

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7823 Overhill Road, Bethesda	Meeting Date:	2/10/2021
Resource:	Contributing Resource (Greenwich Forest Historic District)	Report Date:	2/3/2021
Applicant:	Stephen Smith Randal Mars, Architect	Public Notice:	1/27/2021
Review:	Preliminary Consultation	Staff:	Dan Bruechert
Proposal:	Building Addition, Accessory Structure Construction		

STAFF RECOMMENDATION

Staff recommends that the applicant make revisions recommended by the HPC and return for a HAWP or second preliminary consultation.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Greenwich Forest Historic District
STYLE: Colonial Revival
DATE: 1936



Figure 1: 7823 Overhill Road.

PROPOSAL

The applicant proposes to construct an addition and an accessory structure on the site.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Greenwich Forest Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Greenwich Forest Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Greenwich Forest Historic District Guidelines

A. PRINCIPLES

The preservation of the following essential elements of Greenwich Forest is the highest priority in making decisions concerning applications for work permits. These Principles are not meant to stop or create unreasonable obstacles to normal maintenance, reasonable modifications, and the evolving needs of residents.

A2. The houses in Greenwich Forest create an integrated fabric well-suited to its forest setting. These Guidelines are intended to preserve this environment by ensuring that approved work permits include appropriate safeguards that protect the following three essential elements of this fabric:

c. High quality building materials and high level of craftsmanship.

A3. The neighborhood needs to evolve to meet the needs of its residents while maintaining the charm and architectural integrity that have been maintained since the 1930s. Introducing new *architectural styles* that are not already present in the neighborhood will detract from its integrated fabric.

B. BALANCING PRESERVATION AND FLEXIBILITY

Greenwich Forest represents a period in the evolution of Montgomery County worthy of preservation, but it has also changed in response to the needs of residents since it was created in the 1930s. These Guidelines seek a reasonable compromise between preservation and the needs of residents in several ways.

B1. Most of the houses in the Greenwich Forest Historic District are designated “contributing” because they contribute to the architectural and historic nature of the district. Contributing structures are shown in the map of the districts. These Guidelines are more specific for contributing structures.

B2. Other houses in the district are designated non-contributing either because (1) they were built more recently than contributing houses with other architectural styles (see Appendix 3) or (2) their original features have been significantly altered by subsequent modifications. Non-contributing structures are shown on the map of the District. The Guidelines provide greater flexibility for owners of non-contributing houses.

B3. These Guidelines reflect the reality that nearly all houses in Greenwich Forest have been modified

since their construction. Owners are not expected to return their houses to their original configurations. The modifications they are permitted to make under these Guidelines are based on the current reality in the neighborhood, provided that those modifications are consistent with the Principles in these Guidelines.

B4. Property owners have additional flexibility under these Guidelines to make more extensive changes to the parts of their houses that are less visible from the public rights-of-way in front of their houses. The Guidelines accomplish this by stipulating different levels of review for specific elements on different parts of houses.

The *Guidelines* that pertain to this project are as follows:

D4. *Additions*: Additions to *contributing* and *non-contributing houses* are allowed. The style of an *addition* must be compatible and in keeping with the prevailing styles of that house. The style of the *addition* must be compatible with the style of the original house, unless the owner wishes to change the *architectural style* of both the house and addition to another style of a *contributing house* in Greenwich Forest (see Changes to *architectural style*, below). *Additions to contributing houses* must preserve as a recognizable entity the outline of the original house (not including subsequent additions). Side additions to *contributing houses* are allowed, but the limits of the original *façade* must be demarcated by stepping back the front plane of the addition and by a change in the addition's roofline. Rear *additions* to *contributing houses* are allowed within limitations on height and setbacks (see D5).

D5. Guidelines on dimensions: The total lot coverage of a house may not exceed 25% of the lot area, and accessory buildings may not exceed 5% of the lot area. The area of an accessory building may be increased by 2%, to 7% of total lot coverage, if the lot coverage of the house and the accessory buildings added together does not exceed 30% of lot area.

Additions should try to preserve ample spacing between houses (see Principle 2b). For example, visual crowding between houses could be minimized by placing an addition toward the back of a property, placing an addition on the side of a property with greater distance to the adjacent house (especially when a side lot abuts the rear setback of an adjacent corner house), or by screening additions with plantings. The total of the two side lot setbacks must be at least 18', with no less than 7' on one side. Rear lot setbacks must be at least 25', though decks no higher than 3' from the ground may extend to an 11' setback.

The elevation of the main or predominant ridgeline(s) of a *contributing house* as viewed from the front may not be increased. To avoid excessive increases in the visual mass of houses, the elevation of any separate ridgelines of an addition to the rear of the house may not be more than 3' above that of the main ridgeline.

D7. Building materials: Replacement of roofs, siding, and trim with original materials is strongly recommended and is considered maintenance that will not require an application for a work permit. Use of non-original "like materials" such as architectural asphalt shingles requires a work permit to ensure that they match the scale, texture, and detail of the original materials and are consistent with the overall design of the existing house. For example, homeowners wishing to replace slate or tile roofs may use alternative materials that match the scale, texture, and detail of the roof being replaced. If an original slate or tile roof had been replaced with non-original material before July 1, 2011, the homeowner may replace the existing roof in kind or with another material consistent with the architectural style of that house.

D11. Runoff control: Proposals for work permits should consider rainwater runoff problems that may be created by additions and other property and structural alterations. Solutions to these problems should

protect trees and maximize the on-property control of this runoff by drainage fields, installation of permeable rather than impermeable surfaces, and other available means.

D16. Walkways and patios: Reconfiguration and replacement of existing pathways and patios that would not result in a net addition of impermeable hardscape surfaces are considered landscaping and do not require an application for a work permit. The installation of new walkways and patios requires a work permit and should minimize the creation of new impermeable hardscape surfaces (see Principle 1).

D17. Windows, dormers, and doors: Door and window replacements are acceptable, as long as the replacements are compatible with the architectural style of the house. Replacement windows with true or simulated divided lights are acceptable, but removable ('snap-in') muntins are not permitted on front-facing windows of contributing houses. Front-facing dormer additions to third floors are permitted on non-contributing houses and on contributing houses, if such additions do not involve raising the main roof ridge line (as specified in D5) and if the addition is compatible in scale, proportion, and architectural style of the original house.

According to the *Guidelines*, the three levels of review are as follows:

Limited scrutiny is the least rigorous level of review. With this level, the scope or criteria used in the review of applications for work permits is more limited and emphasizes the overall structure rather than materials and architectural details. The decision-making body should base its review on maintaining compatibility with the design, texture, scale, spacing and placement of surrounding houses and the impact of the proposed change on the streetscape.

Moderate scrutiny is a higher level of review than limited scrutiny and adds consideration of the preservation of the property to the requirements of limited scrutiny. Alterations should be designed so the altered structure does not detract from the fabric of Greenwich Forest while affording homeowners reasonable flexibility. Use of compatible new materials or materials that replicate the original, rather than original building materials, should be permitted. Planned changes should be compatible with the structure's existing architectural designs.

Strict scrutiny is the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the requirements of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.

Sec. 24A-8. Same-Criteria for issuance.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the

historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Standards 2, 9, and 10 most directly apply to the application before the commission:

#2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

#10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a side-gable, two-story Colonial Revival house with a full-width front porch. To the left of the house, set back from the front, is the attached rear-loading, one-bay garage.

The applicant proposes work in three primary areas on the house: a building addition, a detached garage, and alterations to the existing house. The primary purpose of this preliminary consultation is to discuss the size, massing, and architectural style of the new construction proposed for the site.

Building Addition

The applicant proposes to construct an addition at the rear of the house. The addition will be constructed out of two primary volumes, a one-and-a-half story side-gable addition constructed off of the right-rear corner, with a larger two-story addition to the rear. Both of the roofs will be covered in slate to match the historic house roof. More than half of the two-story addition is constructed behind the historic house. The proposed side-gable additions match the simple form of the historic house. The front of the visible one-and-a-half-story addition is dominated by a window wall that wraps around the right corner and has a brick foundation and horizontal lap siding. The rest of the addition has a combination of multi-lite casement and sash windows. The ridge of the rear gable appears to be taller than the principal gable of the house.

The addition is large and much of the addition projects beyond the right wall plane of the historic house. While both of those factors could be non-starters for additions in other districts, the guidelines for the Greenwich Forest Historic District provide much more leniency in trying to produce a balance between preservation and flexibility. Staff also notes that in an attempt to provide clarity, many of the individual guidelines present prescriptive measurements rather than rely on general guidance of compatibility (as in the case with the Takoma Park or Chevy Chase Village Historic Districts). Evaluation of building additions that are visible from the right-of-way, as is the case here, are to be reviewed under strict scrutiny. The definition of strict scrutiny is “the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the requirements

of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.”

The first consideration is the overall size of the addition. The footprint of the existing house is 938 ft² (nine hundred and thirty-eight square feet) and the proposal will add 1367 ft² (one thousand three hundred sixty-seven square feet), totaling 2305 ft² (two thousand five square feet) of lot coverage. The *Design Guidelines* state that the total lot coverage of a house may not exceed 25% of the lot area. In this instance, the house with its proposed addition will cover 19.35% of the total lot.

The second element to consider is the massing of the proposed addition. Much of the proposed addition projects to the right (south) of the historic house. The guidelines for additions (D4 and D5) focus on several factors including preserving the historic house as a recognizable entity, requiring side additions “must be demarcated by stepping back the front plane of the addition and by a change in the addition’s roofline,” providing ample spacing between houses with perspective requirements for side setbacks, and limiting the ridgeline of additions to no more than 3’ (three feet) above the historic ridgeline.

Staff finds that most of the requirements for the massing of the new addition appear to comply with what was considered when the residents of Greenwich Forest drafted the *Design Guidelines*. The side addition is stepped back two bays on the right elevation and its ridgeline is lower than the historic roof. Additionally, the side gable of the proposed addition appears to be taller than the historic gable ridge, but it does not appear to exceed the 3’ (three-foot) maximum. No information was provided regarding the distance between the proposed construction and the property boundaries, however, based on the aerial photo (Fig. 1) it appears that the addition will not run afoul of the setback requirement. Because the figures for roof ridge height and side setback are presented as maximum measurements in the *Design Guidelines*, those figures need to be included for the Historic Area Work Permit (HAWP) to be deemed complete. Staff also notes that the site rises by several feet from the right-of-way. A perspective drawing from the right side of the house at street level would be helpful to further evaluate the impact of the proposed construction.

The other consideration for the proposed addition is its massing. The *Design Guidelines* provide guidance on the maximum footprint, maximum height, and requirements for stepping back the front of side additions from the front elevation, and side setback minimums; but they do not include any guidance on how to evaluate the appropriateness of an addition’s massing. The proposed right side projection at the front is subservient to the historic and appears to meet the spirit and letter of the *Design Guidelines*. The larger addition section at the rear is more massive than the historic house. Preservation practice, and the Standards, dictate that building additions need to be subservient to the historic construction. However, the *Guidelines* do not provide any more guidance on mass than, “to avoid excessive increases in the visual mass of houses, the elevation of any separate ridgelines of an addition to the rear of the house may not be more than 3’ above that of the main ridgeline.” The rear section of the addition appears to be less than 3’ (three feet) above the main ridgeline. This level of analysis does not answer the question of whether the massing is compatible with the historic structure. Staff finds that the massing of the addition at the rear is very large and while the model and perspective renderings are helpful, they do not show how much of the addition’s massing will be visible when viewed from the public right-of-way. Staff finds that the proposed addition is too massive and should be reduced. Staff requests feedback from the HPC about the amount of reduction needed to bring it into compliance or additional information to better evaluate the proposal.

Even though the primary considerations of this preliminary consultation are related to the mass and size of the proposal, some discussion of architectural features is warranted. The *Design Guidelines* require that style of additions be “compatible and in keeping with the prevailing style of the house” (D4). The subject house is a very simple Colonial Revival house. Much of the proposed addition will not be visible

from the right of way, however, the visible section primarily consists of a window wall and slate roof. Staff finds the form of the addition is compatible with the style of the house. The highly visible window wall will be viewed as a clearly contemporary feature, however, is it compatible and in keeping with the prevailing style of the house? Staff finds that it is. The visible portion of the proposed addition reflects the form of the historic house, i.e. a rectangle footprint with a simple side gable slate roof. The visible architectural details of the addition include the brick foundation/knee wall, matching the exterior material of the historic house and a window wall. The window wall is a contemporary feature with its roots in mid-century architecture. This section of the addition is devoid of all other ornamentation. Staff finds that this lack of ornament makes the form of the addition more compatible because it does not visually compete with the simple decorations on the historic house—primarily the multi-lite windows and shutters. Staff recognizes that these drawings are in a preliminary stage, but it appears as though the historic exterior wall may be visible through the window wall. If this is the case, this treatment would preserve all of the historic houses as a recognizable entity (see D4 and D5).

Staff requests feedback from the HPC regarding the:

- Appropriateness of the addition's proposed massing and design
 - Does the HPC find the design of the proposed addition is “in keeping with the Colonial Revival features of the historic house?”
- Recommended revisions to better bring the proposal into conformance with the requisite guidance.

Additionally, at a second preliminary consultation or HAWP application the following materials are necessary to ensure conformance with the *Greenwich Forest Design Guidelines*:

- The difference between the historic and taller addition gable and
- Distance between the house and the neighboring house.

Garage

In the rear of the lot, to the left of the house, the applicant proposes to construct a one-and-a-half story garage. The garage will be covered in lap siding to match much of the building addition and have wood vehicle doors and multi-lite casement windows facing the street. The garage roof will be covered in asphalt shingles. An exterior staircase on the south elevation will provide access to the second story. The garage will be connected to the house by a brick loggia.

Accessory buildings in the Greenwich Forest Historic District need to adhere to the same requirements as building additions. The design and materials need to be compatible with the historic house and the ridgeline may be no more than 3' (three feet) tall than the historic one. The most important consideration for accessory structures is that they may not exceed 5% lot coverage unless the house and accessory building are less than 30% total lot coverage. In those instances, the accessory structure can cover up to 7% of the total lot. The proposed accessory structure will cover 5.11% of the lot. With the proposed addition (discussed above), the proposed total lot coverage is 24.46%. This complies with the requirements of the *Design Guidelines*; however, the applicant must provide these numbers at each stage of the proposal in their own table for review and analysis. There is not enough information at this stage to analyze the impact of this building feature vis-à-vis the site elements or the streetscape.

Details for driveway alterations and the proposed loggia were not included in the submitted materials. Staff notes that both of these elements are discussed in the *Guidelines*. Driveways and parking areas should minimize new hardscape areas and should not interrupt the setting visible from the right-of-way (D8). New walkways and patios should minimize the creation of new impermeable hardscape surfaces (D16). Details for these features need to be submitted with the HAWP application and, if there is a second preliminary consultation, Staff recommends details for the hardscaping be included with that

submission.

Other alterations

Most of the other work proposed involves replacing materials in-kind, including windows and shutters. The one exception is replacing the front-facing first-floor garage window. The applicant proposes to remove the existing window, raise the sill, and install a new window. Staff finds that this work is in keeping with *Guideline D17* which states replacement windows and doors need to be in keeping with the architectural style of the house.

STAFF RECOMMENDATION

To reiterate, at this Preliminary Consultation, Staff requests feedback from the HPC regarding the:

- Appropriateness of the addition's proposed massing and design
 - Does the HPC find the design of the proposed addition is "in keeping with the Colonial Revival features of the historic house?"
- Recommended revisions to better bring the proposal into conformance with the requisite guidance.

Additionally, at a second preliminary consultation or HAWP application the following materials are necessary to ensure conformance with the *Greenwich Forest Design Guidelines*:

- The difference between the historic and taller addition gable and
- Distance between the house and the neighboring house.

Staff recommends the applicant makes revisions based on the feedback from the HPC and return for a second preliminary consultation or a HAWP.



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: STEPHEN SMITH

E-mail: STEPHEN.SMITH@PEACEABLEHILL.ORG

Address: 7823 OVERHILL RD.

City: BETHESDA Zip: _____

Daytime Phone: 202 270 8085

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: RANDALL MARS A.I.A

E-mail: RM@RAMARS.COM

Address: 6708 OLD MOLEAN VILL. DR.

City: MCLEAN Zip: 22101

Daytime Phone: 703 749 0431

ARCH
~~Contractor~~ Registration No.: 9157

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 7823 OVERHILL RD.

Is the Property Located within an Historic District? ☒ Yes/District Name GREENWICH FOR BST
_____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information. NO

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input checked="" type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

1.28.21

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address STEPHEN SMITH 1800 N. LYNN ST. # 2216 ARLINGTON, VA 22209	Owner's Agent's mailing address RANDALL MARS RANDALL MARS ARCHITECTS 6708 OLD McLEAN VILLAGE DRIVE MCLEAN, VA 22101
Adjacent and confronting Property Owners (mailing) addresses	
7825 OVERHILL RD BOTHESDA, MD	7819 OVERHILL ROAD BOTHESDA, MD

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

- RENOVATE EXISTING HOUSE. REPLACE WINDOWS, RECONFIGURE EXISTING INTERIORS ON BASEMENT, 1ST & 2ND FLOOR
- ADD COMPLIMENTARY STRUCTURE, HOUSING NEW LIVING SPACE AND KITCHEN @ 1ST FLOOR, MASTER BEDROOM SUITE @ 2ND FLOOR.
- ADD CONNECTING HALL AND NEW 3 STORY STAIR.
- ADD GARAGE W/OFFICE ABOVE.

We are planning a large renovation to a home in Greenwich Forrest, the address is 7823 Overhill Rd. a brief description follows:

1. From the front, we are replacing the existing windows, same size, same appearance.
2. From the front, to the right the NEW Music Room is visible, with a large window at the corner. Enclosed are elevations and a perspective view.
3. From the front, on the back of the property on the left, we are planning a new garage with studio space above.
4. Besides the Music Room, the majority of the addition is not visible from Overhill Road.

We would, at this time, appreciate a "Preliminary Consultation" to review the enclosed documents and advise as to the likelihood for acceptance of the design elements. I believe that we are designing with respect to the Historic Nature of the house and neighborhood, and hopefully, your staff will agree. Please feel free to contact me at any time to discuss the design or any of the information on these drawings. Thanks so much for your time.

Randall Mars AIA

Randall Mars Architects, Ltd.
6708 Old McLean Village Dr
McLean, VA 22101
703 . 749 . 0431

General Notes

01.

Do not scale drawings.
02.

Prior to construction, the contractor shall become acquainted with conditions relating to construction and labor, as required to understand fully the facilities, difficulties, and restrictions affecting the execution of the work under the contract.
03.

Contractor shall perform all work in accordance with all local codes.
04.

Contractor shall check and verify all dimensions and quantities in the field.
05.

Any conflicts regarding drawings or specifications should be referred to Randall Mars at Randall Mars Architects, (703) 749-0431.
06.

All required permits and inspections shall be obtained by the General Contractor.
07.

Contractor shall be responsible for removal and disposal of all construction debris and refuse.
08.

Isolate dissimilar metals in contact with each other.
09.

Install smoke detectors as required by code.
10.

All wood in contact with concrete or masonry shall be pressure treated to be rot resistant.
11.

Gypsum wallboard back-up for ceramic tile walls and floors shall be water-resistant, typical. Provide 1/2" Durock at all wet areas. Waterproof membrane MUST be applied to durock in ALL areas subject to water, such as showers, bath surrounds, benches...
12.

Provide wood thresholds at flooring transitions.
13.

All wiring shall run concealed.
14.

All doors shall be undercut as required to clear flooring material.
15.

All cover plates, switches, and switch plates shall have a white finish, by Lutron, model "Diva." Outlets shall match.
16.

Patch, sand, and prime all wall surfaces prior to the application of the finish material.
17.

Contractor may substitute materials and/or construction items specified herein upon submittal of substitution to and approval of Architect.
18.

Contractor shall be responsible for obtaining all frame-in kits and applying all special outlets required by new construction (i.e. appliances).
19.

Contractor shall provide shop drawings / schedules for the following:

a.

All millwork, custom or stock cabinetry.

b.

All fixtures, appliances.

c.

All wallcovering, carpeting, vinyl or ceramic tile, finishes...etc.

d.

All custom glass etching or other specialty construction.

Contractor shall verify all dimensions prior to fabrication of items referenced herein. Contractor shall verify all layouts of cabinetry and millwork, providing complete coordination of the new construction with the proposed cabinetry and appliances.
20.

All interior doors shall be 1 3/4" thick, solid core 2 panel, Truestyle, paint grade, finished with a low gloss finish, unless otherwise noted. Refer to the door schedule for sizes.
21.

The top trim of doors and windows shall align, unless otherwise noted.
22.

Provide closed cell foam insulation in all areas with a flat roof, R49.
23.

Contractor shall verify partition layout and dimensions prior to executing construction.
24.

Contractor shall be responsible for maintaining the site and building free from the accumulation of waste material or rubbish. Contractor shall create dust and debris barriers to protect parts of the building not directly under construction.
25.

Contractor shall plan access and work areas to cause minimal damage to property and building. Contractor shall be responsible for the repair of any damage caused to the building and/or surrounding tenants. Plan of access and work areas shall be reviewed and approved by Owner and Architect.

CONTRACTOR SHALL CONTACT ARCHITECT REGARDING ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS.

Plan Symbols Legend

- =====

Existing wall / partition to remain
- Existing wall / partition to be removed
- =====

New interior wood stud partition, with 1/2" GWB as indicated. Refer to dimension to determine size of studs, spaced at 16" o.c.
- =====

Masonry face brick
- =====

CMU
- =====

Fiberglass insulation
- =====

Handrail / Guardrail
- Elevation mark
- ◆

New hose bib
- Appliance / fixture mark. Refer to schedule
- Door Type
- Threshold
- Hardware type. Refer to schedule in specifications
- Elevation reference mark
- =====

Existing HVAC Floor Register to remain
- =====

New HVAC Floor Register
- New duplex electric wall receptacle, mtd. 12" a.f.f. unless otherwise noted
- ◆

New quadraplex electric wall receptacle, mtd. 12" a.f.f. unless otherwise noted
- New duplex electric floor receptacle
- ⚡

New GFI outlet.
- ⌘

Existing duplex, to be removed.
- ⌘

Existing duplex, rewire as required.
- ⚡

New exterior GFI outlet, mtd. 12" a.f.f. u.o.n.
- ◁

New wall mounted CAT5E or 6 connection; wire back to A/V Closet
- ⌘

New wall mounted phone connection
- ◀

New wall mounted RJ45 Ethernet, mtd. at 18" AND 48"; wire to AV Closet
- New Cable Outlet; provide coax to AV Closet
- New Gas Outlet
- ◆

Special outlet for appliance. Coordinate w/ appliance spec's
- ⌘

Junction box
- Direct waterline hookup for appliance, recessed in wall

HVAC Notes

1.

Contractor shall VERIFY existing HVAC system, verifying loads, including the new FAMILY ROOM.

Plumbing

1.

no water lines or fixture units are in this scope.

Utilities

1.

Electric Service from street should be 200A; sufficient for new house requirements. Verify.

Electric

1.

ALL outlets required by CODE to be GFCI shall be provided as such. Reset for all outlets on the second floor shall be located at 1 location, in an accessible area.

Sheets

- A000 Coversheet
- A001 As Built Plans
- A002 As Built Elevations
- A100 Composite Plan
- A101 Construction Plans, Basement, Attic
- A102 Construction Plan, 1st Floor
- A103 Construction Plan, 2nd Floor
- A104 Roof Plan
- A200 Exterior Elevations, Front, South Side
- A201 Exterior Elevations, Rear, North Side
- A202 Exterior Elevations, Garage
- A300 Building Sections
- A301 Cross Section



Project Directory

Architect:
Randall Mars Architects
6708 Old McLean Village Drive . McLean . Virginia
p: 703.749.0431 f: 703.749.0433

Structural Engineer:

ACG Civil; Attn: Cris Ortan
11350 Random Hills Road, Ste 530 Fairfax, VA 22030
p: 703.520.1616 X204

Applicable Code: 2015 IRC

Zoning Class: R90

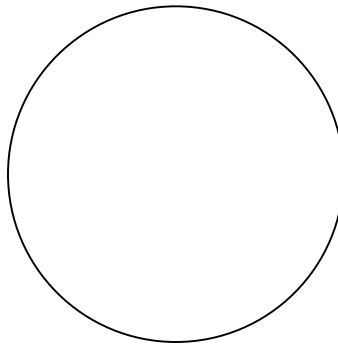
Construction Type: 5V

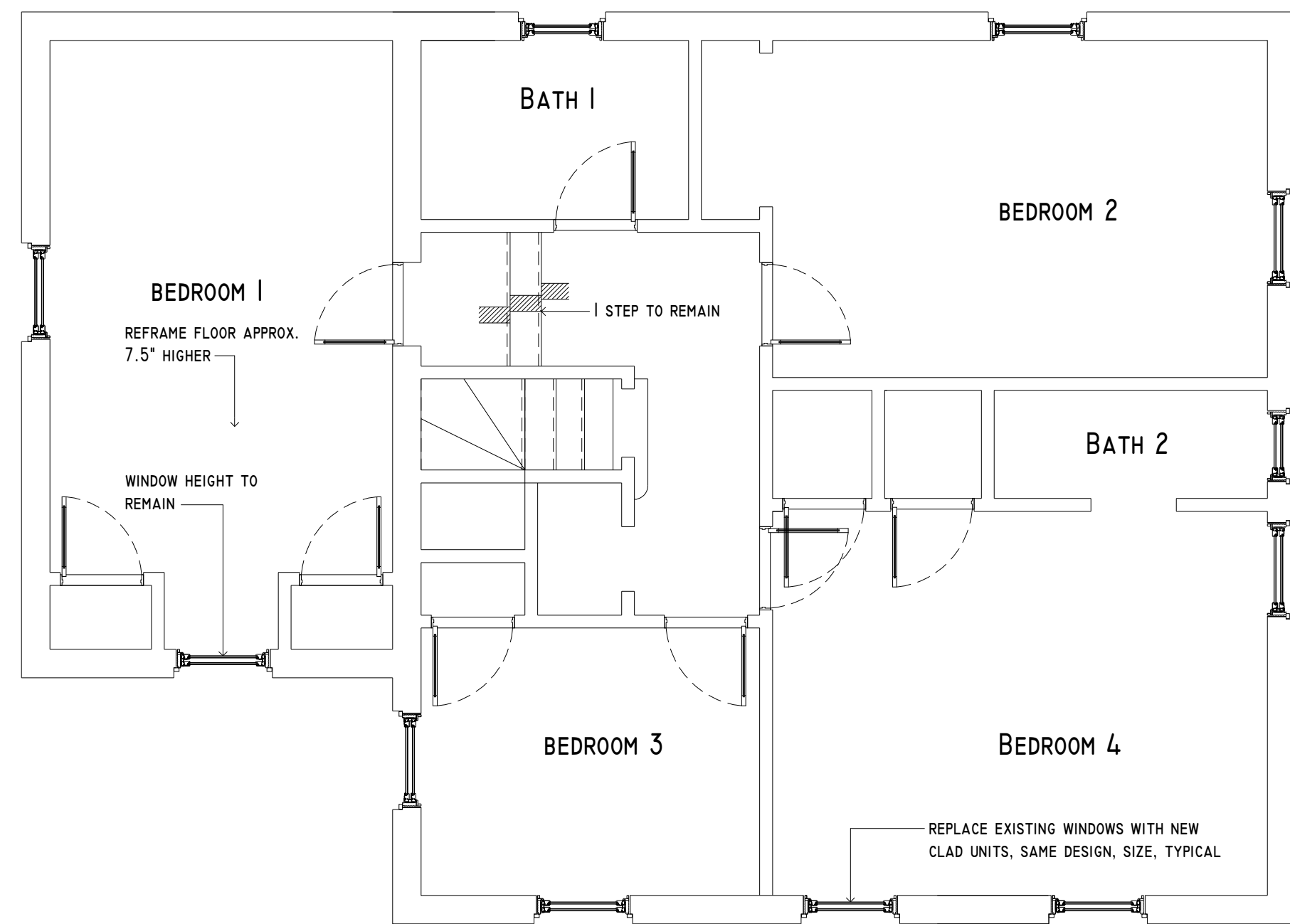
FAR Analysis

			notes
Site Area	11913		
Allowable Footprint	11913(.30)	3574	house AND garage
Allowable house Footprint	11913(.25)	2978	house only

Existing house Footprint	938	
NEW house Footprint	1367	
TOTAL house Footprint	2305	less than 2978= OK

Garage Footprint	609	
TOTAL house + garage	2909	less than 3574= OK





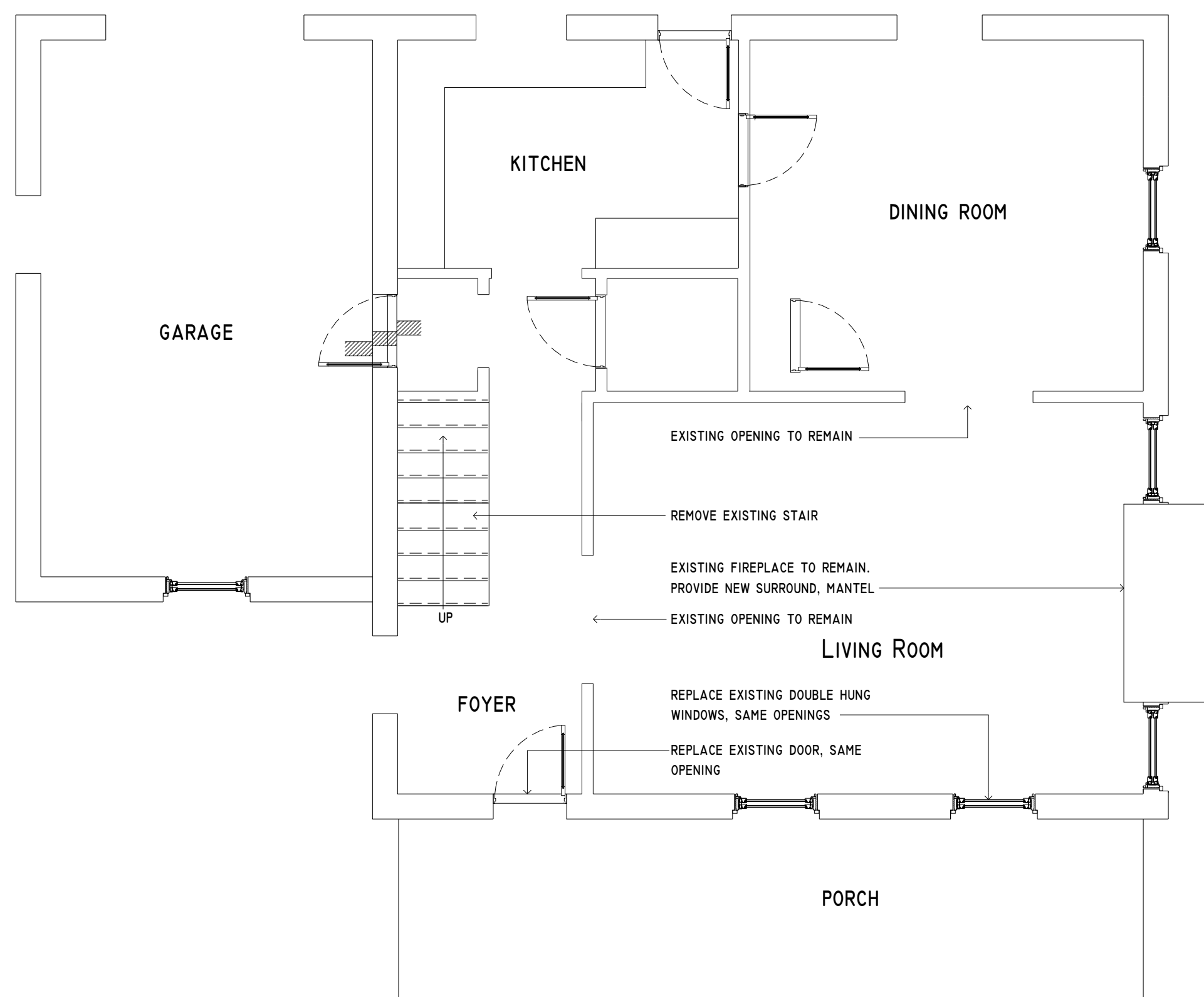
1 Existing Plan, As Built, Second Floor
Scale: 1/4" = 1'-0"



2 South Elevation, As Built
Scale: 3/16" = 1'-0"



3 East Elevation, Existing
Scale: 3/16" = 1'-0"



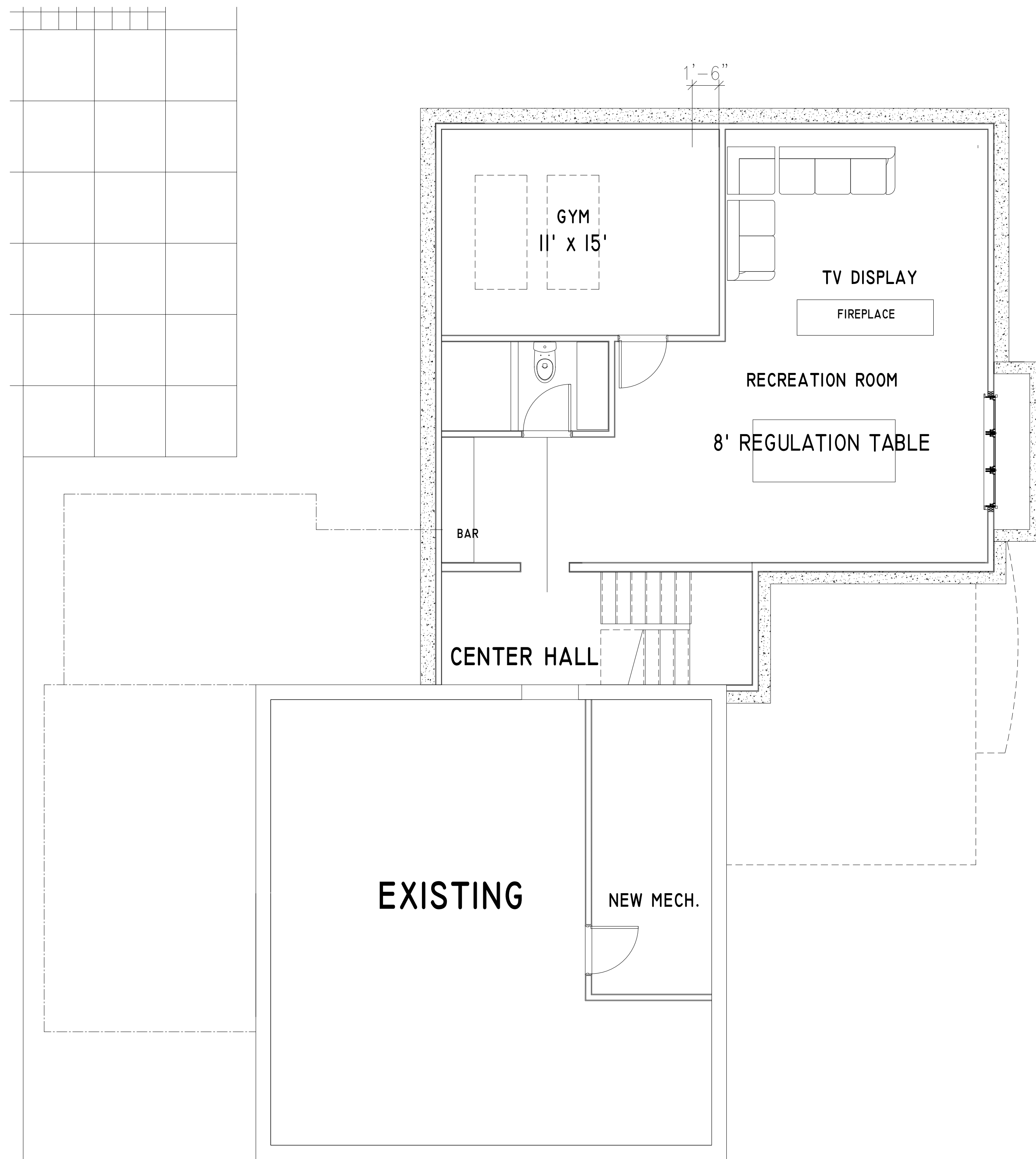
4 Existing Plan, As Built, First Floor, House and Garage
Scale: 1/4" = 1'-0"



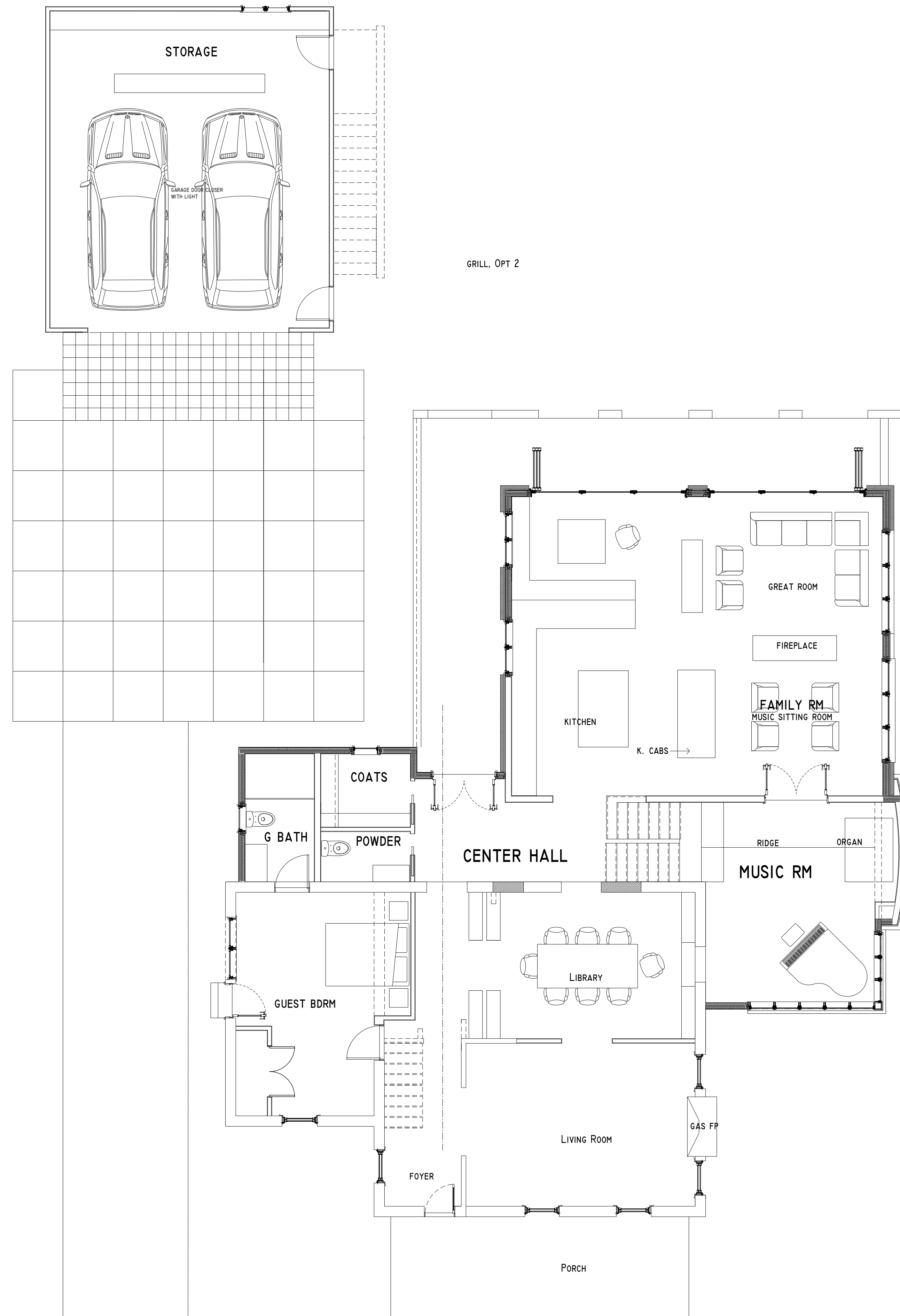
5 North Elevation, As Built
Scale: 3/16" = 1'-0"



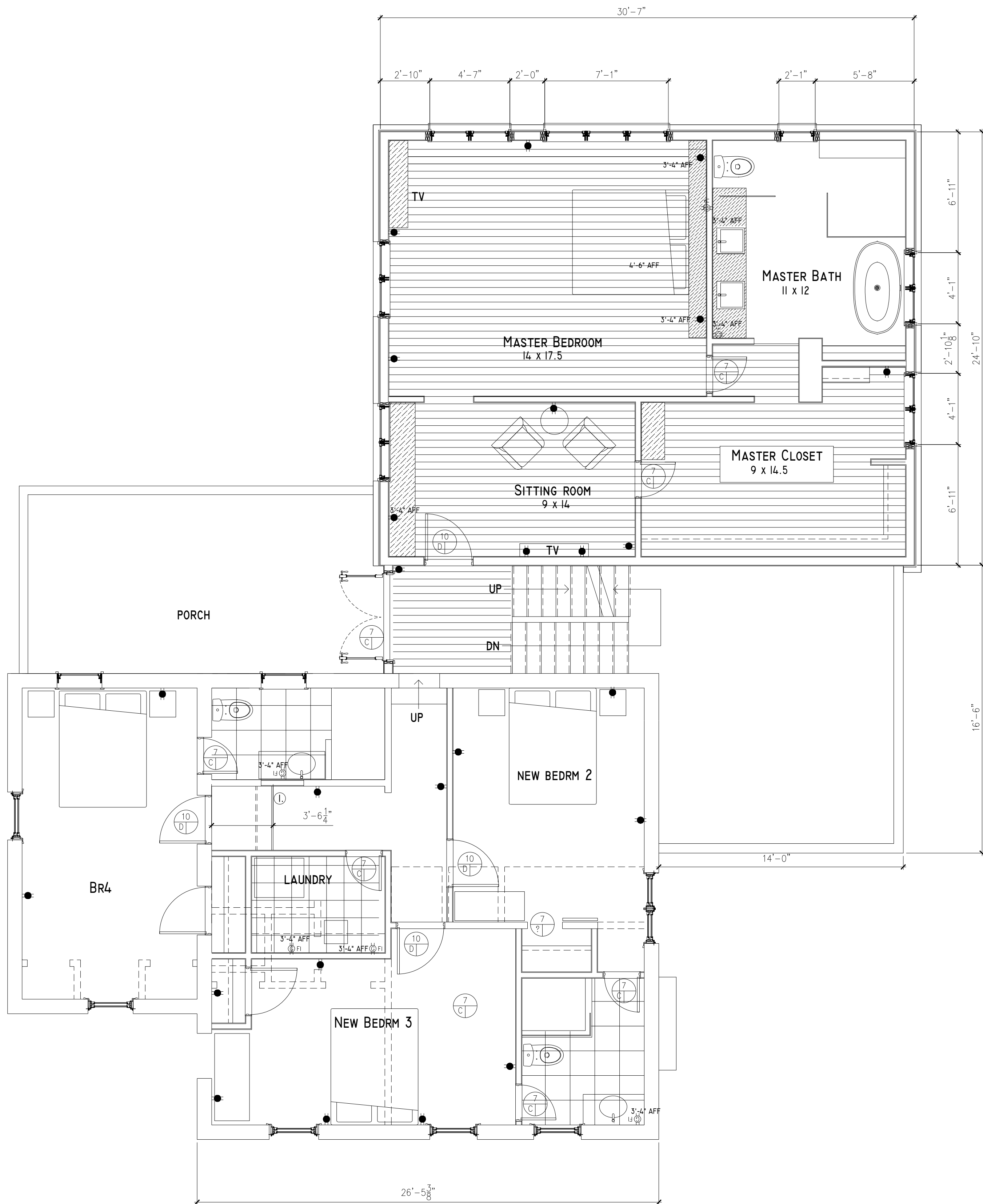
6 Front Elevation, Facing West. As-Built
Scale: 3/16" = 1'-0"



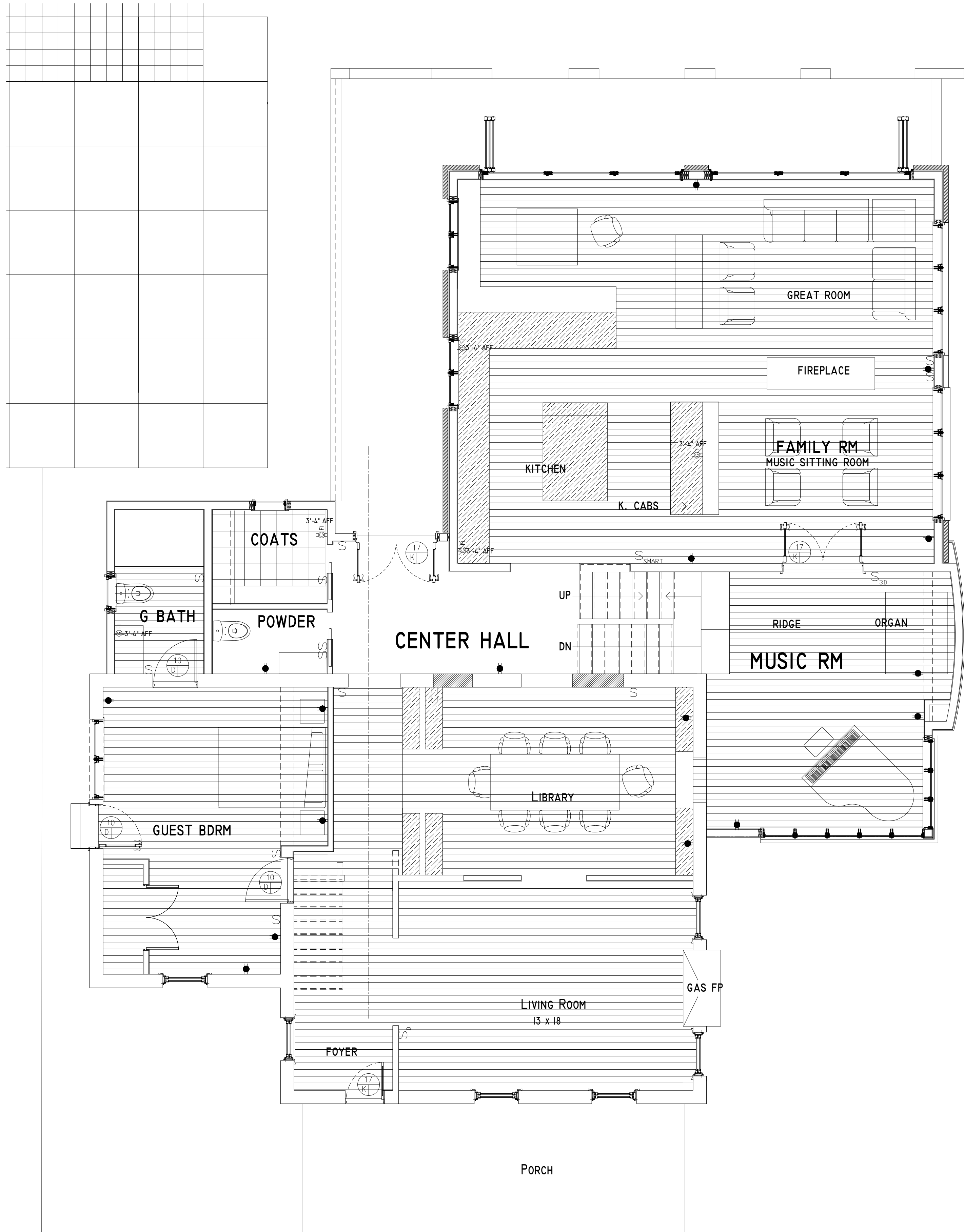
1 Construction Plan at Basement, Foundation
Scale: 1/4" = 1'-0"



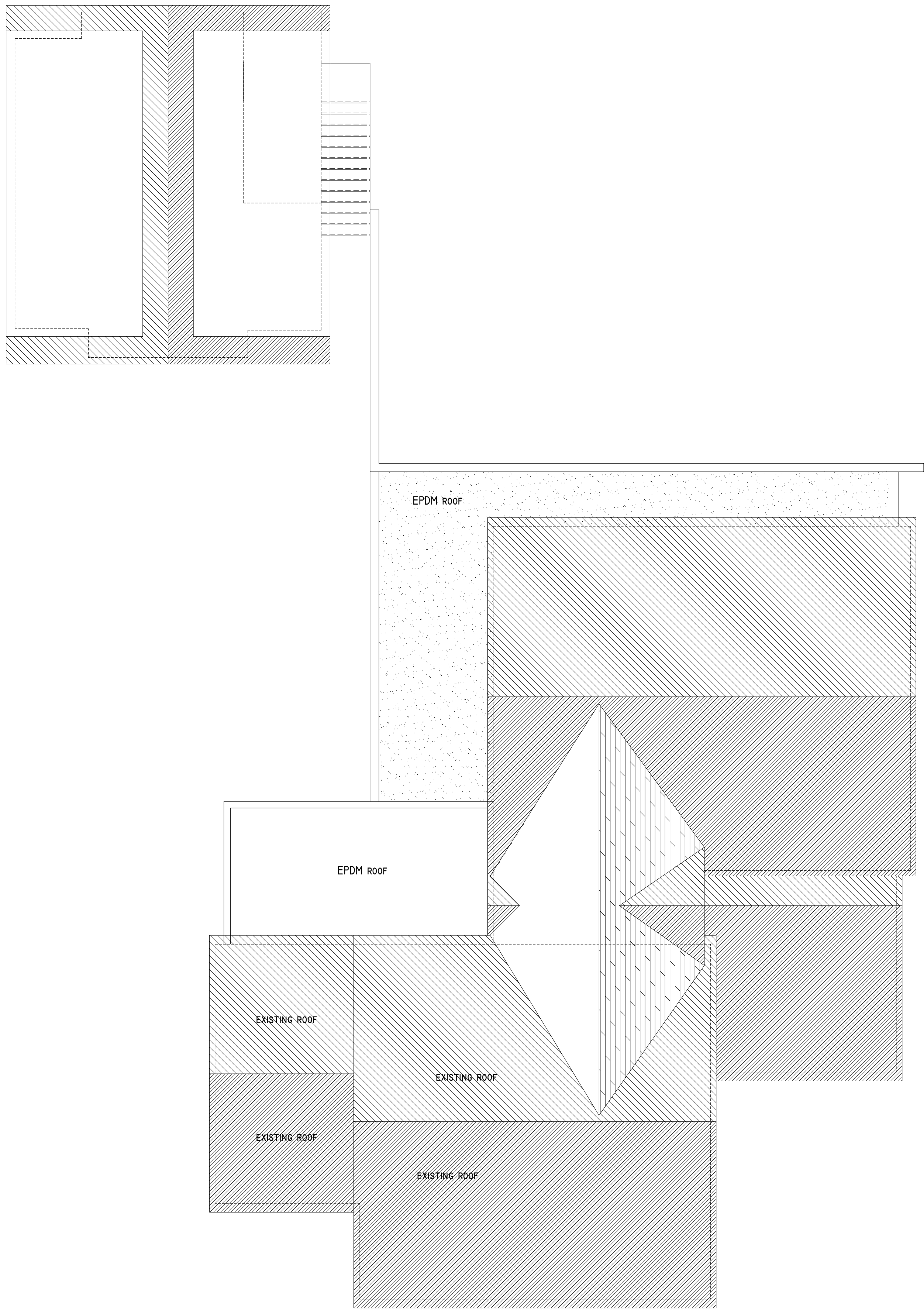
2 Orientation Plan, First Floor, House and Garage
Scale: 3/16" = 1'-0"



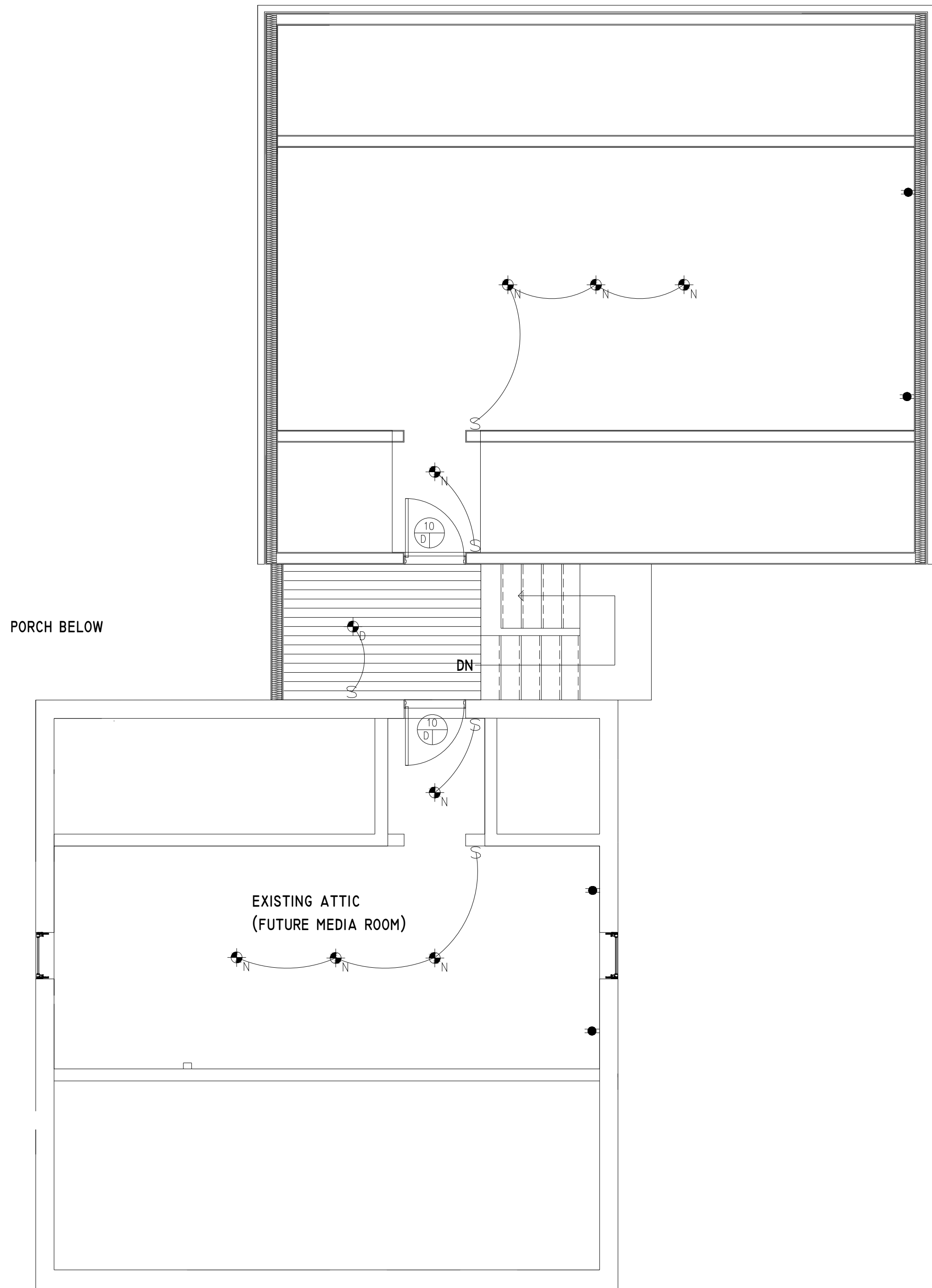
1 Construction Plan . 2nd Floor
Scale: 1/4" = 1'-0"



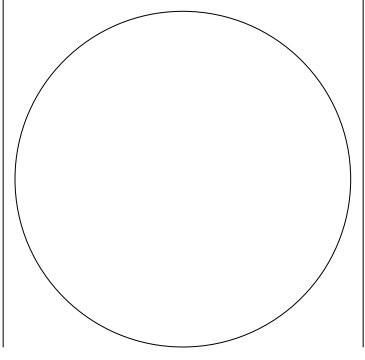
2 Construction Plan . First Floor
Scale: 1/4" = 1'-0"



1 Roof Plan
Scale: 3/16" = 1'-0"

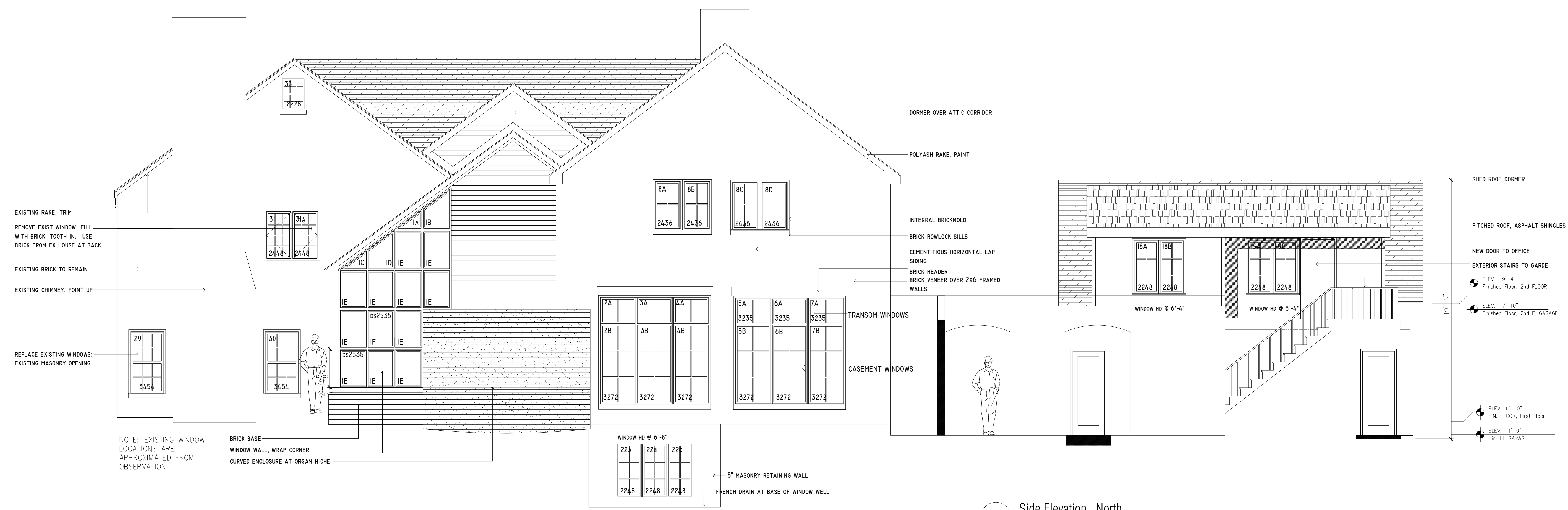


2 Construction Plan at Attic
Scale: 1/4" = 1'-0"





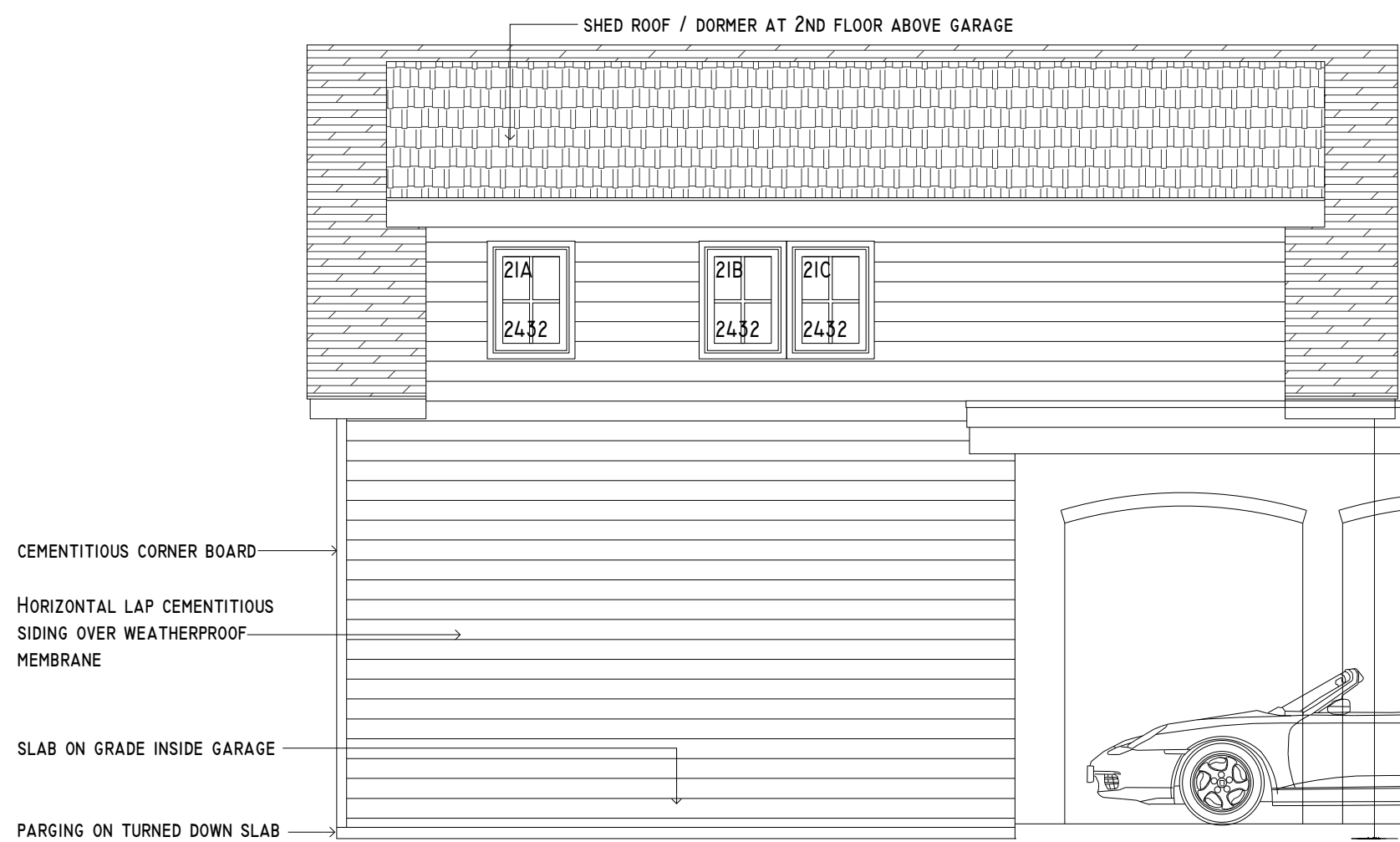
1 Front Elevation . West
Scale: 1/4" = 1'-0"



2 Side Elevation . North
Scale: 1/4" = 1'-0"

WINDOW SCHEDULE											
MARK	U-FACTOR	CATALOGUE #	QTY.	F.O. - W X H	TYPE	SPECIAL	LOCATION	NOTE	ELEV	PF	JAMB
1A			X 1	2'-5" x 6'-1"	CASEMENT	TEMP	MUSIC ROOM		N	IST	6 3/8
1B			X 1	2'-5" x 6'-1"	CASEMENT	TEMP	MUSIC ROOM		N	IST	6 3/8
1C			X 1	1'-11" x 4'-5"	CASEMENT		MUSIC ROOM		N		
1D			X 1	2'-5" x 6'-1"	CASEMENT	TEMP	MUSIC ROOM		N	IST	6 3/8
1E	2535		X 1	2'-0" x 2'10"	CASEMENT	TEMP	MUSIC ROOM		N & W	IST	6 3/8
2A	2973		X 1	2'-5" x 6'-1"	CASEMENT	TEMP	GREAT ROOM		N	IST	6 3/8
2B	2973		X 1	2'-5" x 6'-1"	CASEMENT	TEMP	GREAT ROOM		N	IST	6 3/8
3A	2353		X 1	1'-11" x 4'-5"	CASEMENT		GREAT ROOM		N		
3B	2973		X 1	2'-5" x 6'-1"	CASEMENT	TEMP	GREAT ROOM		N	IST	6 3/8
4A	2973		X 1	2'-5" x 6'-1"	CASEMENT	TEMP	GREAT ROOM		N	IST	6 3/8
4B	2353		X 1	1'-11" x 4'-5"	CASEMENT		GREAT ROOM		N		
5A	2428		X 1B	2'-0" x 2'-4"	DIRECT SET	TEMP	GREAT ROOM		N	IST	6 3/8
5B	2353		X 1	1'-11" x 4'-5"	CASEMENT		GREAT ROOM		N		
6A	2973		X 1	2'-5" x 6'-1"	CASEMENT		GREAT ROOM	EGRESS	N	IST	6 3/8
6B	2973		X 1	2'-5" x 6'-1"	CASEMENT		GREAT ROOM	EGRESS	N	IST	6 3/8
7A	2973		X 1	2'-5" x 6'-1"	CASEMENT		GREAT ROOM	EGRESS	N	IST	6 3/8
7B	2353		X 1	1'-11" x 4'-5"	CASEMENT		GREAT ROOM	EGRESS	N	IST	6 3/8
8A	2436		X 1	2'-0" x 3'-0"	CASEMENT		MASTER BEDROOM	EGRESS	N	IST	6 3/8
8B	2436		X 1	2'-0" x 3'-0"	CASEMENT		MASTER BEDROOM	EGRESS	N	IST	6 3/8
8C	2436		X 1	2'-0" x 3'-0"	CASEMENT		MASTER BEDROOM	EGRESS	N	IST	6 3/8
8D	2436		X 1	2'-0" x 3'-0"	CASEMENT		MASTER BEDROOM	EGRESS	N	2ND	6 3/8
9A	2436		X 1	2'-0" x 3'-0"	CASEMENT		MUD ROOM		E	2ND	6 3/8
9B	2436		X 1	2'-0" x 3'-0"	CASEMENT		MASTER BEDROOM		E	IST	6 3/8
10A	2436		X 1	2'-0" x 3'-0"	CASEMENT	EGRESS*	MASTER BEDROOM	EGRESS	E	2ND	6 3/8
10B	2436		X 1	2'-0" x 3'-0"	CASEMENT	EGRESS*	MASTER BEDROOM	EGRESS	E	2ND	6 3/8
10C	2436		X 1	2'-0" x 3'-0"	CASEMENT	EGRESS*	MASTER BEDROOM	EGRESS	E	2ND	6 3/8
11	2436		X 1	2'-0" x 3'-0"	CASEMENT		HALL BATH	EGRESS	E	2ND	6 3/8
12	2436		X 1	2'-0" x 3'-0"	CASEMENT		BEDROOM 2	EGRESS	E	2ND	6 3/8
13A	2440		X 1	2'-4" x 3'-4"	CASEMENT	EGRESS	KITCHEN	EGRESS	S	IST	6 3/8
13B	2440		X 1	2'-4" x 3'-4"	CASEMENT		KITCHEN		S	IST	6 3/8
13C	2440		X 1	2'-4" x 3'-4"	CASEMENT		KITCHEN		S	IST	6 3/8
13D	2440		X 1	2'-4" x 3'-4"	CASEMENT		KITCHEN		S	IST	6 3/8
14	2436		X 1	2'-0" x 3'-0"	CASEMENT		GUEST SUITE		S	IST	6 3/8
15A	2436		X 1	2'-0" x 3'-0"	CASEMENT		GUEST SUITE		S	IST	6 3/8
15B	2436		X 1	2'-0" x 3'-0"	CASEMENT		GUEST SUITE		S	IST	6 3/8
16A	2460		X 1	2'-0"x 5'-0"	CASEMENT		MASTER BEDROOM		S	2ND	6 3/8
16B	2460		X 1	2'-0"x 5'-0"	CASEMENT		MASTER BEDROOM		S	2ND	6 3/8
16C	2460		X 1	2'-0"x 5'-0"	CASEMENT	EGRESS	MASTER BEDROOM		S	2ND	6 3/8
16D	2460		X 1	2'-0"x 5'-0"	CASEMENT		MASTER BEDROOM		S	2ND	6 3/8
17A	2248		X 1	1'-10" x 4'-0"	CASEMENT		GARAGE		W	2ND	4 3/8
17B	2248		X 1	1'-10" x 4'-0"	CASEMENT	EGRESS	GARAGE		W	2ND	4 3/8
17C	2248		X 1	1'-10" x 4'-0"	CASEMENT		GARAGE		W	2ND	4 3/8
18A	2248		X 1	1'-10" x 4'-0"	CASEMENT		GARAGE		N	2ND	4 3/8
18B	2248		X 1	1'-10" x 4'-0"	CASEMENT		GARAGE		N	2ND	4 3/8
19A	2248		X 1	1'-10" x 4'-0"	CASEMENT		GARAGE		N	2ND	4 3/8
19B	2248		X 1	1'-10" x 4'-0"	CASEMENT		GARAGE		N	2ND	4 3/8
20A	2436		X 1	2'-0" x 3'-0"	CASEMENT		GARAGE		E	IST	4 3/8
20B	2436		X 1	2'-0" x 3'-0"	CASEMENT		GARAGE		E	IST	4 3/8
21A	2432		X 1	2'-0" x 2'-8"	CASEMENT		GARAGE BATH		S	2ND	4 3/8
21B	2432		X 1	2'-0" x 2'-8"	CASEMENT		GARAGE DORMER		S	2ND	4 3/8
21C	2432		X 1	2'-0" x 2'-8"	CASEMENT		GARAGE DORMER		S	2ND	4 3/8
22A	2248		X 1	1'-10" x 4'-0"	CASEMENT		B.MENT LIGHTWELL		N	B	6 3/8
22B	2248		X 1	1'-10" x 4'-0"	CASEMENT		B.MENT LIGHTWELL		N	B	6 3/8
22C	2248		X 1	1'-10" x 4'-0"	CASEMENT		B.MENT LIGHTWELL		N	B	6 3/8
23	3448		X 1	2'-8" x 4'-0"	CASEMENT		GUEST SUITE		W	IST	6 3/8
24A	3448		X 1	2'-8" x 4'-0"	CASEMENT		LIVING ROOM		W	IST	6 3/8
24B	3448		X 1	2'-8" x 4'-0"	CASEMENT		LIVING ROOM		W	IST	6 3/8
25	3448		X 1	2'-8" x 4'-0"	CASEMENT		2ND L* ROOM UNNAMED		W	2ND	6 3/8
26	3448		X 1	2'-8" x 4'-0"	CASEMENT		2ND L	EGRESS	W	2ND	6 3/8
27	3448		X 1	2'-8" x 4'-0"	CASEMENT		2ND L	EGRESS	W	2ND	6 3/8
28	3448		X 1	2'-8" x 4'-0"	CASEMENT		2ND L	EGRESS	W	2ND	6 3/8
29	2971		X 1	2'-5" x 5'-11"	CASEMENT		2ND L	EGRESS	N	2ND	6 3/8
30	2971		X 1	2'-5" x 5'-11"	CASEMENT		2ND L	EGRESS	N	2ND	6 3/8
31	2448		X 1	2'-0" x 4'-0"	CASEMENT		BEDROOM 2	EGRESS	N	IST	6 3/8
31A	2448		X 1	2'-0" x 4'-0"	CASEMENT		BEDROOM 2	EGRESS	N	IST	6 3/8
32	2553		X 1	2'-1" x 4'-5"	CASEMENT		2ND L		N	IST	6 3/8
33	2971		X 1	2'-5" x 5'-11"	CASEMENT		2ND L		N		
34	3248		X 1	2'-8" x 4'-0"	CASEMENT		2ND L		S	IST	6 3/8
35									S	IST	6 3/8
36	3248		X 1	2'-8" x 4'-0"	CASEMENT		2ND L		S	IST	6 3/8

EXISTING WINDOWS



EXISTING WINDOW, SHUTTERS TO REMAIN
EXISTING WINDOW, SHUTTERS TO REMAIN

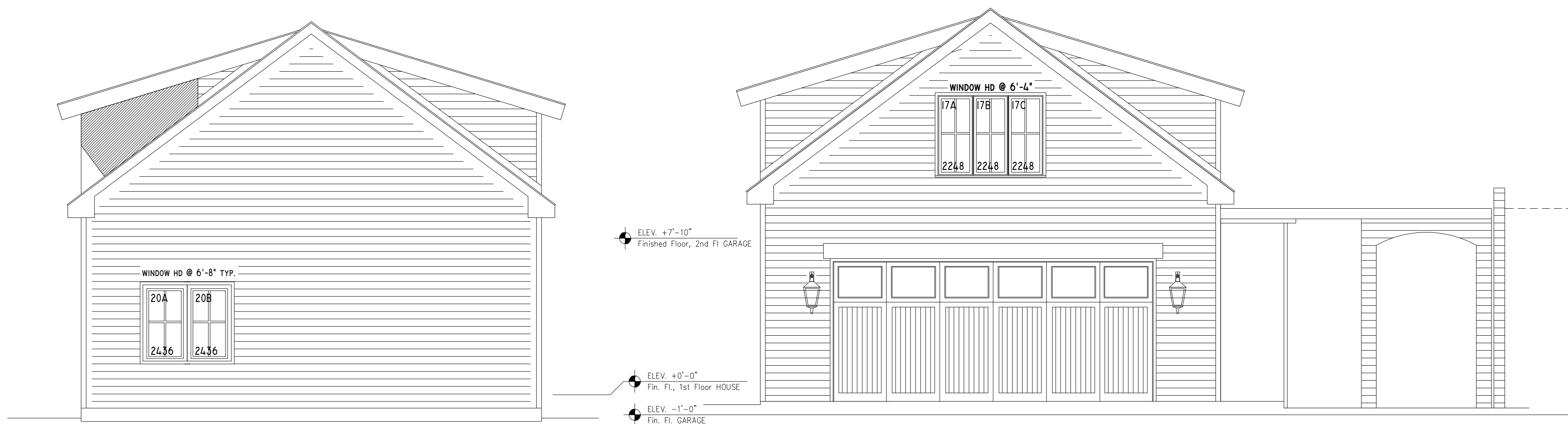
ARCHITECTURAL ASPHALT SHINGLE ROOF
TYPICAL EAVE AT MASONRY WALL
BRICK VENEER OVER 2X6 STUD WALL
BRICK LOGGIA WALL

ELEV. +10'-6"
Finished Fl, NEW 2nd FLR



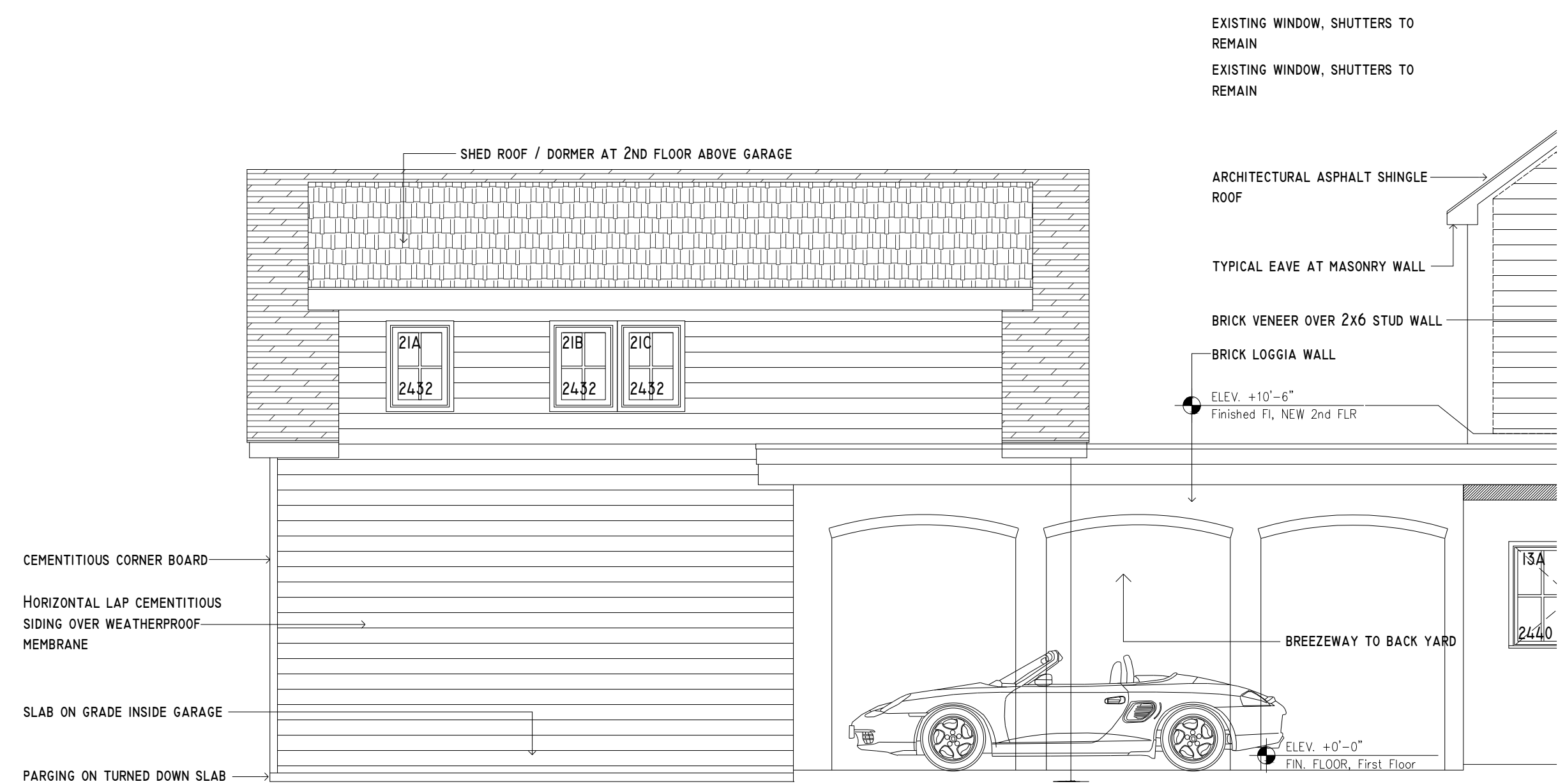
1 Rear Elevation . East
Scale: 1/4" = 1'-0"

2 Side Elevation . North
Scale: 1/4" = 1'-0"



1 Rear Elevation at Garage, East
Scale: 1/4" = 1'-0"

2 Front Elevation at Garage, West
Scale: 1/4" = 1'-0"



3 Side Elevation at Garage, North
Scale: 1/4" = 1'-0"



4 Side Elevation . South
Scale: 1/4" = 1'-0"











