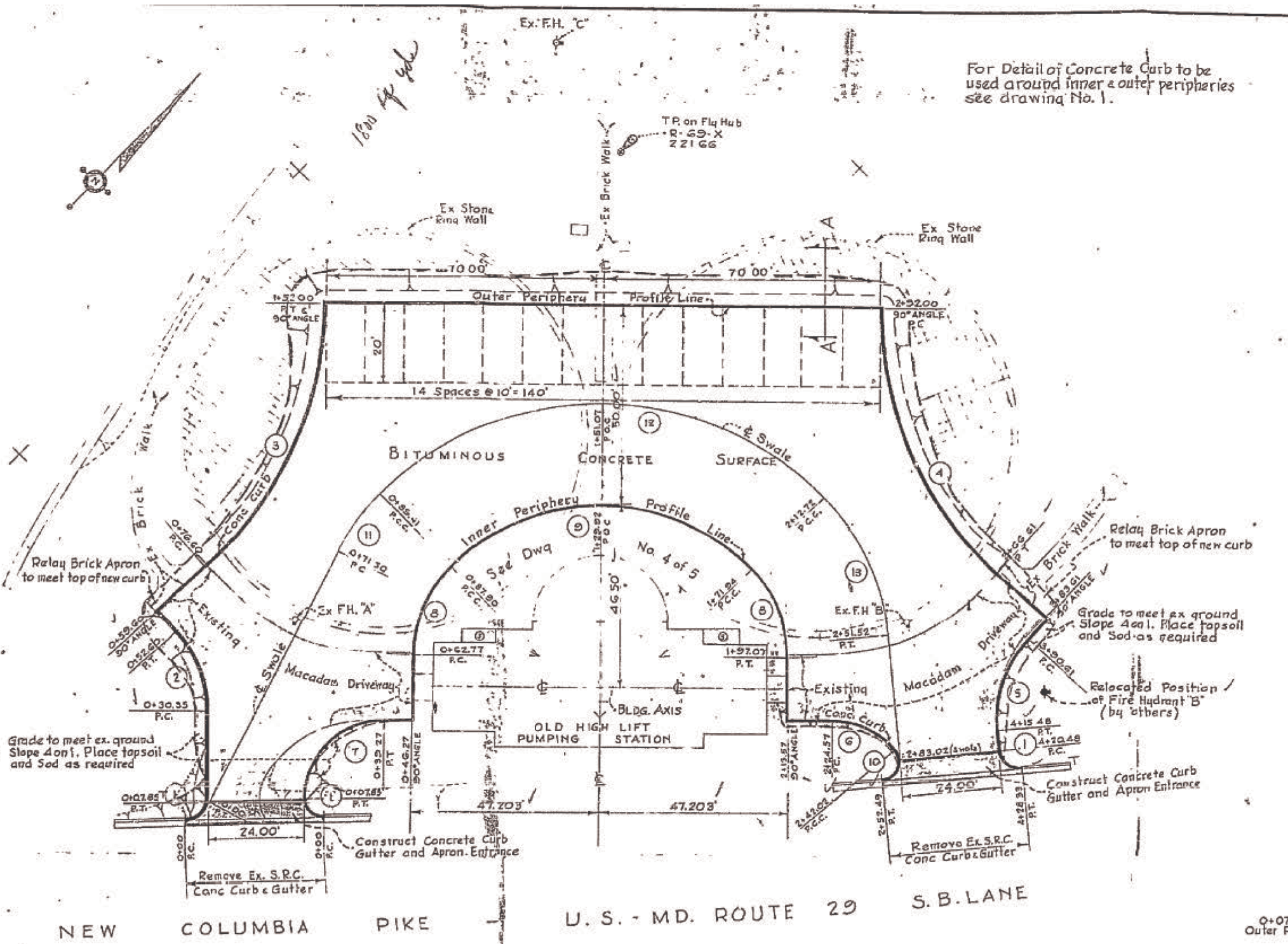
| ISSUED FOR PROCUREMENT ON | | |
|---------------------------|------|-------------|
| REVISIONS | | |
| Rev. No. | Date | Description |
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10701 Columbia Pike
Silver Spring, Maryland 20901

SCALE: AS SHOWN Liber ____ Folio ____

DWG. # **C-210**
SHT. # ____ of ____
GRADING
DETAIL

For Detail of Concrete Curb to be used around inner & outer peripheries see drawing No. 1.



1800 ft yds

Ex. F.H. 'C'

TP on Fly Hub
R. 29-X
22166

Ex Stone Ring Wall

Ex Stone Ring Wall

BITUMINOUS CONCRETE SURFACE

Outer Periphery Profile Line

Inner Periphery Profile Line

Profile Line

No. 4 of 5

BLDG. AXIS

OLD HIGH LIFT PUMPING STATION

Macadam Driveway

Macadam Driveway

Grade to meet ex. ground Slope 4 on 1. Place topsoil and Sod as required

Grade to meet ex ground Slope 4 on 1. Place topsoil and Sod as required

Relocated Position of Fire Hydrant 'B' (by others)

Construct Concrete Curb Gutter and Apron Entrance

Construct Concrete Curb Gutter and Apron Entrance

Remove Ex. S.R.C. Conc Curb & Gutter

Remove Ex. S.R.C. Conc Curb & Gutter

NEW COLUMBIA PIKE

U.S. - MD. ROUTE 29

S.B. LANE

Q-07.8 Outer Pe