

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5 Grafton Street, Chevy Chase	Meeting Date:	3/24/2021
Resource:	Contributing Resource (Chevy Chase Village Historic District)	Report Date:	3/10/2021
Applicant:	Richard Perle and Leslie Barr Trust (Luke Olson, Architect)	Public Notice:	3/3/2021
Review:	HAWP	Tax Credit:	Partial
Permit Number:	944005	Staff:	Michael Kyne

PROPOSAL: Various alterations to previous HAWP including building and hardscape alterations

STAFF RECOMMENDATION:

☒ Approve
☐ Approve with conditions

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Craftsman/Bungalow
DATE: c. 1892-1916

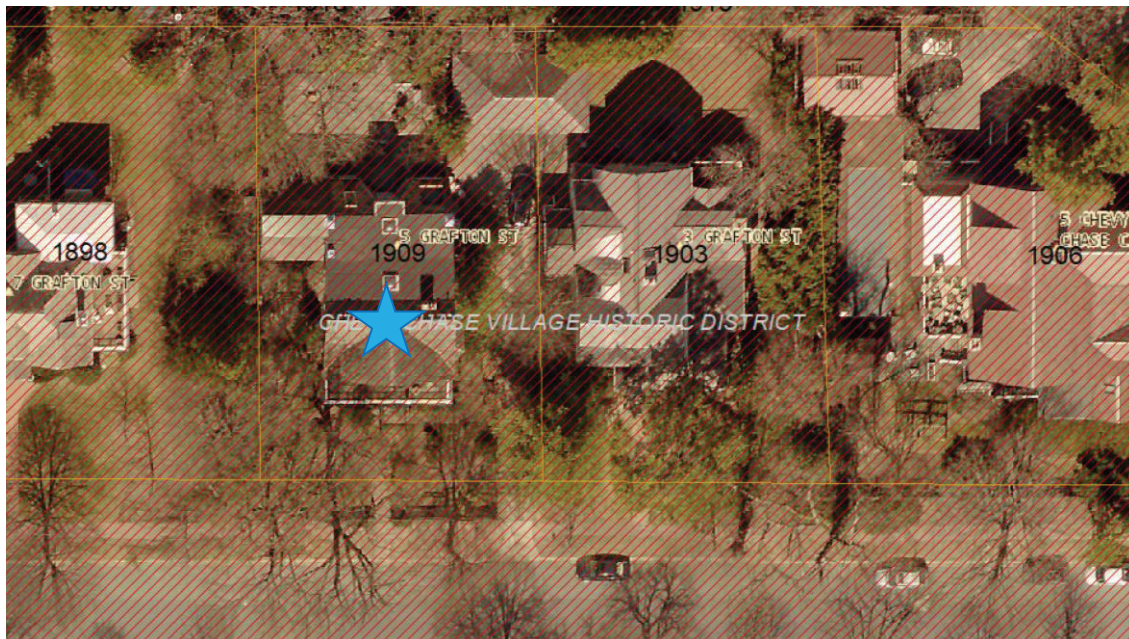


Fig. 1: Subject property, as marked by the blue star.

PROPOSAL:

The applicants previously appeared before the Commission with a proposal for rear dormer additions and other building alterations. The proposal was heard as a preliminary consultation at the August 12, 2020 HPC meeting and as a HAWP application at the September 9, 2020 HPC meeting.¹

The applicants propose the following work items at the subject property:

- Replace all existing non-historic windows and doors with historically appropriate windows and doors (i.e., aluminum clad wood windows and patio doors with permanently affixed interior and exterior muntins and spacer bars).
- Remove the non-historic high gable windows on west (left) and east (right) elevations of the historic house and infill with cedar siding to match the existing.
- Remove the non-historic corner windows in the 1987 west (left) side addition and infill with cedar siding to match the existing.
- Rearrange the previously altered window pattern on the east (right) elevation of the historic house.
- Alter the existing window arrangement on the rear elevation of the existing additions.
- Remove the existing stone garden/retaining walls and lowered terrace to the basement at the south (front) of the 1987 west (left) side addition, and construct a new areaway with stone veneer walls and risers, flagstone treads and caps, and painted metal handrails/guardrails in their place.
- Replace the existing non-historic PVC front balcony/terrace railing with a more compatible millable and paintable composite railing system, with hidden fasteners and details to more closely match the covered front porch railing.
- Increase the depth of the previously approved window well on the southeast (front/right) corner of the historic house, and replace the associated below grade egress window with a taller egress window.

APPLICABLE GUIDELINES:

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.

¹ Link to August 12, 2020 preliminary consultation staff report:

Link to August 12, 2020 HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=364c82d2-dda6-11ea-b5c3-0050569183fa

Link to September 9, 2020 HAWP staff report: <https://montgomeryplanning.org/wp-content/uploads/2020/09/II.T-5-Grafton-Street-Chevy-Chase.pdf>

Link to September 9, 2020 HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=e4693bc3-f463-11ea-b6a9-0050569183fa

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d), having found that the proposal, as modified by the condition, is consistent with the *Chevy Chase Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 944005
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Richard Perle & Leslie Barr Trust
Address: 5 Grafton Street
Daytime Phone: 301-793-4612

E-mail: jonathan@perle.org
City: Chevy Chase Zip: 20815
Tax Account No.: 00457963

AGENT/CONTACT (if applicable):

Name: Luke Olson
Address: 7735 Old Georgetown Rd Ste 700
Daytime Phone: 240-333-2021

E-mail: lolson@gtmarchitects.com
City: Bethesda Zip: 20814
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☒ Yes/District Name Chevy Chase village
☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 5 Street: Grafton
Town/City: Chevy Chase Nearest Cross Street: Chevy Chase Circle
Lot: 3 & pt 4 Block: 25 Subdivision: CC sec 2 Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|---|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

3-3-2021

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Exg. 2-story shingle-style home. Formerly a craftsman bungalow (circa 1892-1916), the resource has been extensively modified on all sides as a part of the renovations and additions constructed in the years 1978, 1987 and 2000. Previous revisions approved as a part of HAWP application 923964 (case #35/13-20AA approved at 9/9/2020 HPC meeting)

Description of Work Proposed: Please give an overview of the work to be undertaken:

Replace existing non-historic windows and doors. Remove non-historic high gable windows on left and right side elevations and infill with cedar siding to match exg. Remove non-historic corner windows in 1987 addition and infill with cedar siding to match exg. Rework window layouts on right-side and rear elevations. Remove existing stone garden/retaining walls and lowered terrace to basement and replace with new areaway with stone veneer walls & risers, flagstone treads & caps, and ptd. metal handrails/guardrails. Replace existing non-historic pvc front balcony/terrace railing with more compatible composite railing system with hidden fasteners and profiles to more closely match front covered porch railing.

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

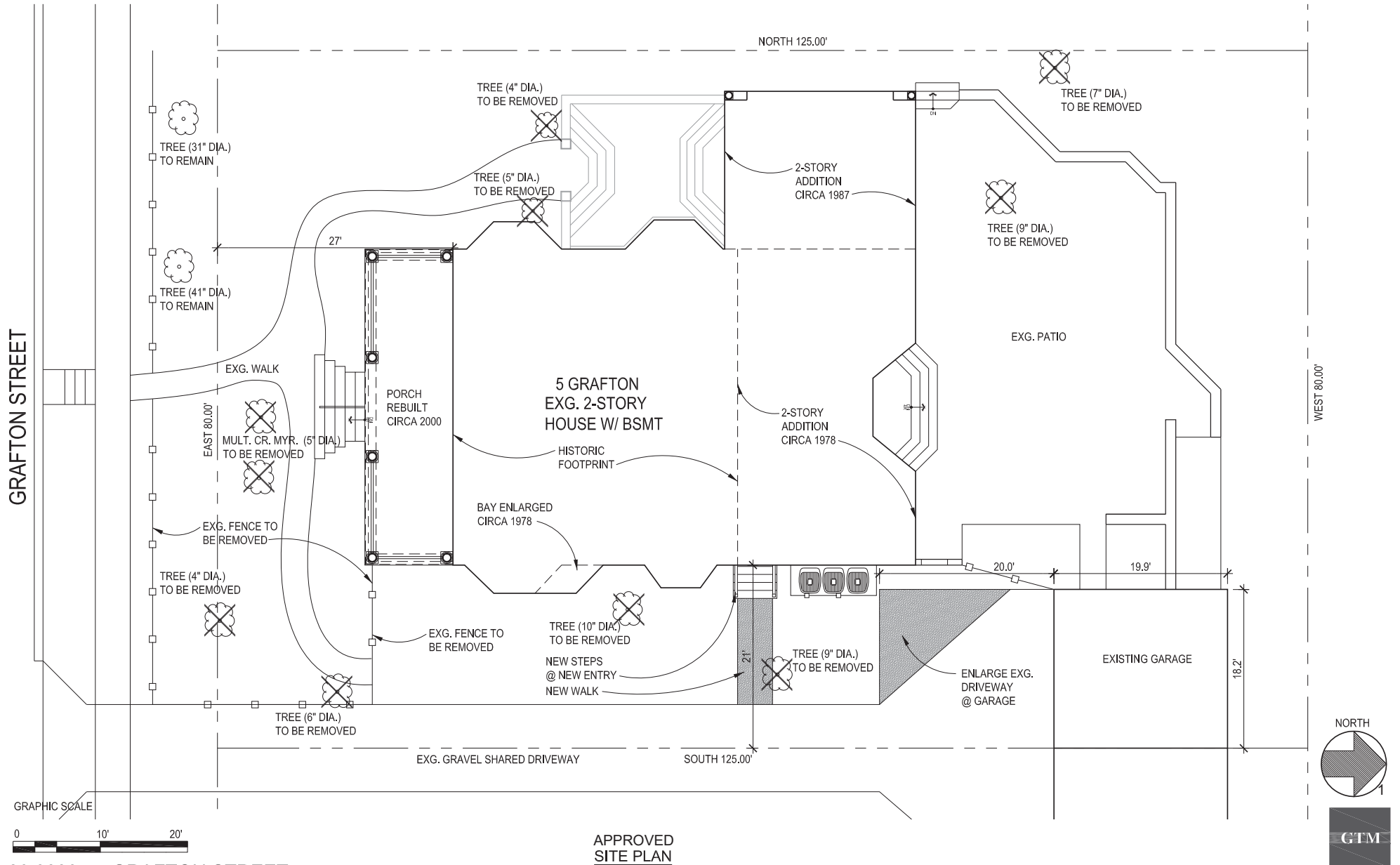
Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

GRAFTON STREET



20.0233 - 5 GRAFTON STREET

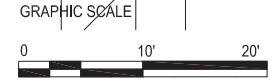
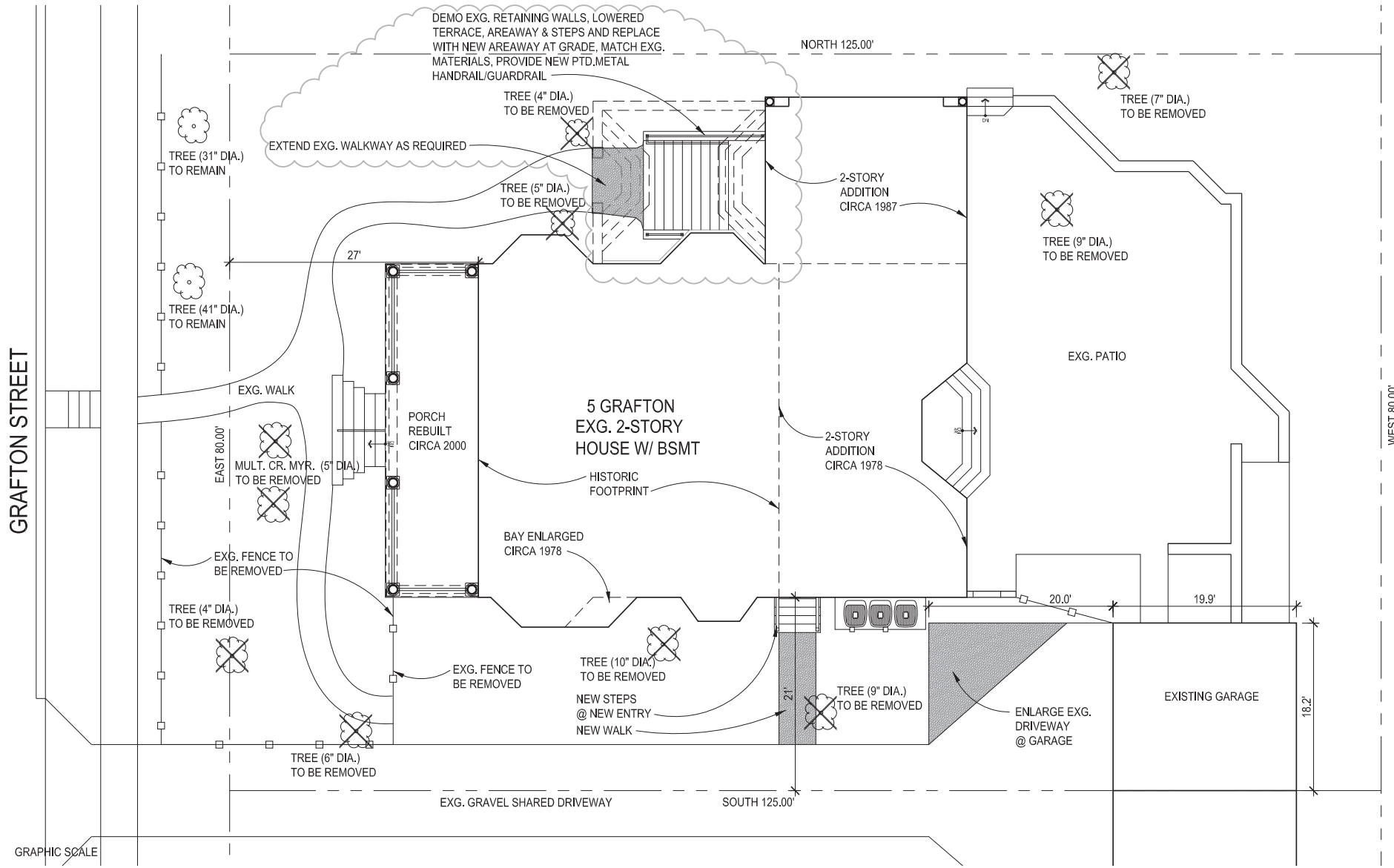
5 GRAFTON ST. CHEVY CHASE, MD 20816

8/19/2020 HAWP SET

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GRAFTON STREET



SITE PLAN

20.0233 - 5 GRAFTON STREET

GTM ARCHITECTS





EXISTING WINDOW PHOTOS SHOWING PLASTIC JAMB LINERS, SPACER BARS AT SDL WINDOWS AND MODERN SASH LOCK HARDWARE



PHOTOS OF CURRENT 2ND FLOOR DECK RAILING WITH EXPOSED FASTENERS
AS COMPARED TO MORE TRADITIONAL 1ST FLOOR PORCH RAILING

3



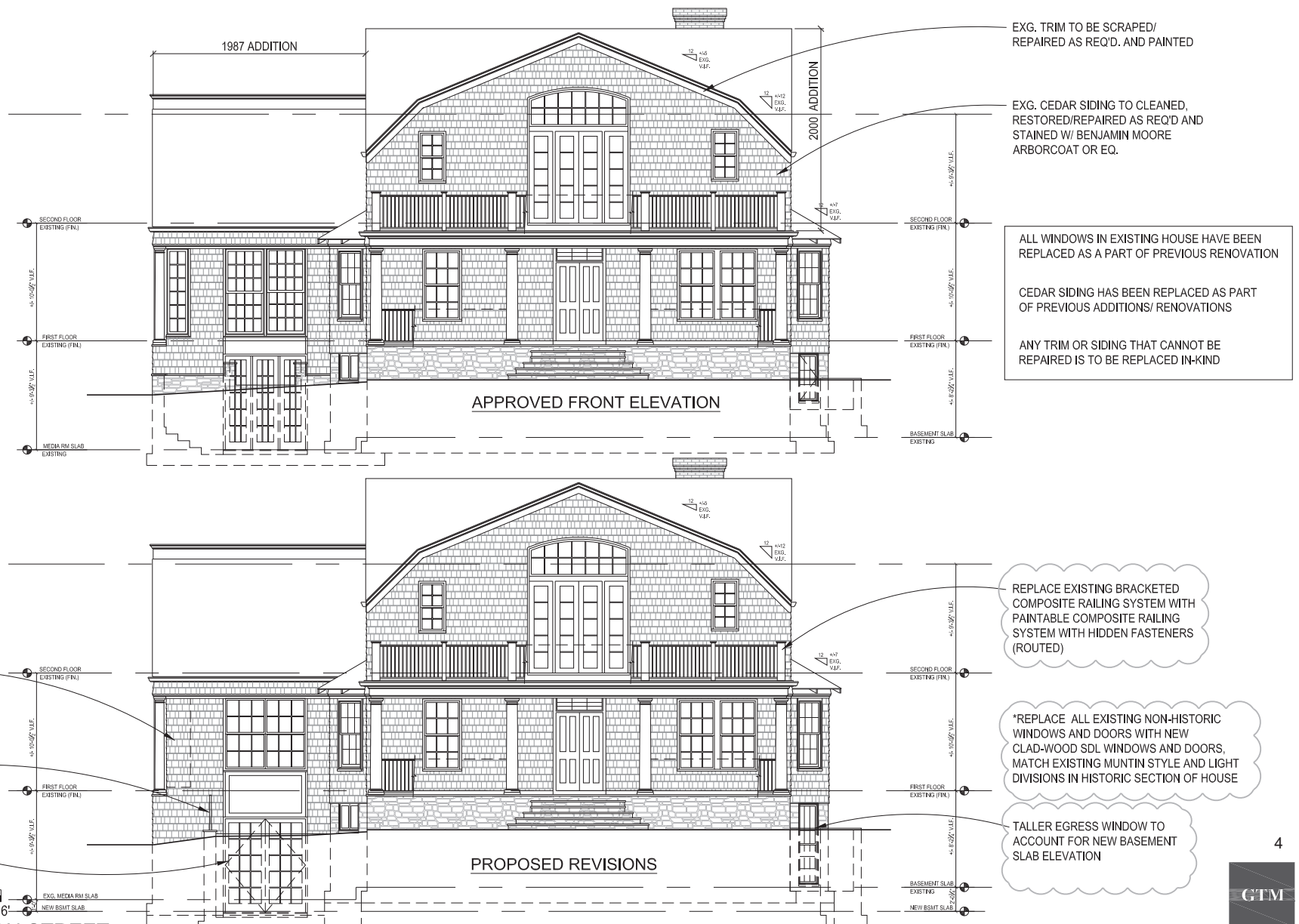
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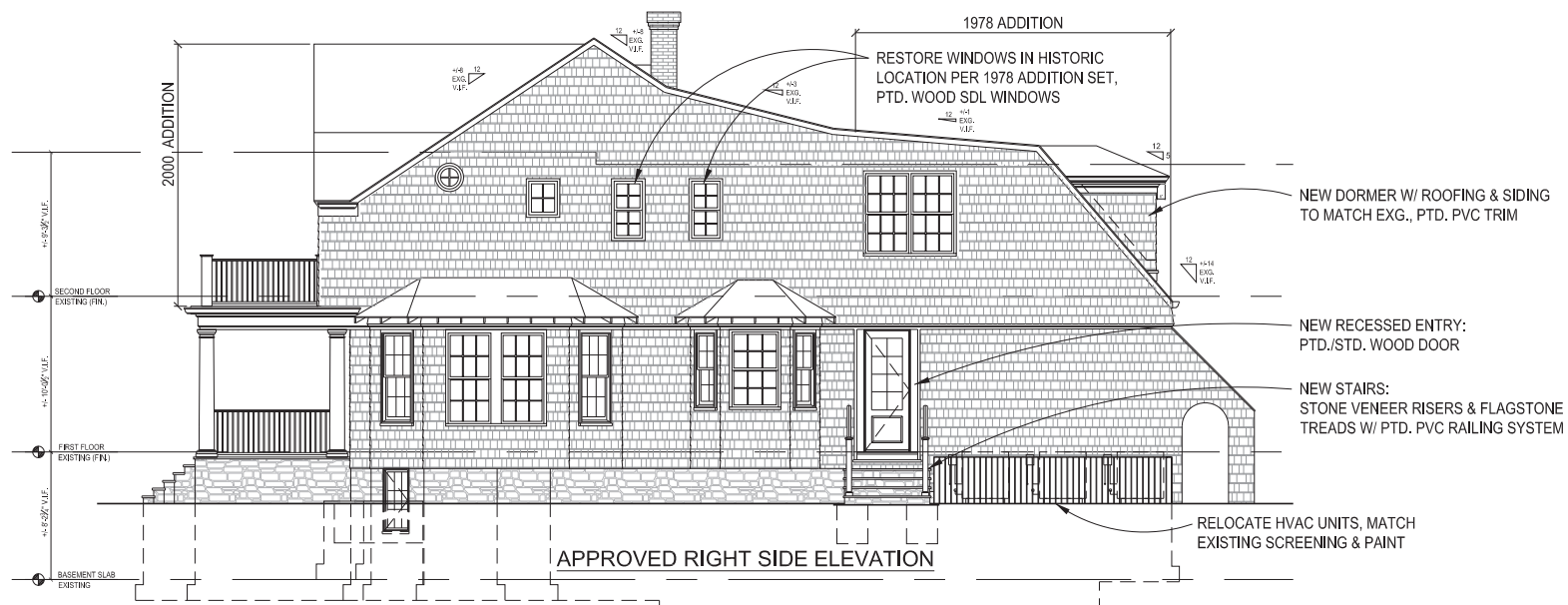
5 GRAFTON ST. CHEVY CHASE, MD 20816 8/19/2020 HAWP SET REVISED 03/02/2021

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G T M A R C H I T E C T S



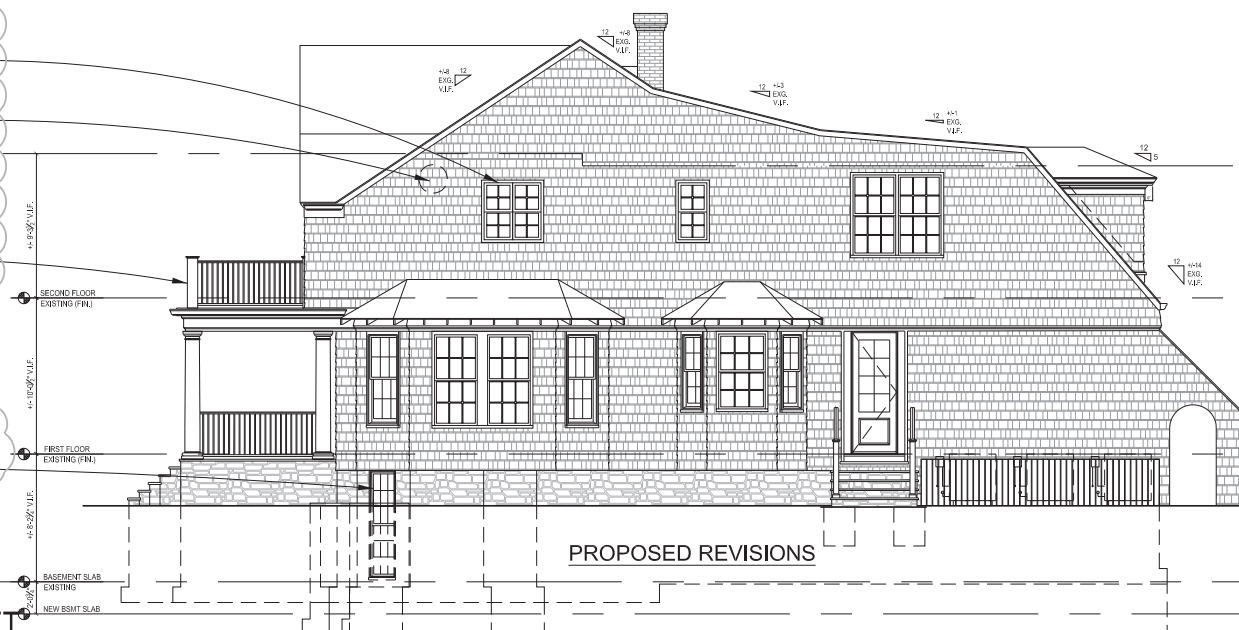


NEW PAIR OF DOUBLE HUNG WINDOWS IN OWNER'S BATH

REMOVE/INFILL NON-HISTORIC ROUND WINDOW

REPLACE EXISTING BRACKETED COMPOSITE RAILING SYSTEM WITH PAINTABLE COMPOSITE RAILING SYSTEM WITH HIDDEN FASTENERS (ROUTED)

TALLER EGRESS WINDOW TO ACCOUNT FOR NEW BASEMENT SLAB ELEVATION



*REPLACE ALL EXISTING NON-HISTORIC WINDOWS AND DOORS WITH NEW CLAD-WOOD SDL WINDOWS AND DOORS. MATCH EXISTING MUNTIN STYLE AND LIGHT DIVISIONS IN HISTORIC SECTION OF HOUSE

SCALE 1/8"=1'-0"

0' 4' 8' 16'

20.0233 - 5 GRAFTON STREET

5 GRAFTON ST. CHEVY CHASE, MD 20816 8/19/2020 HAWP SET REVISED 03/02/2021

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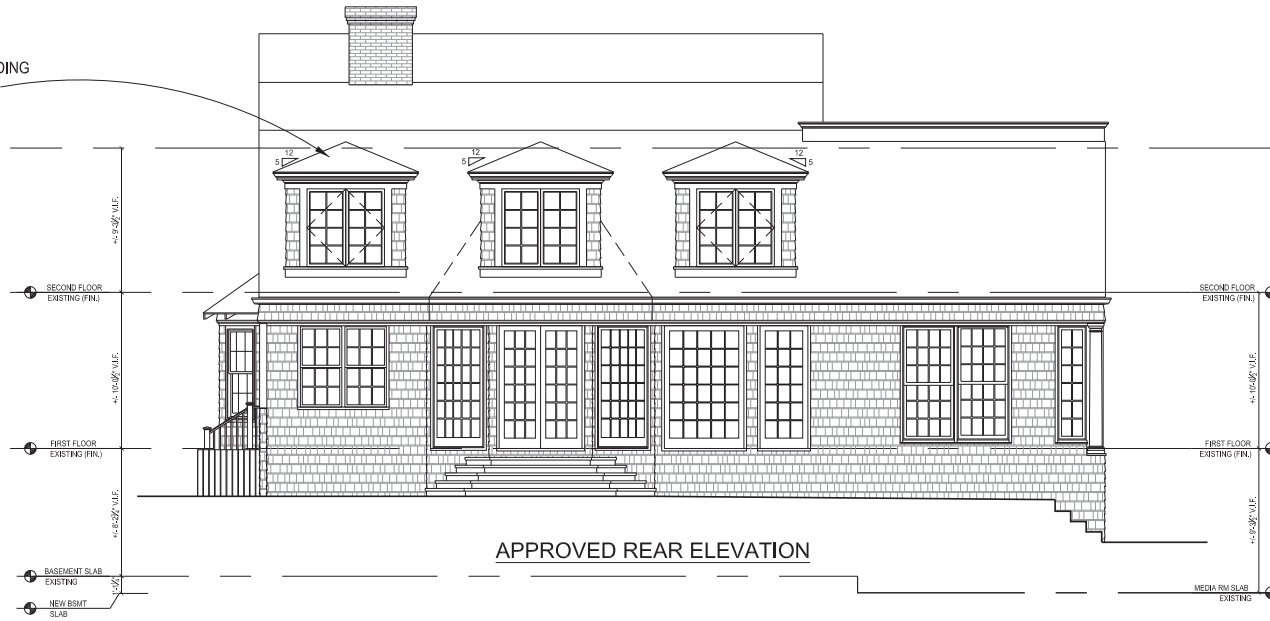
7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001

5



GTM ARCHITECTS

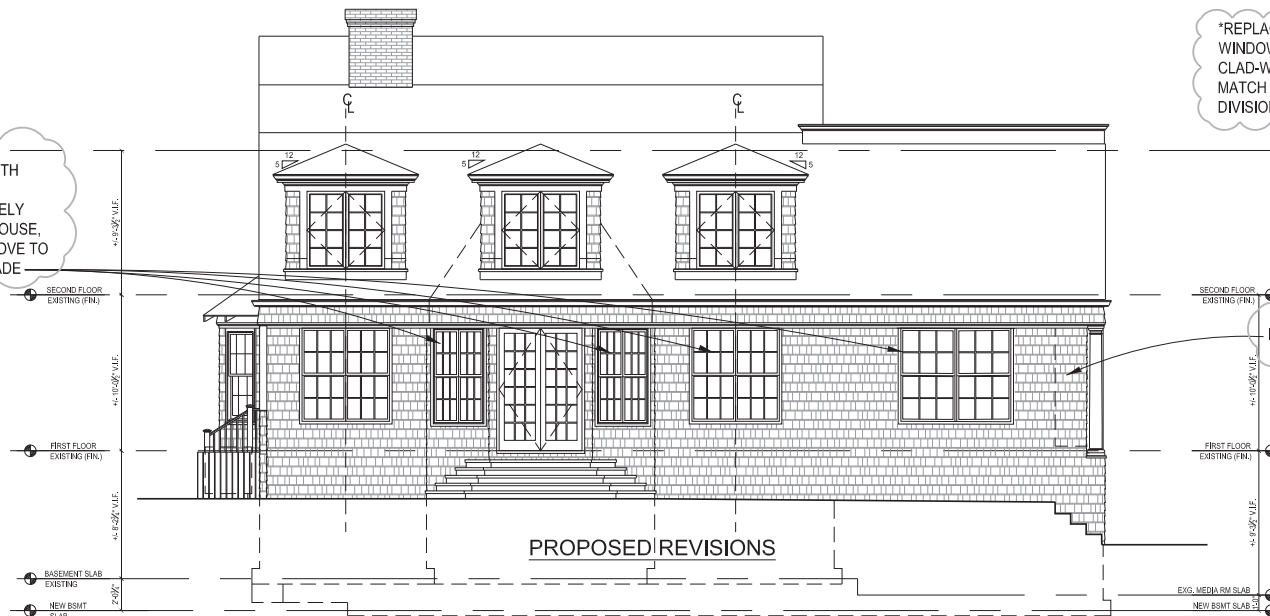
NEW DORMER W/ ROOFING & SIDING
TO MATCH EXG., PTD. PVC TRIM



APPROVED REAR ELEVATION

*REPLACE ALL EXISTING NON-HISTORIC
WINDOWS AND DOORS WITH NEW
CLAD-WOOD SDL WINDOWS AND DOORS,
MATCH EXISTING MUNTIN STYLE AND LIGHT
DIVISIONS IN HISTORIC SECTION OF HOUSE

REPLACE FLOOR TO CEILING WINDOWS WITH
NEW OPERABLE DOUBLE HUNG WINDOWS,
REWORK LIGHT DIVISIONS TO MORE CLOSELY
MATCH THOSE IN HISTORIC SECTION OF HOUSE,
CENTER NEW WINDOWS ON DORMERS ABOVE TO
PROVIDE MORE SYMMETRICAL REAR FACADE



PROPOSED REVISIONS

INFILL CORNER WINDOWS IN 1987 ADDITION

SCALE 1/8"=1'-0"

20.0233 - 5 GRAFTON STREET

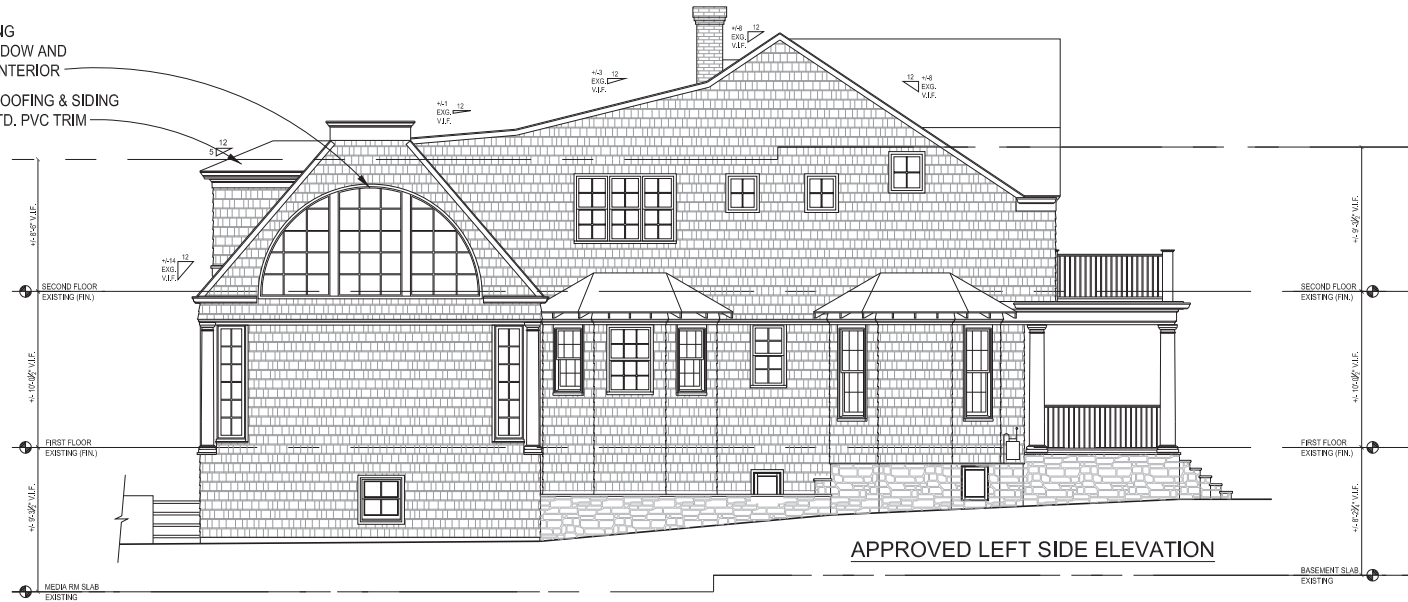
5 GRAFTON ST. CHEVY CHASE, MD 20816 8/19/2020 HAWP SET REVISED 03/02/2021

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BACKPAINT EXISTING
NON-HISTORIC WINDOW AND
BLANK-OFF FROM INTERIOR

NEW DORMER W/ ROOFING & SIDING
TO MATCH EXG., PTD. PVC TRIM



*REPLACE ALL EXISTING NON-HISTORIC
WINDOWS AND DOORS WITH NEW
CLAD-WOOD SDL WINDOWS AND DOORS.
MATCH EXISTING MUNTIN STYLE AND LIGHT
DIVISIONS IN HISTORIC SECTION OF HOUSE

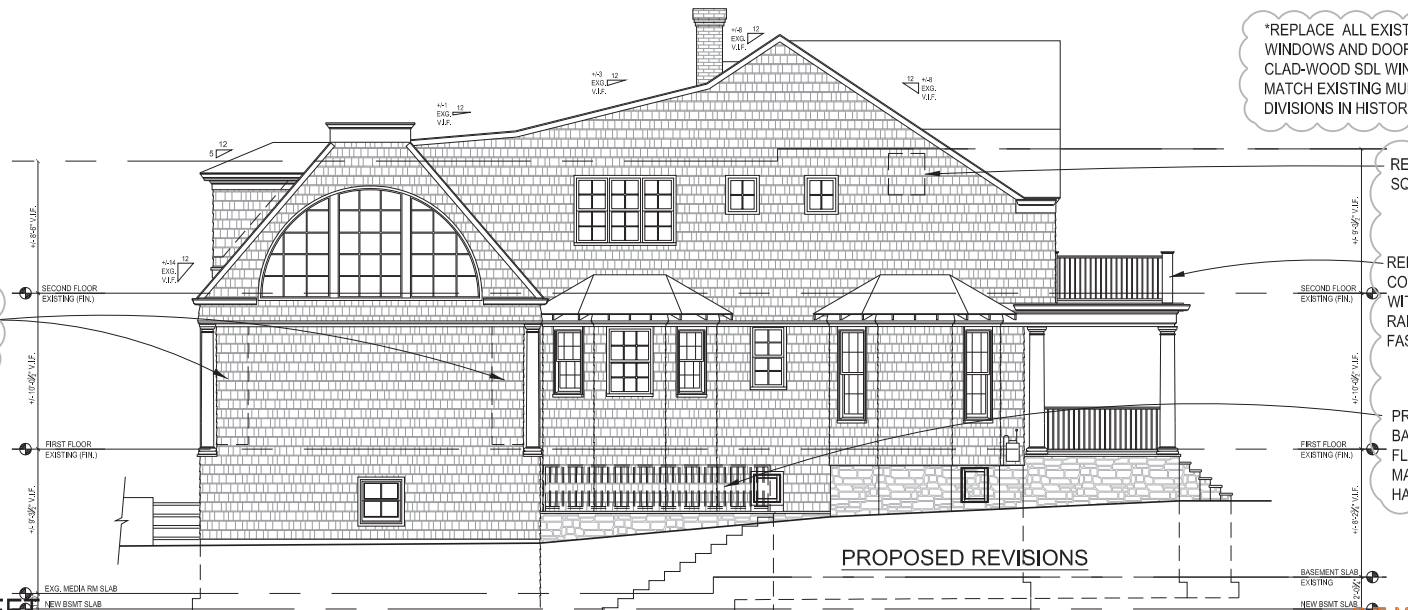
REMOVE/INFILL NON-HISTORIC
SQUARE WINDOW

REPLACE EXISTING BRACKETED
COMPOSITE RAILING SYSTEM
WITH PAINTABLE COMPOSITE
RAILING SYSTEM WITH HIDDEN
FASTENERS (ROUTED)

PROVIDE NEW AREAWAY TO
BASEMENT, STONE WALLS AND
FLAGSTONE TREADS TO
MATCH EXG. W/ PTD. METAL
HANDRAIL/ GUARDRAIL

INFILL CORNER WINDOWS IN 1987 ADDITION

SCALE 1/8"=1'-0"
0' 4' 8' 16'



PROPOSED REVISIONS

20.0233 - 5 GRAFTON STREET

5 GRAFTON ST. CHEVY CHASE, MD 20816 8/19/2020 HAWP SET REVISED 03/02/2021

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GT MARCHITECTS



LIBERTY

EXTRUDED AND ROUTED
RAIL SYSTEM

Unique Routed Rail System with Graspable Option

- **Matte Finish** - 100% Extruded Cellular PVC with Aluminum Reinforced Core
- Pre-routed for Easy Assembly
- Hollow and Glass Baluster Options
- 3-1/2" Width and 2-3/4" Graspable IRC Code R311.7.8.3 Compliant
- Hidden Stainless Steel Fasteners
- Patented Racking Stair System Rack Able Stair Kit for Rake Rail Runs between 18 & 40 Degrees
- Optional Stair Rail Kit for Rake Rail Runs Other than 18 & 40 Degrees. Baluster to be field trimmed.
- 1-1/4" Square Edge Balusters and Square Edge Posts
- 5" Standard Newel Cover; 6", 8", 10" and 12" Optional
- Injected Molded Cap & Trim Rings Available, Solid PVC Pyramid & Flat Caps Optional
- Spans up to 10 feet IBC Level Application
- Spans up to 10' IRC Stair Application
- In House Custom Radius Capability
- **Painting is not necessary, but can be Painted (LRV55 or Greater)**



RS60MS275 RS60MS350



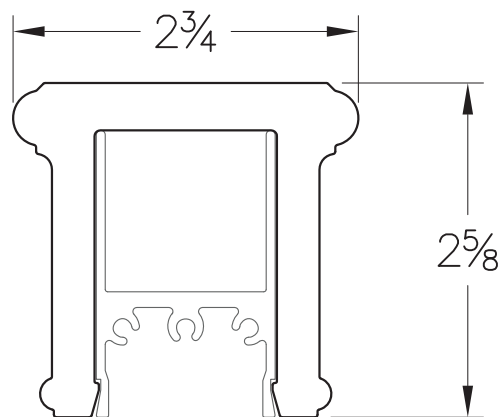
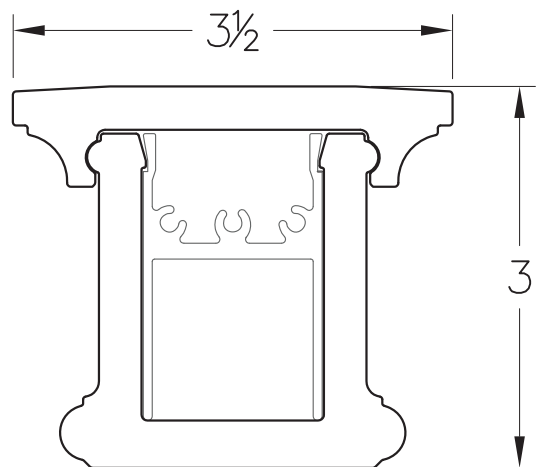
RS60STAIRSAMP



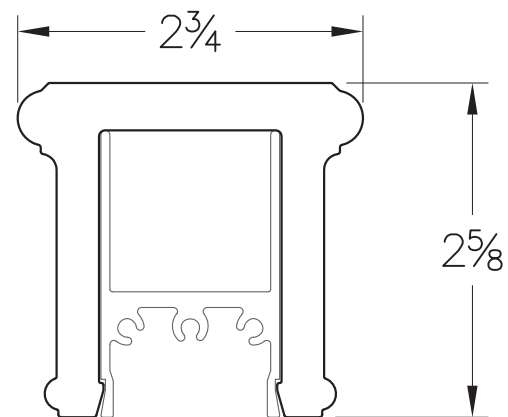
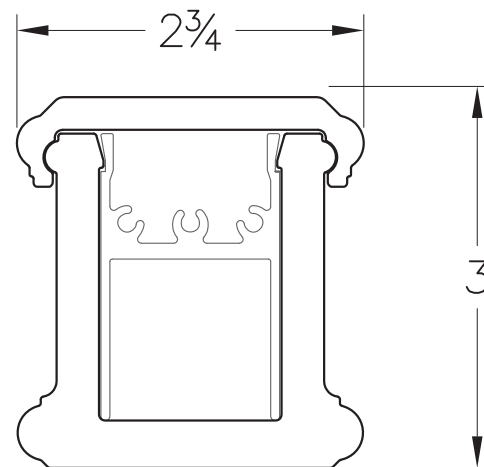
RS60RAILDISP

PART #	DESCRIPTION	MINIMUM ORDER	QUANTITY REQUESTED	VALUE	EXTENDED PRICE
INTEXRS60DT	INTEX Liberty RS60 Tri-Fold Pocket Literature, 4" x 9" Pack size 50 each.	1 pk		\$6.50	
RS60MS275	Sample Liberty 2-3/4" Graspable Top, Bottom Rail & Reinforcement, Include Baluster & Bracket	1 ea		\$12.17	
RS60MS350	Sample Liberty 3-1/2" Top, Bottom Rail & Reinforcement, Include Baluster & Bracket	1 ea		\$12.31	8
RS60STAIRSAMP	RS60 Salesman Stair Sample, Routed Common Rails, with (2) Short Stair Balusters	1 ea		\$17.43	
RS60RAILDISP	Display, RS60 Liberty Series, Include 3-1/2" and 2-3/4" (Graspable) Section, with 5" Newel, Molded Base Trim and Flat Cap. Includes Graphics and Literature	1 ea		\$286.57	
				UPS/FREIGHT COSTS	
				TOTAL COST CHARGED TO MARKETING SUPPORT FUND	

RS60350

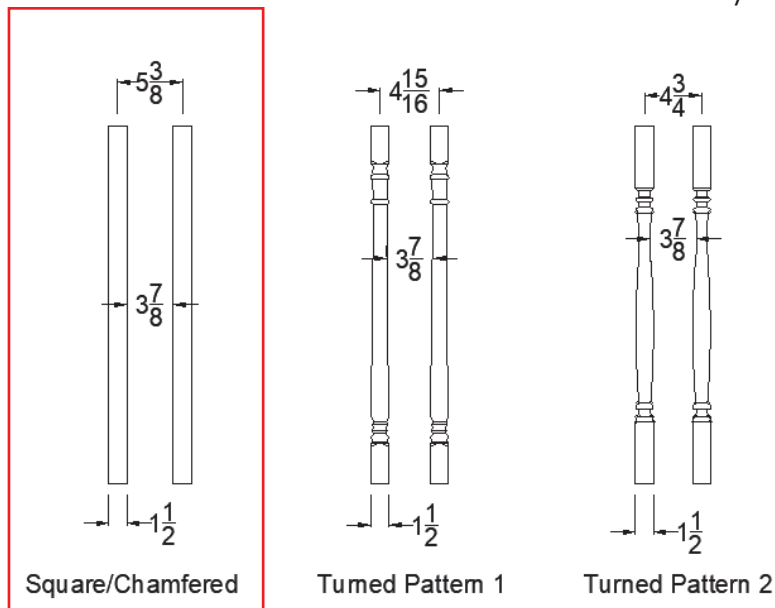


RS60275



Maximum On-Center Baluster Spacing Guide

Baluster Style	Max Spacing
1-1/4" Square or Chamfered	5-1/8"
1-1/2" Square or Chamfered	5-3/8"
1-1/2" T1 Turned	4-15/16"
1-1/2" T2 Turned	4-3/4"
2" Square or Chamfered	5-7/8"
2" T1 Turned	4-11/16"
2" T2 Turned	4-13/16"
2-1/2" Square or Chamfered	6-3/8"
2-1/2" T1 Turned	5-3/16"
2-1/2" T2 Turned	5-1/4"
3-1/2" Square or Chamfered	7-3/8"
3-1/2" T1 Turned	5-7/16"
3-1/2" T2 Turned	6-1/4"
5" T1 Turned	6-15/16"
5" T2 Turned	7-3/4"
5" T3 Turned	6-15/16"



TYPICAL ON-CENTER SPACING FOR 1-1/2" BALUSTERS

Product Features

Styles

Traditional, Push Out and Mission® options.

Standard Features

- Natural, clear Douglas Fir interior (no visible finger joints)
- 4 9/16" (116 mm) jamb construction
- LowE insulated glazing with 1/2" (13 mm) airspace
- Roto gear operator and concealed sash locks
- Extruded aluminum cladding in a variety of standard colors, primed wood or clear fir exterior
- Flexible continuous weatherstrip system
- Insect screens
- Metal handle, cover and locks

Hardware

Multiple hardware type and finish choices are available. See the Hardware in section A for more information.

Glazing

LowE Double, LowE Triple, Tranquility® and StormForce™. StormForce is not available on all products.

Simulated Divided Lites (SDL)

Ogee Profile – 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)

Putty Profile – 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

Square Profile (interior only) – 3/4" (19 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

Casing

Wood: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 5 1/2" (139 mm) Flat, Adams and Williamsburg.

Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 2" clad frame extension, Nose & Cove, Adams, Williamsburg and Contemporary.

Metal Clad Color Spectrum

All Palette colors, including anodized finishes. Available in Cyprium Collection.



LEGEND: ● Standard ○ Optional

	Traditional Casement	Mission® Casement	French Casement	Push Out Casement
HARDWARE STYLES				
Folding Crank Handle	●	●	●	
Push Out Handle				●
Multipoint Lock	●	●	●	○

FINISH OPTIONS: REFER TO SECTION A.

	Traditional Casement	Mission® Casement	French Casement	Push Out Casement
VARIABLES				
Function:				
Use for Egress	●	●	●	●
Available with Screen	●	●	●	●
Concealed Hardware	●	●	●	
Durability:				
Low Maintenance				
Metal Clad Exterior	●	●	●	●
Clear Douglas Fir Exterior Finish	○	○	○	○
Clear Mahogany Exterior Finish	○	○	○	○
Primed Exterior Finish	○	○	○	○
Cyprium Collection	○			○
Performance:				
LowE Double	●	●	●	●
LowE Triple	○	○	○	○
StormForce™	○	○		
Appearance:				
SDL	○	○	○	○

Specifications

Standards

Most units have been tested by an independent laboratory for air and water infiltration, structural performance, and thermal performance requirements.

Frame & Sash

Manufactured from Coastal Douglas Fir kiln-dried lumber with frame construction designed for 4 9/16" (116 mm) jamb. All wood exterior components are factory primed unless specified as clear exterior. Minor scratches or abrasions in the wood surface or primer are not considered defects.

Alternate Species

The entire Loewen product line is also available in optional Mahogany.

Preservative Treated

All wood parts are dipped in approved preservative.

Glazing

With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of protection and comfort.

Insulating Glass

Double or triple glass configurations with 1/2" (13 mm) airspace.

LowE Systems

LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.

Simulated Divided Lites (SDL)

Standard SDL complete with airspace grilles, where available. Grille bars are permanently applied to the interior and exterior.

Hardware Option

Operator and sash locks are available in a variety of finishes. See section A.

Metal Cladding

Heavy duty exterior metal cladding comprised of extruded aluminum is available in a variety of Palette colors, including anodized and Cyprium (copper and bronze cladding). Interior of window can be natural wood (unfinished) or primed. Metal clad units are supplied ready-to-install complete with integral metal nailing flange.

Hardware

Standard Casement sash opens out to nearly 90 degrees for ease of cleaning. The roto gear operator will hold the sash at any position in its operating radius. The sash is supported by concealed heavy-duty hinges. All steel components are coated for superior corrosion protection.

Double Weatherstrip

The combination of a continuous, flexible foam weatherstrip and a flexible automotive type bulb weatherstrip ensures maximum energy efficiency and protection against air and water infiltration.

Screen

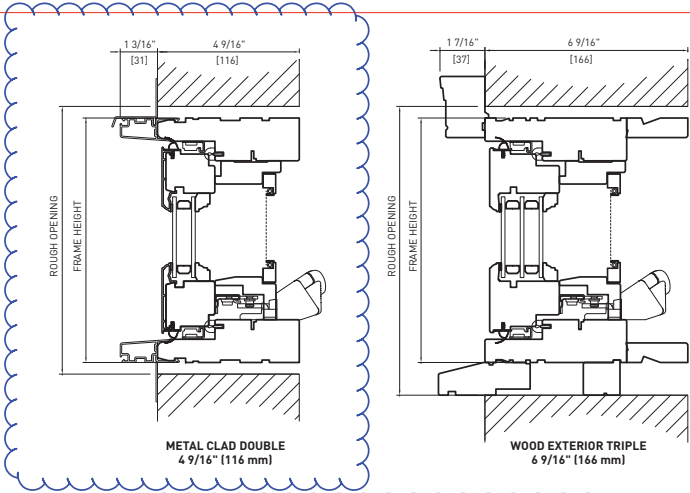
Screens available in bronze, linen, Tuscany brown, brushed aluminum or black aluminum frame, screened with anti-glare fiberglass cloth. Wood-framed screens and High Transparency mesh available. Optional Retractable Screen and Swinging Screen available. Swinging Screen available on Push Out models only.

Egress

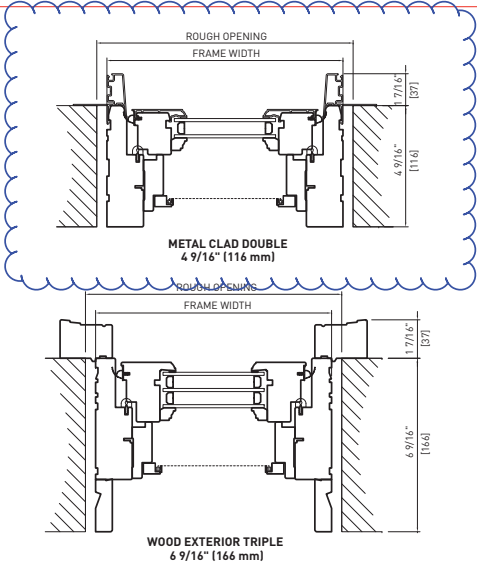
Consult local building codes for confirmation of size requirements for your area. Special egress hardware is available for Casement windows, which enables some sizes to meet egress codes, eliminating the need to go to the next larger size window. Consult your Authorized Loewen Dealer for more details.

Casement Window
Wall Connection Detail

Head & Sill
Detail



Plan View

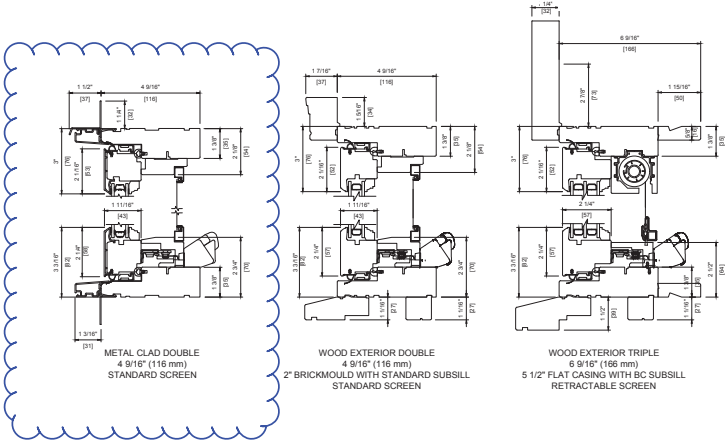


Note:

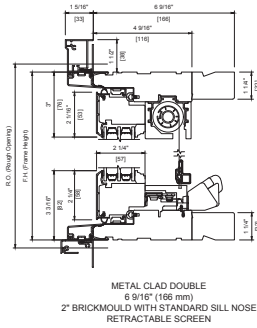
- Other jamb widths available.
- All dimensions to have +/- 1/16" (2mm) tolerance.

Casement Window
Detail

Head & Sill
Detail



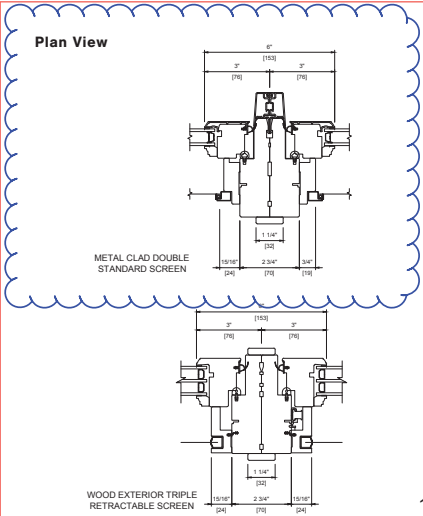
Head & Sill
Detail



Note:

- Other jamb widths available.
- All dimensions to have +/- 1/16" (2mm) tolerance.

Plan View



Product Features

Styles

Double Hung, Single Hung, Radius Top and Cottage options.

Standard Features

- Natural, clear Douglas Fir interior (no visible finger joints)
- 4 9/16" (116 mm) jamb construction
- LowE insulated glazing with 1/2" (13 mm) airspace
- Roto gear operator and concealed sash locks
- Extruded aluminum cladding in a variety of standard colors, primed wood or clear fir exterior
- Flexible continuous weatherstrip system
- Insect screens
- Metal handle, cover and locks

Hardware

Multiple hardware type and finish choices are available. See the Hardware in section A for more information.

Glazing

LowE Double, LowE Triple and StormForce™. StormForce is not available on all products.

Simulated Divided Lites (SDL)

Ogee Profile – 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)

Putty Profile – 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

Square Profile (interior only) – 3/4" (19 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

Casing

Wood: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 5 1/2" (139 mm) Flat, Adams and Williamsburg.

Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 2" clad frame extension, Nose & Cove, Adams, Williamsburg and Contemporary.

Metal Clad Color Spectrum

All Palette colors, including anodized finishes.



Double/Single Hung

LEGEND: ● Standard ○ Optional

HARDWARE STYLES	
Sash Lock	●
Sash/Lift	○

FINISH OPTIONS: REFER TO SECTION A.

VARIABLES	
Function:	
Use for Egress	●
Available with Screen	●
Durability:	
Low Maintenance Metal Clad Exterior	●
Clear Douglas Fir Exterior Finish	○
Clear Mahogany Exterior Finish	○
Primed Exterior Finish	○
Performance:	
LowE Double	●
LowE Triple	○
StormForce™	○
Appearance:	
SDL	○

Specifications

Standards

Most units have been tested by an independent laboratory for air and water infiltration, structural performance, and thermal performance requirements.

Frame & Sash

Manufactured from Coastal Douglas Fir kiln-dried lumber with frame construction designed for 4 9/16" (116 mm) jamb.

All wood exterior components are factory primed unless specified as clear exterior. Minor scratches or abrasions in the wood surface or primer are not considered defects.

Alternate Species

The entire Loewen product line is also available in optional Mahogany.

Preservative Treated

All wood parts are dipped in approved preservative.

Glazing

With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of protection and comfort.

Insulating Glass

Double or triple glass configurations with 1/2" (13 mm) airspace.

LowE Systems

LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.

Simulated Divided Lites (SDL)

Standard SDL complete with airspace grilles, where available.

Grille bars are permanently applied to the interior and exterior.

Hardware Option

Operator and sash locks are available in a variety of finishes. See section A.

Metal Cladding

Heavy duty exterior metal cladding comprised of extruded aluminum is available in a variety of Palette colors, including anodized and Cyprium (copper and bronze cladding). Interior of window can be natural wood (unfinished) or primed. Metal clad units are supplied ready-to-install complete with integral metal nailing flange.

Hardware

Hardware is standard in bronze, linen, or black. Optional sash lifts are available at an additional charge. Operable sash with single-handle tilt latch enables inward tilting of sash for easy cleaning.

Weatherstrip

Flexible weatherstrip ensures a positive weather seal.

Screen

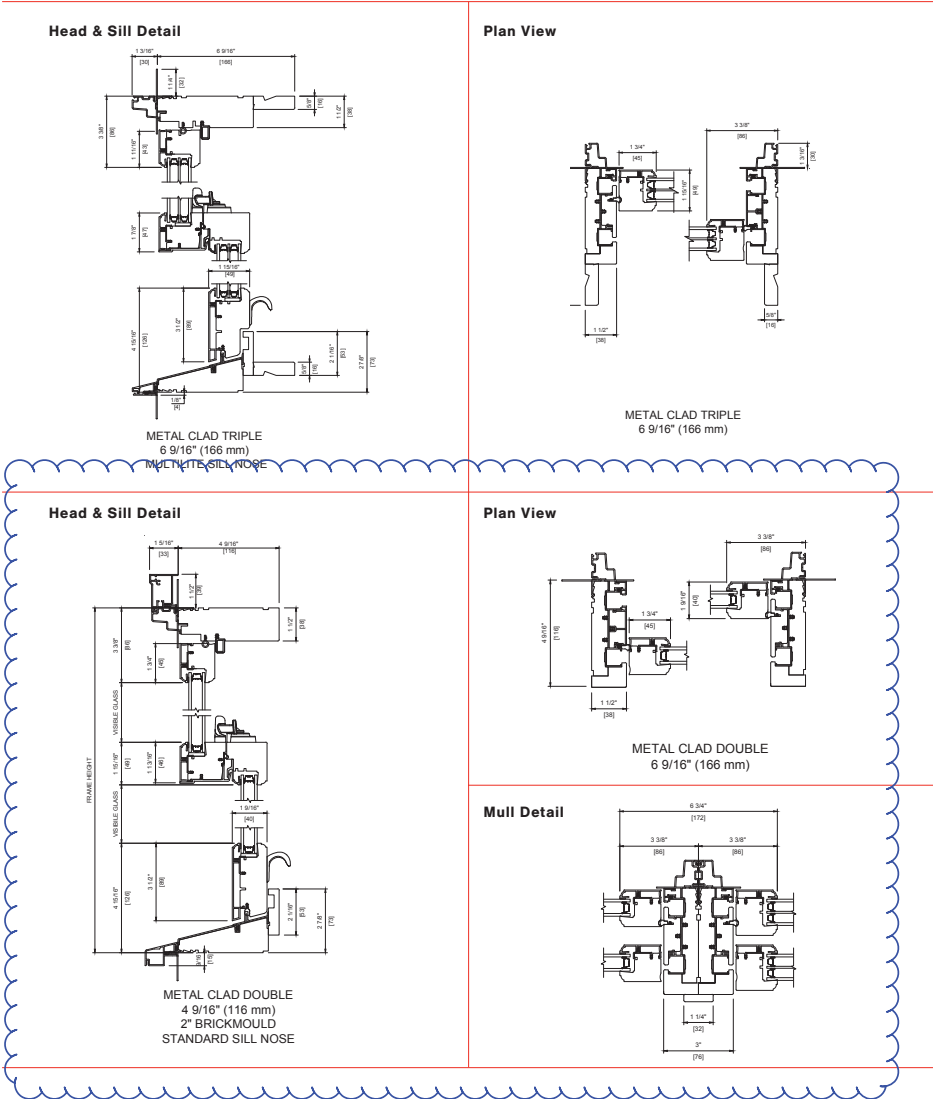
Standard screens have a bronze, linen or aluminum frame, screened with anti-glare fiberglass cloth. Screen-frame color is matched to exterior finish on metal clad units. High transparency mesh, full screens and half screens available.

Egress

Standard screens have a bronze, linen or aluminum frame, screened with anti-glare fiberglass cloth. Screen-frame color is matched to exterior finish on metal clad units. High transparency mesh, full screens and half screens available.

Visit the Loewen Photo Gallery online at www.loewen.com for a large collection of Loewen product and elevation photography. Numerous custom window configuration opportunities exist – please contact your Authorized Loewen Dealer. Specifications and technical information are subject to change without notice. Imperial and metric measurements are converted accurately. However, in some cases, industry standards cause a 1 mm variance. (Example: 3/4" is shown as 19 mm for all glass measurements.)
Cad Download: www.loewen.com/architect | Installation Instructions: www.loewen.com

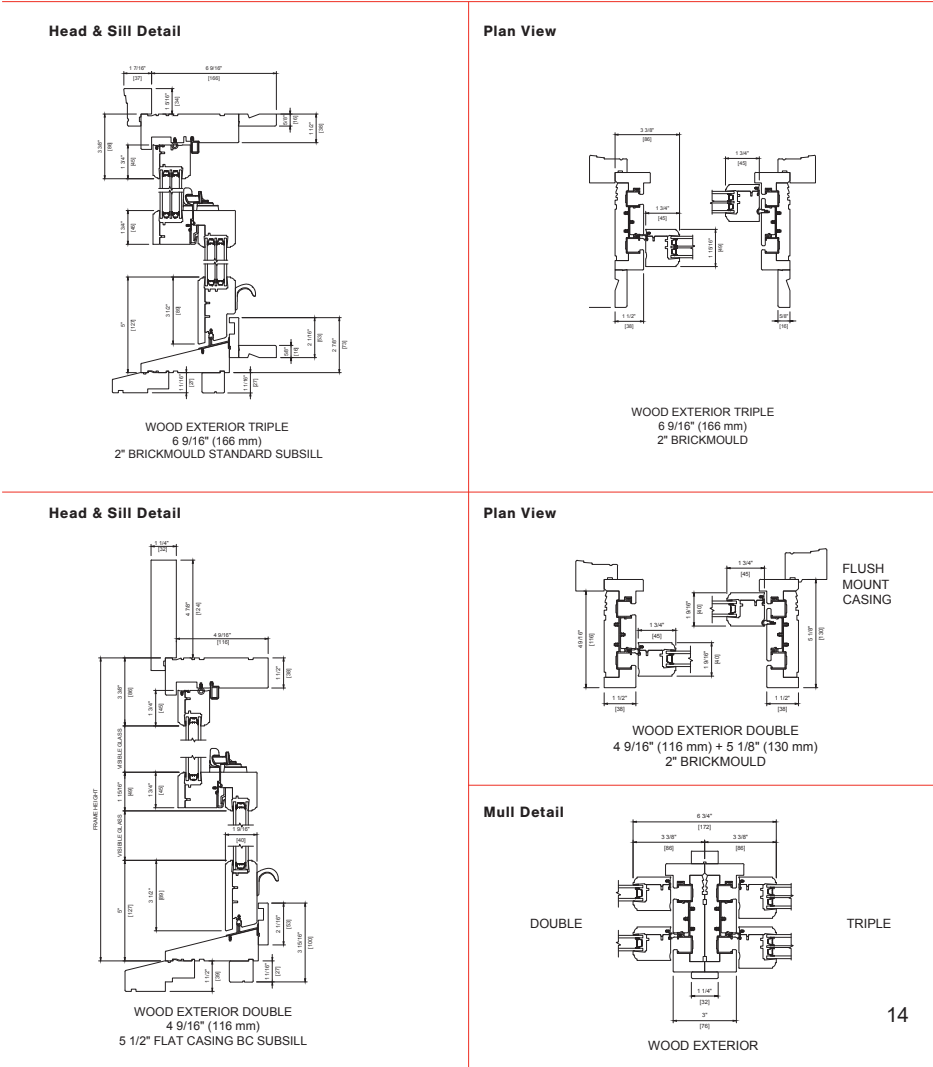
Double/Single Hung – Double Hung Tilting Window Detail



Note:

- Other jamb widths available.
- All dimensions to have +/- 1/16" (2mm) tolerance.

Double/Single Hung – Double Hung Tilting Window Detail



Note:

- Other jamb widths available.
- All dimensions to have +/- 1/16" (2mm) tolerance.

Product Features

Styles

Traditional, French, Cambertop, Quarter Round, Full Radius.

Standard Features

- Natural Douglas Fir interior (no visible finger joints)
- Full Jamb – 6 9/16 (166 mm) construction is an option
- 4 mm Low E insulated tempered glazing
- Multi-point locking hardware, complete with solid brass core handle set, escutcheon and dead bolt
- Extruded aluminum cladding in a variety of standard colors, primed wood or clear fir exterior
- Flexible weatherstrip system

Hardware

Multiple hardware type and finish choices are available. See hardware finish options in section A for more information.

Glazing

LowE Double, LowE Triple and StormForce™, StormForce™

is not available on all products.

Simulated Divided Lites (SDL)

Ogee Profile – 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)

Putty Profile – 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

Square Profile (interior only) – 3/4" (19 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

Casing

Wood: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 5 1/2" (139 mm) Flat, Adams and Williamsburg.

Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 2" clad frame extension, Nose & Cove, Adams, Williamsburg and Kerf.

Metal Clad Color Spectrum

All Palette colors, including anodized finishes. Available in Cyprium Collection (see Section N).

Specifications

Standards

Most individual units have been tested by an independent laboratory for air and water infiltration, structural performance and thermal performance requirements.

Panel & Frame

Manufactured with Coastal Douglas Fir. Bronze anodized aluminum door sill with bronze vinyl extruded thermal break. All exterior wood components are factory primed unless specified as clear exterior. Minor scratches or abrasions are not considered defects.

Alternate Species

The entire Loewen product line is also available in optional Mahogany. Preservative Treated

Preservative Treated

All wood parts are dipped in approved preservative.

Glazing

With countless glazing configurations and glazing coatings options, we ensure that you can choose the perfect blend of protection and comfort.

Insulating Glass

Double or triple glass configurations with 1/2" (13 mm) airspace.

LowE Systems

LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.

Simulated Divided Lites (SDL)

Standard SDL complete with airspace grilles. Grille bars are permanently applied to the interior and exterior.

Metal Cladding

Heavy duty exterior metal cladding comprised of extruded aluminum is available in a variety of Palette colors, including anodized and Cyprium (copper and bronze cladding). Interior of window can be natural wood (unfinished) or primed. Metal clad units are supplied ready-to-install complete with integral metal nailing flange.

Hardware

Multipoint locking hardware – complete with brass handle set and escutcheon – and dead bolt are standard on all Terrace Doors. Optional keyed alike locks are available. Standard concealed bearing hinges in a variety of finishes are available.

Note: French doors with handle activated shoot bolts on inactive panel.

Weatherstripping

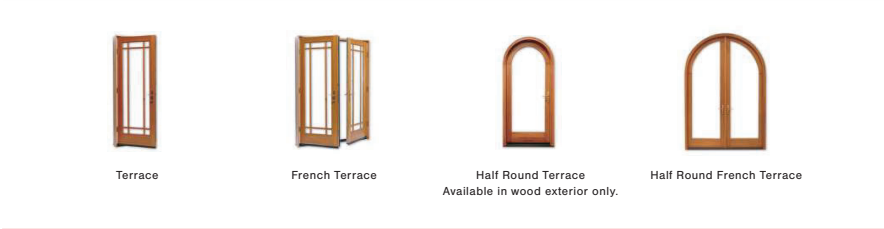
High grade weatherstripping runs the full perimeter of the panel/frame interface and provides a tight seal to the exterior elements. Side and head jamb weatherstrip are comprised of a bulb and fin dual seal design.

Door Swings

Traditional Terrace Door: Hinged in the middle so that one panel is fixed, while the other opens/closes. These doors can be configured as a single door, or as a series of fixed, operating, left hinged or right hinged panels.

French Terrace Doors: Hinged on the jambs to allow both doors to open/close from the middle.

Note: Outswinging versions of both door styles are available as options.



	Swinging Terrace	Swinging French Terrace
HARDWARE STYLES		
Multi-point Handle	●	●
Verona Handle	●	●
Meran Handle	●	●
Shropshire Handle	○	○
Churchill Handle	○	○
Athinia Handle	○	○
Rodos Operator	○	○

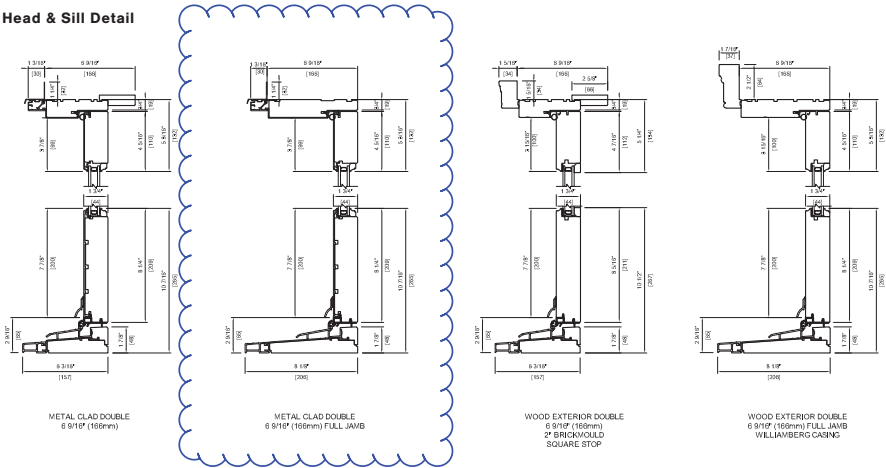
● Standard ○ Optional

Finish Options: Refer to Section A.

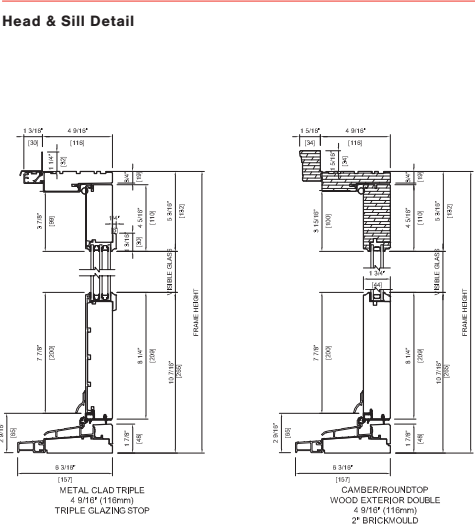
	Swinging Terrace	Swinging French Terrace
VARIABLES		
Function		
Use for Egress	●	●
Multi-point Hardware	●	●
Durability		
Low Maintenance Metal Clad Exterior	●	●
Clear Douglas Fir Exterior Finish	○	○
Clear Mahogany Exterior Finish	○	○
Primed Exterior Finish	○	○
Cyprium Collection	○	○
Performance		
LowE Double	●	●
LowE Triple	○	○
StormForce™	○	○
Appearance		
SDL	○	○
Vertical Grain Fir Panel	●	●

Inswing French Terrace Door
Detail

Head & Sill Detail



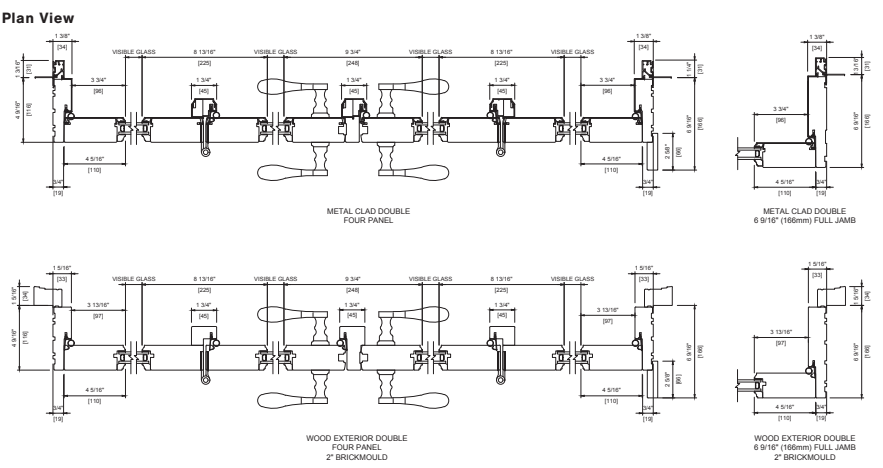
Head & Sill Detail



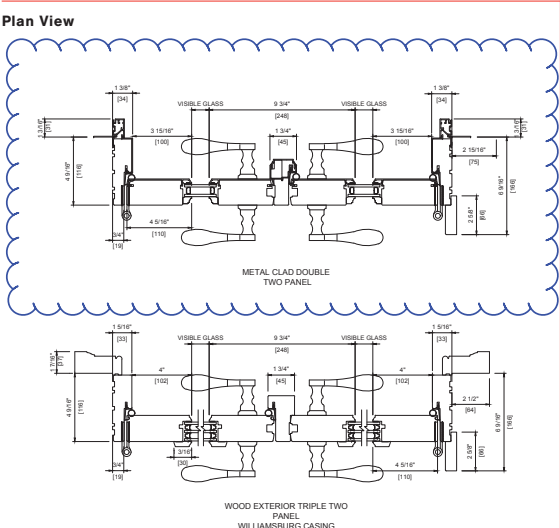
Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" (2mm) tolerance.

Inswing French Terrace Door
Detail

Plan View

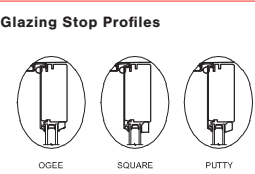


Plan View

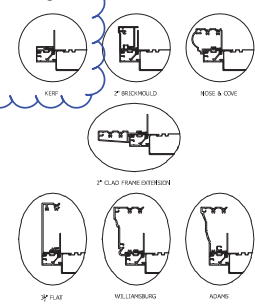


Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" (2mm) tolerance.

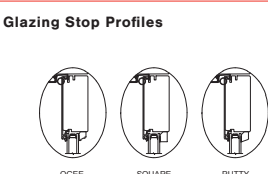
Glazing Stop Profiles



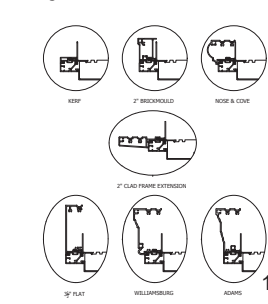
Casing



Glazing Stop Profiles



Casing



Glazing Options

Loewen Sealed Units offer ideal solutions for any environment. With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of protection and comfort - no matter where you live.

LowE Window Systems

LowE is a high-performance glazing system that offers great thermal value in a variety of climate zones. They also protect furnishings by limiting much of the damaging ultraviolet radiation that causes fading and related damage. The charts on page A30 show the comparative performance of each Loewen Window System.



LowE Double

Double glazed, with one or more layers of LowE coating and 1/2" (13mm) airspace filled with Argon gas and stainless steel thermal spacer bar.

- Loewen standard 1/8" (3 mm) double strength glass offers greater strength and clarity over thinner glass, making our products more insulative, more soundproof, more resistant to impact and considerably more resistant to stresses caused by fluctuations in temperature.
- Loewen standard sealed units contain Argon gas and machine applied primary and secondary sealants reducing the chance of seal failure, improving Argon gas retention, and increasing strength.



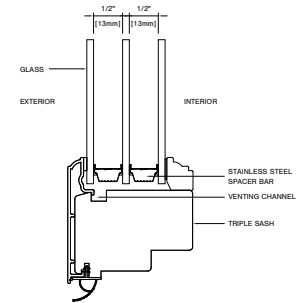
We pioneered True Triple Glazing in the 1970's, which is a testament to our approach on innovation. For premium energy performance, we've made triple glazing available across our entire product line.

True Triple Sealed Units

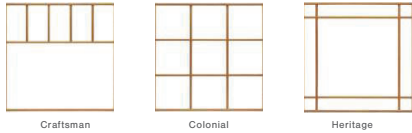
with LowE surface coatings for maximum performance

Triple glazed, with multiple layers of LowE coatings and two 1/2" airspaces filled with Argon gas and stainless steel thermal spacer bars. Our LowE Triple features full 1/2" airspaces to maximize energy efficiency unlike other window systems that use lesser performing narrower airspaces.

- Loewen standard 1/8" (3mm) double strength glass provides greater strength and clarity over thinner glass, making our products more insulative, more soundproof, more resistant to impact and considerably more resistant to stresses caused by fluctuations in temperature
- Loewen standard sealed units contain Argon gas in all airspaces and machine applied primary and secondary sealants, reducing the chance of seal failure, improving Argon gas retention and increasing strength
- Venting channel built into the sash helps dissipate should condensation or moisture occur
- Stainless steel spacer bar is less conductive than aluminum and structurally superior to silicone foam type spacers
- Sash cladding does not touch the glass which reduces the opportunity for thermal conduction



Simulated Divided Lite (SDL)
Standard Patterns



Extended Half Round



Extended Half Ellipse



Extended Quarter Round



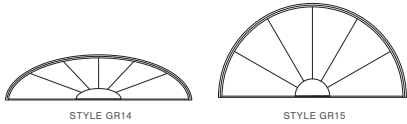
Extended Full Chord



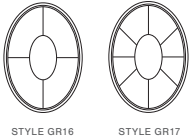
Full Round



Sunburst











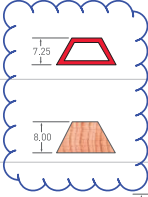




















Oval



Note: Number of grille bars and spacing is determined by the size of the unit. Grille type may not be available in all units. Custom patterns available for approval.

A36 | Technical Guide Information is subject to change without notice. | CAD Download: www.loewen.com/architect | Installation Instructions: www.loewen.com

Awning & Casement Units
Types of Simulated Divided Lite

Application	Available SDL	5/8" [16mm]	3/4" [19mm]	7/8" [22mm]	1-1/8" [30mm]	2" [50mm]
MC Exterior	Ogee					
Interior	Ogee					
MC Exterior	Putty					
NC Exterior / Interior	Putty					
Interior	Square					
Interior	Impact Ogee					
NC Exterior	Ogee					
































Note: MC = Metal Clad, NC = Non Clad

Information is subject to change without notice. | CAD Download: www.loewen.com/architect | Installation Instructions: www.loewen.com

Technical Guide | A37

Double/Single Hung Units

Types of Simulated Divided Lite
































Application	Available SDL	5/8" [16mm]	3/4" [19mm]	7/8" [22mm]	1-1/8" [30mm]	2" [50mm]
MC Exterior	Ogee	  				
Interior	Ogee	    				
MC Exterior	Putty	   				
NC Exterior / Interior	Putty	    				
Interior	Square	   				
Interior	Impact Ogee	    				
NC Exterior	Ogee	  				



Note: MC = Metal Clad, NC = Non Clad

Picture Units

Types of Simulated Divided Lite

Application	Available SDL	5/8" [16mm]	3/4" [19mm]	7/8" [22mm]	1-1/8" [30mm]	2" [50mm]
MC Exterior	Ogee	  				
Interior	Ogee	    				
MC Exterior	Putty	   				
NC Exterior / Interior	Putty	    				
Interior	Square	   				
Interior	Impact Ogee	    				
NC Exterior	Ogee	    				



Note: MC = Metal Clad, NC = Non Clad

Patio Door Unit Types of Simulated Divided Lite

Application	Available SDL	5/8" [16mm]	3/4" [19mm]	7/8" [22mm]	1-1/8" [30mm]	2" [50mm]
MC Exterior	Ogee					
Interior	Ogee					
MC Exterior	Putty					
NC Exterior / Interior	Putty					
Interior	Square					
Interior	Impact Ogee [MP]					
Interior	Impact Ogee [MP]					
NC Exterior	Ogee					



Note: MC = Metal Clad, NC = Non Clad

Terrace/French & Bifold Door Unit Types of Simulated Divided Lite

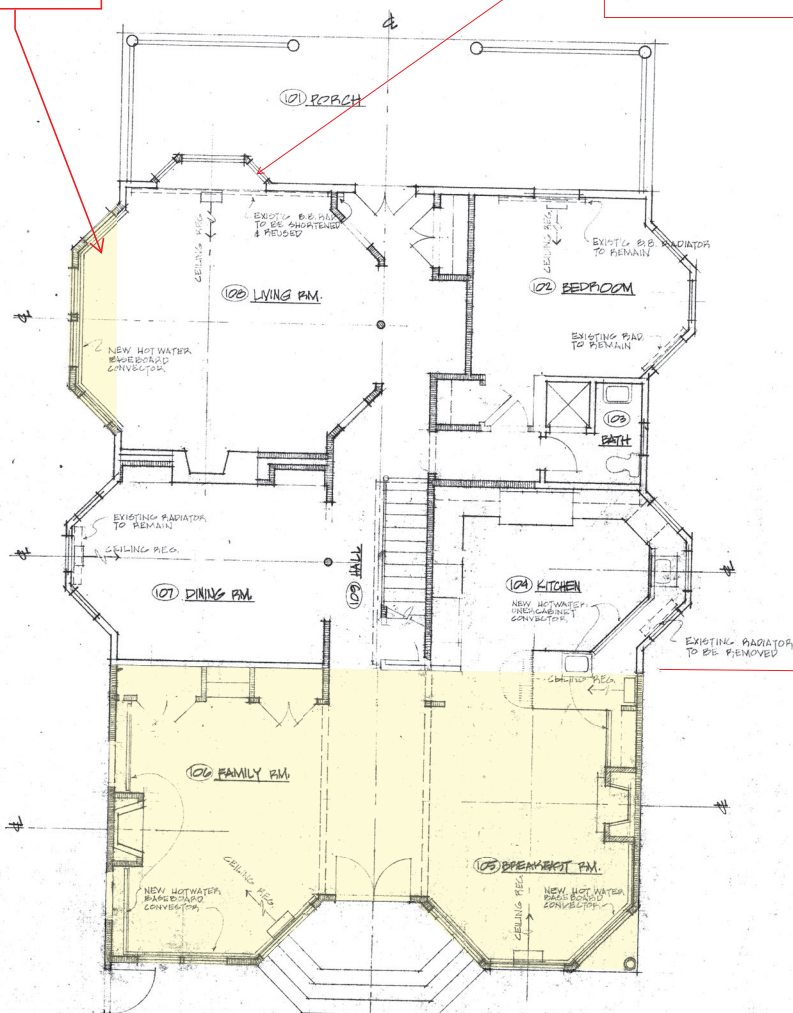
Application	Available SDL	5/8" [16mm]	3/4" [19mm]	7/8" [22mm]	1-1/8" [30mm]	2" [50mm]
MC Exterior	Ogee					
Interior	Ogee					
MC Exterior	Putty					
NC Exterior / Interior	Putty					
Interior	Square					
Interior	Impact Ogee [MP]					
Interior	Impact Ogee [MP]					
NC Exterior	Ogee					



Note: MC = Metal Clad, NC = Non Clad

ENLARGED BAY

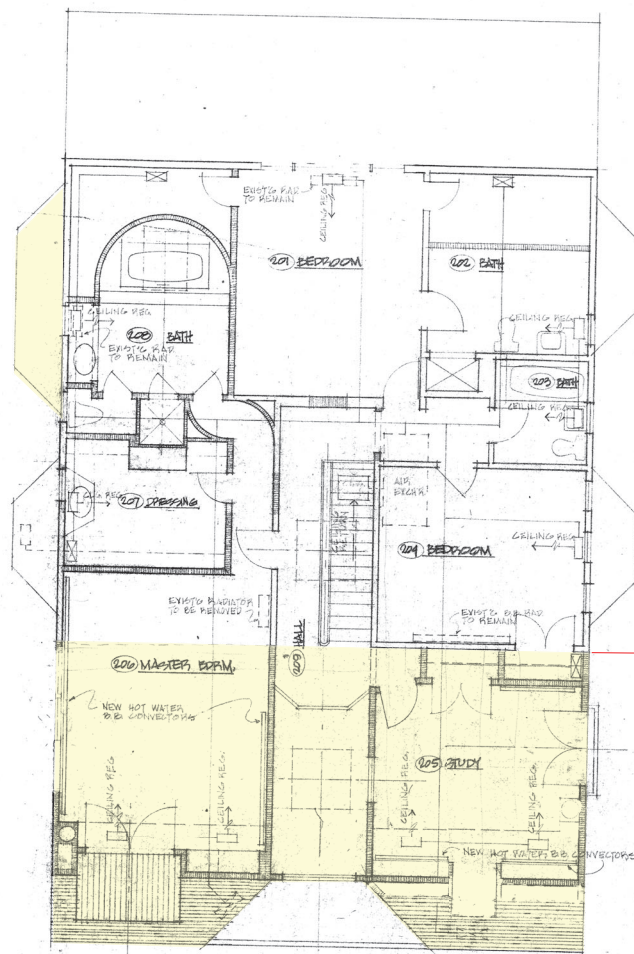
THIS BAY NEVER CONSTRUCTED



FIRST FLOOR

HATCHED WALLS INDICATE NEW WORK

ADD. EXG.



SECOND FLOOR

ADD. EXG.

ROBERT PELL, ARCHITECT
145 KENTUCKY AVE. S.E.
WASHINGTON, D.C.
543-0945

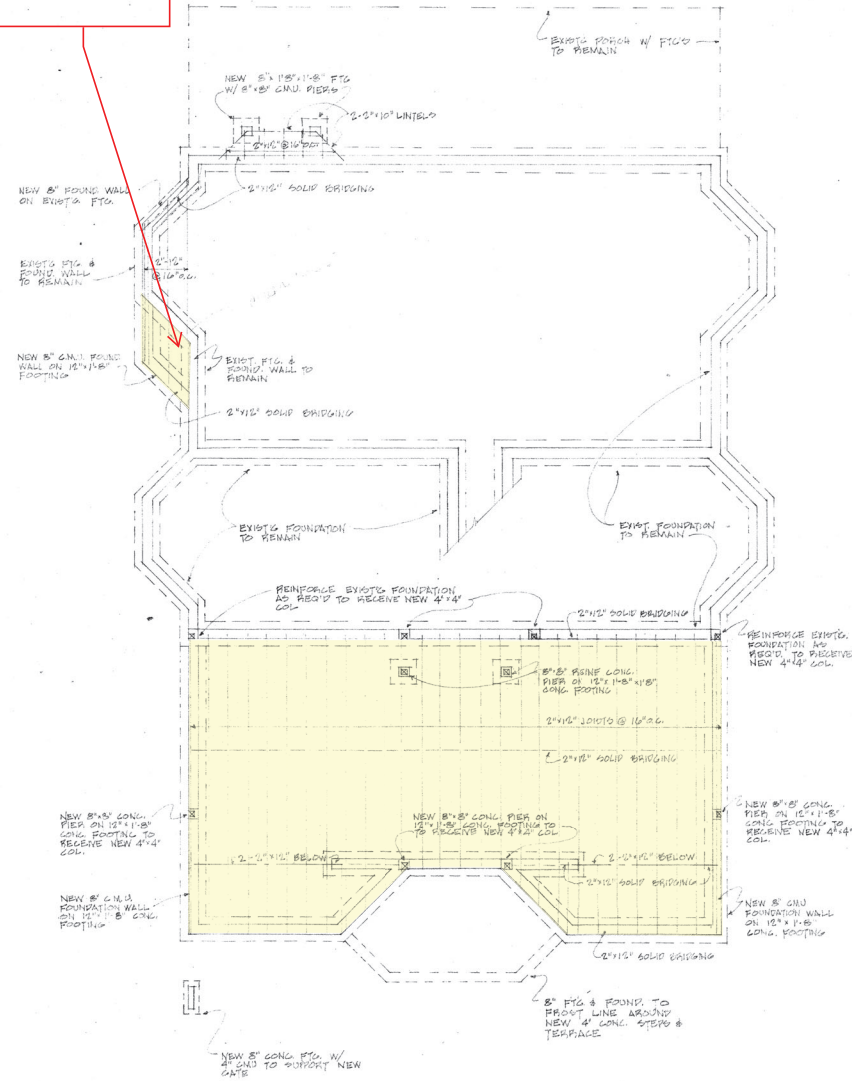
RICHARD PEARL & LESLIE BAPIN RESIDENCE
5 GRAFTON STREET

SCALE 1/4" = 1'-0"

DEC 21, 1978



ENLARGED
BAY



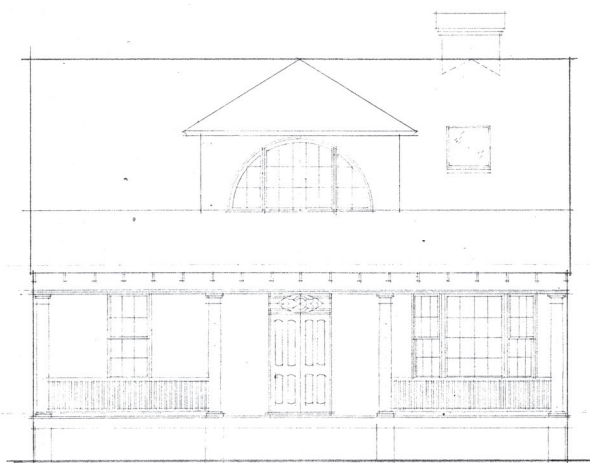
ADD. EXG.

ROBERT ELL, ARCHITECT
145 HENRICAN AVE SE
WASHINGTON, D.C.
20003-6045

RICHARD PEARL & LESLIE BABIN RESIDENCE
9 CRAFTON STREET

SCALE 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



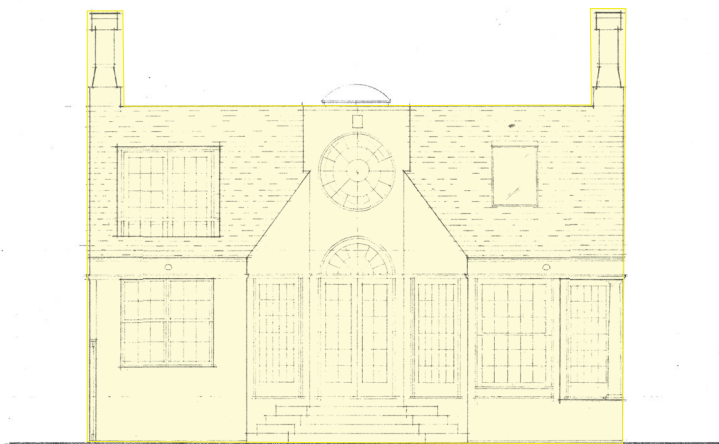
SOUTH ELEVATION

ENLARGED
BAY,
SHOWS
AREAWAY



EAST ELEVATION

EXG. ADD.



ADDITION

NORTH ELEVATION



ADD. EXG.

WEST ELEVATION

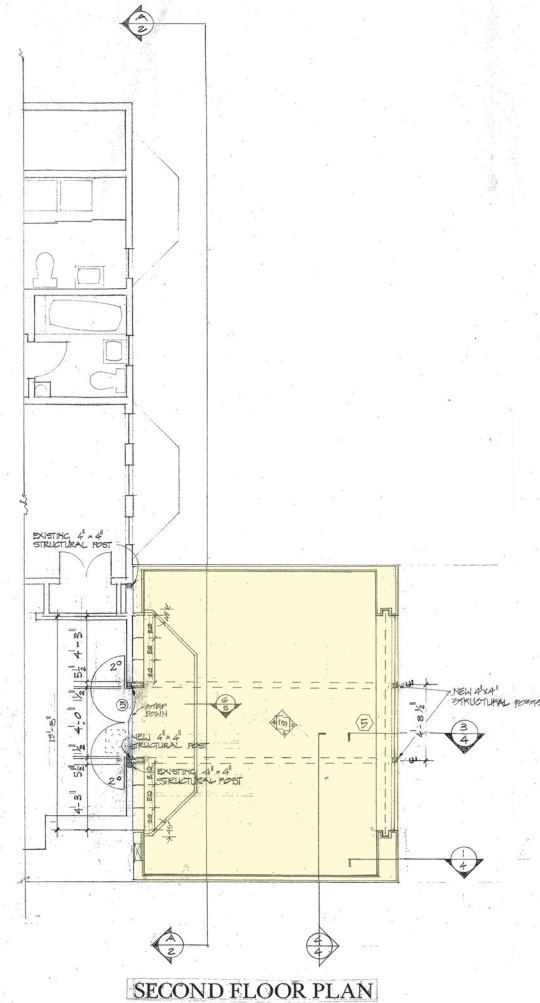
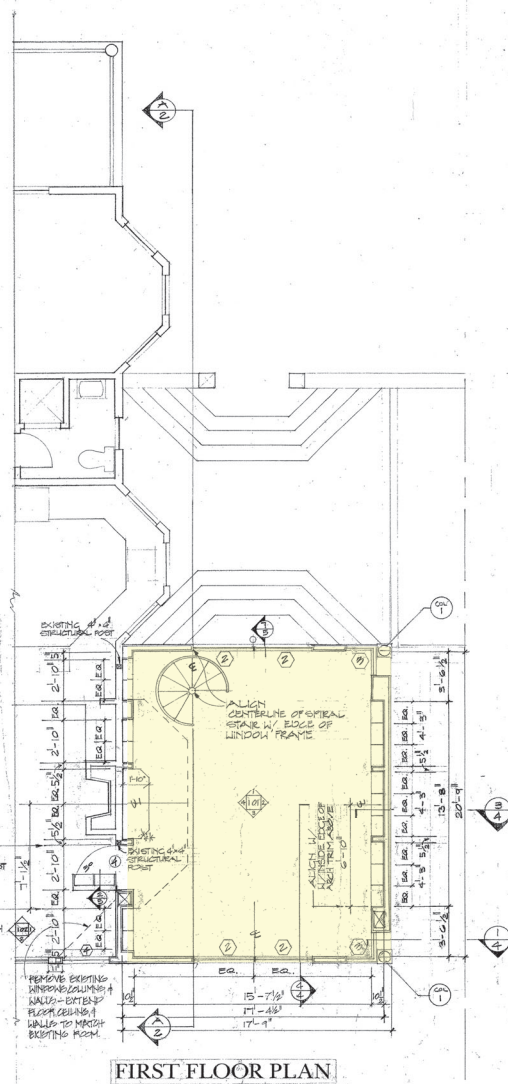
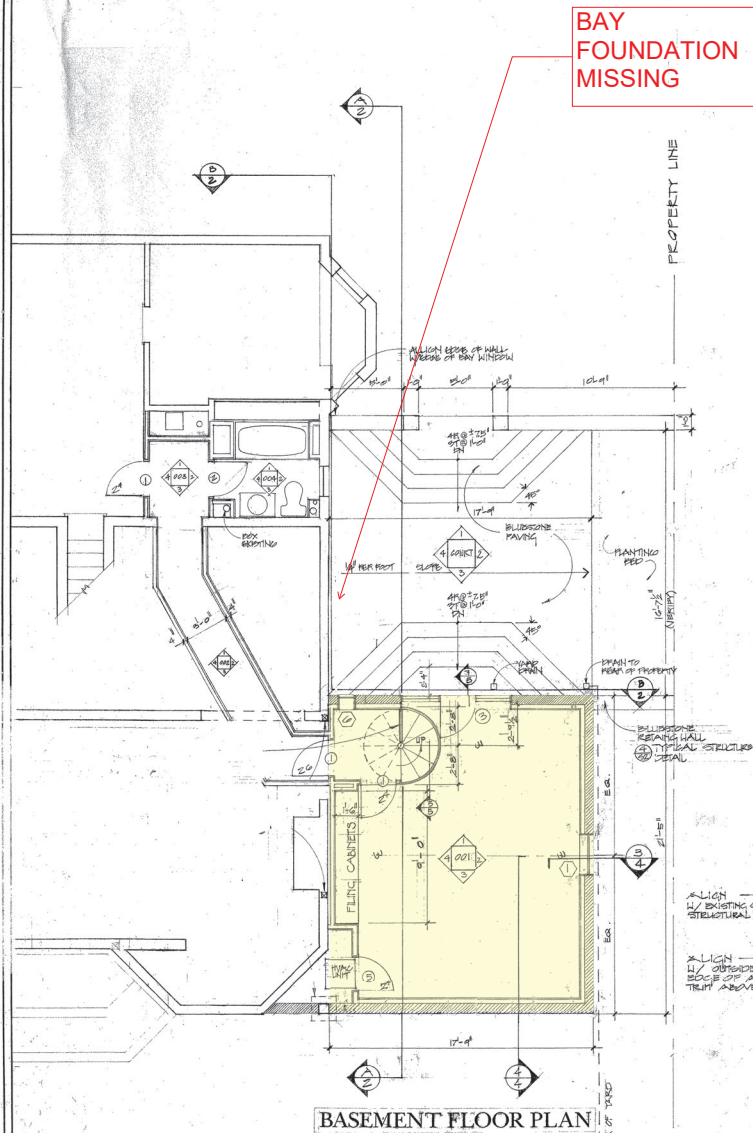
ROBERT BELL ARCHITECT
145 KENTUCKY AVE. S.E.
WASHINGTON, D.C.
200045

RICHARD REED & LESTIE BARR RESIDENCE
5 ORPATON PLACE

DEC. 21, 1973

SCALE 1/4" = 1'-0"

22



Source: $\frac{1}{4}$ inch = 1 centimeter.

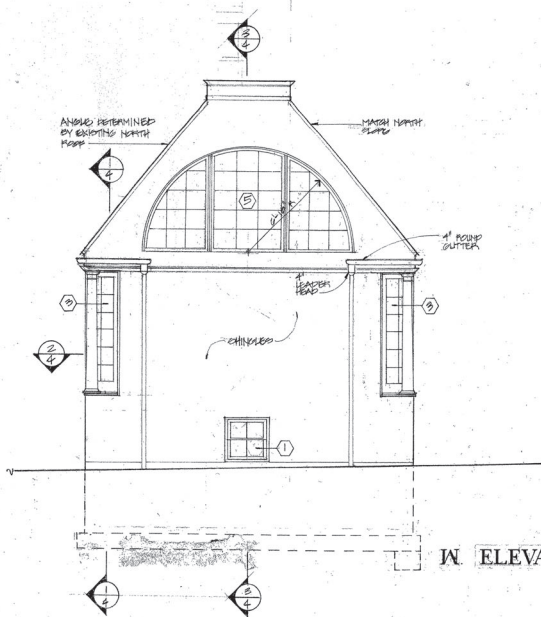
The above map shows the location of the three districts, boundaries and area figures. The boundaries shown are those of the 1990 census. The area figures are in square kilometers. The population figures are in thousands. The population figures are for the year 1990. The population figures are for the year 1990. The population figures are for the year 1990.

District	Area (km ²)	Population (thousands)	Year
1	1,234	123,456	1990
2	567	56,789	1990
3	890	89,012	1990

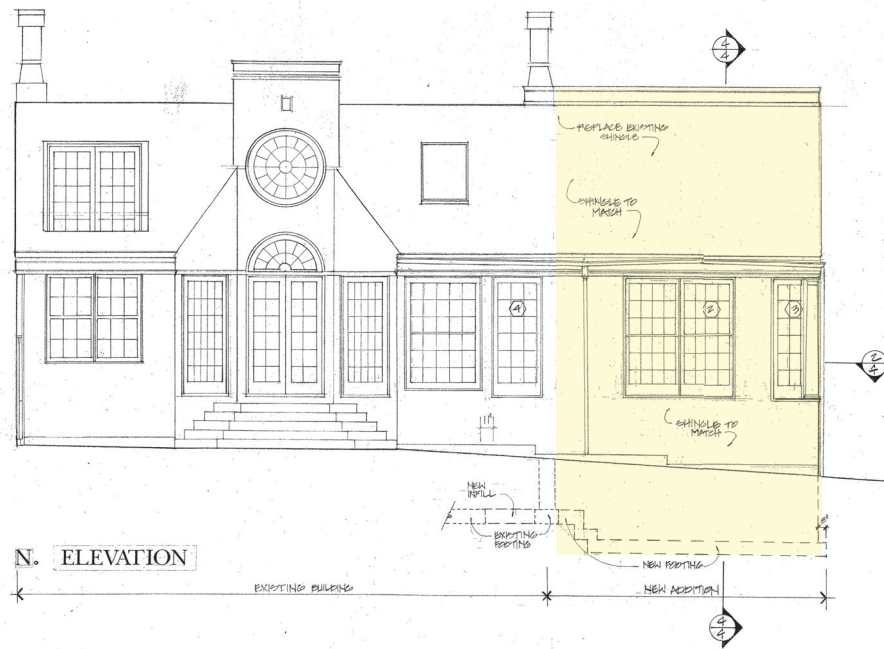
EXIST
1

PERLE RESIDENCE
5 CRAFTON ST.
HEWYCHASE, MD.

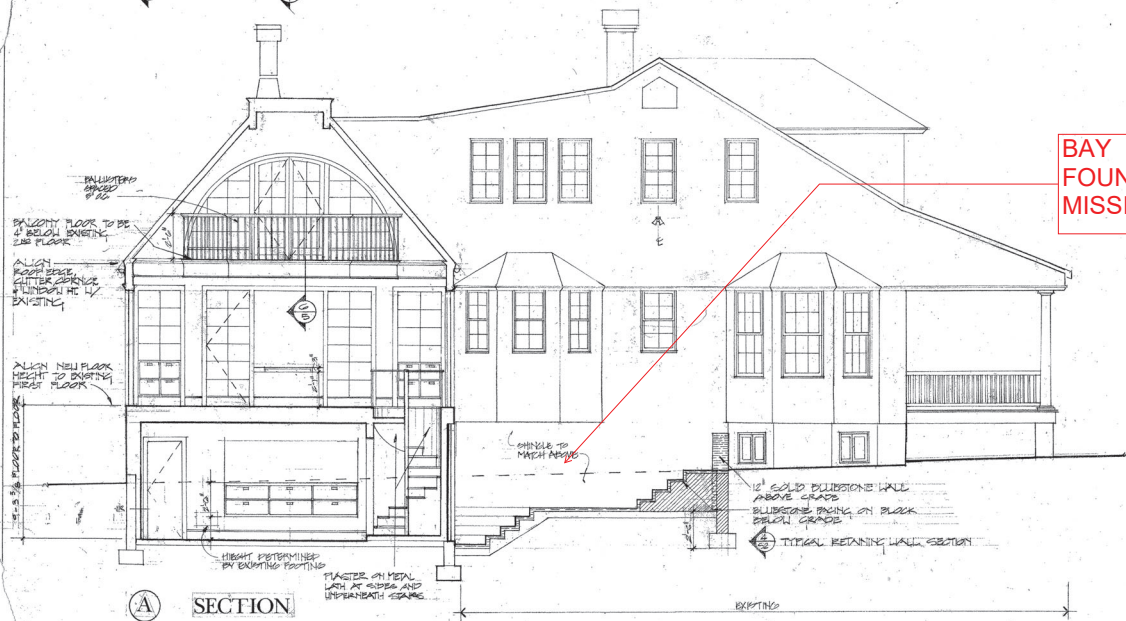
ROBERT A. BELL, A.I.A.
3920 P STREET, N.W., WASHINGTON, D.C. 20007



W. ELEVATION

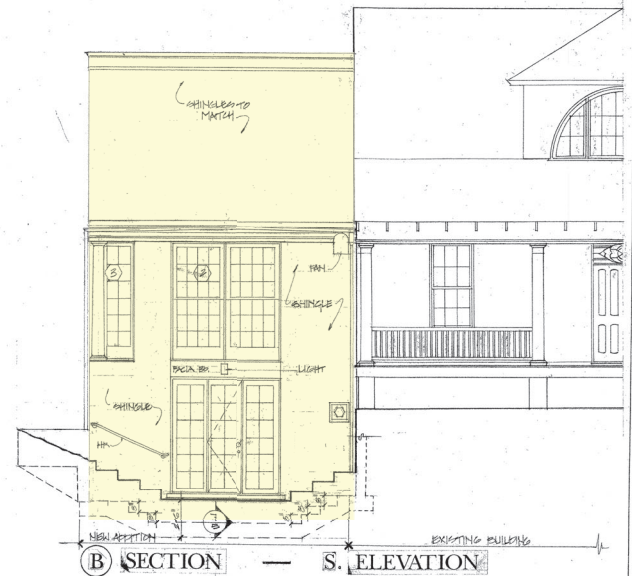


N. ELEVATION



SECTION A

BAY
FOUNDATION
MISSING



SECTION B — S. ELEVATION

ROBERT A. BELL, A.I.A.

1436 WISCONSIN AVENUE, N.W.
WASHINGTON, D.C. 20007
202-965-1199

PERLE RESIDENCE

DRAWING	SCALE	Revisions	Date

EXIST
2

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

MONTGOMERY COUNTY
Department of Permitting Services

Approved *A. Hehn*
Date *6/12/00*

MIN. CEILING HT. 7' 0"

THESE PLANS MUST COMPLY WITH
SECTION 302 OF THE 95
CABO 1 & 2 FAMILY DWELLING
CODE AS AMENDED BY MONT. CO.

DEPARTMENT OF PERMITTING SERVICES
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4183

INSPECTION APPROVAL

☒ Building ☐ Electrical Permit Number: 223741

☐ Sediment Type of Inspection: C-335-11 237424

Name of Inspector: [Signature] Telephone Number: 240-777-6210 Date: 1/22/01

Remarks: [Signature]

NOTE
THIS PERMIT DOES NOT INCLUDE
APPROVAL FOR ANY ELECTRICAL WORK.
YOU MUST HAVE A SEPARATE ELECTRICAL
PERMIT TO DO ANY ELECTRICAL WORK.

Electrical wiring must conform to the 96 National Electric Code and County Requirements.

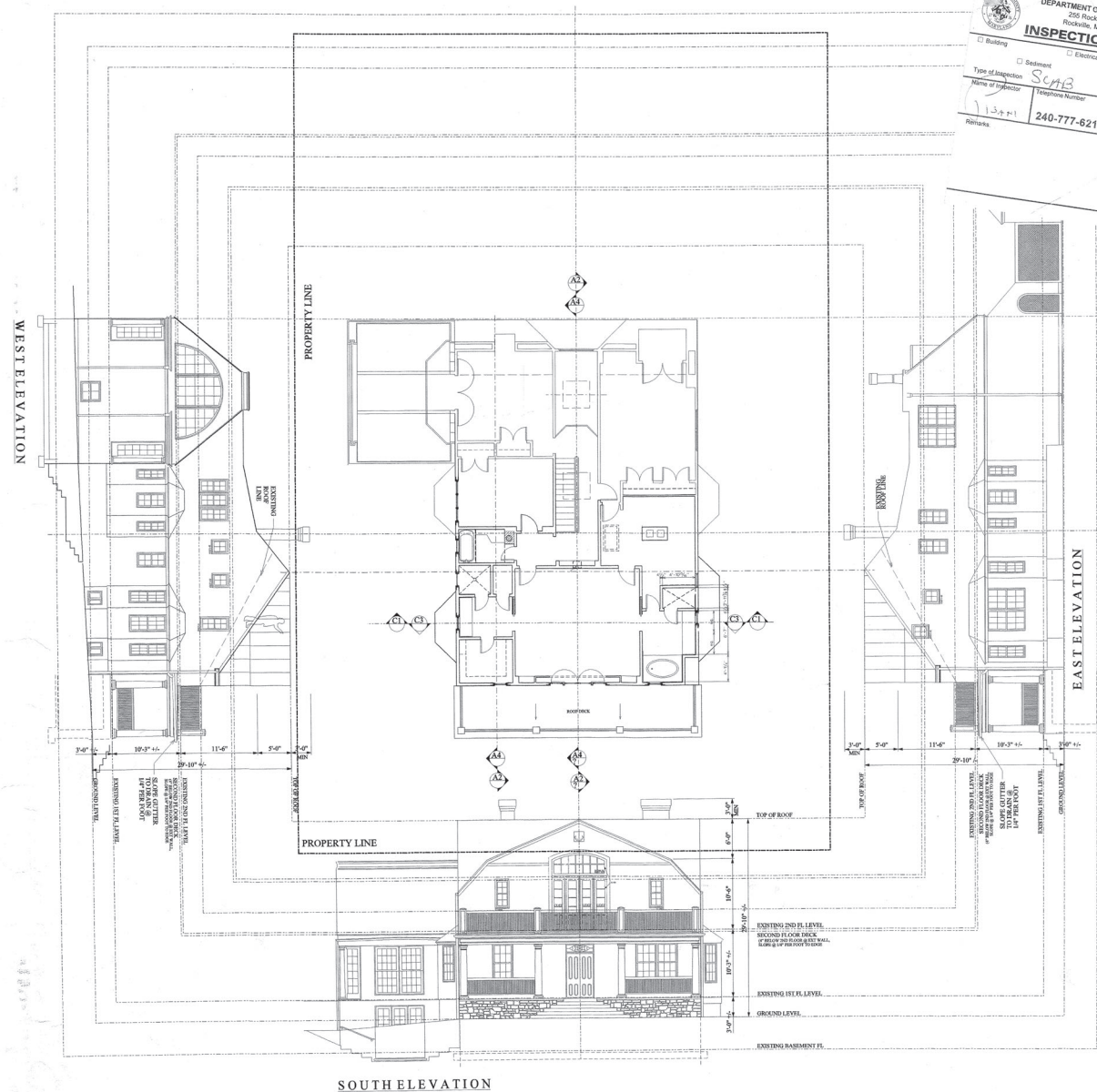
INDEX

- A0 - COVER SHEET
- A1 - FIRST FL AND BASEMENT PLANS
- A2 - ROOF PLAN &
SECOND FLOOR PLAN
- A3 - SOUTH ELEVATION
- A4 - EAST ELEVATION &
WEST ELEVATION
- A5 - SECTIONS
- A6 - INTERIOR ELEVATIONS
- A7 - INTERIOR ELEVATIONS
- A8 - WALL SECTION
- A9 - DETAILS
- E1 & M1 - ELECTRICAL PLAN &
MECHANICAL PLAN
- S1 - STRUCTURAL PLANS
- X1 - EXISTING FLOOR PLANS

**HISTORIC DISTRICT
ESTABLISHED IN 1998**

DESCRIPTION OF PROPERTY FROM MHT DETERMINATION FORM:

5 Grafton Street (1892-1916)
This house is representative of the rustic design and scale of residences built as Craftsman bungalows in the Village. The low pitched pyramidal roof, full-width front porch, and a huge, shingled dormer centered on the low-pitched roof mask what is actually a large scale residence.





NEW
FRONT
PORCH

ROBERT BELL ARCHITECTS

3230 "P" STREET, NW, WASHINGTON, D.C. 20007

T: 202-333-8412 F: 202-333-5150 E: rbell@erols.com

PERLE/BARR
RESIDENCE

5 GRAFTON STREET CHEVY CHASE, MARYLAND

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The contractor shall verify and be responsible for, all dimensions and conditions on the job and The Architect must be notified of any variations from the dimensions and the conditions shown in these drawings. Shop drawings must be submitted to this office for approval before proceeding with fabrication. Written dimensions shall have precedence over scaled dimensions.

S2



NEW WINDOW

CHIMNEY

AREAWAY HAS BEEN REMOVED

NEW GAMBREL ROOF & ROOF DECK

provide new pulldown stairs to attic 2x10's

DBL. DBL.

CRICKET

2x10s @ 16" O.C.

2x12s

4x4 POST

4x4 POST, UP 2'-6" high hand roll

ROOF DECK copper roof

handroll not included in permit

MCNEIL ARCHITECTS, P.C.

12/17/2016

APPROVED BY: [Signature]

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Date	Date
Date	Date

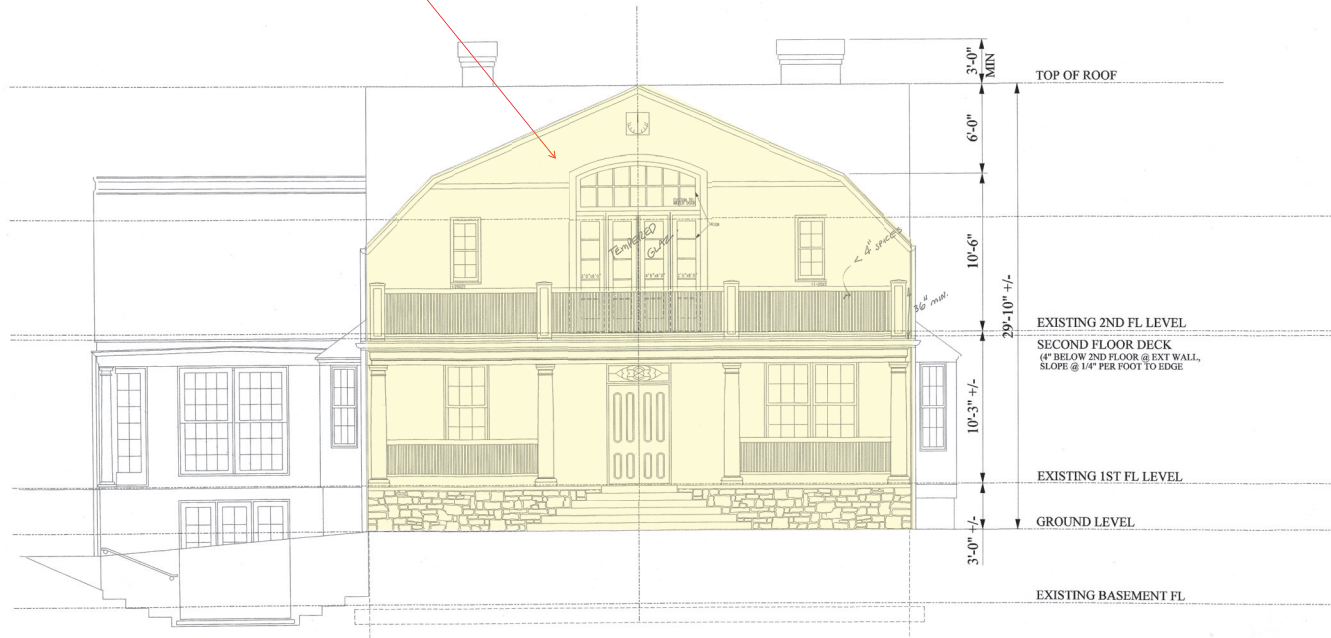
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F: 202-333-8412 F: 202-333-5150 E: rbell@erols.com

5 GRAFTON STREET CHEVY CHASE, MARYLAND

S1

NEW GAMBREL
ROOF, FRONT
PORCH & ROOF
DECK

AT SOME POINT
ALL WINDOWS
WERE REPLACED



SOUTH ELEVATION

MONTGOMERY COUNTY
PERMITTING SERVICES
APPROVED: [Signature]

ROBERT BELL ARCHITECTS

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PERLE/BARR
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5 GRAFTON STREET CHEVY CHASE, MARYLAND

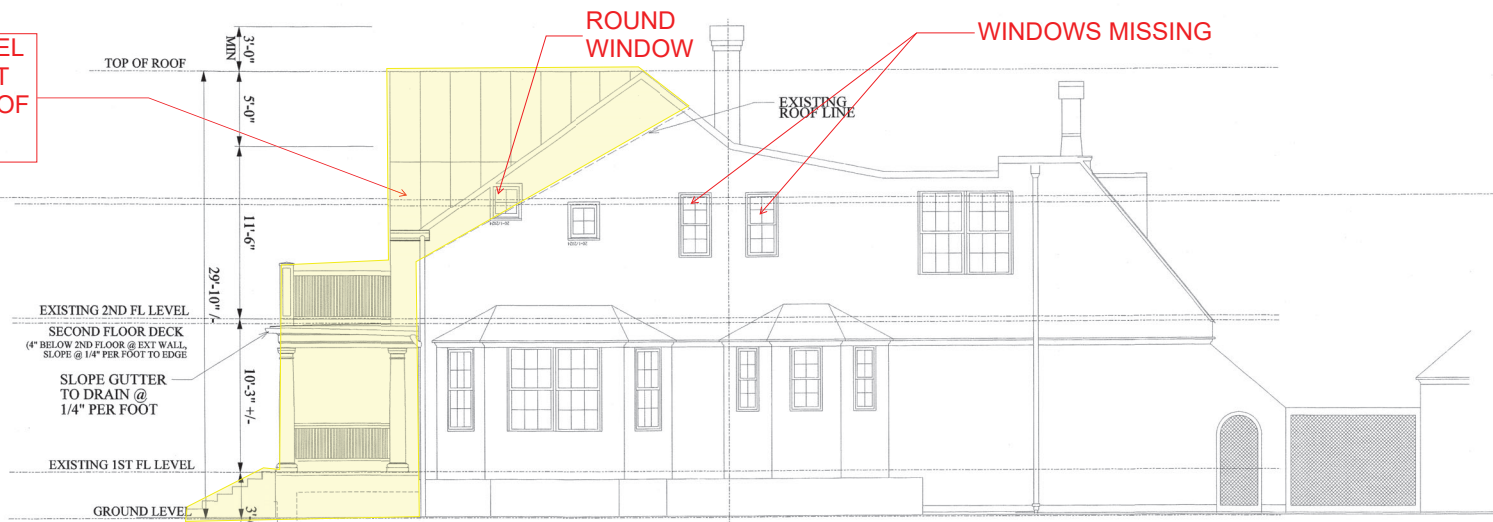
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Date	By	For

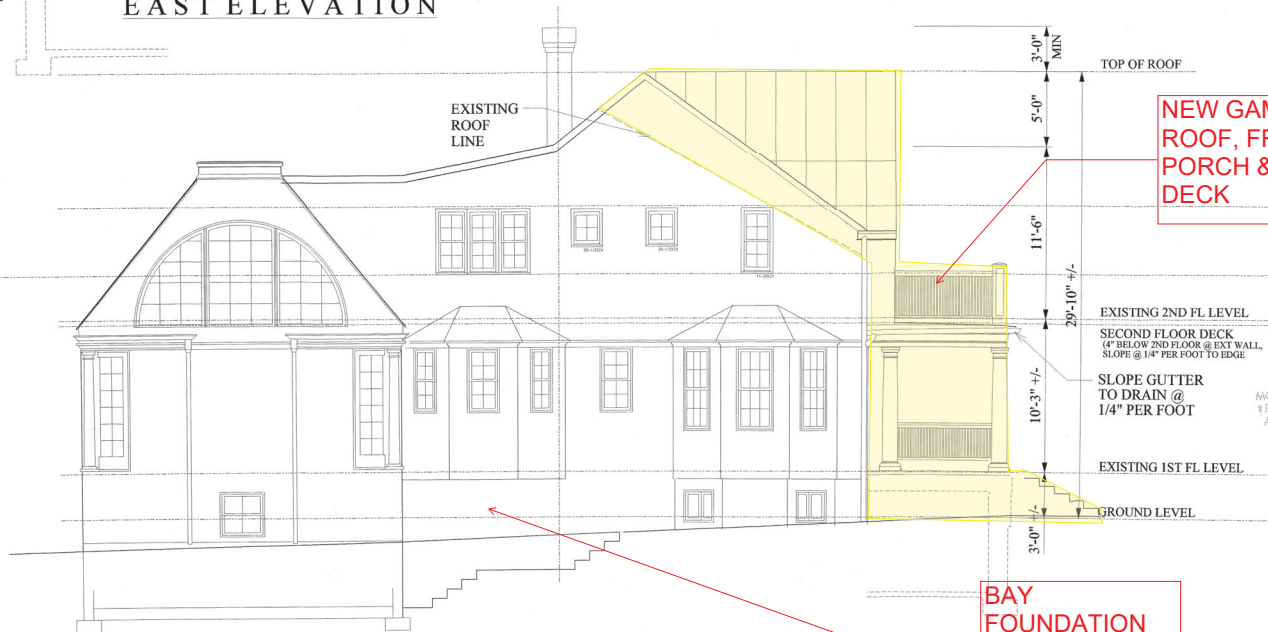
A3



NEW GAMBREL
ROOF, FRONT
PORCH & ROOF
DECK



EAST ELEVATION



WEST ELEVATION

NEW GAMBREL
ROOF, FRONT
PORCH & ROOF
DECK

BAY
FOUNDATION
MISSING

MONTGOMERY COUNTY
PERMITTING SERVICES
APPROVED AS NOTED

ROBERT BELL ARCHITECTS

3230 "P" STREET, NW, WASHINGTON, D.C. 20007
T: 202-333-8412 F: 202-333-5150 E: rbell@rba.com

PERLE/BARR
RESIDENCE

5 CRAFTON STREET CHEVY CHASE, MARYLAND

Permitting Services
The undersigned hereby certifies that the drawings and specifications submitted for review and approval are true and correct to the best of his knowledge and belief, and that he is a duly licensed professional engineer or architect in the State of Maryland.
Name _____ Title _____
Date _____

A4

