

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5804 Connecticut Avenue, Chevy Chase	Meeting Date:	3/24/2021
Resource:	Outstanding Resource Chevy Chase Village Historic District	Report Date:	3/17/2021
Applicant:	Barbara Winnik (Phillip Long, Architect)	Public Notice:	3/10/2020
Review:	HAWP	Tax Credit:	NA
Permit Number:	943562	Staff:	Michael Kyne
PROPOSAL: Alterations, hardscape , and rear alterations			

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource
STYLE: Prairie
DATE: c. 1892-1916



Fig. 1: Subject property, with the subject property marked by the blue star.

PROPOSAL

The applicant proposes alterations, ~~hardscape~~, and rear alterations at the subject property.

Staff notes that, although the public notice for this project included hardscape, the application actually states that the existing flagstone patio will remain unchanged. The proposal does not include any new hardscaping or alterations to existing hardscaping.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Sec. 24A-8. Same-Criteria for issuance.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; [emphasis added] or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.

Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny. Addition of compatible exterior storm windows should be encouraged, whether visible from the public right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged. Addition of security bars should be subject to lenient scrutiny, whether visible from the public right-of-way or not.

Secretary of the Interior’s Standards for Rehabilitation

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated

from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a c. 1892-1916 Outstanding Resource within the Chevy Chase Village Historic District. The house is oriented with its front to the south, although the primary right-of-way is Connecticut Avenue to the east. The property is surrounded on all sides by other residential properties, and it is accessed via a long, gated asphalt driveway from Connecticut Avenue.

The applicant proposes the following work items at the subject property:

- Enclose the existing open porch at the northeast (rear/right) corner.
 - The existing open crawlspace beneath the porch will be replaced with an enclosed foundation with stone veneer to match the existing house foundation.
 - The existing porch roof will remain unchanged.
 - The existing wood columns will be replaced in-kind, but they will be reconfigured to flank the new windows and doors.
 - The proposed new windows will be wood 6-over-1 SDL windows to match the style of the existing windows.
 - All trim and siding will be wood to match the features of the existing.
 - Two existing wooden doors will be replaced in-kind.
- To accommodate an expanded kitchen, several windows on the first floor of the east (right) elevation will be altered.
 - Two windows will be replaced with a bay window over the kitchen sink.
 - One window will be slightly relocated to the left of its current location.

Staff supports the proposed rear porch enclosure, finding it consistent with the *Guidelines*. The porch to be enclosed is at the rear, and it is compatible with the style and materials of the historic house. As stated in the *Guidelines*, rear porch enclosures have occurred throughout the historic district "... with little or no adverse impact on its character, and they should be permitted where compatibly designed."

Staff also supports the proposed window alterations. The *Guidelines* state that window alterations at Outstanding Resources should be reviewed with strict scrutiny. Regarding strict scrutiny, the *Guidelines* state "... planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care."

Although the 1927 Sanborn Fire Insurance Map (see Fig. 2 below) indicates that the portion of the building to be affected is original and/or historic, the proposed alterations are on a secondary elevation, and the proposed replacement windows are compatible with the style and materials of the historic house. Additionally, the proposed alterations will not be visible from the right-of-way, due to the property's location behind other houses on Connecticut Avenue. Accordingly, staff finds that the proposed window alterations will not compromise the integrity of character-defining features at the subject property.

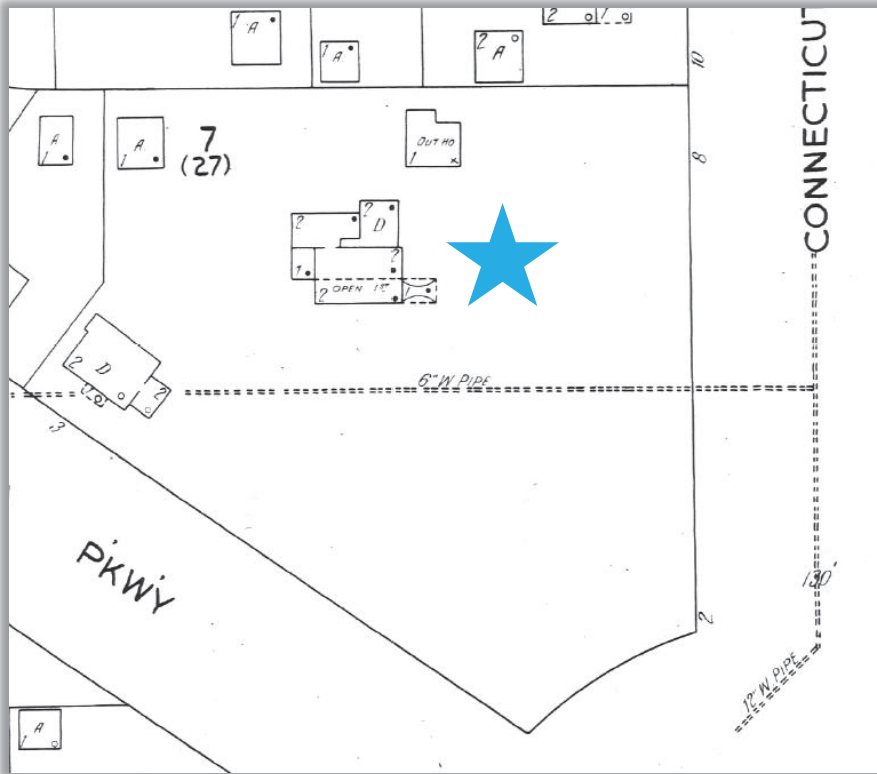


Fig. 2: 1927 Sanborn Fire Insurance Map, with subject property indicated by the blue star.

In accordance with *Standards #2 and #9*, the proposal will not remove or alter character-defining features of the historic house or surrounding streetscape. Per *Standard #10*, the proposed alterations can be removed in the future without impairing the essential form and integrity of the historic property and its environment.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*, and the *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP

application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 943562
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Barbara Winnik
Address: 5804 Connecticut Avenue
Daytime Phone: 301-706-7762

E-mail: bwinnik@gmail.com
City: Chevy Chase Zip: 20815
Tax Account No.: 07-00458397

AGENT/CONTACT (if applicable):

Name: Phillip Long
Address: 10 S. Bentz Street
Daytime Phone: 240-418-3204

E-mail: phil@cas-dc.com
City: Frederick Zip: 21701
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Chevy Chase Village
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 5804 Street: Connecticut Avenue
Town/City: Chevy Chase Nearest Cross Street: W. Irving Street
Lot: 22 Block: 27 Subdivision: Chevy Chase, Section Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>Exterior Alterations</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Barbara Winnik
Signature of owner or authorized agent

February 25, 2021

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Built as one of five original Chevy Chase Village homes in 1892 for the Vice President of the Chevy Chase Land Company, the Winnik residence is a single-family property featuring an electronically controlled gated entry opening to a long tree lined asphalt driveway leading to a circa 1892 two story main house with original porte cochere, detached guest house, and large open parking area. The main house features a large covered wood decked front porch with original brick piers and turn-of-century corbel brackets. Windows are a combination of old as well as modern double glazed/insulated simulated divided lites, all coordinated and in the style of the original window/door design package. The house is clad in a combination of painted white wood siding and white painted pebble-dash stucco. All trim is painted white. Shutters are painted a dark green color. There is a covered rear porch, also wood decked with an adjoining large open flagstone patio. The detached guest house features a full kitchen, full bath, bedroom, living room, and an exterior attached pergola. The landscaping features an allee of large magnolias, a garden parterre, fountain/pond, and gazebo.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The extent of renovation to the exterior of the Winnik residence is limited to closing-in of the existing open rear porch for an expanded kitchen, new mudroom, and new small sitting area. The footprint of the existing rear porch will remain, although altered to have an enclosed stone veneered foundation wall (to match existing foundation walls) in lieu of the existing open crawl space. The existing porch roof will remain unchanged. Existing wood columns will be replaced with matching new columns of the exact same style and white painted finish but reconfigured to flank new window and door layouts. Two 1st story kitchen windows on the existing east elevation will be replaced with an architecturally coordinated small bay window (over kitchen sink) to the existing house style, with a single window slightly relocated to the left of an existing window. All new windows will be wooden exteriors and interiors with 6 over 1 simulated divided lites, wooden casing, and wood panels below windows, all painted white to match existing house. Two exterior wooden doors will be replaced but matched to the existing wood doors, also painted white. All trim boards, crown assemblies, and siding will be wood and will be duplicated in style, size, layout, and finish (painted white). Existing flagstone patio will remain unchanged.

G. L. SMITH ASSOCIATES, INC.

2908 M STREET, N.W
WASHINGTON, D.C. 20007
Tel: 202-333-8603 * Fax: 202-333-8602

1. Residence for:

Ms. Barbara Winnik
5804 Connecticut Avenue
Chevy Chase, MD 20815
Lot 22
Lot Size: 31,088

2. Description of Property:

Built as one of five original Chevy Chase Village homes in 1892 for the Vice President of the Chevy Chase Land Company, the Winnik residence is a single-family property featuring an electronically controlled gated entry opening to a long tree lined asphalt driveway leading to a circa 1892 two story main house with original porte cochere, detached guest house, and large open parking area. The main house features a large covered wood decked front porch with original brick piers and turn-of-century corbel brackets. Windows are a combination of old as well as modern double glazed/insulated simulated divided lites, all coordinated and in the style of the original window/door design package. The house is clad in a combination of painted white wood siding and white painted pebble-dash stucco. All trim is painted white. Shutters are painted a dark green color. There is a covered rear porch, also wood decked with an adjoining large open flagstone patio. The detached guest house features a full kitchen, full bath, bedroom, living room, and an exterior attached pergola. The landscaping features an allee of large magnolias, a garden parterre, fountain/pond, and gazebo.

3. Renovated/Altered Features, Scope of Work, and Materials:

The extent of renovation to the exterior of the Winnik residence is limited to closing-in of the existing open rear porch for an expanded kitchen, new mudroom, and new small sitting area. The footprint of the existing rear porch will remain, although altered to have an enclosed stone veneered foundation wall (to match existing foundation walls) in lieu of the existing open crawl space. The existing porch roof will remain unchanged. Existing wood columns will be replaced with matching new columns of the exact same style and white painted finish but reconfigured to flank new window and door layouts. Two 1st story kitchen windows on the existing east elevation will be replaced with an architecturally coordinated small bay window (over kitchen sink) to the existing house style, with a single window slightly relocated to the left of an existing window. All new windows will be wooden exteriors and interiors with 6 over 1 simulated divided lites, wooden casing, and wood panels below windows, all painted white to match existing house. Two exterior wooden doors will be replaced but matched to the existing wood doors, also painted white. All trim boards, crown assemblies, and siding will be wood and will be duplicated in style, size, layout, and finish (painted white). Existing flagstone patio will remain unchanged.









5804 Connecticut Avenue

List of Adjoining and Confronting Properties:

5808 Connecticut Avenue
Chevy Chase, MD 20815

5810 Connecticut Avenue
Chevy Chase, MD 20815

5800 Connecticut Avenue
Chevy Chase, MD 20815

3 Magnolia Parkway
Chevy Chase, MD 20815

5 Magnolia Parkway
Chevy Chase, MD 20815

7 Magnolia Parkway
Chevy Chase, MD 20815

4 W. Irving Street
Chevy Chase, MD 20815

8 W. Irving Street
Chevy Chase, MD 20815

WINNIK RESIDENCE

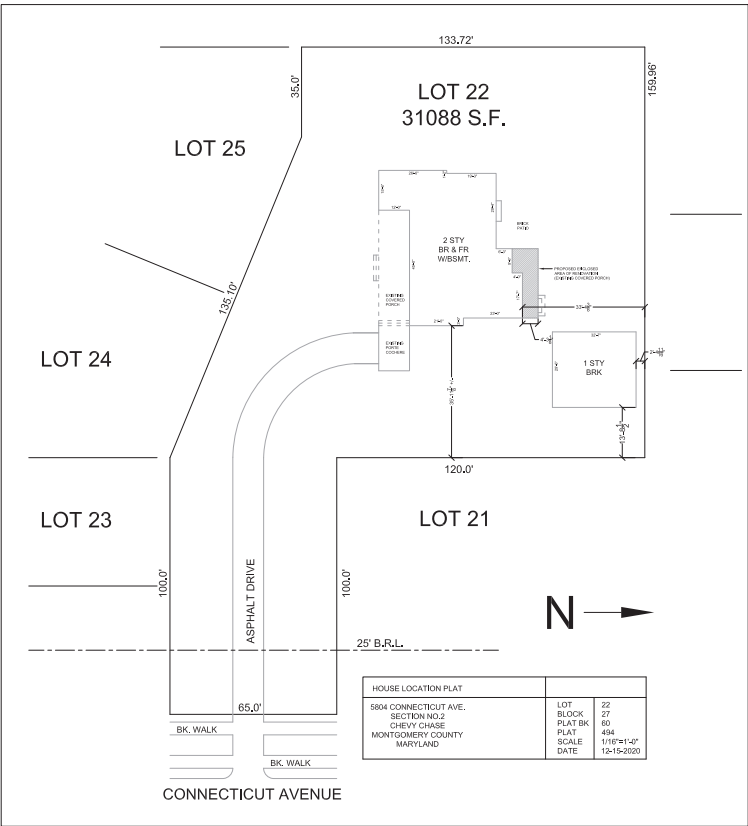
5804 CONNECTICUT AVENUE, CHEVY CHASE, MD 20815

DESIGN BY:
G.L. SMITH ASSOCIATES, INC.
2908 M STREET NW
WASHINGTON, DC 20007

PROJECT SCOPE OF WORK

SCOPE OF WORK

- RENOVATE AND ENLARGE KITCHEN TO ADD NEW INTERIOR SITTING AREA AND MUDROOM, INCLUDING:
1. ENCLOSE EXISTING REAR PORCH PER FLOORPLANS AND ELEVATIONS
 2. REPLACE ALL KITCHEN CABINETS, APPLIANCES, PLUMBING FIXTURES/FITTINGS, LIGHTING
 3. ADD NEW BAY WINDOW AND RE-ORIENT EXISTING EAST 1ST FLOOR WINDOWS TO NEW LOCATIONS.
 4. EXTERIOR: RETAIN EXISTING REAR PORCH ROOF AND GUTTERS, ADD NEW WINDOWS/DOORS, STEPS



LOT INFORMATION

PROJECT ADDRESS:	5804 CONNECTICUT AVENUE, CHEVY CHASE, MD 20815
EXISTING BUILDING AREA:	717 SF - GROUND FLOOR (TOTAL)
EXISTING RENOVATED BUILDING AREA:	717 SF - GROUND FLOOR (TOTAL)
PROPOSED NEW BUILDING AREA (CONDITIONED SPACE):	717 SF - GROUND FLOOR (TOTAL)
PROPOSED NEW BUILDING AREA (UNCONDITIONED SPACE):	22 SF - PORCH
CONSTRUCTION TYPE:	N/A
FULLY SPRINKLERED:	YES (IS IT HARDWIRED, ON A DEDICATED CIRCUIT?)
SMOKE DETECTORS:	YES (IS IT HARDWIRED, ON A DEDICATED CIRCUIT?)

SHEET SCHEDULE

SHEET SCHEDULE	
(1) G-0	COVER SHEET, GENERAL AND PROJECT NOTES
(2) G-1	GENERAL PROJECT AND SCOPE OF WORK NOTES
(3) G-2	GENERAL NOTES
(4) G-3	GENERAL NOTES
(5) A-1	SCOPE OF WORK AND DEMOLITION PLANS
(6) A-2	EXISTING & PROPOSED FLOOR PLANS AND EXTERIOR ELEVATIONS
(7) K-1	NEW KITCHEN & MUDROOM FLOOR PLAN AND ELEVATIONS
(8) E-1	PROPOSED LIGHTING AND ELECTRICAL LAYOUTS, AND FIXTURE SCHEDULES
(9) P-1	WINDOW/PLUMBING/APPLIANCE SCHEDULES
(10) S-1	STRUCTURAL PLANS, NOTES AND DETAILS

G.L. SMITH ASSOCIATES
2908 M ST NW
WASHINGTON, DC 20007

PROJECT

WINNIK
RESIDENCE

DATE

2/15/2021

SCALE

AS NOTED

DRAWING BY

D.Y.G.

APPROVED BY

G.L.S.

REVISIONS

DRAWING NAME

COVER SHEET

SHEET #

G-0

SITE WORK GENERAL NOTES

- SCOPE OF WORK
- REMOVE AND DEMOLISH EXISTING TO ADD NEW INTERIOR SETTING AREAS AND MASONRY, INCLUDING:
1. EXISTING EXTERIOR NEAR PORCHES FOR EXTERIOR AREAS AND PLUMBING
 2. REPLACE ALL KITCHEN CABINETS, APPLIANCES, PLUMBING FIXTURES/FITTINGS, LIGHTING
 3. ADD NEW BAY WINDOW AND RE-ORIENT EXISTING EAST 1ST FLOOR WINDOWS TO NEW LOCATIONS
 4. INTERIOR, RETAIN EXISTING NEAR PORCH ROOF AND GUTTERS, ADD NEW WINDOWS/DOORS, STOPS
- SITE WORK GENERAL NOTES
1. GENERAL: FURNISH ALL LABOR, TOOLS AND EQUIPMENT AND MAINT EXCAVATIONS OF CODE DEPTH IN EARTH FOR TRENCHES AND STRUCTURES, REMOVE DISCUSSIBLE EXISTING MATERIAL, BACKFILL SUCH EXCAVATIONS, TURNISH NECESSARY MATERIAL AND CONSTRUCT DIMENSIONAL AND FULL, TURNISH SPECIFIED GRAIN PILE AND PROVIDE NECESSARY FILL WALLS, RETAINING WALLS, BUILD SAFE BERM, AND DEMO AS AN APPLICATION
 2. DEMOLITION: THE CONTRACTOR IN THE FIELD SHALL ADDRESS AND DETERMINE THE METHOD FOR DEMOLITION, SHORING, AND FORMING NEW FOOTINGS AND FOUNDATIONS WALLS. THE DEMOLITION CONTRACTOR SHALL USE ALL NECESSARY PRECAUTIONS WHEN DEMOLITION AT OR NEAR EXISTING BUILDING FOUNDATIONS, TRENCH, ETC.
 3. MASONRY: CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO BRACE THE FOUNDATION WALLS WHEN BACKFILLING, BACKFILLING AGAINST SUCH WALLS SHALL BE DONE IN SUCH A MANNER AS TO NOT DAMAGE THE WALLS AND SHALL BE WELL-TAMPED TO MINIMIZE SETTLING OF SOIL
 4. GRAIN PILE: FOUR (4) INCH DIAMETER PRECASTED PILE GRAIN PILE, ALL JOINTS TO BE TONGUE AND GROOVE TYPE. SET PIPE WITH PERFORM BACKFILLING DOWNWARD, FINISHED PILE TO BE STRAIGHT AND FREE FROM CRACKS OR OTHER DEFECTS. SLOPE TO BE SET FOR 10°-12°, MINIMUM. COVER WITH 12" DEEP MINIMUM GRAVEL WITH 1/2" FINE FABRIC BETWEEN GRAVEL AND SURROUNDING SOIL. RUN TO GRADE, PUMP PUMP, DRIVEWELL, OR TO INTO EXISTING, AS APPROPRIATE.
 5. WATER: PROVIDE NECESSARY LINES AND HOOD-UP TO WATER SUPPLY SYSTEM. PROVIDE METERS, CONTROLS, VALVES AS APPROPRIATE.
 6. SEWER: WASTE DISPOSAL SYSTEM TO CONFORM TO LOCAL CODES, VERIFY SIZE AND LAYOUT.
 7. MASON: PROVIDE MAJOR VENT SYSTEM WHERE REQUIRED BY COUNTY AND STATE CODES. CONTRACTOR TO ENSURE ALL WORK IS DONE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 8. TREES/ROOTING: TREAT BACKFILL WITH AN APPROVED SOLUTION. DO NOT APPLY WHEN SOIL IS WET. DO NOT USE OIL SOLUTION NEAR UPON BARREN. PEST CONTROL SHALL BE ONE OF THE FOLLOWING: "COMET", "TERMINAL", OR "MARGARITA PEST".
 9. A. FOUNDATIONS: RATE A GALLONS PER 10 LINEAL FEET OR AS RECOMMENDED BY PEST CONTROL. SERVICE BOTH SIDES OF FOUNDATION PORE, INTERIOR WALLS, PLUMBING, ETC. MIX CHEMICAL WITH SOIL AS IT IS REMOVED.
 9. B. UNDERSLAB: RATE A GALLON PER 10 SQUARE FEET OR AS RECOMMENDED BY PEST CONTROL. SERVICE INCLUDING PORCHES AND ENTRANCE PLATFORMS, ETC.
 10. TREES: TO BE PROTECTED DURING CONSTRUCTION. SET SITE PLAN FOR LOCATION OF TREES TO BE REMOVED (IF APPLICABLE). CONTRACT OWNER REMOVE CUTTING ANY TREES. COORDINATE WITH OWNER THE RELOCATION OF EXISTING TREES OR OTHER PLANTS AS NECESSARY FOR NEW DESIGN WORK.
 10. SEWAGE CONTROL: CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST THE DEPOSIT OF SOIL, GRAVEL, OR OTHER MATERIAL ON ANY PUBLIC PROPERTY OR OTHER NEIGHBORING PROPERTY AND LOCAL GOVT CODE REQUIREMENTS.
 11. MOUND GRADING: ALL TOSSES REMOVED FOR DEMOLITION TO BE REDISTRIBUTED IN FINAL GRADING, AS MAY BE APPLICABLE. INSURE ADEQUATE SLOPING OF GRADE FROM STRUCTURE IN ALL AREAS. INSURE THAT NO MINOR AND MAJOR DEPRESSIONS, SOFT SOIL, AND HOT NATAL WET AND WINDING AREAS EXIST. RESSES AND TERRACE, COVER WITH STRAP. PROTECT AND INSURE NO EROSION. RESCO WHERE NECESSARY IN AREAS LACKING IN PROFILE TOPSOIL. INCLUDE MAJOR SITE DRAINAGE & DRAINAGE FROM ALL STRUCTURES, TOWARDS PROPER OWNERS AND CORRECT DIRECTION OF FLOW.

DEMOLITION GENERAL NOTES

- DEMOLITION GENERAL NOTES
1. GENERAL: CONTRACTOR SHALL PROVIDE DEMOLITION AS REQUIRED TO OBTAIN THE RESULTS AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS AND REMOVE ALL TRASH AND EXCESS MATERIAL FROM THE SITE.
 2. SHORING: ALL TEMPORARY SHORING, BRACING, ETC. REQUIRED FOR THE REMOVAL OF EXISTING WORK AND/OR FOR THE INSTALLATION OF NEW WORK, SHALL BE INCLUDED IN THIS CONTRACT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE WORK AND SHALL MAINTAIN ACCESS TO COST TO THE OWNER ANY DAMAGE CAUSED BY IMPROPER SUPPORT OR FAILURE OF SHORING IN ANY RESPECT. WHEN TEMPORARY SUPPORTS ARE COMPLETED, THE CONTRACTOR SHALL REMOVE ALL SHORING, TEMPORARY BRACING, AND SIMILAR ELEMENTS.
 3. CUTTING & PATCHING: EXISTING WORK SHALL BE CUT, DRILLED, ACTIVELY, REMOVED OR TEMPORARILY REMOVED AND REPLACED AS NECESSARY FOR THE PERFORMANCE AND EXECUTION OF THE CONTRACT. WORK THAT IS REPLACED SHALL MATCH EXISTING EXTERIOR WORK, HOWEVER, IN LESS OTHERWISE PROVIDED FOR BY THE DRAWINGS AND/OR SPECIFICATIONS, NO STRUCTURAL MEMBERS SHALL BE CUT OR ALTERED WITHOUT THE AUTHORIZATION OF THE ENGINEER OF RECORD. WORK REMAINING IN PLACE WHICH IS DAMAGED OR DETACHED BY REASON OF WORK DONE UNDER THIS CONTRACT SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. IF REMOVAL OF EXISTING WORK EXPOSES DISCOLORATION OR UNDESIRABLE SURFACES, OR WORK AS DAMAGED, SUCH SURFACES SHALL BE REFINISHED OR THE MATERIALS SHALL BE REPLACED AS NECESSARY TO MAKE CONTINUOUS WORK UNIFORM AND UNIFORMOUS.
 4. FLOORS: EXISTING FLOOR AND UNDERLAYMENT TO BE REMOVED IN ENTIRETY. CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR BEARING WALLS, ETC. PRIOR TO DEMOLITION.
 5. WALLS: REMOVE ALL EXISTING WALLS AS NOTED ON PLANS AND AS REQUIRED FOR NEW DESIGN. PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR BEARING WALLS, ETC. PRIOR TO CONSTRUCTION.
 6. DOORS & WINDOWS: REMOVE ALL EXISTING DOORS AND WINDOWS IN ENTIRETY, STRIP ORNAMENTAL OF ALL TRIM, HARDWARE, ETC., INFILL OR ENLARGE WALL OPENINGS AS REQUIRED. COORDINATE WITH DRAWINGS AND SPECIFICATIONS IN DRAWINGS FOR LOCATIONS AND SIZES OF NEW DOORS AND WINDOWS.
 7. CEILINGS: REMOVE CEILING FINISHES AND STRUCTURE IN ENTIRETY. PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR BEARING WALLS, ETC. PRIOR TO DEMOLITION.
 8. ELECTRICAL: REMOVE ALL EXISTING WIRING, OUTLETS, SWITCHES, CONDUITS, PIPES, ETC. CHECK ALL WIRING FROM ROW TO SUB-PANEL. CUT AND CAP PIPES (COOL) AND LINES TO BE ABANDONED. REMOVE ALL ABANDONED OR NON-WORKING ELECTRICAL COMMUNICATION LINES AND TUBES FROM THE EXTERIOR OF THE STRUCTURE.
 9. PLUMBING: DISCONNECT/RELOCATE EXISTING SUPPLY AND DRAIN LINES IN AREAS TO BE RENOVATED.
 10. HVAC: DISCONNECT/RELOCATE EXISTING SUPPLY/RETURN LINES IN AREAS TO BE RENOVATED.
 11. LANDSCAPE: REVIEW ITEMS TO BE REMOVED WITH OWNER/DESIGNER PRIOR TO START OF WORK.
 12. SUE: ALL FURNITURE, CABINETS, ETC. ARE TO BE REMOVED IN PLACE FOR POSSIBLE REUSE AS INSTRUCTED BY DESIGNER AND/OR OWNER. DISPOSAL ONLY AFTER PRIOR REVIEW/APPROVAL OF DESIGNER AND/OR OWNER.

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PROJECT GENERAL NOTES

- PROJECT GENERAL NOTES:
1. THE CONSTRUCTION OF THE PROJECT, AS DESCRIBED ON THE DRAWINGS AND SPECIFICATION HEREIN, CONSTITUTES THE SCOPE OF WORK. CONTRACTOR TO PROVIDE ALL WORK NECESSARY FOR THE COMPLETION OF THE PROJECT, INCLUDING: FURNISH LABOR, EQUIPMENT, AND MATERIALS, OBTAIN PERMITS, AND FURNISH SYSTEMS AS DESCRIBED WITHIN THE DRAWINGS AND SPECIFICATIONS.
 2. BY ACCEPTING THE OWNER CONTRACT AGREEMENT, THE CONTRACTOR REPRESENTS THAT:
 - A. HE HAS READ AND UNDERSTANDS THE CONTRACT DOCUMENTS AND THE AGREED CONTRACT AMOUNT WAS CREATED IN ACCORDANCE THEREWITH.
 - B. HE HAS VERIFIED THE SITE AND THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
 - C. THE CONTRACT AMOUNT IS BASED UPON THE MATERIALS, SYSTEMS, AND EQUIPMENT DESCRIBED IN THE CONTRACT DOCUMENTS WITHOUT EXCEPTION.
 3. ALL WORK IS TO BE DONE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS. CONTRACTOR SHALL CONFORM TO ALL U.S.A. REQUIREMENT. APPROVAL OF THESE DRAWINGS BY GOVERNING AUTHORITIES DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE CODES AND STANDARDS.
 4. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY & COSTS FOR THE FOLLOWING:
 - A. BUILDING PERMITS, LICENSES, INSPECTIONS AND OTHER LOCAL, IMPACT FEES.
 - B. LIABILITY AND WORKMAN'S COMPENSATION INSURANCE, ETC.
 - C. AND OTHER ITEMS NOTED ON DRAWINGS/SPECIFICATIONS.
 5. CONTRACTOR SHALL REVIEW CONTRACT DOCUMENTS AND FIELD CONDITIONS AND OBTAIN DRAWINGS WITH EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO BEGINNING/START OF WORK TO ASCERTAIN THE FULL AMOUNT OF WORK INVOLVED. THE CONTRACTOR WILL BE REQUIRED TO DISCUSS ALL LABOR AND PROTECT ALL MATERIALS TO CARRY OUT ALL THE WORK REQUIRED TO OBTAIN THE RESULTS AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS. WHETHER SUCH AND OTHER ITEMS IS MENTIONED OR NOT. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR SUCH WORK OR MATERIALS AS ARE NOT SHOWN ON THE DRAWINGS AND/OR SPECIFIED, BUT WHICH ARE REQUIRED TO OBTAIN THE ABOVE MENTIONED RESULTS.
 6. CHECK ALL DIMENSIONS ON JOB AND FULLY VERIFY PRIOR TO EXECUTION. ALL ELEVATIONS GIVEN ARE APPROXIMATE AND ARE GIVEN FOR RELATIONAL PURPOSES. CONTRACTOR SHALL ESTABLISH EXACT LEVELS PRIOR TO START OF WORK AND NOTIFY DESIGNER AND OWNER OF ANY SIGNIFICANT DISCREPANCIES. CONTRACTOR SHALL NOT SCALE DRAWINGS.
 7. CONTRACTOR TO VISIT SITE AND COMPLETELY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS PRIOR TO EXECUTION OF ANY CONSTRUCTION. DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS SHALL BE REPORTED TO DESIGN AND/OR OWNER FOR CLARIFICATION PRIOR TO COMMENCEMENT OF WORK. CONTRACT DESIGNER AND/OR OWNER PRIOR TO EXECUTING ANY WORK IN QUESTION.
 8. IF THERE IS ANY INCONSISTENCY IN THE DRAWINGS, OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, UNLESS OTHERWISE DECIDED IN WRITING BY THE DESIGNER AND/OR OWNER, AND ENGINEER, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY OF, OR GREATER QUANTITY OF, WORK OR MATERIALS IN ACCORDANCE WITH THE DESIGNER'S INTERPRETATION. UNLESS A PHYSICAL OR REPRESENTATIVE DETAIL IS SHOWN ON THE DRAWINGS, SUCH DETAIL SHALL CONSTITUTE THE STANDARD OF WORKMANSHIP AND MATERIALS THROUGHOUT CORRESPONDING PORTIONS OF THE WORK. WHEN NECESSARY, THE CONTRACTOR SHALL ADJUST LABOR/ESTIMATE FOR USE IN CORRESPONDING PORTIONS OF THE WORK IN A MANNER THAT IS SATISFACTORY TO DESIGNER/ENGINEER/OWNER. IF IT IS NOT INTENDED TO MENTION EVERY ITEM OF WORK, IN THE SPECIFICATIONS WHICH CAN BE ADEQUATELY SHOWN ON THE DRAWINGS, NOR TO SHOW ON THE DRAWINGS ALL ITEMS OF WORK DESCRIBED OR REQUIRED BY THE SPECIFICATIONS THEN THEY ARE OF SUCH NATURE THAT THEY COULD HAVE BEEN SPECIFIED HEREIN OR SHOWN THEREON. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEN CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
 9. THE DESIGNER WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE DESIGNER WILL BE RESPONSIBLE FOR THE FAILURE OF THE OWNER OR HIGHER CONTRACTS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.
 10. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 11. CONTRACTOR TO PROVIDE FULL TIME SUPERVISION AND ACCURATE RECORDS OF ALL TIME AND MATERIALS INVOLVED IN THE COMPLETION OF THE PROJECT. CONTRACTOR TO BE RESPONSIBLE FOR THE SUB-CONTRACTORS AND THE PERFORMANCE/COORDINATION OF ALL ASSOCIATED TRADES. THE CONTRACTOR SHALL MAINTAIN THE PROJECT SUBJECT TO SUPERVISOR, COORDINATING AND SUPERVISING THE SUB-CONTRACTOR'S WORK. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK DONE IN ACCORDANCE WITH THE INSTRUCTIONS OF THE CONTRACTOR SUBJECT TO THE TERMS HEREIN PROVIDED. SUPERVISION AND DIRECTION OF THE WORK OF ALL THE SUB-CONTRACTORS BY THE CONTRACTOR SHALL NOT RELIEVE THE SUB-CONTRACTOR FROM HIS DUTY TO COORDINATE AND DIRECT HIS OWN WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 12. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/ENDOR DATA SUBMITTAL SCHEDULE TO DESIGNER/OWNER FOR REVIEW AND APPROVAL WITHIN FIFTEEN (15) BUSINESS DAYS FROM COMMENCEMENT OF WORK.
 13. THE DESIGNER/OWNER WILL CONSIDER FORMAL REQUESTS FROM THE CONTRACTOR FOR SUBSTITUTION OF PRODUCTS, MATERIALS, OR MANUFACTURERS. THESE REQUESTS SHALL ACCOMPANY BUT NOT BE INCLUDED IN THE BID OR ON THE SPECIFIED BID DATE. CONTRACTOR SHALL SUBMIT TWO COPIES OF REQUEST FOR SUBSTITUTION TO DESIGNER/OWNER FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
 14. CONTRACTOR SHALL PROVIDE THE FOLLOWING SUBMITTALS PRIOR TO FURNISHING FORMAL APPROVAL:
 - A. CONTRACTOR TO HAVE MECHANICAL, ELECTRICAL, AND PLUMBING SUB-CONTRACT REVIEW DRAWINGS AND VERIFY DESIGN, LOCATIONS OR EQUIPMENT, LEVEL, ETC. PRIOR TO BID. PROVIDE CATALOG CUTS AND ALL ELECTRIC EQUIPMENT, FURNITURE AND MISC. HARDWARE.
 - B. COLOR/MATERIAL SAMPLES OF ALL PAINTS, TILE, FLOORING, ROOFING, FINISHES, STONE, AND DECK MATERIAL.
 - C. COLOR/MATERIAL SAMPLES OF COUNTERTOPS AND CUPBOARD CUTS ON ALL IN-MANUFACTURE CABINETS. PROVIDE PERFORMANCE FOR ALL CUSTOM CABINETS AND BUILT-INS.
 - D. SHOP DRAWINGS FOR CUSTOM DOORS, STAIRS, RAILING, ROOF DRAINAGE, AND SHEDS INCLUDING, WHERE APPLICABLE.
 - E. CONTRACTOR TO PROVIDE FULL LOCAL ADDRESS OF INTERIOR AND EXTERIOR FIRM.
 15. WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES AND AREAS FROM DAMAGE. ANY AREAS DAMAGED DURING CONSTRUCTION OF DEMOLITION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND NO ADDITIONAL COST TO OWNER. THIS APPLIES PARTICULARLY TO ADJACENT SPACES, POOL, AND OTHER EXTERIOR AREAS AND SURFACES.
 16. ONLY NEW, FIRST CLASS MATERIALS WILL BE USED, UNLESS NOTED OTHERWISE. ALL WORK AND EQUIPMENT SHALL BE WARRANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE EXCEPT FOR MANUFACTURER'S WARRANTIES WHICH MAY BE LONGER.
 17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION, WHETHER SUCH WORK IS OR IS NOT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
 18. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S STRICT WRITTEN INSTRUCTIONS, WARRANTIES, GUARANTEES, AND MANUFACTURER'S INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE CONTRACTOR SHALL BE GIVEN TO THE OWNER.

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G.L. SMITH ASSOCIATES
2908 M ST NW
WASHINGTON, DC 20007

PROJECT

WINNIK
RESIDENCE

DATE

2/15/2021

SCALE

N/A

DRAWING BY

D.Y.G.

APPROVED BY

G.L.S.

REVISIONS

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FRAMING GENERAL NOTES

- FRAMING GENERAL NOTES**
- 1 **GENERAL:** DIMENSIONS ARE TO FACE OF EXISTING FINISHES OR TO FACE OF NEW WOOD FRAMING/SHEATHING OR FINISHED CONCRETE/MASONRY.
- 2 **WOOD FRAMING:** ALL LUMBER SHALL BE #2 SOUTHERN PINE, DOUGLAS FIR OR WEST COAST HEMLOCK, CONSTRUCTION GRADE OR BETTER, ALL CONSTRUCTION HEADERS, NAILING SCHEDULE AND SHEATHING THICKNESS SHALL CONFORM TO THE IRC BUILDING CODE (VERIFY APPLICABLE EDITION WITH LOCAL JURISDICTION) AS A MINIMUM REQUIREMENT WHERE SUCH INFORMATION IS NOT SHOWN ON THE PLANS AND SPECIFICATIONS. WALL FRAMING TO BE 2X4 AND/OR 2X6 @ 16" ON CENTER, MINIMUM UNLESS NOTED OTHERWISE. CAREFULLY LAYOUT FRAMING TO COORDINATE WITH ELECTRIC/PLUMBING/HVAC SYSTEMS. NOTIFY DESIGNER OF CONFLICTS PRIOR TO INSTALLATION.
- 3 **PRESSURE TREATED PINE (p.t.):** ALL WOOD FRAMING EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA, FOR USE ON WOOD NEAR GRADE, EXTERIOR FENCES, ETC. AS REQUIRED, AND AT ALL SILL PLATES AND LEDGERS AGAINST MASONRY/CONCRETE. TREATMENT AS FOLLOWS: TREAT ALL WOOD, EXCEPT REDWOOD OR CEDAR, LESS THAN 2'-0" ABOVE FINISH GRADE, AND INCLUDING ALL EXTERIOR DECKS, FRAMES, GAZEBOS, AND FENCES, BY TREATING WITH APPROVED PRESERVATIVE. PROVIDE FOAM SILL SEALS BETWEEN ALL SILL PLATES/LEDGERS AND ADJACENT MASONRY/CONCRETE.
- 4 **SILL SEALER:** PROVIDE "PROTECTION PREMIUM ENERGY SILL SEALER" BY "PROTECTO WRAP COMPANY", OR DESIGNER APPROVED EQUAL. AT ALL WOOD SILL PLATES AND LEDGERS AGAINST MASONRY/CONCRETE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 5 **FLOOR SHEATHING:** 3/4" THICK, MINIMUM, TONGUE-AND-GROOVE ORIENTED-STRAND BOARD SHEATHING TO BE "ADVANTECH" AS MANUFACTURED BY "HUMBER ENGINEERED WOODS". FOLLOW MANUFACTURER'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION. USE 1-1/8" THICK BELOW STONE.
- 6 **WALL SHEATHING:** 7/16" (1/2" NOM.) THICK, MINIMUM, WATER RESISTANT SHEATHING TO BE "ZIP SYSTEM" AS MANUFACTURED BY "HUBER ENGINEERED WOODS". MEMBRANE BY SAME MANUFACTURER.

WINDOW & DOOR GENERAL NOTES

- WINDOW AND DOOR GENERAL NOTES**
- 1 **GENERAL:** QUANTITIES LISTED IN WINDOW/DOOR SCHEDULE ARE FOR REFERENCE ONLY. COORDINATE WITH PLANS AND ELEVATIONS FOR EXACT QUANTITY PRIOR TO BIDDING/PURCHASING. FIELD VERIFY EXISTING OPENING SIZES AND COORDINATE AS REQUIRED. CHECK DRAWINGS FOR SWING DIRECTIONS AND LOCATIONS OF ALL UNITS.
- 2 **WINDOWS & EXTERIOR GLASS DOORS:** TO BE PROVIDED BY PELLA'S LIFESTYLE SERIES.
- 3 **TEMPERED GLAZING:** WINDOWS LISTED IN WINDOW SCHEDULE AS TEMPERED ARE FOR REFERENCE ONLY. COORDINATE WITH WINDOW SUPPLIER AND APPLICABLE CODES TO VERIFY REQUIRED WINDOWS TO BE TEMPERED PRIOR TO BIDDING/PURCHASING.
- 4 **EXTERIOR WOOD DOORS:** 1.75" THICK, SOLID-CORE PRE-HUNG DOOR AND FRAME AS MANUFACTURED BY PELLA. COORDINATE MANUFACTURER, DESIGN, AND MATERIALS WITH DESIGNER/OWNER PRIOR TO ORDERING. PROVIDE ALL NECESSARY TRIM PIECES, WEATHER STRIPPING, HARDWARE, GRILLES, ETC. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE COLOR, FINISH, AND HARDWARE WITH DESIGNER/OWNER.
- 5 **INSTALLATION:** SET EXTERIOR DOOR/WINDOW ON ADJUSTABLE PAN SILL FLASHING BY MANUFACTURER, OR EQUAL. PROVIDE ACRYLIC ADHESION FLASHING TAPE BY "ZIP SYSTEM" AS MANUFACTURED BY "HUBER ENGINEERED WOODS" AT PERIMETER OF ALL EXTERIOR DOORS/WINDOWS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. APPLY CAULK AROUND EXTERIOR PERIMETER BEHIND WINDOW/DOOR TRIM AND SET INTO OPENING. APPLY FOAM BACKER ROD AND CAULK TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT. APPLY LOW EXPANSION SPRAY FOAM AROUND ALL JAMBS.
- 6 **INTERIOR DOORS:** INTERIOR DOORS TO MATCH EXISTING DOOR PANELS, HARDWARE, STYLE AND FINISH, UNLESS NOTED OTHERWISE. PROVIDE ALL NECESSARY HARDWARE, TRIM PIECES, ETC. COORDINATE WITH OWNER FOR EXISTING DOOR PANELS TO BE RELOCATED/RE-USED. SUBMIT CATALOG CUT SHEETS FOR APPROVAL BY DESIGNER/OWNER PRIOR TO ORDERING. UNLESS NOTED OTHERWISE, DOORS TO BE 4" FROM ADJACENT WALL OR CENTERED WITHIN THE SPACE.
- 7 **THRESHOLDS:** INTERIOR THRESHOLDS TO BE WOOD TO MATCH WOOD FLOORS AND STONE TO MATCH ADJACENT TILE AT TILE FLOORS, UNLESS NOTED OTHERWISE. USE STOCK SHAPES AND SIZES. COORDINATE EXACT MATERIAL AND COLOR WITH DESIGNER/OWNER WHERE NOT CLEARLY NOTED.
- 8 **HARDWARE:** ALL INTERIOR DOORS TO BE PROVIDED WITH DOOR STOPS, HINGES, KNOBS, AND LATCHES, INCLUDING PRIVACY LATCHES ON BATHROOMS AND BEDROOMS. ALL EXTERIOR DOORS TO BE EQUIPPED WITH SAME PLUS DEADBOLT LOCK. ALL BYPASS/POCKET DOORS TO BE PROVIDED WITH TRACK, FRAME, AND GUIDES BY JOHNSON HARDWARE OR EQUAL. PROVIDE FLUSH PULLS, AND DOOR-EDGE PULL, AT ALL BYPASS/POCKET DOORS INCLUDING PRIVACY BOLTS ON BATHROOMS AND BEDROOMS. COUNTER SINK DOOR EDGE PULL TO PROVIDE FLUSH INSTALLATION AT EDGE OF DOOR PANEL. COORDINATE MANUFACTURER AND STYLE OF HARDWARE WITH DESIGNER/OWNER. SUBMIT CATALOG CUT SHEETS ON ALL HARDWARE FOR APPROVAL PRIOR TO ORDERING.

EXTERIOR FINISHES GENERAL NOTES

- EXTERIOR FINISHES GENERAL NOTES**
- 1 **FLASHING:** AS SHOWN ON THE DRAWINGS AND/OR AS REQUIRED BY CODE. UNLESS NOTED OTHERWISE, MATERIAL TO BE COLOR-COATED ALUMINUM. FINAL COLOR AND FINISH TO BE SELECTED BY DESIGNER/OWNER. MINIMUM THICKNESS AS FOLLOWS:
A. THRU-WALL & ROOF EDGE FLASHING: .025"/32 GAUGE
B. BASE/ROOF VENT FLASHING & METAL WRAPPED TRIM: .032"/20 GAUGE
FINAL THICKNESS TO BE DETERMINED BY APPLICATION SUCH THAT "OIL-CANNING" DOES NOT OCCUR. FLASHING TO BE COATED WITH BITUMINOUS PAINT WHERE IT MEETS DISSIMILAR METALS. GALVANIZED AND PLASTIC FLASHINGS OF EQUAL PERFORMANCE ARE ACCEPTABLE WITH DESIGNER/OWNER PRE-APPROVAL.
- 2 **EXTERIOR TRIM:** PROVIDE EXTERIOR TRIM BOARDS AND CORNER BOARDS IN MATERIALS AND FINISHES TO MATCH EXISTING AND/OR IN ACCORDANCE WITH MONTGOMERY COUNTY HISTORICAL COMMISSION GUIDELINES. FOLLOW MRM'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION. PRIOR TO PAINTING, VERIFY SURFACES ARE CLEAN, DRY, AND FREE OF DIRT, MILDEW, GREASE OR OTHER SURFACE CONTAMINANTS. NAIL HOLES TO BE FINISHED WITH AN ACRYLIC BASED UV RESISTANT CAULK. USE 100% ACRYLIC LATEX, FOLLOW THE PAINT MANUFACTURER'S APPLICATION RECOMMENDATIONS.
- 3 **EXTERIOR SIDING:** PROVIDE EXTERIOR OR WOOD SIDING IN MATERIALS AND FINISHES TO MATCH EXISTING AND/OR IN ACCORDANCE WITH MONTGOMERY COUNTY HISTORICAL COMMISSION GUIDELINES. SMOOTH FINISH AT ALL EXPOSED SURFACES. FOLLOW MANUFACTURER'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION. PRIOR TO PAINTING, VERIFY SURFACES ARE CLEAN, DRY, AND FREE OF DIRT, MILDEW, GREASE OR OTHER SURFACE CONTAMINANTS. NAIL HOLES ON PAINTED SIDING TO BE FINISHED WITH AN ACRYLIC BASED UV RESISTANT CAULK. ON PAINTED SIDING USE 100% ACRYLIC LATEX, FOLLOW THE PAINT MANUFACTURER'S APPLICATION RECOMMENDATIONS. INSURE FINAL ASSEMBLY IS WATERPROOF.
- 4 **EXTERIOR SOFFITS AND CEILINGS:** PROVIDE EXTERIOR SOFFITS AND/OR CEILINGS AS NOTED IN DRAWINGS AND SPECIFIED HEREIN. SMOOTH FINISH AT ALL EXPOSED SURFACES. FOLLOW MANUFACTURER'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION. PRIOR TO PAINTING, VERIFY SURFACES ARE CLEAN, DRY, AND FREE OF DIRT, MILDEW, GREASE OR OTHER SURFACE CONTAMINANTS. NAIL HOLES ON PAINTED SIDING TO BE FINISHED WITH AN ACRYLIC BASED UV RESISTANT CAULK. ON PAINTED SIDING USE 100% ACRYLIC LATEX, FOLLOW THE PAINT MANUFACTURER'S APPLICATION RECOMMENDATIONS. INSURE FINAL ASSEMBLY IS WATERPROOF.

ELEC., MECH. & PLUMBING GENERAL NOTES

- ELECTRICAL GENERAL NOTES**
- 1 **GENERAL:** SEE DRAWINGS FOR ELECTRICAL LAYOUT, SPECIFICATIONS, SWITCHING, OUTLETS, ETC. ALL WORK TO CONFORM TO STATE AND LOCAL CODES. CAREFULLY COORDINATE FLOOR/CEILING FRAMING AND REQUIRED BUILDERS/COVERED CEILINGS WITH LIGHTING PLAN AND PLUMBING/HVAC SYSTEMS TO PREVENT CONFLICT. ADJUST FRAMING LAYOUT AS REQUIRED TO MAINTAIN LIGHTING CENTERLINES AND CLEARANCES. CONSULT DESIGNER ON CONFLICTS WITH STRUCTURE, MECHANICAL, ETC. COORDINATE FINAL LOCATIONS AND MOUNTING HEIGHT OF ALL FIXTURES, SWITCHES, OUTLETS, ETC. WITH DESIGNER AND/OR ARCHITECT PRIOR TO INSTALLATION.
- 2 **WIRING:** ALL WIRING TO BE CONCEALED. CONSULT DESIGNER ON CONFLICTS WITH STRUCTURE, MECHANICAL, ETC. ALL WIRING TO BE 14 GAUGE NM-C CABLE "ROMEX" FOR OUTLETS AND SWITCHES. PROVIDE CAT-5 CABLE FOR ALL COMPUTER AND PHONE JACKS. PROVIDE HOMI LINES FOR ALL CABLE JACKS. ALL BOXES TO BE NONMETALLIC OUTLET/SWITCH BOXES MADE OF THERMOSETTING MATERIALS. USE STEEL BOXES WHERE REQUIRED BY CODE.
- 3 **OUTLETS & SWITCHES:** UNLESS NOTED OTHERWISE, ALL OUTLETS, TELEPHONE AND TELEVISION JACKS, SWITCHES, ETC. TO BE "DESIGNER" UNIT BY "LUTRON" IN SATIN COLORS SPECIFIED BY DESIGNER WITH MATCHING SCREWLESS COVERS. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR REVIEW/APPROVAL BY DESIGNER. CONSULT W/ DESIGNER ON ALL LOCATIONS FOR SWITCHES, OUTLETS, TELEPHONE AND TV JACKS. UNLESS NOTED OTHERWISE, DIMMER SWITCHES TO BE "MAESTRO" LINE OF DIGITAL DIMMERS BY "LUTRON" WITH MATCHING COMPANION SWITCH AT ALL 3-WAY LOCATIONS. CONTRACTOR TO COORDINATE PROPER SWITCH SELECTION WITH FIXTURE SPECIFIED. COLORS AND FINISHES TO BE SELECTED BY DESIGNER AND GENERAL CONTRACTOR TO ALLOW FOR 2 CUSTOM COLORS. PROVIDE WALL OUTLETS AT 12" MAXIMUM ON CENTER OR AS REQUIRED BY CODE. PROVIDE TAMPER-PROOF/GFI RECEPTACLES AS REQUIRED BY CODE.
- 4 **LIGHTING FIXTURES:** SEE DRAWINGS AND LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES AND MOUNTING LOCATIONS. COLORS AND FINISHES TO BE SELECTED BY DESIGNER/OWNER. SUBMIT CATALOG CUT SHEETS FOR ANY FIXTURES/FITTINGS NOT PROVIDED FOR IN THESE DRAWINGS FOR DESIGNER/OWNER APPROVAL BEFORE ORDERING. THERMAL INSULATION SHALL NOT BE INSTALLED ABOVE A RECESSED LUMINAIRE OR WITHIN 1 INCHES OF THE RECESSED LUMINAIRE'S ENCLOSURE, WIRING COMPARTMENT, OR BALLAST UNLESS IT IS IDENTIFIED FOR CONTACT WITH INSULATION, TYPE C, TRACK LIGHTING AND CABINET LIGHTING SYSTEMS TO COME COMPLETE WITH ALL NECESSARY FITTINGS, TRANSFORMERS, FASTENERS, COUPLINGS, ETC. UNLESS NOTED OTHERWISE, LIGHT BULBS TO BE "SOFT WHITE" (2700K IF LED) TYPE AS MANUFACTURED BY "SYLVANIA", OR APPROVED EQUAL.
- 5 **SMOKE & CARBON MONOXIDE DETECTORS:** PROVIDE AS REQUIRED BY CODE. UNLESS NOTED OTHERWISE, DETECTORS TO BE INTERCONNECTED, HARD-WIRED UNITS WITH BATTERY BACK-UP AS MANUFACTURED BY "KIDDE", OR DESIGNER APPROVED EQUAL.
- 6 **SYSTEMS COORDINATION:** COORDINATE WITH OWNER AS REQUIRED FOR WORK RELATED TO SECURITY SYSTEMS, AUDIO-VISUAL/SPEAKER SYSTEMS, AND/OR OTHER SPECIALTY SYSTEMS PRIOR TO START OF CONSTRUCTION.
- MECHANICAL GENERAL NOTES**
- 1 **GENERAL:** ALL WORK TO CONFORM TO APPLICABLE STATE AND LOCAL CODES. REMOVAL, DISPOSAL, ALTERATION, AND RELOCATION OF EXISTING EQUIPMENT, CONDUTITS, PIPES, AND DUCTS ARE INCLUDED IN THE WORK AS MAY BE REQUIRED BY DESIGN.
- 2 **MAKE-UP AIR SYSTEM:** PROVIDE MAKE-UP AIR SYSTEM AS REQUIRED BY CODE. COORDINATE FINAL SIZE WITH EXHAUST HOOD SPECIFICATIONS. COORDINATE FINAL INSTALLATION LOCATION WITH DESIGNER PRIOR TO START OF WORK. MANUFACTURER TO BE CONTRACTOR'S OPTION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE REMOTE SWITCHING TIED TO EXHAUST HOOD OPERATION AS WELL AS ALL NECESSARY FITTINGS AND HARDWARE.
- 3 **HEATING, VENTILATION & AIR CONDITION SYSTEM:** COORDINATE TYPE OF HEATING/COOLING SYSTEM WITH OWNER PRIOR TO BIDDING. HVAC PIPES/DUCTS TO MEET APPLICABLE CODES. HVAC SUB-CONTRACTOR TO VERIFY CFM FLOWS, DUCT SIZES, ETC. FOR ADEQUACY OF EXISTING SYSTEM AND NOTIFY DESIGN AND/OR OWNER OF ANY CONFLICTS WITH SAME. COORDINATE LOCATIONS OF ALL HEATING/COOLING EQUIPMENT AS WELL AS DUCT LAYOUT AND REGISTER/GRILLE LOCATIONS WITH DESIGNER PRIOR TO START OF WORK.
- 4 **DUCT WORK:** ALL DUCTS USED SHALL BE OF #18 GALVANIZED HARD DUCT. THE USE OF ROUND FLEXIBLE DUCTS SHALL BE PROHIBITED ON THIS PROJECT, UNLESS SPECIFICALLY APPROVED BY ARCHITECT/OWNER. GALVANIZED SHEET METAL DUCT WORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LOW VELOCITY DUCT CONSTRUCTION STANDARD BY SMACNA. PROVIDE DOUBLE THICKNESS TURNING VANES ON ALL SQUARE ELBOWS. PROVIDE DUCT INSULATION TO MEET APPLICABLE CODES, INCLUDING THE FOLLOWING:
A. PROVIDE A CONTINUOUS VAPOR BARRIER FOR ALL COLD PIPING AND AIR CONDITIONING DUCTWORK.
B. INSULATE REFRIGERANT SUCTION PIPE WITH 1/2" THICK FLEXIBLE ELASTOMERIC PIPE INSULATION "ARMSTRONG", "ARMAFLEX" OR EQUAL.
C. ALL SUPPLY AIR DUCTS IN ATTICS, GARAGES, CRAWL SPACES, AND OTHER UN-CONDITIONED SPACES SHALL BE INSULATED WITH TWO (2) LAYERS OF "REFLEXITX50 DUCT INSULATION" BY "REFLECTIX, INC." RATED R8 FOR EACH LAYER. ALL OTHER SUPPLY DUCTS IN THE BUILDING SHALL BE INSULATED WITH ONE (1) LAYER OF "REFLEXITX50 DUCT INSULATION" RATED R8.
- 5 **HVAC PIPING, DRAINS & FLUES:** USE TYPE "L" COPPER PIPING. USE OF TYPE "M" PIPING AT THIS JOB IS PROHIBITED. USE PVC/DWV TYPE CONDENSATE DRAINS WITH JOINT CEMENT JOINTS TO MEET ASTM STANDARD D-2665. PROVIDE CONDENSATE PUMP AS NECESSARY. EXTEND TO EXTERIOR SPLASH BLOCKS. PROVIDE FLUJS AS NECESSARY FOR ALL VENTED FURNACES TO MEET MANUFACTURER'S SPECIFICATIONS AND TO BE UL-LISTED TYPE "B".
- 6 **THERMOSTAT:** COORDINATE LOCATION OF THERMOSTAT WITH HVAC CONTRACTOR AND DESIGNER AND OWNER PRIOR TO START OF WORK. UNLESS NOTED OTHERWISE, THERMOSTAT SHALL BE A PROGRAMMABLE THERMOSTAT AS RECOMMENDED BY HVAC EQUIPMENT MANUFACTURER. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING.
- 7 **AIR OUTLETS:** UNLESS NOTED OTHERWISE, WALL/CEILING GRILLES AND REGISTERS SHALL BE "ADJUSTABLE WALL/CEILING REGISTER" (MODEL R120WH) BY "TRIUMF", OR DESIGNER APPROVED EQUAL. ALUMINUM, ADJUSTABLE BLADES, WHITE COLOR FINISH AND MATCHING FASTENERS, LENGTH AND WIDTH PER DRAWINGS. FLOOR REGISTERS SHALL BE FLUSH-MOUNT WOOD REGISTERS TO MATCH FLOORING AND FLOORING FINISH BY CONTRACTOR'S OPTION, LENGTH AND WIDTH PER DRAWINGS. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING. ALL REGISTERS AND GRILLES SHALL BE CENTERED IN FRONT OF WINDOW AT DESIGNER SPECIFIED SPACING FROM EXTERIOR WALL. NOTIFY PROJECT SUPERVISOR WHERE THE LOCATIONS INTERFERE WITH STRUCTURAL OR OTHER TRADES. ALL CEILING DIFFUSER SHALL BE COORDINATED WITH ARCHITECTURAL CEILING LAYOUTS. REPORT ALL DISCREPANCIES TO DESIGNER BEFORE INSTALLATION. REPLACE ALL EXISTING TO REMAIN REGISTERS AND GRILLES WITH NEW COVER OF SAME SIZE AND PATTERN. VERIFY COLOR AND LOCATION OF EXISTING TO REMAIN REGISTERS AND GRILLES WITH THE DESIGNER AND/OR OWNER.

- 8 **EXHAUST FANS:** PROVIDE 10" SQUARE "ULTRA SILENT" INSULATED BATH EXHAUST FANS AS MANUFACTURED BY "BROAN", "NUTONE", UNLESS NOTED OTHERWISE. SIZE UNIT BASED ON ROOM SIZE AND MANUFACTURER'S RECOMMENDATIONS AND GUIDELINES. PROVIDE FANS WITH GALVANIZED HARD DUCT TO OUTSIDE WITH SOFFIT OR WALL CAP AND BACK DRAFT TAMPER. INSULATE ALL DUCTS. CAULK AND FLASH AS REQUIRED.
- 9 **EXTERIOR WALL CAP VENTS:** PROVIDE SCREENED ALUMINUM WALL CAPS AT ALL EXTERIOR WALL BATH VENTS/DRYER VENTS (MODEL: SB) AND COOKTOP EXHAUST VENTS (MODEL: SPX) WITH ACRDRAFT DAMPERS BY "SEIHO INTERNATIONAL, INC.", UNLESS NOTED OTHERWISE. SECURE TO WALL WITH ALUMINUM SCREWS. CAULK AND FLASH AS REQUIRED.
- PLUMBING GENERAL NOTES**
- 1 **GENERAL:** ALL WORK TO CONFORM TO APPLICABLE STATE AND LOCAL CODES. UNLESS NOTED OTHERWISE, USE CPVC TUBING ON ALL WATER SUPPLY LINES, SIZE AS PER CODE AND PVC, WITH A MINIMUM PRESSURE RATING FOR PLASTIC TUBING OF 100 PSI @ 180 DEGREES F, FOR WASTE AND VENT LINES. PROVIDE R-3, MINIMUM, INSULATION AT ALL HOT WATER LINES.
- 2 **PLUMBING FIXTURES:** SEE DRAWINGS AND PLUMBING FIXTURE SCHEDULE FOR FIXTURE TYPES AND MOUNTING LOCATIONS. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING. PROVIDE ALL NECESSARY FITTINGS, VALVES, DRAINS, HARDWARE, ETC. REQUIRED FOR PROPER FUNCTIONING AND ACCORDING TO MANUFACTURER'S GUIDELINES AND SPECIFICATIONS. PROVIDE MANUFACTURER'S RECOMMENDED SEAT AND COVER AT ALL TOILETS. SHOWER DRAINS TO MATCH FAUCET FINISH. PROVIDE CLAMPING-TYPE SHOWER FLOOR DRAIN AS RECOMMENDED BY WATER-PROOF TILE UNDERLAYMENT MANUFACTURER. ALL FIXTURES TO BE WHITE/CHROME, UNLESS NOTED OTHERWISE. CONSULT DESIGNER/ENGINEER ON CONFLICTS WITH STRUCTURE, MECHANICAL, ETC. COORDINATE FINAL LOCATIONS AND MOUNTING HEIGHTS WITH DESIGNER/OWNER PRIOR TO ORDERING.
- 3 **GARBAGE DISPOSAL:** PROVIDE UNDER-SINK GARBAGE DISPOSAL AS SHOWN ON DRAWINGS. UNLESS NOTED OTHERWISE, DISPOSAL TO BE "BADGER-5XP" WITH 3/4 HORSEPOWER HEAVY-DUTY MOTOR AND SINK TOP PRESSURE SWITCH AS MANUFACTURED BY "INSINKERATOR". SWITCH FINISH TO MATCH SINK FAUCET. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING.
- 4 **WATER HEATER AND/OR BOILER:** PROVIDE ELECTRIC OR GAS-FIRED WATER HEATER/BOILER AS SHOWN ON DRAWINGS AND DEDICATED TO FLOOR HEAT FOR EXISTING MASTER BATH ON 2ND FLOOR. PROVIDE DESIGNER AND/OR OWNER WITH CONTRACTOR RECOMMENDED HYDROIC HEATING SYSTEM FOR PRIOR APPROVAL BEFORE ORDERING, INCLUDING SYSTEM REQUIREMENTS, INSTALLATION METHODS AND GUIDELINES.
- 5 **ACCESS PANELS:** PROVIDE ACCESS PANELS AS REQUIRED BY CODE AND/OR SITE CONDITIONS. PANELS TO BE "STEALTH ACCESS PANELS" BY WIND-LOCK. COORDINATE FINAL SIZES AS NECESSARY.

G.L. SMITH ASSOCIATES
2908 M ST NW
WASHINGTON, DC 20007

PROJECT
**WINNIK
RESIDENCE**

DATE
2/10/2021

SCALE
AS NOTED

DRAWING BY
D.Y.G.

APPROVED BY
G.L.S.

REVISIONS

DRAWING NAME
GENERAL NOTES

SHEET #
G-2

INSULATION GENERAL NOTES

INSULATION GENERAL NOTES	
1	GENERAL: PROJECT TO BE DESIGNED TO MEET OR EXCEED THE CURRENT IECC REQUIREMENTS AS DETERMINED BY THE GOVERNING AUTHORITIES. COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND STANDARDS.
2	AIR SEALING: PROVIDE CONTINUOUS SHEATHING AT EXTERIOR FACE OF BUILDING ENVELOPE AND LOW-EXPANSION SPRAY FOAM ENERGY SEALING AT PERIMETERS OF ALL EXTERIOR DOORS AND WINDOWS.
3	ENERGY SEALING: USE "POLYCEAL ONE", OR DESIGNER APPROVED EQUAL, TO REDUCE AIR INFILTRATION AND MINIMIZE ENERGY LOSS CAUSED BY AIR LEAKAGE THROUGH THE ENVELOPE. THE ENERGY SEALING OF THIS STRUCTURE COMPLIES WITH THE REQUIREMENTS FOR SEALING SET FORTH IN THE BUILDING CODES PUBLISHED BY THE BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA), INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO), SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL (SBCCI) AND THE REQUIREMENTS SET FORTH IN ASHRAE 90.75. IN COMPLIANCE WITH THE ABOVE REQUIREMENTS, ENERGY SEALING HAS BEEN APPLIED AT EXTERIOR JOINTS AROUND WINDOWS AND DOORS FRAMES, BETWEEN WALL CAVITIES AND WINDOW FRAMES, BETWEEN WALL AND FOUNDATIONS, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, A PENETRATIONS OR UTILITY SERVICE THROUGH WALL, FLOOR, ROOF, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE.
AREAS NEEDED TO BE SEALED FOR PROPER STOPPING OF AIR INFILTRATIONS: A. SILL PLATES - CRACKAGE AND GAPS BETWEEN PLATE AND FOUNDATION. B. SOLE PLATES - CRACKAGE BETWEEN PLATES AND SUB-FLOORING; BUTT JOINTS BETWEEN PLATE MEMBERS; CORNER BUTT GAPS. C. TOP PLATES - CRACKAGE BETWEEN TOP PLATES; BUTT JOINTS BETWEEN PLATE MEMBERS; CORNER BUTT GAPS. D. WALL SECTIONS - VERTICAL CRACKAGE AT BUTT JOINTS BETWEEN SECTIONAL WALL PANELS, TEES AND CORNERS. E. SHEATHING - PATCHES, CRACKS AND SMALL RUPTURES. F. BAND JOISTS AND CANTILEVERED OVERHANGS - BUTT JOINTS AND CORNERS, LINEAR CRACKAGE, OVERHANGS. G. HEATING AND COOLING SYSTEMS - HOLES AND CUT OUTS AROUND AIR DUCTS, REGISTERS AND RETURNS. H. EXHAUST SYSTEMS - HOLES AND CUT OUTS AROUND BATHROOM, KITCHEN, MAJOR APPLIANCE AND UTILITY VENTS, FLUES AND CHIMNEYS. I. PLUMBING CHASES - HOLES AND CUT OUTS AROUND WATER, WASTE, VENT AND FUEL PIPES. K. LINTELS - CRACKS AND BUTT JOINTS. L. WINDOWS - GAPS AND CRACKS BETWEEN FRAMES AND WALL STUDS. M. DOORS - GAPS AND CRACKS BETWEEN FRAMES AND WALL STUDS. MATERIALS TO BE USED: A. SINGLE COMPONENT TROTHED POLYMERIC ISOYANATE. B. NON-SAG LAMINAR PIGMENT REINFORCED ELASTOMERIC ACRYLIC. C. REINFORCED LAMINATED VAPOR PERMEABLE FIBER BARRIER.	
4	CAULKING: EXTERIOR CAULK TO BE PL PREMIUM POLYURETHANE CAULK. INTERIOR CAULK TO BE "GIF STRETCH" ACRYLIC CAULK BY "SASHCO", OR EQUAL. USE CAULKING RECOMMENDED FO RSPECIFIC INSTALLATIONS BY MANUFACTURER'S WHEREEVER POSSIBLE, E.G. BATHROOM, WINDOWS, ETC. USE MARINE GRADE CAULKING ON SKYLIGHTS. CAULK TO BE CAREFULLY APPLIED AND STRUCK SMOOTHLY WITHOUT EXCESS CAULK ON ADJACENT TRIM AND WALL SURFACES. COORDINATE FINAL COLORS WITH DESIGNER AND/OR OWNER.
5	INSULATED FENESTRATION: PROVIDE INSULATED EXTERIOR FENESTRATION AS NOTED ON DRAWINGS AND SPECIFIED HEREIN. MINIMUM INSULATION R-VALUES: WINDOWS/DOORS: .35 - DOUBLE PANE/ARGON/LOW-E.
6	THERMAL INSULATION: PROVIDE THERMAL INSULATION AS NOTED ON DRAWINGS AND SPECIFIED HEREIN. UNLESS NOTED OTHERWISE, INSULATION TO BE AS MANUFACTURED BY "OWENS CORNING", "KYNENET", OR EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS WITH VAPOR BARRIER (AS APPLICABLE) TO WARM SIDE OF WALL, FLOOR, OR CEILING. MINIMUM INSULATION R-VALUES: A. SLAB-ON-GRADE: 4-10"FOAMULAR" RIGID EXTRUDED POLYSTYRENE (XPS) FOAM INSULATION. B. CRAWLSPACE WALLS: 8-10"FOAMULAR" RIGID EXTRUDED POLYSTYRENE (XPS) FOAM INSULATION. C. FLOORS (NEW OVER DRAWINGS): R-21"ECOTOUGH" FOIL-FACED FIBERGLASS BATT INSULATION. D. BASEMENT EXT. WALLS (2X4 FRAMING): R-15"ECOTOUGH" FOIL-FACED FIBERGLASS BATT INSULATION. E. EXTERIOR WALLS (2X6 FRAMING): R-21"ECOTOUGH" FOIL-FACED FIBERGLASS BATT INSULATION. F. VENTED CEILINGS/ROOFS: R-49"ATTICAT" LOOSE-FILL FIBERGLASS BLOW-IN INSULATION. G. UNVENTED CEILINGS/ROOFS: 4-36/R-49 (PER CODE)OPEN-CELL SPRAY FOAM INSULATION.
7	ACOUSTICAL INSULATION: PROVIDE ACOUSTICAL FIBERGLASS INSULATION AT PERIMETER OF POWDER ROOM; DINING/ROOM AS WELL AS AT FLOOR FRAMING BETWEEN 1ST & 2ND FLOOR, UNLESS NOTED OTHERWISE. MANUFACTURER'S STANDARD LENGTHS AND WIDTHS AS REQUIRED TO COORDINATE WITH SPACES TO BE INSULATED; SEE RAININGS FOR WALL AND FLOOR THICKNESSES. USE "CERTAINTED" (SOUND ATTENUATION BATTIS), "OWENS-CORNING" (SOUND CONTROLS BATTIS), OR EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

ARCH. CASEWORK&SPECIALTIES GEN. NOTES

ARCHITECTURAL CASEWORK GENERAL NOTES	
1	GENERAL: COMPLY WITH APPLICABLE "ARCHITECTURAL WOODWORK QUALITY STANDARDS" BY AWI AND PS 20 AND APPLICABLE GRADING RULES FOR SOFTWOOD LUMBER STANDARDS. SET CASEWORK COMPONENTS PLUMB, SQUARE, AND STRAIGHT WITH NO DISTORTION AND SECURELY ANCHORED TO BUILDING STRUCTURE. SHIM AS REQUIRED USING CONCEALED SHIMS. FASTEN CONTINUOUS CABINETS TOGETHER WITH JOINTS FLUSH, TIGHT AND UNIFORM, AND WITH ALIGNMENT OF ADJACENT UNITS WITHIN 1/16" TOLERANCE. SECURE WALL CABINETS TO SOLID SUPPORTING MATERIAL. BLOCKING AS REQUIRED IN WALL BY ROUGH CARPENTRY. ADJUST TOP/EDGE SURFACES IN ONE TRUE PLANE. PROVIDE FLUSH JOINTS NOT TO EXCEED 1/8" BETWEEN TOP UNITS. REPAIR OR REMOVE AND REPLACE DEFECTIVE WORK, AS DIRECTED BY ARCHITECT OR OWNER UPON COMPLETION OF INSTALLATION. ADJUST DOORS, DRAWERS, HARDWARE, FIXTURES, AND OTHER MOVING OR OPERATING PARTS TO FUNCTION SMOOTHLY. PROVIDE NECESSARY PROTECTIVE MEASURES TO PREVENT DAMAGE OF CASEWORK AND EQUIPMENT FROM EXPOSURE TO OTHER CONSTRUCTION ACTIVITY. SEE DRAWINGS FOR LOCATIONS, SIZES, AND DETAILS. COORDINATE FINAL INSTALLATION OF ELECTRICAL OUTLETS, ETC. WITH ARCHITECT.
2	CABINETSRY: CABINETRY DRAWINGS ARE FOR BASIC LAYOUT PURPOSES ONLY. CABINET SUPPLIER TO PROVIDE FINAL SHOP DRAWINGS FOR ALL COMPONENTS. CONTRACTOR TO COORDINATE FRAMING AS REQUIRED AND PROVIDE ASSOCIATED PLUMBING AND ELECTRICAL WORK.
3	HARDWARE: TO BE SELECTED BY ARCHITECT/OWNER. COORDINATE MANUFACTURER, TYPE, FINISH, AND FINAL MOUNTING LOCATION WITH ARCHITECT/OWNER PRIOR TO PURCHASE/INSTALLATION. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING.
4	COUNTERTOPS: COUNTERTOP SUB-CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO FABRICATION AND INSTALLATION; COORDINATE AND VERIFY EQUIPMENT AND FIXTURE DIMENSIONS. CONSULT WITH ARCHITECT/OWNER ON MATERIAL. PROVIDE SHOP DRAWINGS ON ALL COUNTERTOPS FOR APPROVAL PRIOR TO PURCHASE/INSTALLATION.
5	APPLIANCES: APPLIANCES TO BE SELECTED BY OWNER. SEE DRAWINGS FOR LOCATIONS AND TYPES. FIELD MEASURE PRIOR TO PURCHASE AND INSTALLATION. PROVIDE NECESSARY PROTECTIVE MEASURES TO PREVENT DAMAGE OF CASEWORK AND EQUIPMENT FROM EXPOSURE TO OTHER CONSTRUCTION ACTIVITY. COORDINATE FINAL INSTALLATION OF ELECTRICAL OUTLETS, PLUMBING LINES, ETC. AS REQUIRED.
SPECIALTIES GENERAL NOTES	
1	SHELVES: UNLESS NOTED OTHERWISE, PROVIDE 5/8X12 PAINT-GRADE WOOD SHELVING AT 16" ON CENTER VERTICALLY, TYPICAL. CLOTHES CLOSETS SHALL BE EQUIPPED WITH FULL LENGTH SHELVES; SUPPORT AT CENTER FOR UNITS OVER 48". SUPPORT ON KV HARDWARE, OR ARCHITECT-APPROVED EQUAL, FOR EXPOSED SHELVES; 1X3 PAINT-GRADE WOOD CLEATS CONTINUOUS 3 SIDES FOR CLOSETS.
2	HANG ROD: UNLESS NOTED OTHERWISE, PROVIDE 1-1/2" DIAMETER METAL HANG ROD FOR ALL CLOSETS AS SHOWN ON DRAWINGS. COORDINATE FINISH WITH ARCHITECT/OWNER.
3	BATH ACCESSORIES: UNLESS NOTED OTHERWISE, PROVIDE (PER BATHROOM) ONE SOAP DISH, ONE TOILET PAPER HOLDER, TWO 24" TOWEL BARS, AND TWO TOWEL HOOKS. MANUFACTURER, MATERIAL, FINISH, AND STYLE OF ACCESSORIES TO BE SELECTED BY ARCHITECT/OWNER. COORDINATE FINAL MOUNTING LOCATIONS WITH ARCHITECT/OWNER PRIOR TO CLOSE-IN TO ALLOW FOR PROPER BLOCKING.
4	MIRRORS: UNLESS NOTED OTHERWISE, ALL MIRRORS SHOWN ON THE PLANS AND ELEVATIONS SHALL BE 1/4" PLATE GLASS SILVERED BACK, DISTORTION FREE, MOUNTED WITH MFR'S RECOMMENDED ADHESIVES AND/OR CLIPS AND SET INTO ANY TRIMS TO CONCEAL EDGES. ANY SURFACES REFLECTED IN THE MIRRORS SHALL BE FINISHED TO MATCH ADJACENT SURFACES, NO UNFINISHED AND/OR UNEVEN SURFACES SHALL BE VISIBLE IN THE MIRROR.

INTERIOR FINISHES GENERAL NOTES

INTERIOR FINISHES GENERAL NOTES	
1	GYPSUM BOARD WALLS AND CEILINGS: PROVIDE GYPSUM WALLBOARD WALLS AND CEILING CONFORMING TO ASTM C36-76 1/2" T.C.K. MIN. AS MANUFACTURED BY "UNITED STATES GYPSUM CO." AND/OR "GEORGIA-PACIFIC". ALL GYPSUM BOARD SHALL BE TAPED, SPACKLED AND Sanded SMOOTH PRIOR TO FINISHING. METAL BRADING SHALL BE USED ON ALL OUTSIDE CORNERS WHERE APPLICABLE. PROVIDE WATER/MOLD-RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM AND LAUNORY LOCATIONS AND THROUGHOUT BASEMENTS. PROVIDE FIRE-RESISTANT GYPSUM WALLBOARD THROUGHOUT GARAGE AREAS UNLESS NOTED OTHERWISE. PROVIDE LEVEL 4 FINISH THROUGHOUT.
2	FLOOR & WALL TILE: SEE DRAWINGS AND TILE SCHEDULE FOR TYPES, SIZES, AND PATTERN. PROVIDE TILE ALLOWANCE IF NONE SPECIFIED. ALLOWANCE TO INCLUDE ONLY THE ACTUAL TILE COST. COST OF LABOR, GROUT, TRIMSET, ETC. TO BE INCLUDED WITHIN BASE BID. BASE BID LABOR COST TO ALLOW FOR CERAMIC PORCELAIN, OR STONE TILE INSTALLATION WITHOUT ADDITIONAL UPCHARGE. CONSULT WITH DESIGNER/OWNER FOR SIZES, COLORS, AND PATTERNS IF NOT SPECIFIED. COORDINATE FINAL LAYOUT OF WALL AND FLOOR TILE WITH DESIGNER IN THE FIELD PRIOR TO START OF WORK. APPLY USING ORGANIC ADHESIVE ANSI A136.1-1967 TYPE I. PRIME SURFACES BEFORE APPLYING ADHESIVE AS RECOMMENDED BY ADHESIVE MANUFACTURER. ALLOW 24 HOURS AFTER TILE IS SET FOR SOLVENT EVAPORATION BEFORE GROUTING.
3	TILE GROUT: UNLESS NOTED OTHERWISE, MANUFACTURER OF GROUT SHALL BE "LATICRETE". USE EPOXY GROUT AT ALL TUB SURROUNDS, SHOWER FLOORS AND WALLS AND SHOWER CURBS. REMAINING GROUT TO BE LATEX PORTLAND CEMENT GROUT. CONSULT WITH DESIGNER/COWNER FOR GROUT COLORS AND WIDTHS IF NOT SPECIFIED.
4	FLOOR TILE BACKER BOARD - DRY AREAS: "HARDBACKER"CEMENT TILE BACKER BOARD TO BE USED AT ALL TILED FLOORS, EXCLUDING WET AREAS, 1/4" THICK (NOMINAL). AS MANUFACTURED BY "JAMES HARDIE BUILDING PRODUCT, INC.", OR DESIGNER-APPROVED EQUAL. MAXIMUM VARIATION IN WALL SURFACE SHALL NOT EXCEED 1/8" IN 8'-0" FROM THE REQUIRED PLAN NOR MORE THAN 1/16" PER 12".
5	WALL TILE BACKER BOARD - DRY AREAS: WATER-RESISTANT GYPSUM TILE BACKER BOARD TO BE USED ON ALL TILED WALLS, EXCLUDING WET AREAS. CONFORMING TO ASTM C-1178, 1/2" THICK (MINIMUM) SILICONE TREATED GYPSUM BOARD, GLASS MAT BOTH SIDES. AS MANUFACTURED BY "GEORGIA-PACIFIC," "UNITED STATES GYPSUM CO.," OR ARCHITECT-APPROVED EQUAL. MAXIMUM VARIATION IN WALL SURFACE SHALL NOT EXCEED 1/8" IN 8'-0" FROM THE REQUIRED PLAN NOR MORE THAN 1/16" PER 12".
6	FLOOR & WALL TILE BACKER BOARD - WET AREAS: "HARDBACKER 500" CEMENT TILE BACKER BOARD TO BE USED AT ALL TILED FLOORS AND WALLS IN WET AREAS, 1/2" THICK (NOMINAL). AS MANUFACTURED BY "JAMES HARDIE BUILDING PRODUCTS, INC.," OR ARCHITECT-APPROVED EQUAL. MAXIMUM VARIATION IN WALL SURFACE SHALL NOT EXCEED 1,8" IN 8'-0" FROM THE REQUIRED PLAN NOR MORE THAN 1/16" PER 12".
7	WATER-PROOF TILE UNDERLAYMENT: "SCHLUTER-KERDI" UNDERLAYMENT SYSTEM COMPLETE WITH CORNER FLASHING, CLAMPING DRAIN KIT, ETC., TO BE USED AT ALL BATH AND SHOWER FLOORS AND AT TILED WALLS OF TUBS AND SHOWERS SURROUNDS. AS MANUFACTURED BY "SCHLUTER SYSTEMS L.P." INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONSULT WITH ARCHITECT/OWNER FOR KERDI DRAIN TYPE, SIZE, AND FINISH IF NOT SPECIFIED.
8	INTERIOR TRIM: COORDINATE FINAL SIZE, PROFILE, SPECIES, AND FINISH OF TRIMS WITH ARCHITECT/OWNER PRIOR TO START OF WORK. PROVIDE FULL-SIZE MOCK UPS FOR APPROVAL BEFORE ORDERING/INSTALLATION. CONTRACTOR TO MITER CUT AND GLUE JOINTS BETWEEN INDIVIDUAL PIECES OF TRIM.
9	WOOD FLOORING: ALL WOOD FLOORS TO BE Sanded, STAINED TO MATCH EXISTING, AND SEALED WITH THREE (3) COATS OF SATIN FINISH OIL OR WATER-BASED URETHANE. CONSULT WITH OWNER/ARCHITECT FOR DESIRED COLOR/FINISH. UNLESS NOTED OTHERWISE, FLOORING TO MATCH EXISTING IN SPECIES, DIMENSIONS AND MANUFACTURING.
10	ENGINEERED WOOD FLOORING: UNLESS NOTED OTHERWISE, FACTORY-FINISHED ENGINEERED WOOD FLOORING TO BE BY "BRUCE," OR ARCHITECT-APPROVED EQUAL. SIZE: 3/8" THICK, 5" WIDTH. ALLOW FOR ANY SPECIES/STAIN-COORDINATE FINAL SELECTION WITH ARCHITECT/OWNER PRIOR TO CONSTRUCTION. FINISH: NATURAL LOW-GLOSS. INSTALL ONLY AT ROOM TEMPERATURES OF 60 DEGREES-85 DEGREES F AND 35-55% HUMIDITY CONDITIONS. PROPERLY PREPARE SURFACE OF CONCRETE SUB-SLAB AND VERIFY PROPER MOISTURE LEVEL AS RECOMMENDED BY MANUFACTURER PRIOR TO START OF INSTALLATION. INSTALL OVER ARMSTRONG "VAPARREST" - 5 LBS PROFESSIONAL MOISTURE RETARDANT SYSTEM AND ARMSTRONG "OVERLAST" - PREMIUM URETHANE ADHESIVE. FLOORING TO BE INSTALLED FROM SEVERAL CARTONS AT THE SAME TIME TO ENSURE GOOD CO. OR AND SHADE MIXTURE, STAGGERING THE ENDS OF BOARDS AT LEAST 4" - 6" IN ADJACENT ROWS. DO NOT INSTALL FLOORING USING RUBBER MALLETS AS IT MAY "BURN" THE FINISH CAUSING IRREPARABLE DAMAGE. FOLLOW MANUFACTURER'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION.
11	PAINTING: MANUFACTURER OF PAINTS TO BE "BINNIMAN MOORE" (LAURA LINE OF PAINTS), UNLESS NOTED OTHERWISE. MANUFACTURER OF STAINS TO BE "SHEKES" OR "MINIWAX." ALL COLORS, FINISHES, AND SHEEN LEVELS TO BE SELECTED BY ARCHITECT/OWNER. INTERIOR: NEW WALLS AND CEILINGS ARE TO RECEIVE ONE PRIME COAT AND TWO FINISH COATS, MINIMUM, OF LATEX PAINT. TRIMS ARE TO RECEIVE ONE PRIME COAT AND TWO FINISH COATS, MINIMUM, OF WATER-BASED ENAMEL PAINT. ALL CUT ENDS OF INTERIOR TRIM SHALL BE PRIMED. WOOD WINDOWS IN SHOWERS ARE TO RECEIVE TWO PRIME COATS AND TWO FINISH COATS, MINIMUM, OF "BRIGHTIDE" MARINE-GRADE PRIMER & POLYURETHANE PAINT "INTERLUX," OR ARCHITECT-APPROVED EQUAL. EXTERIOR: UNLESS NOTED OTHERWISE, SIDING AND TRIMS TO RECEIVE ONE PRIME COAT ON ALL SIDES AND TWO COATS ON ENDS OF EXTERIOR WOOD BEFORE FINAL PAINTING. TWO FINISH COATS, MINIMUM, OF SEMI-GLOSS EXTERIOR LATEX PAINT. ALL FERROUS METALS TO BE PAINTED ARE TO RECEIVE ONE PRIME COAT OF RUST INHIBITIVE PAINT AND TWO FINISH COATS, MINIMUM, OF ALKYL ENAMEL PAINT. REMOVE ALL DOOR AND WINDOW HARDWARE, LIGHTING FIXTURES, COVERPLATES, ETC. PRIOR TO START OF PAINTING. UPON COMPLETION OF THE WORK, CAREFULLY INSPECT ALL PAINTED SURFACES. CLEAN AND RETOUCH AS NECESSARY OR AS DIRECTED. LEAVE ALL OTHER SURFACES CLEAN AND FREE FROM ALL PAINT, SPATTERINGS, SMEARS AND SMUDGES RESULTING FROM PAINTING WORK. PROPERLY PROTECT ALL PAINTED AND FINISHED SURFACES SUBJECT TO DAMAGE OR DEFACEMENT DUE TO OTHER WORK ON BUILDING.

G.L. SMITH ASSOCIATES
2908 M ST NW
WASHINGTON, DC 20007

PROJECT

WINNIK
RESIDENCE

DATE

2/10/2021

SCALE

AS NOTED

DRAWING BY

D.Y.G.

APPROVED BY

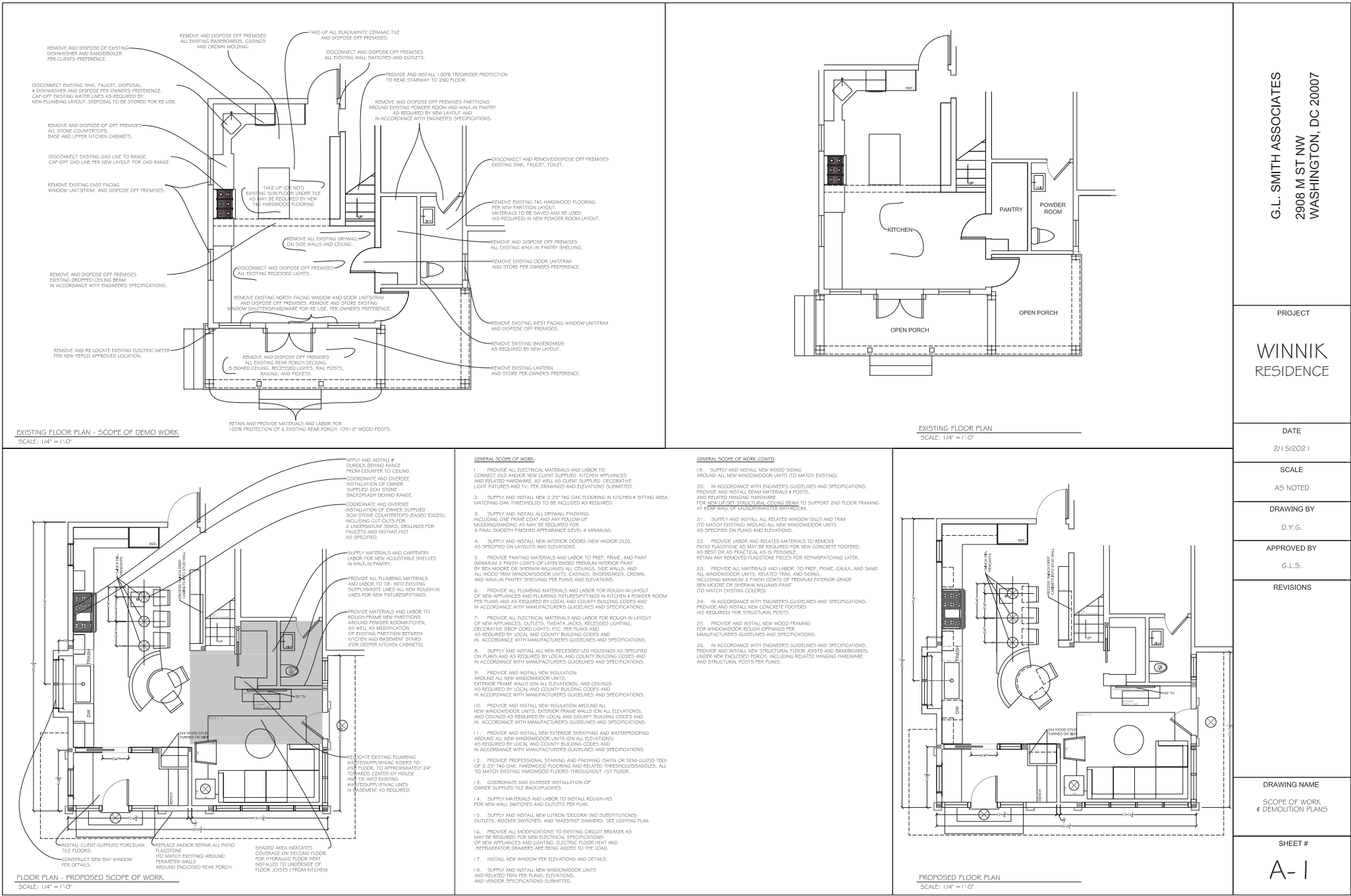
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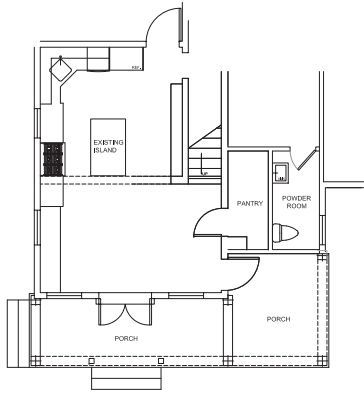
REVISIONS

DRAWING NAME
GENERAL NOTES

SHEET #

G-3





EXISTING FLOOR PLAN
SCALE: 3/16" = 1'-0"

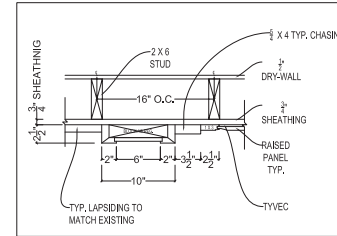


EXISTING EAST ELEVATION
SCALE: 3/16" = 1'-0"

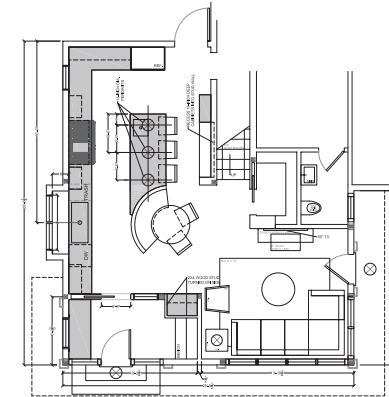
EXISTING WEST ELEVATION
SCALE: 3/16" = 1'-0"



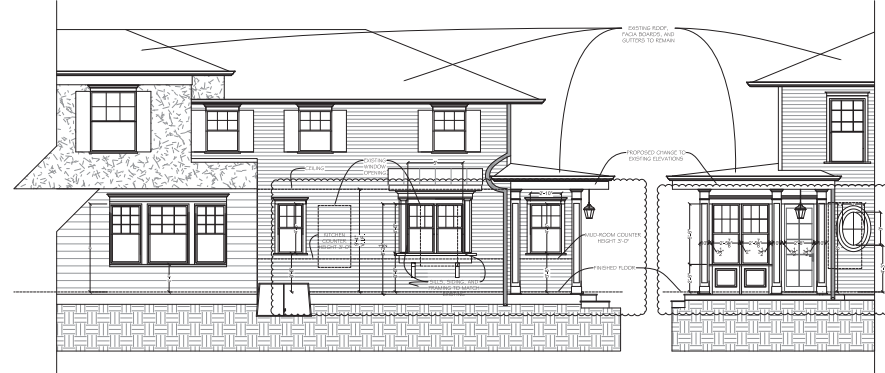
EXISTING NORTH ELEVATION
SCALE: 3/16" = 1'-0"



SECTION A-A
SCALE: 1 1/2" = 1'-0"

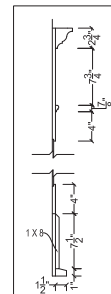


PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

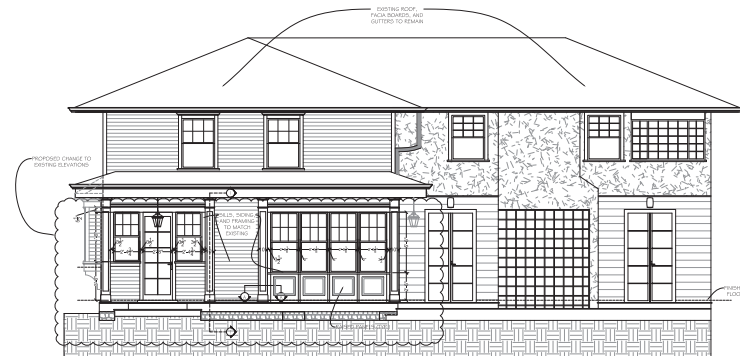


PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



SECTION 1-1
TYP. EXTERIOR COLUMN
SCALE: 1 1/2" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"

G.L. SMITH ASSOCIATES
2908 M ST NW
WASHINGTON, DC 20007

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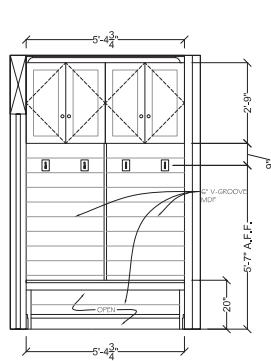
APPROVED BY
G.L.S.

REVISIONS

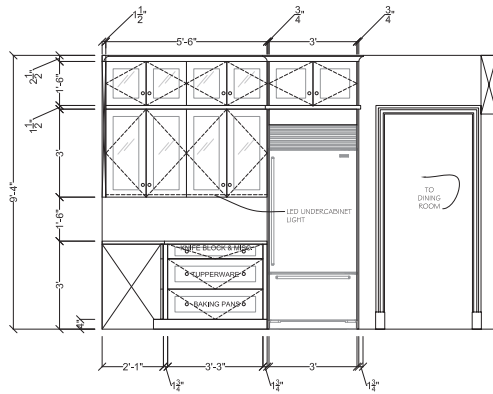
DRAWING NAME
EXISTING & PROPOSED
FLOOR PLANS &
EXTERIOR ELEVATIONS

SHEET #

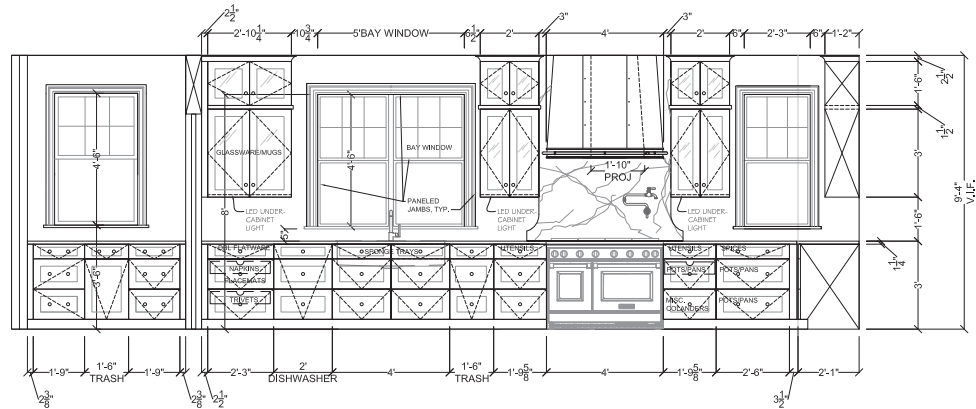
A-2



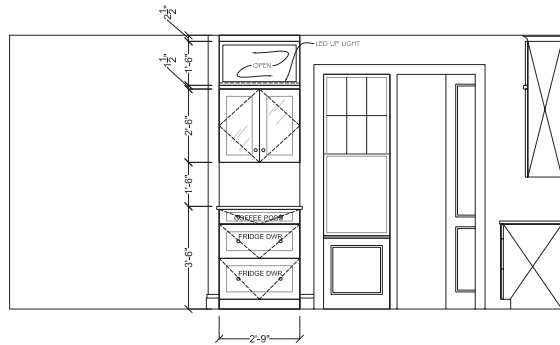
MUDROOM (BENCH) ELEVATION
SCALE: 1/2" = 1'-0"



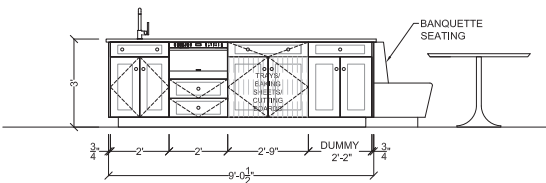
ELEVATION A: KITCHEN FRIDGE WALL
SCALE: 1/2" = 1'-0"



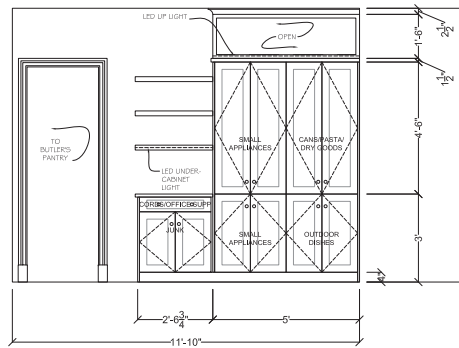
ELEVATION D: KITCHEN SINK WALL & MUDROOM ELEVATION
SCALE: 1/2" = 1'-0"



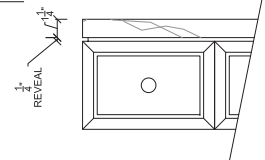
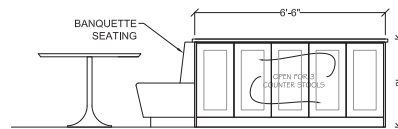
ELEVATION C: KITCHEN COFFEE BAR ELEVATION
SCALE: 1/2" = 1'-0"



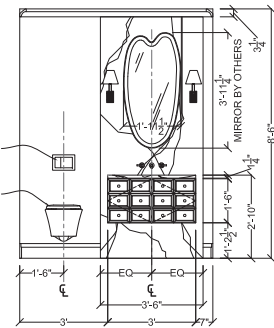
KITCHEN ISLAND ELEVATIONS
SCALE: 1/2" = 1'-0"



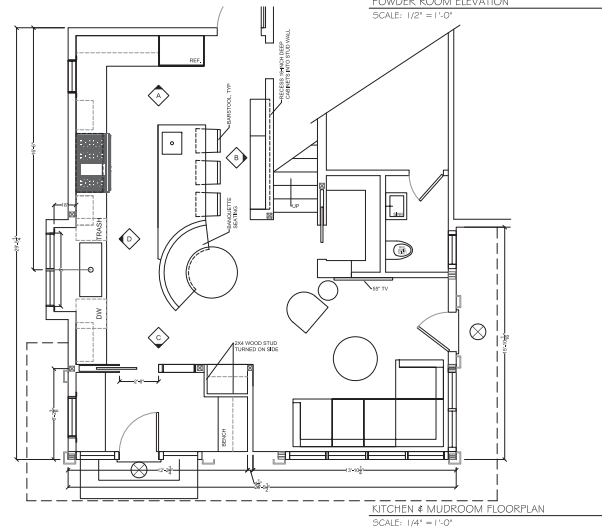
ELEVATION B: KITCHEN TALL WALL ELEVATION
SCALE: 1/2" = 1'-0"



POWDER ROOM VANITY COUNTER DETAIL
SCALE: 3" = 1'-0"



POWDER ROOM ELEVATION
SCALE: 1/2" = 1'-0"



KITCHEN & MUDROOM FLOORPLAN
SCALE: 1/4" = 1'-0"

G.L. SMITH ASSOCIATES
2908 M ST NW
WASHINGTON, DC 20007

PROJECT
WINNIK
RESIDENCE

DATE
2/11/2021

SCALE
AS NOTED

DRAWING BY
D.Y.G.

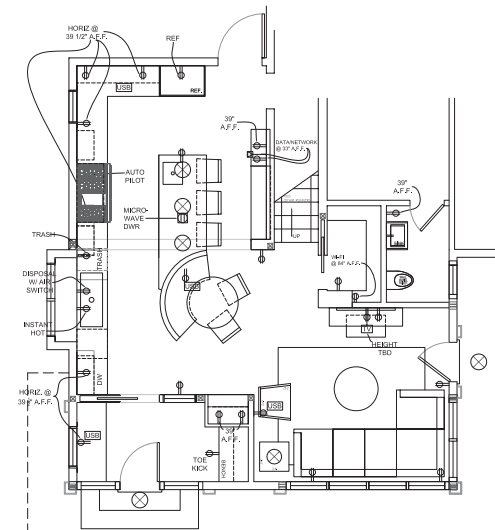
APPROVED BY
G.L.S.

REVISIONS

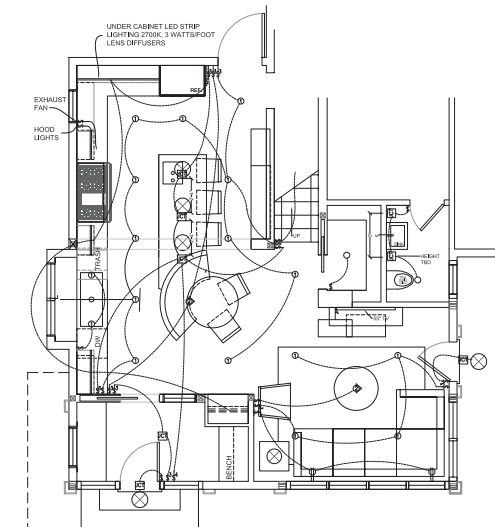
DRAWING NAME
NEW KITCHEN & MUDROOM
FLOOR PLAN & ELEVATIONS

SHEET #

K-1



PROPOSED ELECTRICAL LAYOUT
SCALE: 1/4" = 1'-0"



PROPOSED LIGHTING LAYOUT
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
CODE	DESCRIPTION
	Duplex Wall Outlet
	4 Gang Wall Outlet
	Duplex Floor Outlet
	Waterproof Outlet (Ext.)
	Wall Sconce
	Wall Junction Box
	Ceiling Junction Box
	Floor Uplight (Ext.)
	DMF # JCT Box - Surface Mount Ceiling
	Data Jack
	Data/Phone Jack
	TV Jack
	Exhaust Fan
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH

RECESSED LIGHT FIXTURE SPECIFICATIONS							
CODE	VENDOR	DESCRIPTION	MODEL NUMBER	COLOR TEMPERATURE	FINISH	LUMENS	NOTES
①	DMF	4" Recessed Housing - Flanged, New Construction	#RD4X-650/DRD4M06 Round Kit, White/Silver	2700	Silver/White	600	
	DMF	4" Adjustable Trim	Included above				
②	DMF	4" Recessed Housing - Flanged, New Construction	#RD2X-600/DRD2X06 Round Kit, White/Silver	2700	Silver/White	650	
	DMF	4" Non-Adjustable Trim	Included above				
③	DMF	4" Recessed Housing - Flanged, Remodeler	#RD4X-650/DRD4M06 Round Kit, White/Silver	3000	Silver/White	600	
	DMF	4" Adjustable Trim	Included above				
④	DMF	4" Recessed Housing - Flanged, Remodeler	#RD2X-600/DRD2X06 Round Kit, White/Silver	3000	Silver/White	650	
	DMF	4" Non-Adjustable Trim	Included above				
⑤	DMF	4" Round Surface Mount LED Closet Light	#DRD5S4R	3000	White	750	
⑥	DMF	6" Round Surface Mount LED Closet Light	#DRD5S8R	3000	White	1500	
⑦	DMF	4" x 18" Linear Surface Mount LED Closet Light	#DRD5S4L - 4"x18" Linear	3000	White	750	

G.L. SMITH ASSOCIATES
2908 M ST NW
WASHINGTON, DC 20007

PROJECT
**WINNIK
RESIDENCE**

DATE
2/10/2021

SCALE
AS NOTED

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K.A.G.

APPROVED BY
G.L.S.

REVISIONS

DRAWING NAME
PROPOSED LIGHTING & ELECTRICAL
LAYOUTS & FIXTURE SCHEDULES

SHEET #
E-1

WINDOW SCHEDULE

PLUMBING & APPLIANCE SCHEDULE

LINE #	ROOM	QTY	CODE	UNIT DIMENSION Width Height	ROUGH OPENING Width Height	TYPE	MODEL #	GLASS	PERFORMANCE
1	Powder Room	1	A	29.75" 41.75"	30.5" 42.5"	Fixed Oval	Wood exteriors, woc interiors	Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.27, SHGC 0.27, V.T 0.50, CPD PEL-N-41-382-84-0000, Performance Class CA, PG 50, Calculated Positive DP Rating 50, Year Rated 11
2	Family Room	1	B	34.25" 98"	35" 98.5"	Door: In-swing LEFT	Wood exteriors, woc interiors	Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.25, SHGC 0.25, V.T 0.33, CPD PEL-N-215-02847-0000, Performance Class CA, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 50, Year Rated 11
3	Family Room	1	C	59.75" 66"	60.5" 66.75"	Double Hung Window	Wood exteriors, woc interiors, Mullied at Factory as a double unit.	Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.29, SHGC 0.25, V.T 0.47, CPD PEL-N-234-00259-0000, Performance Class CA, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 03 11, Egress Meets Typical for ground floor 5.0 sq ft (E1) (United States Only)
4	Family Room	1	D	123.5" 66"	121.5" 66.75"	Double Hung Window	Wood exteriors, woc interiors, Mullied at Factory as a quad unit.	Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.29, SHGC 0.25, V.T 0.47, CPD PEL-N-234-00259-0000, Performance Class CA, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 03 11, Egress Meets Typical for ground floor 5.0 sq ft (E1) (United States Only)
5	Microom	1	E	34.25" 98"	35" 98.5"	Door: In-swing RIGHT	Wood exteriors, woc interiors	Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.29, SHGC 0.25, V.T 0.33, CPD PEL-N-215-02847-0000, Performance Class CA, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 50, Year Rated 11
6	Microom	2	F	28.75" 54"	29.5" 54.75"	Double Hung Window	Wood exteriors, woc interiors	Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.25, SHGC 0.25, V.T 0.47, CPD PEL-N-234-00259-0000, Performance Class CA, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 03 11, Egress Does not meet typical United States egress, but may comply with local code requirements
7	Microom	1	G	34" 54"	34.75" 54.75"	Double Hung Window	Wood exteriors, woc interiors	Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.29, SHGC 0.25, V.T 0.47, CPD PEL-N-234-00259-0000, Performance Class CA, PG 45, Calculated Positive DP Rating 45, Year Rated 03 11, Egress Does not meet typical United States egress, but may comply with local code requirements
8	Kitchen Bay	1	H	60" 54"	60.75" 54.75"	Double Hung Window	Wood exteriors, woc interiors	Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.29, SHGC 0.25, V.T 0.47, CPD PEL-N-234-00259-0000, Performance Class CA, PG 45, Calculated Positive DP Rating 45, Year Rated 03 11, Egress Does not meet typical United States egress, but may comply with local code requirements
9	Kitchen	1	I	28.75" 54"	29.5" 54.75"	Double Hung Window	Wood exteriors, woc interiors	Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non-High Altitude	U-Factor 0.25, SHGC 0.25, V.T 0.47, CPD PEL-N-234-00259-0000, Performance Class CA, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 03 11, Egress Does not meet typical United States egress, but may comply with local code requirements

KEY #	ROOM NAME	Qty	FIXTURE	FITTING	SUPPLIER	MANUFACT.	STYLE #	COLOR / FINISH	SPECIAL NOTES
1	POWDER ROOM								
2		1	Toilet		Ferguson	Kohler	"Well Walking compact elongated dual flush toilet with Seat #K-5599-96"	Black	
3		1	In-Wall Tank		Ferguson	Kohler	2-in-Wall Tank & Carrier System, #K-4177	N/A	
4		1	Actuator		Ferguson	Kohler	Frame Adjuster Plate #K-4177-AF	Vibrant French Gold	
5		1	Sink		Ferguson	Kohler	"Verity Rectangle Undermount Sink #K-8830-0, 12.25" x 10"	White	
6		1	Faucet: Wall Mount		Ferguson	Nemco Brass	"Easi Linea" wall-mount faucet #3-991-01	Forever Brass PVD	
7		1	Rough-In Valve		Ferguson	Nemco Brass	#1-532U, 2 Valve Rough with 1/2" NPT Orbits	N/A	
8		1	Tissue Holder		Ferguson	Nemco Brass	"Easi Linea" Tissue Holder #309-100-11	Forever Brass PVD	
9		1	Towel Bar		Ferguson	Nemco Brass	"Easi Linea" 18" Towel Bar #990-120-01	Forever Brass PVD	
10		1	Rope Hook		Ferguson	Nemco Brass	"Easi Linea" Rope Hook #990-100-01	Forever Brass PVD	
11	KITCHEN								
12		1	Main Sink		TBD	The Galley	ideal Workstation #4S, Calculated dimensions: 44.5" long x 18" wide x 10" deep.	Stainless Steel	
14		1	Main Faucet		Ferguson	Nemco Brass	"Easi Linea" #31600-511, 16-1/8" tall, 9-1/4" projection	English Bronze	
15		1	Instant Hot Dispenser		Ferguson	Nemco Brass	"Jade Hot Water Dispenser" #0236-5610-07	English Bronze	
16		1	Hot Water Tank		Ferguson	Nemco Brass	Fairchild #5-636, Temperature Range 140 degrees F to 190 degrees F, 120 volts	N/A	
17		2	Soap Dispenser		Ferguson	Nemco Brass	Easi Linea Soap Dispenser #125-67	English Bronze	
18		1	Island Sink		Ferguson	Frankie	Cube SCLUX IC15, base @ 15" x 15" x 2" deep	Stainless Steel	
19		1	Island Faucet		Ferguson	Nemco Brass	"Easi Linea" #008-602-5-37, 15" tall, 7.5" projection	English Bronze	
20		1	Pre-Filter		Ferguson	Nemco Brass	Jade #5006-5063-07 Red Filter, Wall Mount	English Bronze	
21		1	Disposal - main sink		Owner	N/A	N/A	N/A	
22		1	Disposal - island sink		Ferguson	InSinkerator	"Evolution Excel" #8004A, 1 horsepower	Stainless Steel	
24		2	Disposal Air		Ferguson	InSinkerator	#76036	TBD	
		1	Wall spigot		W.T. Weaver	Dombracht	"Tee", #10-61C-892-38 Dark 60 lb wall mounted cast brass	Dark	
		1	Countertop drain		W.T. Weaver	Nemco Brass	4-in drain #230-402	Oil rubbed bronze	
25									
26	APPLIANCES								
27		1	48" Gas Range		AEW	BlueStar	48" Platinum, #BS1485, separate gas/dishwasher included.	#7616, Granite Gray, Polished Brass knobs & oven door pulls	
28		1	Dishwasher		Ferguson	Miele	24" Panel Ready, #MC2155SC-V1	N/A	Requires woc panel overlay
29		1	Microwave Drawer		Ferguson	Wolf	MC301E6	N/A	
30		1	Refrigerator Freezer Drawers		Ferguson	Sub-Zero	30" Designer Refrigerator Drawers, Panel Ready, #UC38C	N/A	Requires woc panel overlay
31		1	Exhaust Hood		Ferguson	Best by Blom	36" Designer Refrigerator Drawers, Panel Ready, #UC38C	Stainless Steel	Does not include decorative hood trim
32		1	Light Strip		Ferguson	Best by Blom	BES7-BALP34	Stainless Steel	
33		1	External Blower		Ferguson	Best by Blom	BES7-2, 1200 CFM, 10" dia. Duct	N/A	

G.L. SMITH ASSOCIATES
2908 M ST NW
WASHINGTON, DC 20007

PROJECT

WINNIK
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DATE

2/15/2021

SCALE

N/A

DRAWING BY

D.Y.G.

APPROVED BY

G.L.S.

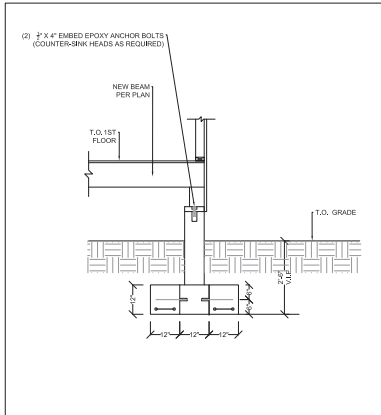
REVISIONS

DRAWING NAME

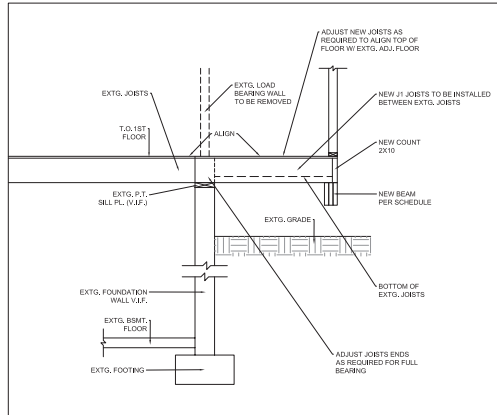
WINDOW & PLUMBING/APPLIANCE
SCHEDULES

SHEET #

P-1



DETAIL AT NEW PARAMETER WALL
SCALE: 1/2" = 1'-0"



TYPICAL TRANSITION DETAIL
SCALE: 1/2" = 1'-0"

DESIGN NOTES (NEW STRUCTURAL WORK)

I. DESIGN LOADS

FLOOR LIVE LOAD = 40 PSF
WIND = 100 MPH
SNOW LOAD = 30 PSF

II. GENERAL

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED.
- THE STRUCTURAL NEW WORK IS DESIGNED IN ACCORDANCE WITH IRC 2018 CODE.
- THESE STRUCTURAL PLANS ARE FOR STRUCTURAL DESIGN WORK ONLY. ANY OTHER WORK SUCH AS ARCHITECTURAL DESIGN ITEMS, WATERPROOFING, ETC., IS BY OTHERS. CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING A WATERPROOF ADDITION, AND COMPLYING WITH ALL COUNTY AND CODE REQUIREMENTS. MAKE ALL NECESSARY ADJUSTMENTS.
- ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE SITE CONDITIONS AND THE ARCHITECTURAL DRAWINGS, CONFIRMED DURING CONSTRUCTION, AND MAKE ALL NECESSARY ADJUSTMENTS.
- THESE DRAWINGS ARE A BUILDER SET OF PLANS FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION ADJUSTMENTS AS REQUIRED IN ORDER TO COMPLETE THE WORK AND COMPLY WITH ALL CODE AND COUNTRY REQUIREMENTS.
- THE DESIGN INDICATED IS STABLE IN ITS CURRENT CONDITION. CONTRACTOR SHALL INSTALL ALL SHORING NECESSARY AS REQUIRED IN ORDER TO MAINTAIN A STRUCTURALLY SAFE STRUCTURE, DURING THE CONSTRUCTION PROCESS, THE SHORING AND BRACING OF ALL EXISTING AND NEW WORK ELEMENTS AND LOADING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE SOIL SHALL BE INSPECTED AT THE NEW FOOTING WORK LOCATION FOR BEARING CAPACITY OF 1500 PSF. CONTRACTOR SHALL NOTIFY COUNTY OR THE THIRD PARTY INSPECTOR FOR INSPECTION.
- ALL STAIRS AND GUARDRAILS AND HANDRAILS SHALL BE PREFABRICATED BY CONTRACTOR AND SHALL BE DESIGNED FOR ALL CODE REQUIREMENTS.

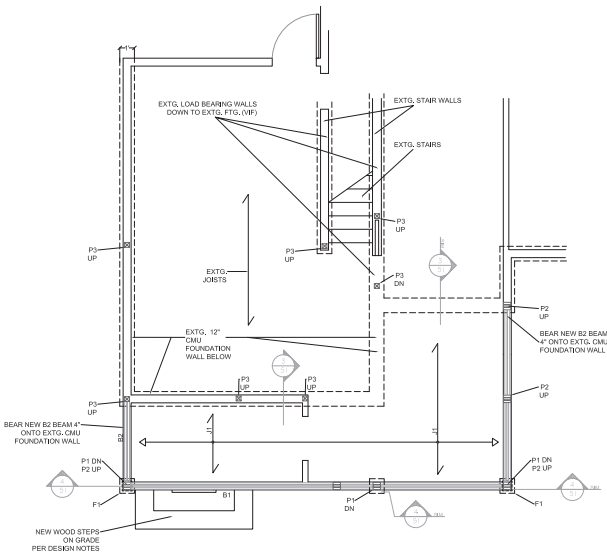
III. CONCRETE

- ALL CONCRETE EXPOSED TO WEATHER SHALL BE MINIMUM 3500 PSI WITH 4% TO 6% AIR ENTRAINMENT. CONCRETE NOT EXPOSED TO WEATHER SHALL BE 3000 PSI MINIMUM.
- ALL CONCRETE WORK SHALL COMPLY WITH THE LATEST ADDITIONS OF ACI 318.301 AND 302.
- ALL MASONRY BLOCK SHALL BE Fm= 1500 PSI AND ALL GROUT FOR REINFORCED CMU CELLS SHALL BE A MINIMUM OF 3000 PSI

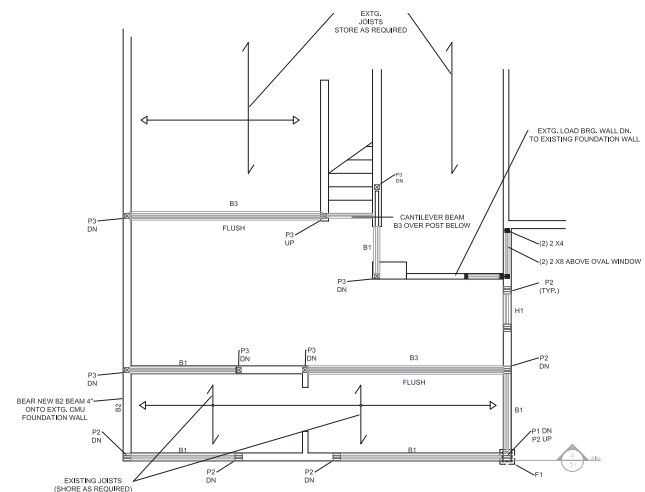
IV. LUMBER

- ALL LUMBER SHALL BE HEM FIR #2 OR EQUAL CAPACITIES.
- ALL LUMBER SHALL BE PRESSURE TREATED.
- CONTRACTOR SHALL OPEN UP EXISTING CONDITIONS AND VERIFY THE EXISTING ACTUAL CONDITIONS AND NOTIFY IF MODIFICATIONS ARE REQUIRED.
- THE ENTIRE ROOF FRAMING SHALL BE PRE-ENGINEERED TRUSSES DESIGNED BY THE TRUSS MANUFACTURER. SUBMIT VIRGINIA STATE P.E. SEALED SHOP DRAWINGS AND CALCULATIONS INDICATING ALL TRUSS LAYOUTS, PROFILES, TEMPORARY AND PERMANENT BRIDGING AND BRACING, CONNECTIONS, AND SUPPORT CONDITIONS.

STRUCTURAL SCHEDULE	
MARK	MEMBER SIZE
J1	2 X 10 @ 16" O.C. JOISTS
B1	(3) 1 1/2" X 9 1/2" LVL BEAM
B2	(2) 2 X 10 BEAM
B3	(4) 1 1/2" X 9 1/2" LVL BEAM
P1	EXTG. PIER 8" X 8" SOLID BRICK (V.L.F.)
P2	(3) 2 X 6 POST (1 KING / 2 JACK)
P3	4 X 4 POST
H1	(3) 2 X 8 HEADER BEAM
F1	EXTG. FTG W/ NEW EXTENSIONS PER DETAIL (4/S1)



FIRST FLOOR STRUCTURAL LAYOUT
SCALE: 1/4" = 1'-0"



SECOND FLOOR STRUCTURAL LAYOUT
SCALE: 1/4" = 1'-0"

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DATE

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SCALE

AS NOTED

DRAWING BY

K.A.G.

APPROVED BY

G.L.S.

REVISIONS

DRAWING NAME

STRUCTURAL PLANS,
NOTES, AND DETAILS

SHEET

S-1



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 2/26/2021

Application No: 943562
AP Type: HISTORIC
Customer No: 1398486

Comments

Phil Long (agent) - 240-418-3204, mcpermits@casengineering.com/phil@cas-dc.com

Affidavit Acknowledgement

The Homeowner is the Primary applicant

This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 5804 CONNECTICUT AVE
CHEVY CHASE, MD 20815

Homeowner Winnik (Primary)

Othercontact CAS ENGINEERING

Historic Area Work Permit Details

Work Type ALTER

Scope of Work Alterations - enclose existing rear porch, windows, doors