

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	2 E. Kirk St., Chevy Chase	Meeting Date:	3/10/2021
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	3/3/2021
Applicant:	Andrew Umhau	Public Notice:	2/24/2021
Review:	HAWP	Tax Credit:	n/a
Permit No.:	941000	Staff:	Dan Bruechert
Proposal:	New Hardscape and Rear Porch Construction		

STAFF RECOMMENDATION

☒ Approve
☐ Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Chevy Chase Historic District
STYLE: Colonial Revival
DATE: c.1930



Figure 1: 2 E. Kirke St.

PROPOSAL

The applicant proposes to expand the rear patio with flagstone pavers and to construct a section of covered porch. The proposed patio is slightly larger than the existing one. The section of the covered porch measures 19' 1" × 13' 9" (nineteen feet, one inch by thirteen feet, nine inches) and consists of wooden columns supporting a copper-covered shed roof. The plans note footers for a future arbor that is not a part of this HAWP, but would be evaluated in a future application.

The proposed work will not be visible from E. Kirks St. but would be visible from Connecticut Ave. in the absence of vegetation.

APPLICABLE GUIDELINES

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The relevant *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of

Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2;

and with the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit. visit.



FOR STAFF ONLY:
HAWP# 941000
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____

No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:



#2 E. KIRKE ST.

FRONT, STREET
VIEWS





REAR VIEW



DRIVEWAY SIDE



REAR VIEW



YARD SIDE

NOTES:

Construction plans to comply with all local codes, including IRC 2018, IECC 2018 as amended by Montgomery County Executive Regulation 31-19.

Fire/smoke detector system to be installed per IRC 2018, sec. R314.
Carbon monoxide alarms to be installed per IRC 2018, sec. R315.

Fire rating of interior and exterior bearing and non-bearing walls, other than party wall = 0.
Party wall to be 2 hr. fire rated block wall.

DESIGN CRITERIA:

Floor occupancy live load: 40 psf
Floor dead load: 10 psf
Roof live load/snow load: 30 psf
Roof dead load: 15 psf
Ground snow load: 30 psf
Wind load: 115 mph, 3 second gust
Wind importance factor: $1W = 1.0$
Wind exposure category: B
Minimum design wind pressure for main wind force resisting system & components/cladding = 20 psf
Seismic importance factor = 1.0
Seismic design category = B

Framing lumber: kiln dried Western SPF
Framing studs: kiln dried Eastern SPF
Concrete: 3,000 psf minimum, no air
Foundation soil: 2,000 psf soil bearing
Frost line depth: 30"

Wall insulation to be 6" R-21 fiberglass insulation
Ceiling insulation to be 15" R-49 fiberglass insulation
Floor insulation to be 6" R-19 fiberglass insulation
Basement wall insulation to be R-10/13

Exhaust fans and hoods to be ducted outside.

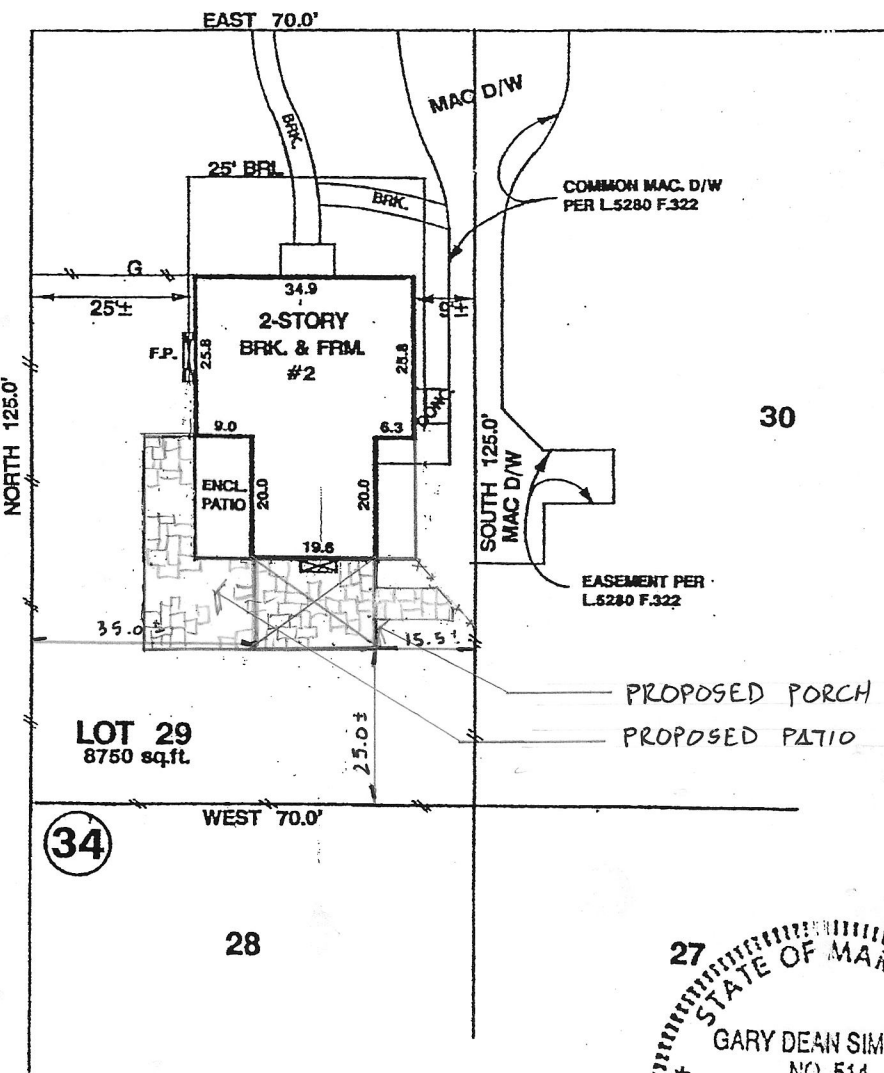
CASE NO. 10105-91 N/A
NEW CASE NO. 10967-93

HOUSE LOCATION
SECTION 2 - CHEVY CHASE
LOT 29 BLOCK 34
MONTGOMERY COUNTY, MARYLAND

EAST KIRKE ST.
(100' R/W)
(FORMERLY KIRKE ST.)

NORTH

CONNECTICUT AVE.
(130' R/W)



THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE C (AREA OF MINIMAL FLOODING)
ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP COMMUNITY
PANEL NO. 240049 0175 C AS REVISED 08-01-1984



Smith, Thomas & Smith, Inc.

General Contractors

4713 MAPLE AVENUE, BETHESDA, MARYLAND 20814
TELEPHONE (301) 656-0141

MD. LICENSE # 453
D.C. LICENSE # 17
VA. LICENSE # 035673

UMHAU RESIDENCE

#2 E. KIRKE STREET

REAR PATIO/PORCH

SCALE: AS NOTED

DATE: JANUARY 21, 2021

WOOD STEPS

PORCH ROOF

ELECT
MTR PHONE

EXISTING FLAGSTONE PATIO
(WITH CONCRETE BASE)

EXISTING

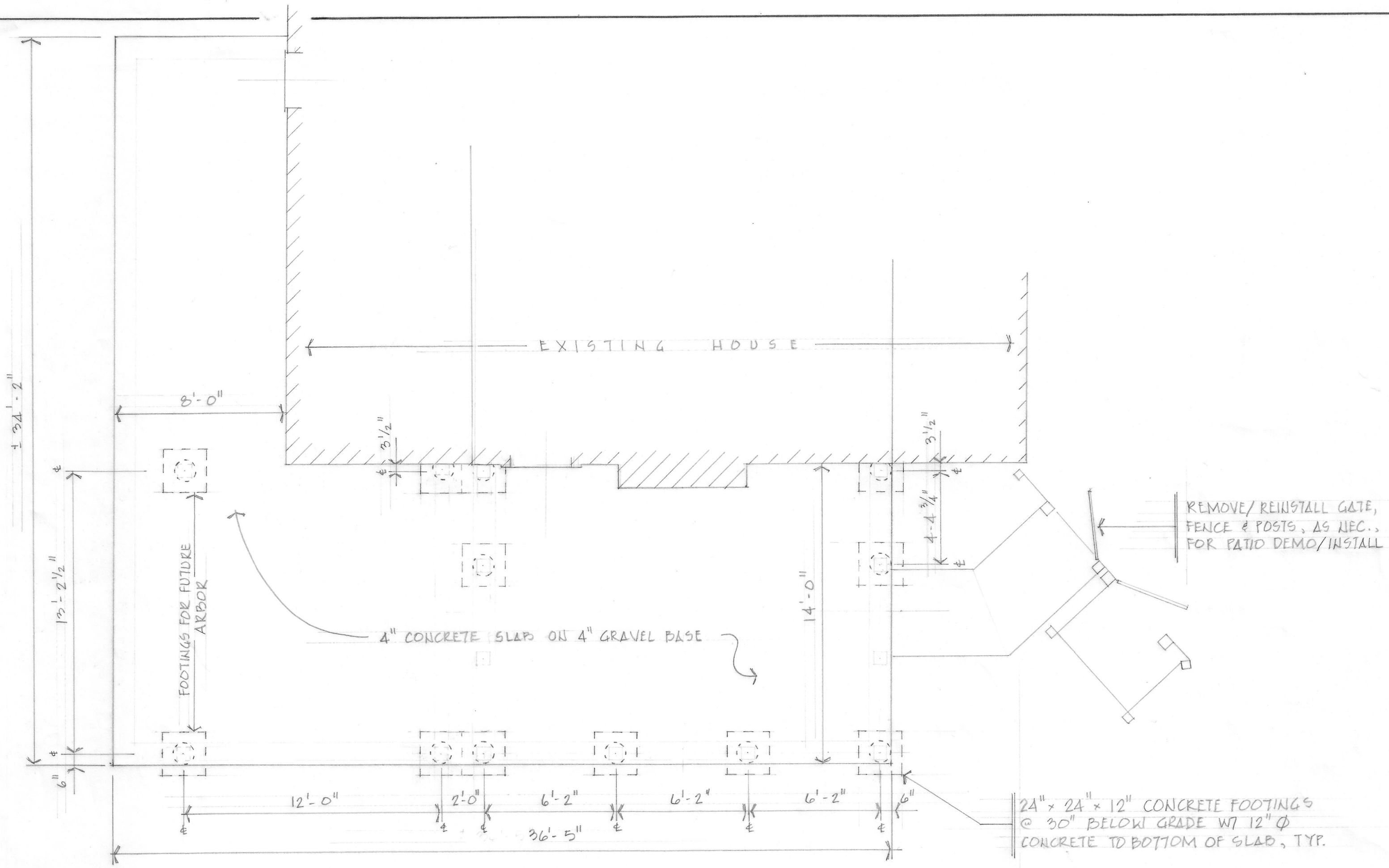
STONE

WALK

- EXISTING CONDITIONS -

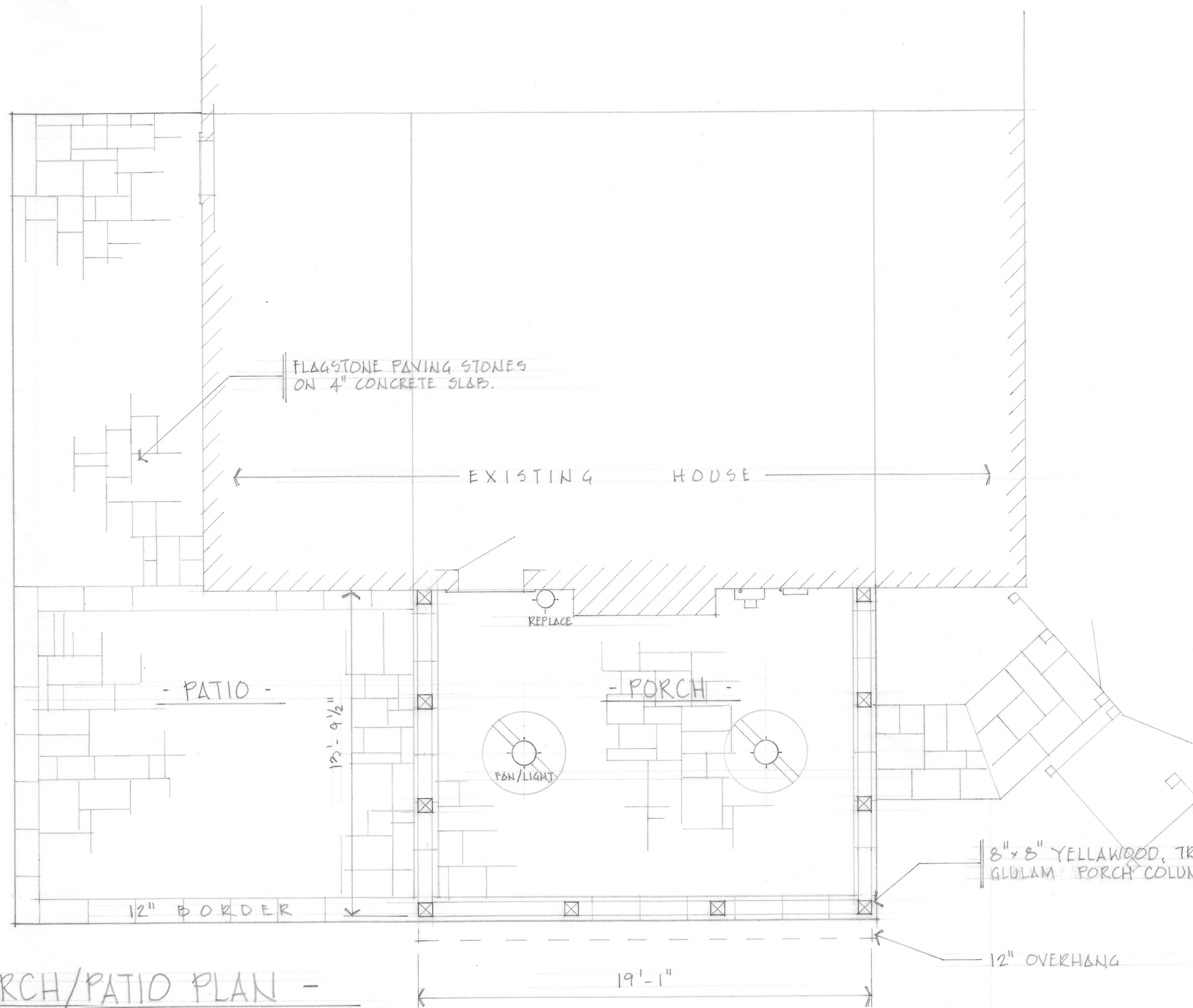
SCALE: 1/4" = 1'-0"

1



- FOUNDATION PLAN -

SCALE: 1/4" = 1'-0"



- PORCH/PATIO PLAN -

SCALE: $\frac{1}{4}" = 1'-0"$

REMOVE EXISTING PORCH ROOF

8" x 8" YELLOWWOOD TREATED
GLULAM PORCH COLUMNS.

STANDING SEAM COPPER
ROOF, FLASH INTO MASONRY.

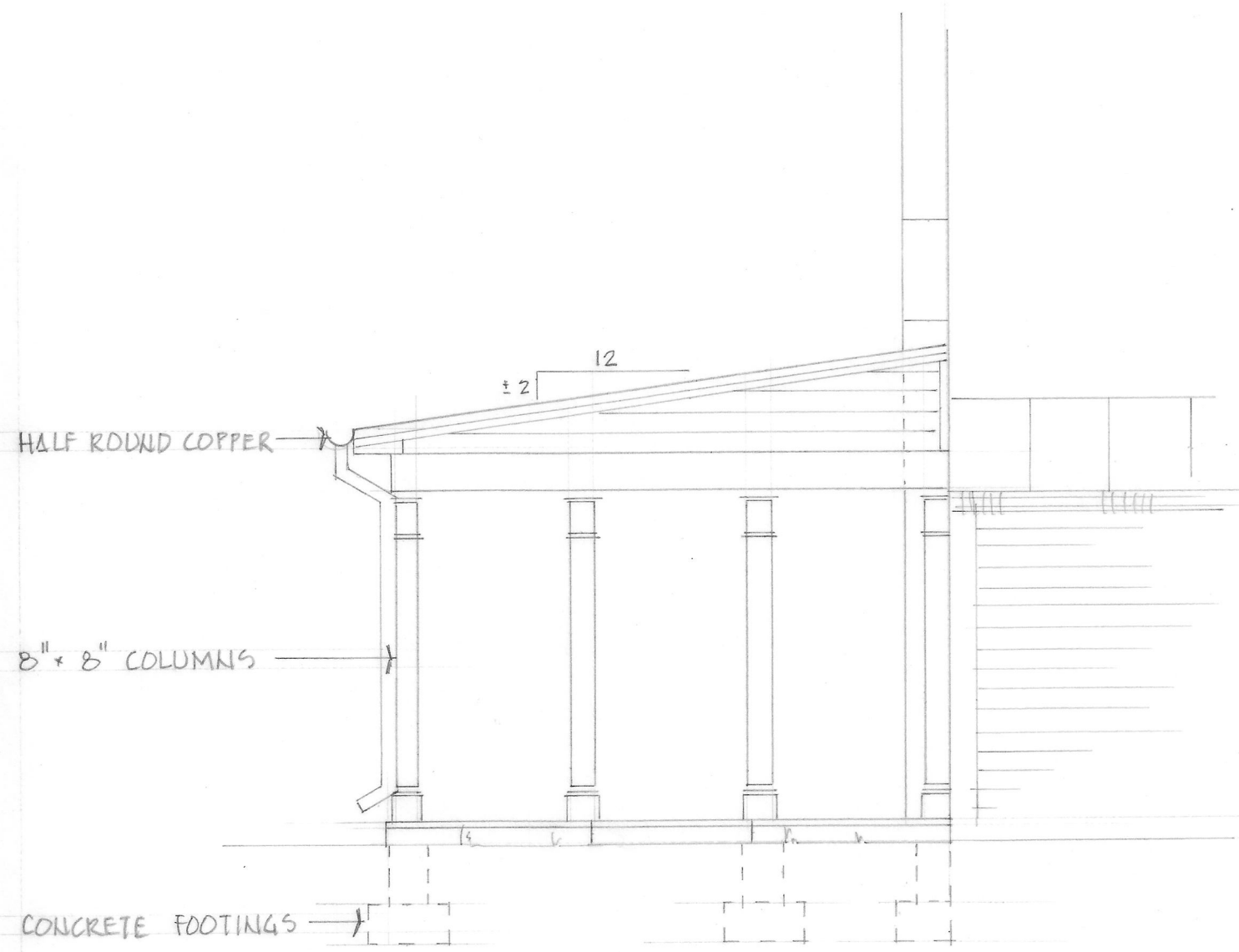
PATIO

CONCRETE FOOTINGS FOR FUTURE ARBOR

24" x 24" x 12" CONCRETE
FOOTINGS @ 30" BELOW GRADE
W/ 12" ϕ CONCRETE TO BOTTOM
OF SLAB.

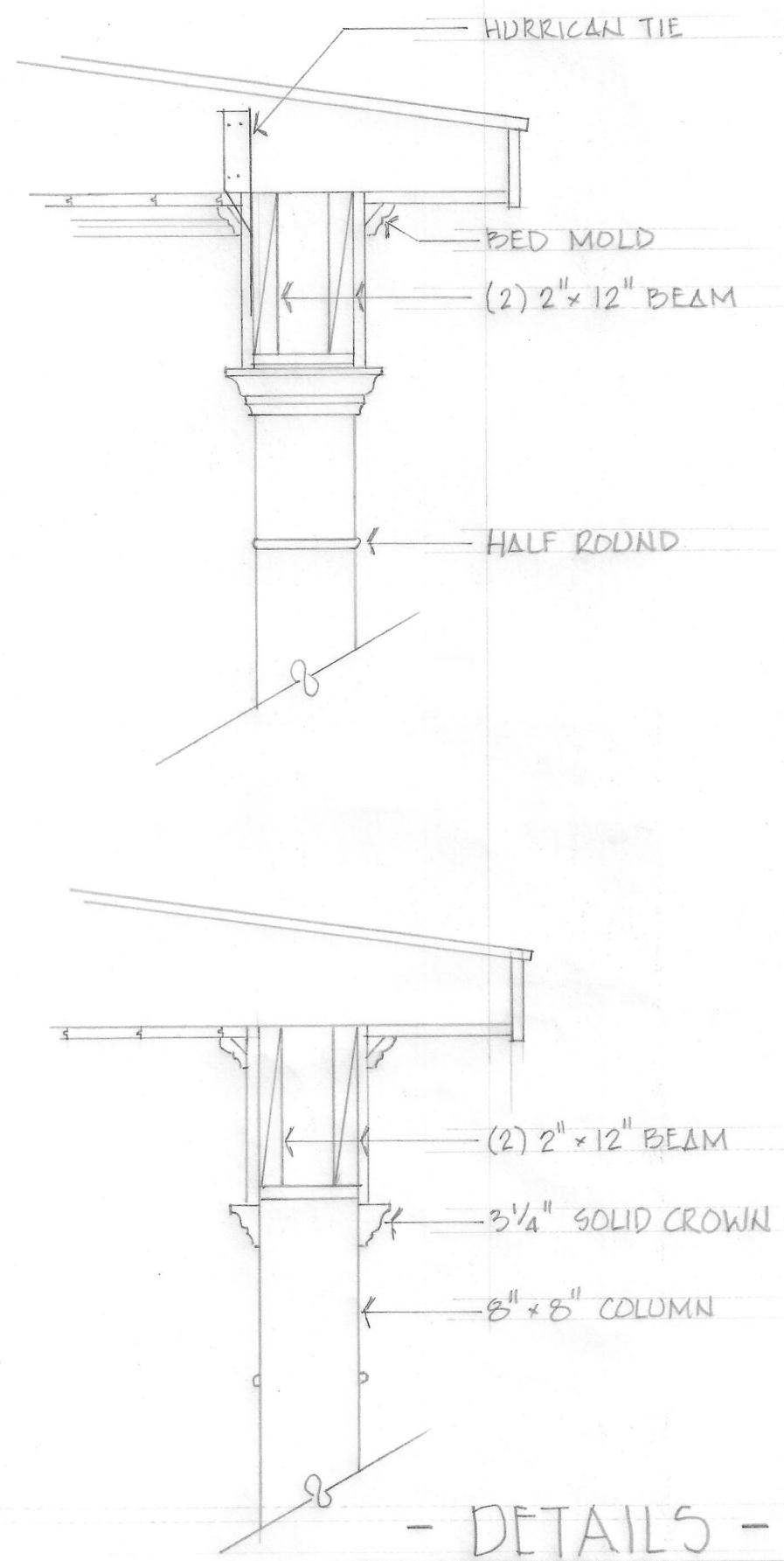
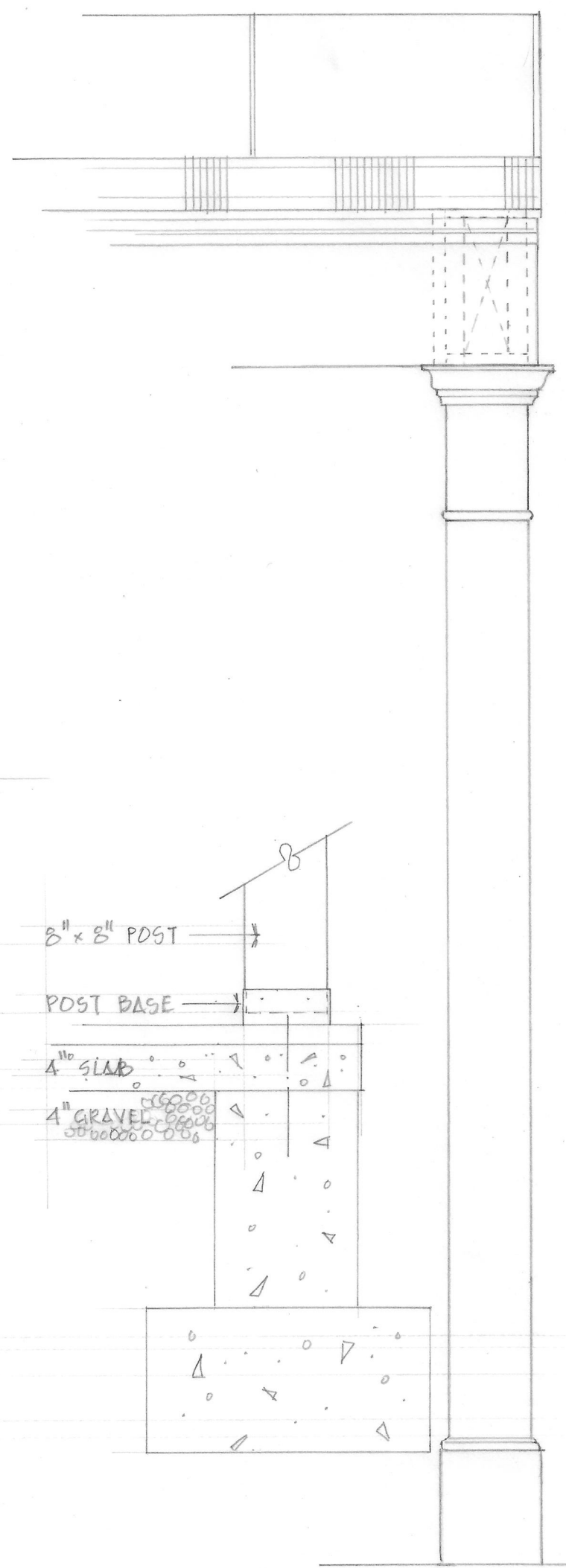
- REAR ELEVATION -

SCALE: $\frac{1}{4}" = 1'-0"$



- LEFT SIDE ELEVATION -

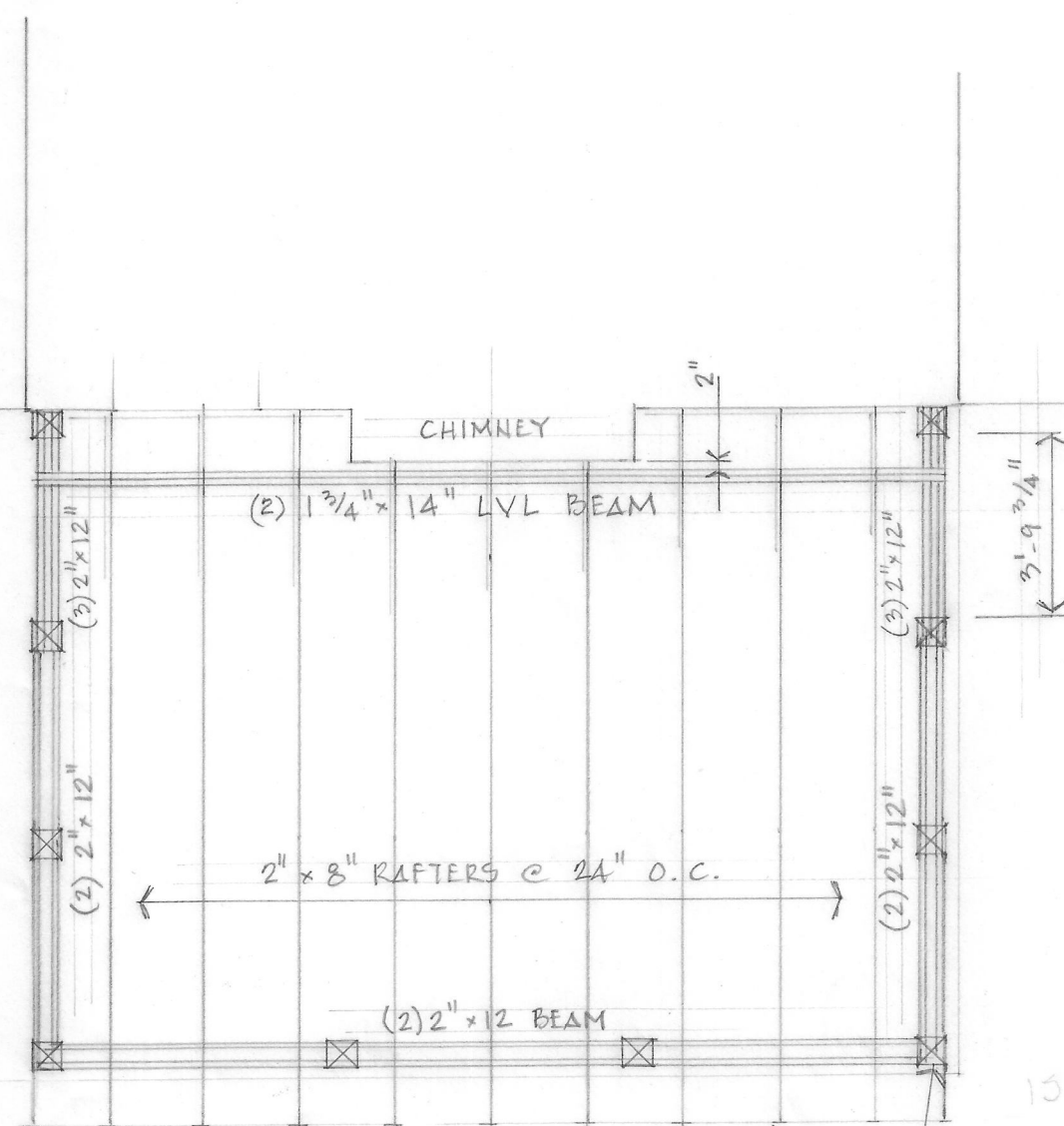
SCALE: 1/4" = 1'-0"



- DETAILS -

SCALE: 1" = 1'-0"

- ROOF FRAMING -



8" x 8" YELLOWWOOD TREATED
GLULAM PORCH COLUMNS

SCALE: 1/4" = 1'-0"

- SECTION -

