

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	514 Philadelphia Avenue, Takoma Park	Meeting Date:	2/10/2021
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	2/3/2021
Applicant:	Michael & Amy Sawyer Brian McCarthy, Architect	Public Notice:	1/27/2021
Review:	HAWP	Staff:	Dan Bruechert
Case No.:	939490	Tax Credit:	n/a
Proposal:	Building addition and front entrance alterations		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District
STYLE: Colonial Revival
DATE: 1933

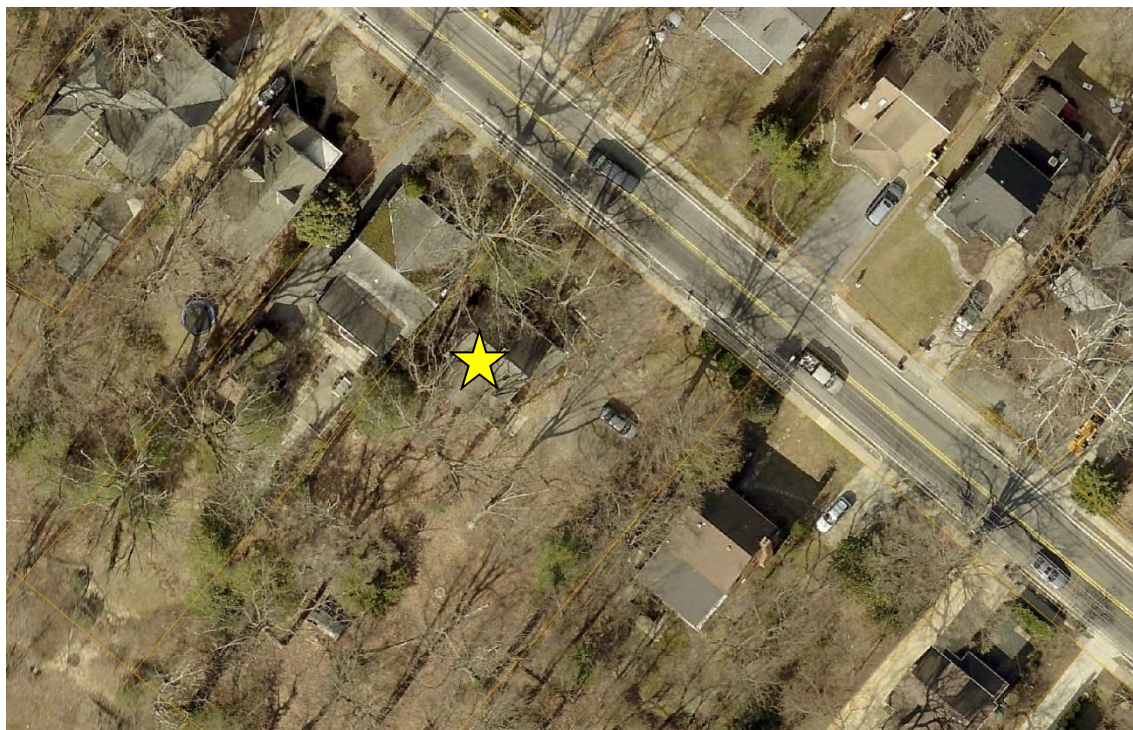


Figure 1: 514 Philadelphia Ave. is located on a wooded double lot.

BACKGROUND

The applicant presented a Preliminary Consultation at the June 24, 2020 HPC meeting.¹ The HPC found that the massing of the proposed addition would not have a detrimental impact on the surrounding streetscape. Some Commissioners supported eliminating the decorative oriel window on the east elevation. The applicant has made revisions based on the feedback from the HPC and returns for a HAWP.

PROPOSAL

The applicant proposes to construct an addition to the side and rear of the house.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

¹ The Staff Report for the Preliminary Consultation can be found here: <https://montgomeryplanning.org/wp-content/uploads/2020/06/II.B-514-Philadelphia-Avenue-Takoma-Park.pdf> and the hearing of the case is available here: http://mncppc.granicus.com/MediaPlayer.php?publish_id=f14ae21b-bbac-11ea-93cb-0050569183fa.

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a side gable Colonial Revival house clad in wood shingle siding. On the left (east) side of the house, there is a one-story enclosed sunroom; and there is a two story-rear gable addition. The later additions are clad in cedar shingles. The house was constructed on a double lot as far to the west as possible, leaving a large open lot to the left (east) of the building. The rear of the lot is heavily wooded. The neighboring property at 510 Philadelphia is also a double lot, with the house placed on the western side.

The applicant proposes demolishing the existing enclosed sunroom, installing a new addition in its place, and constructing a larger, two-story addition in the rear that will project beyond the left wall plane, and construct an enclosed rear porch. Additionally, the applicant proposes demolishing the front porch and replacing it with a slightly larger covered entryway.

Staff finds that the sunroom on the left was likely an open or screened-in feature when it was constructed and that it has lost its integrity in the intervening years. Staff also finds that demolishing the sunroom will not impact the historic character of the site or surrounding district.

The proposed building additions, which project beyond the left wall plane will have an impact on the scale and massing of the house when viewed from the right-of-way. Per the *Design Guidelines*, this proposal should not be approved as a matter of course, but that does not mean that it should not be approved at all, only that the proposal requires closer scrutiny to determine whether the proposal will have a negative impact on the district as a whole.

The exiting sunroom projects 8' (eight feet) from the left wall plane and is 12' 6" (twelve feet, six inches) deep. In place of this, the applicant proposes to construct a one-story, side-gable addition that will project 13' 3" (thirteen feet, three inches) and will be almost 20' (twenty feet) deep. Behind that addition, the applicant proposes to construct a two-story, side-gable addition that will project 16' (sixteen feet) behind the one-story section. The proposed addition appears to project approximately 2' (two feet) beyond the

rear wall plane of the non-historic addition. Because the lot slopes away from Philadelphia Avenue the basement will be exposed at the rear and there will be a parking space in the basement level. To the rear of the two-story addition, the applicant proposes to construct a screened-in porch with a set of stairs on the east (left) side.

Staff finds that the one-story addition will not substantially impact the character of the resource or surrounding district because it is relatively small in scale, matches the details of the house, and copies the side gable form. The one design element that gives Staff some pause is the elimination of a window in the side-projecting addition. At the preliminary consultation, the design presented included a single sash window in the side-projecting addition (below, left); that feature has been eliminated and the proposal now calls for a blank wall (below, right).



Figure 2: Preliminary Proposal.

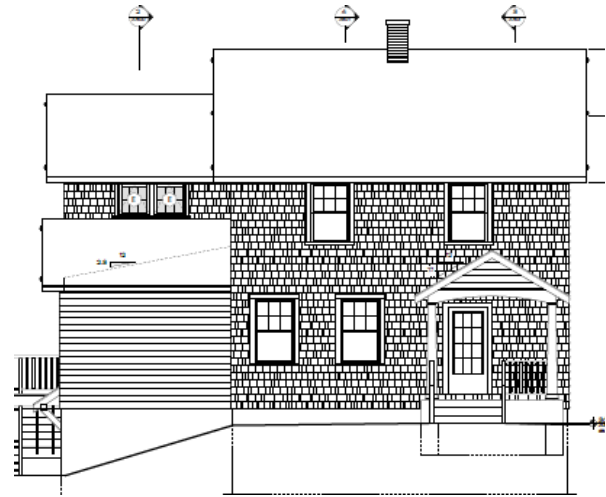


Figure 3: HAWP Proposal.

Staff finds that the addition's design would be improved with a window on this elevation, however, Staff does not find support in the *Design Guidelines* for including a condition to require the fenestration on this elevation. Staff also finds there are a couple of mitigating factors that reduce the impact of this blank wall on the surrounding district. First, the side projection is setback from the front wall plane by more than 4' (four feet). The second mitigating factor is the large window assembly on the east elevation (shown below). This window does not show up in the drafted front elevation, however, it will be highly visible when the building is viewed from an oblique angle. Because the house was placed on the western side of the lot, it is most visible from the east.



Figure 4: East elevation showing the large window in the east-projecting building addition.

Staff recognizes that for an ‘Outstanding’ or ‘Contributing’ resource, the HPC would find that the two-story construction at the rear would detract from the historic character of the house and would be unacceptable. However, because this house is ‘Non-Contributing’ consideration is not whether the massing detracts from the resource, but rather, does the massing detract from the character of the district as a whole? Staff finds it does not and the HPC voiced their support for this finding at the Preliminary consultation. Staff considered several factors in coming up with this determination. First, the proposed two-story volume begins approximately 65’ (sixty-five feet) from the sidewalk along Philadelphia. This distance helps to reduce the visual impact of the new construction. Second, the addition maintains the lower ridge height of the rear-gable addition. This means that the addition is not competing with the house for primacy. Third, the house to the east (left) is also non-contributing, so the addition’s visibility will not detract from another historic resource. Fourth, the house is placed at the minimum setback on the west (right) side of the lot. This was probably done to allow the lot to be subdivided and have another house constructed on it. But this house placement limits where additional construction can go. Nothing can project to the west, and much further to the south (rear) there are several substantial trees. East seems to be the only direction an addition could be constructed. Lastly, an addition in this location will only be visible from the east (left). That means the addition will not be visible when the house is viewed from in front of the ‘Outstanding’ Resource at 510 Philadelphia, meaning the character of the district is not impaired from this location.

Staff finds the addition’s Craftsman design elements including the roof eave supported by brackets, shingle siding and clapboard siding, and six-over-one windows are all compatible with the architectural features of the Non-Contributing resource and surrounding district.

The final proposed alteration is the construction of a screened-in porch to the rear of the addition. The porch measures 20’ 6” × 12’ 5” (twenty feet, six inches by twelve feet, five inches). This item feature was discussed at the Preliminary Consultation and the Commission was uniform in its finding that even though the porch will be visible from the right-of-way, it is set back far enough from the street that it will not negatively impact the historic character of the surrounding area.

Front Porch Replacement

The final changed proposed is a replacement of the front porch. The existing front porch is a small landing covered by wood columns and a triangular pediment. The applicants propose to double the width of the porch for additional space. The new porch will also have a simple pediment supported by wood columns. To fill in the spaces adjacent to the columns, the applicant proposes to install a simple wood railing. Staff finds this alteration will not have a significant impact on the massing or scale of the house and recommends approval of the new porch under the *Design Guidelines*.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), and the *Takoma Park Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2; 6, and 9

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: brian@bfmarch.com Contact Person: Brian McCarthy
 Tax Account No.: 01057502 Daytime Phone No.: 301.602.0115
 Name of Property Owner: Michael & Amy Sawyer Daytime Phone No.: _____
 Address: 514 Philadelphia Ave Takoma Park Maryland 20912
Street Number City State Zip Code
 Contractor: NA Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: Brian McCarthy Daytime Phone No.: 301.602.0115

LOCATION OF BUILDING/PREMISE

House Number: 514 Street: Philadelphia Avenue
 Town/City: Takoma Park Nearest Cross Street: Takoma Avenue
 Lot: 12 Block: 73 Subdivision: 0025
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

☐ Construct ☒ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

☒ A/C ☐ Slab ☒ Room Addition ☒ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☒ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ 400,000

1C. If this is a revision of a previously approved active permit, see Permit # No

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
 2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brian McCarthy
 Signature of owner or authorized agent

5/29/2020
 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See Attached

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See Attached

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

Memorandum

1 June 2020

To: Historic Preservation Commission (HPC)
Maryland-National Capital Park & Planning Commission
c/o Department of Permitting Services, Montgomery County

From: Brian McCarthy

Re: Historic Area Work Permit for
3120 Lee Street, Capitol View Historic District
Preliminary Consult: **Written Description of Project**

Addendum a.

The property is located in the Takoma Park Historic District but is listed as a non-contributing resource. The Colonial Revival style structure, built in the 1930/40s, is 2-stories with a walk-out basement. The most noteworthy feature of the property is the lot size – it's 100 ft wide and 225 ft deep – which is more than half an acre. The home's placement on the western edge of the property results in an exceptionally wide eastern sideyard, measuring over 66 ft to the main house. This unusually generous sideyard is bracket by a second Colonial Revival home, also designated as a non-contributing resource. The wide sideyard is used for off-street parking and access to an existing garage/carport. Consequently, the area is open and largely clear of trees. Conversely, the area behind the house is densely populated with mature trees. The closest, impactful trees are shown on the attached site plan.

The subject home is clad in painted cedar shingles with a plain asphalt shingle roof. The exposed foundation walls consist of unadorned concrete block. The main body of the house has two extensions; an enclosed, one-story space that was formerly a side porch, and a 2-1/2 story rear addition with an adjacent pressure treated wood deck and stairs to the back yard. The front façade features a modest covered entry stoop, and the ignoble accent of a wall mounted air conditioner.

Addendum b.

The proposed project expands the house with a 13 ft wide addition in the large eastern sideyard. The addition also wraps around the back corner to mate up with the existing rear extension. The placement of the addition is largely in deference to the trees behind the house. To minimize the impact of the new work the majority of the side addition is one-story, with the two-story portion not starting until it's with a few feet of the back corner of the house. And the one-story portion near the front is set further back than the enclosed porch it replaces.

The intent is to finish the exterior with painted, cement fiberboard shingle siding, asphalt roof shingles, and use clad wood windows. The owners intend to install central A/C so the wall mounted unit will be removed from the front façade.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Michael and Amy Sawyer 514 Philadelphia Avenue Takoma Park, Md. 20912	Owner's Agent's mailing address Brian McCarthy Bennett Frank McCarthy Architects 1400 Spring Street #326 Silver Spring, Md 20910
Adjacent and confronting Property Owners mailing addresses	
Francine Pollner 510 Philadelphia Ave Takoma Park, Md 20912	Christopher & Paneez Khoury 511 Philadelphia Ave Takoma Park, Md 20912
Carolyn Mullet 516 Philadelphia Ave Takoma Park, Md 20912	James Tate 513 Philadelphia Ave Takoma Park, Md 20912
Carl Ralph Wilk 509 Philadelphia Ave Takoma Park, Md 20912	Justine Larson 515 Philadelphia Ave Takoma Park, Md 20912



15 9:46 AM



15 9:47 AM



15 9:41 AM

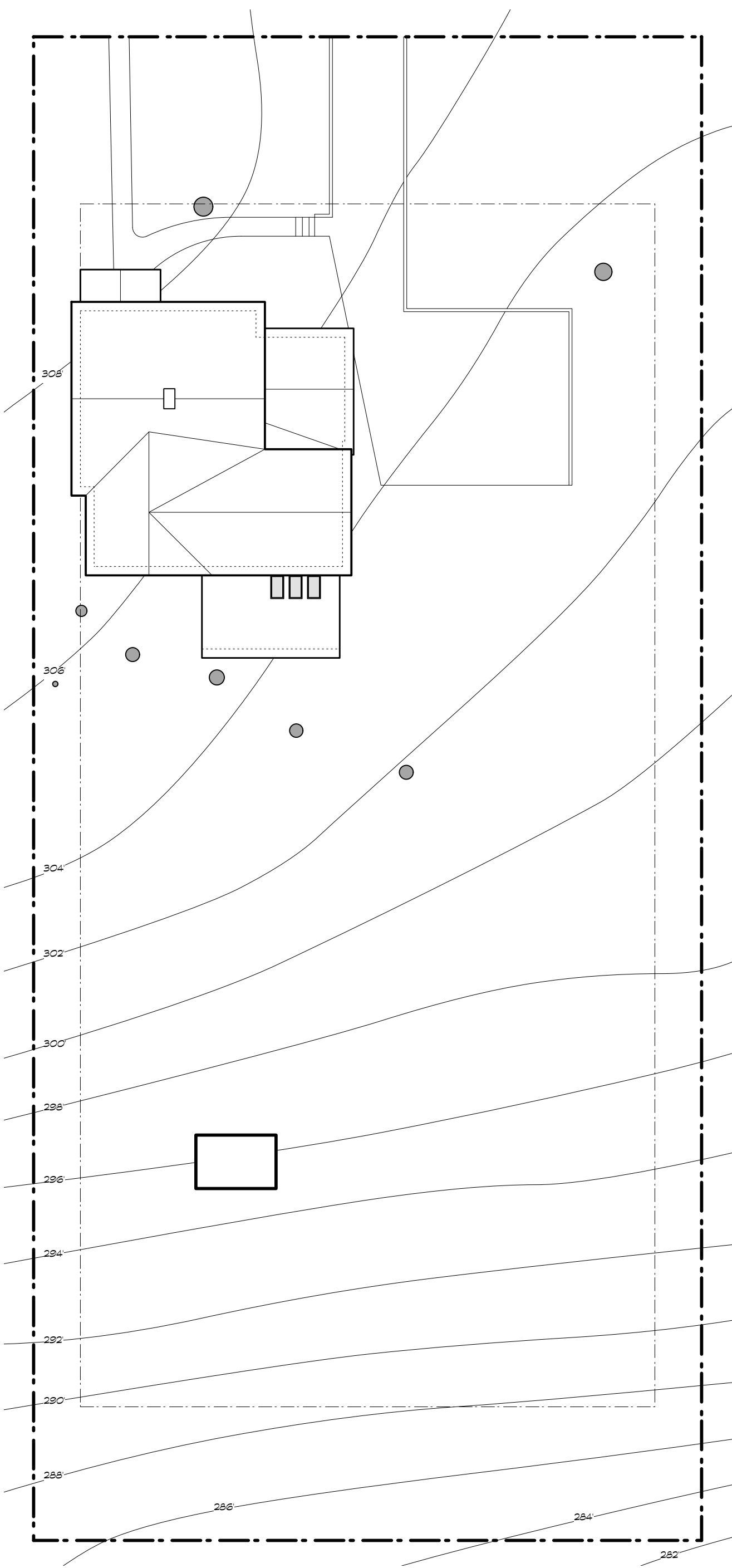
SAWYER ADDITION

514 Philadelphia Avenue, Takoma Park, MD 20912 - Project # 2004

SPECIFICATIONS

STORMWATER MANAGEMENT

SCALE: 1/16" = 1'-0"



SITE PLAN SUMMARY			
1. LOT COVERAGE			
TOTAL LOT AREA	22500 SF		100.0%
EXISTING LOT COVERAGE	880 SF		4.4%
PROPOSED LOT COVERAGE	1711 SF		7.6%
PROPOSED INCREASE	731 SF		3.2%
2. BUILDING FLOOR AREA - STORIES			
LEVEL	EX. AREA (SF)	NEW AREA	TOTAL AREA
BASEMENT	856 SF	230 SF	1146 SF
FIRST	859 SF	634 SF	1649 SF
SECOND	856 SF	342 SF	1198 SF
TOTALS	2687 SF	1326 SF	3993 SF
3. BUILDING HEIGHT (ABOVE AVE. FRONT GRACE)			
	EXISTING	ADDITION	
RODGE	23'-0"	25'-3"	
EAVE	18'-3"	18'-3"	
MEAN	23'-4"	22'-2"	

SITE PLAN BASED ON BOUNDARY SURVEY BY EXACTA MARYLAND SURVEYORS DATED 12 NOVEMBER 2019, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT 12, BLOCK 73
LIBER: 58731
FOLIO: 0073
TAKOMA PARK
MONTGOMERY COUNTY, MD
DISTRICT: 13
ZONE: R-60

ROOF DRAINAGE ANALYSIS

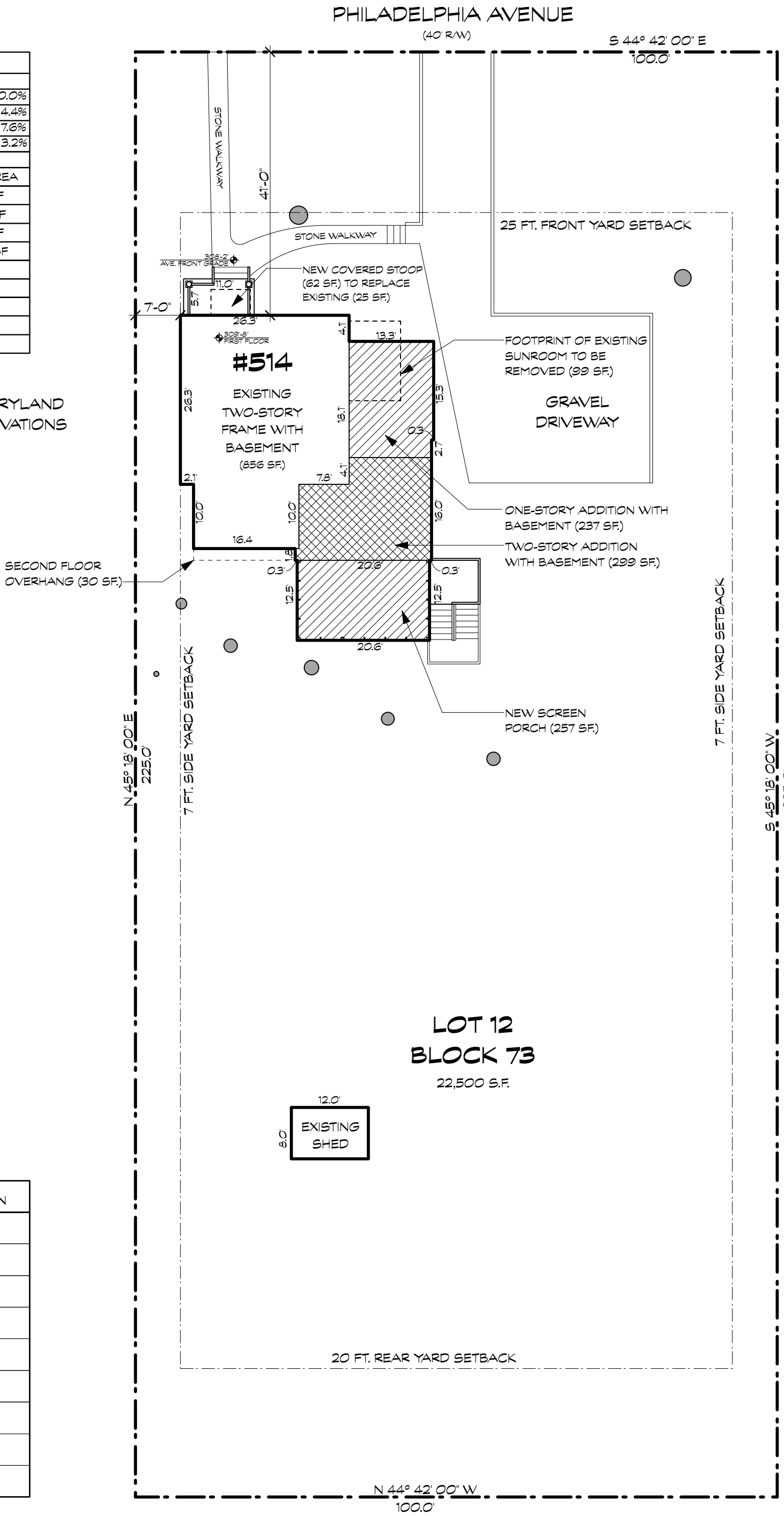
DRAINAGE LOCATION	EXISTING ROOF AREA SERVED	PROPOSED ROOF AREA SERVED	DRAINAGE DESTINATION
DOWNSPOUT #1			
DOWNSPOUT #2			
DOWNSPOUT #3			
DOWNSPOUT #4			
DOWNSPOUT #5			
DOWNSPOUT #6			
DOWNSPOUT #7			
DOWNSPOUT #8			
TOTAL	0 SF	0 SF	Δ=0

PROJECT DESCRIPTION

THE PROJECT INVOLVES REMODELING AND EXPANDING A TWO-STORY WOOD FRAME REVIVAL STYLE COLONIAL (W/ WALK-OUT BASEMENT), THE PROPOSED ADDITION WRAPS THE EASTERN SIDE AND THE REAR, AND ON THE MAIN LEVEL INCLUDES AN EXPANSION OF THE LIVING ROOM, A NEW KITCHEN, A SCREEN PORCH, AND A NEW STAIRCASE TO THE BASEMENT. THE SECOND FLOOR OF THE ADDITION CONSISTS OF A NEW MASTER SUITE, THE BASEMENT EXPANSION INCLUDES A CARPORT AND A GUEST ROOM. THE REMODELING SCOPE CONSISTS OF REMOVING THE EXISTING BASEMENT STAIR, PROVIDING A FULL BATH AND HUDROOM ON THAT LEVEL, CONVERTING THE KITCHEN TO A HUBIC ROOM, AND PROVIDING A LAUNDRY ROOM ON THE SECOND FLOOR. THE EXISTING HYDRONG RADIATOR SYSTEM SHALL BE REMOVED TO MAKE WAY FOR A PAIR OF NEW, DUCTED HVAC SYSTEMS.

ZONING SITE PLAN

SCALE: 1/16" = 1'-0"



BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-9917

OWNER

Michael & Amy Sawyer
514 Philadelphia Avenue
Takoma Park, MD 20912
(864) 986-9135

STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc.
8555 16th St. Suite 200
Silver Spring, MD 20910
(301) 565-0543

MECHANICAL CONSULTANT

MP Energy Services, Inc.
200 Hammonton Place
Silver Spring, MD 20904
(301) 879-2300

CONTRACTOR

Builder Name
Builder Street Address
City, MD 20912
MHIC# XXXX
(301) XXX-XXXX

DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	SPI00	SPECIFICATIONS
	D100	CELLAR & FIRST FLOOR DEMOLITION PLANS
	D101	SECOND FLOOR & ATTIC DEMOLITION PLANS
	D200	DEMOLITION ELEVATIONS
	A100	CELLAR & FIRST FLOOR PLANS
	A101	SECOND FLOOR & ATTIC PLANS
	A200	PROPOSED ELEVATIONS
	A300	BUILDING SECTIONS
	A301	BUILDING SECTIONS
	A302	WALL SECTIONS
	A303	WALL SECTIONS
	A304	WALL SECTIONS
	A400	INTERIOR ELEVATIONS & SCHEDULES
	S100	FOUNDATION & FIRST FLOOR FRAMING PLANS
	S101	SECOND FLOOR & ROOF FRAMING PLANS
	S102	WIND BRACING PLANS & STRUCTURAL DETAILS
	S103	STRUCTURAL NOTES & DETAILS
	S104	STRUCTURAL DETAILS
	M100	MECHANICAL PLANS
	M101	MECHANICAL PLANS
	E100	ELECTRICAL PLANS
	E101	ELECTRICAL PLANS

DATE

DECEMBER 17, 2020

ISSUE

PROGRESS SET

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ABBREVIATIONS

AND	COND	CONDITION	ELEC	ELECTRICAL	LBV	LOAD BEARING WALL	OBB	ORIENTED STRAND	SPRK	SPRINKLER
AT	CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER	PLAM	BOARD	STL	STEEL
ABOVE	CONT	CONTINUOUS	EQ	EQUAL		LUMBER	PLYWD	PLASTIC LAMINATE	TBD	TO BE DETERMINED
APARTMENT	D	DRYER	ETR	EXISTING TO REMAIN	MARB	MARBLE	PT	PLYWOOD	TGS	TONGUE AND GROOVE
BUILDING	DIA	DOUBLE HUNG	EX	EXISTING	MATL	MATERIAL	PTD	PRESSURE TREATED	TOS	TOP OF SLAB
BASEMENT	FIN	FINISH FLOOR	FF	FINISH	MDO	MEDIUM DENSITY	R	PAINTED	UNO	UNLESS NOTED
CONTROL JOINT	FLR	FLOOR	FLR	FLOOR	OVERLAY		REF	RISER	OTHERWISE	
CABINET	GA	GAUGE	GA	GAUGE	MIN	MINIMUM	RO	ROUGH OPENING	VIF	VERIFY IN FIELD
CENTER LINE	GWB	GYPSTUM WALL BOARD	GWB	GYPSTUM WALL BOARD	MANU	MANUFACTURER	RQD	REQUIRED	W	WASHER
CEILING	HC	HOSE BIB	HC	HOSE BIB	MTL	METAL	RM	ROOM	W/	WITH
CLEAR	DW	DISHWASHER	DW	DISHWASHER	MECH	MECHANICAL	SC	SOLID CORE	WC	TOILET / WATER CLOSET
CONCRETE	DWG	DRAWING	DWG	DRAWING	NG	NOT IN CONTRACT	SHT	SHEET	WD	WOOD
MASONRY UNIT	EIPS	EXTERIOR INSULATION	EIPS	EXTERIOR INSULATION	NTS	NOT TO SCALE	SHWR	SHOWER	W/O	WITHOUT
	EL	ELEVATION	EL	ELEVATION	OC	ON CENTER	SIM	SIMILAR	WWM	WELDED WIRE MESH
			LB	POUND	OH	OPPOSITE HAND	SPEC	SPECIFICATION		

SYMBOLS

CENTERLINE

DOOR TAG:

DOOR REFERENCE (SEE DOOR SCHEDULE)

WINDOW TAG:

WINDOW REFERENCE (SEE WINDOW SCHEDULE)

WALL TAG:

WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)

DRAWING CALL-OUT:
DRAWING NUMBER
SHEET REFERENCE

ELEVATION CALL-OUT:
VIEW DIRECTION
DRAWING NUMBER
SHEET REFERENCE

ELEVATION CALL-OUT:
VIEW DIRECTION
DRAWING NUMBER
SHEET REFERENCE

ELEVATION CALL-OUT:
VIEW DIRECTION
DRAWING NUMBER
SHEET REFERENCE

ELEVATION CALL-OUT:
VIEW DIRECTION
DRAWING NUMBER
SHEET REFERENCE

ELEVATION MARKER:

XXX-XX X/X"
BENCHMARK
SPOT LOCATION
ELEVATION
LOCATION REFERENCE

SECTION CUT CALL-OUT:

DRAWING REFERENCE
SECTION CUT LOCATION
DRAWING REFERENCE
SECTION CUT LOCATION
SHEET REFERENCE
DIRECTION OF VIEW

PROJECT DATA

JURISDICTION:
MONTGOMERY COUNTY, MD

BUILDING CODE:
2018 IRC & MONTGOMERY COUNTY AMENDMENTS

BUILDING USE GROUP:
SINGLE-FAMILY, DETACHED

CONSTRUCTION TYPE:
SB - COMBUSTIBLE, UNPROTECTED

FIRE SUPPRESSION SYSTEM:
NA

CERTIFICATION

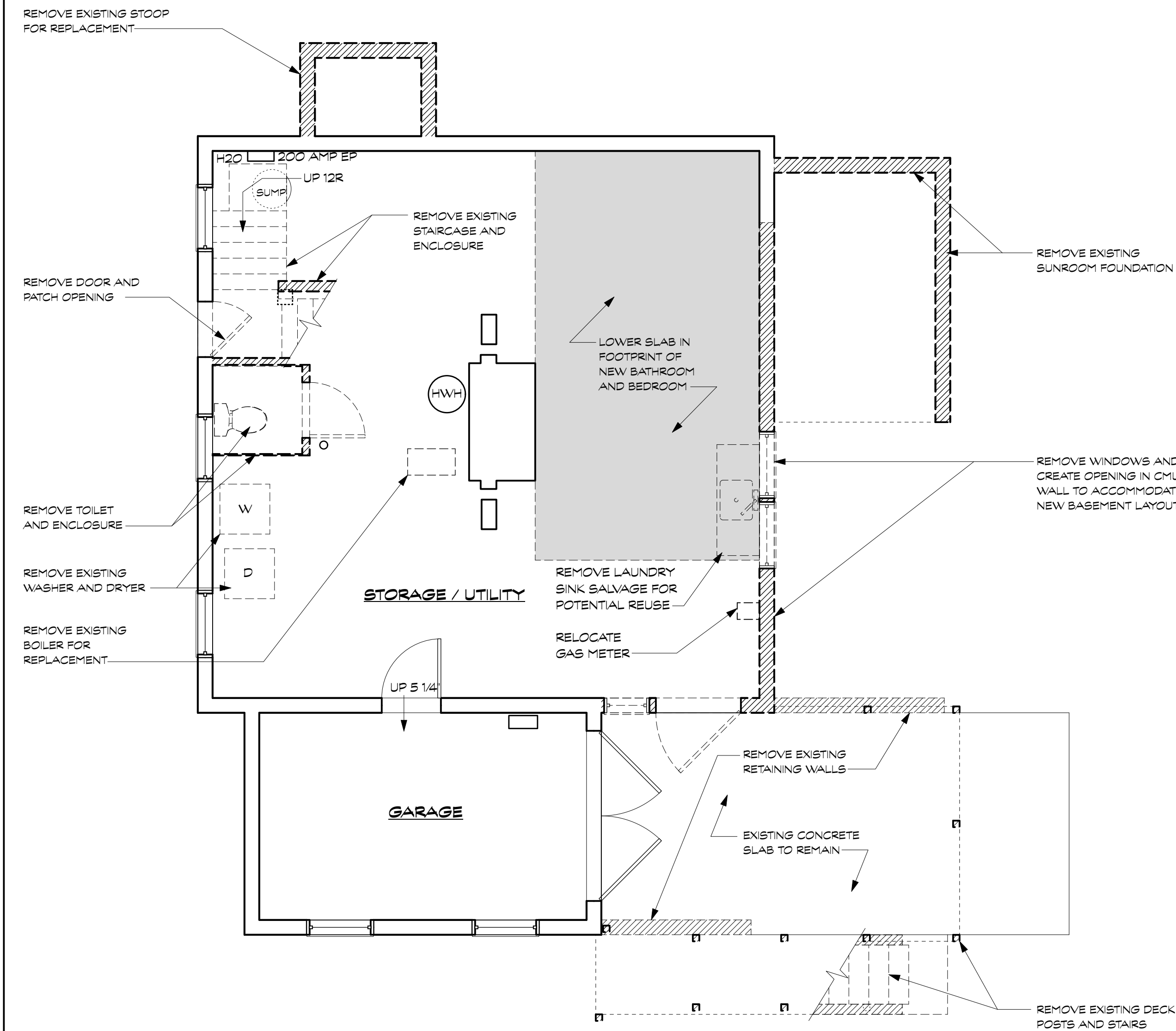
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

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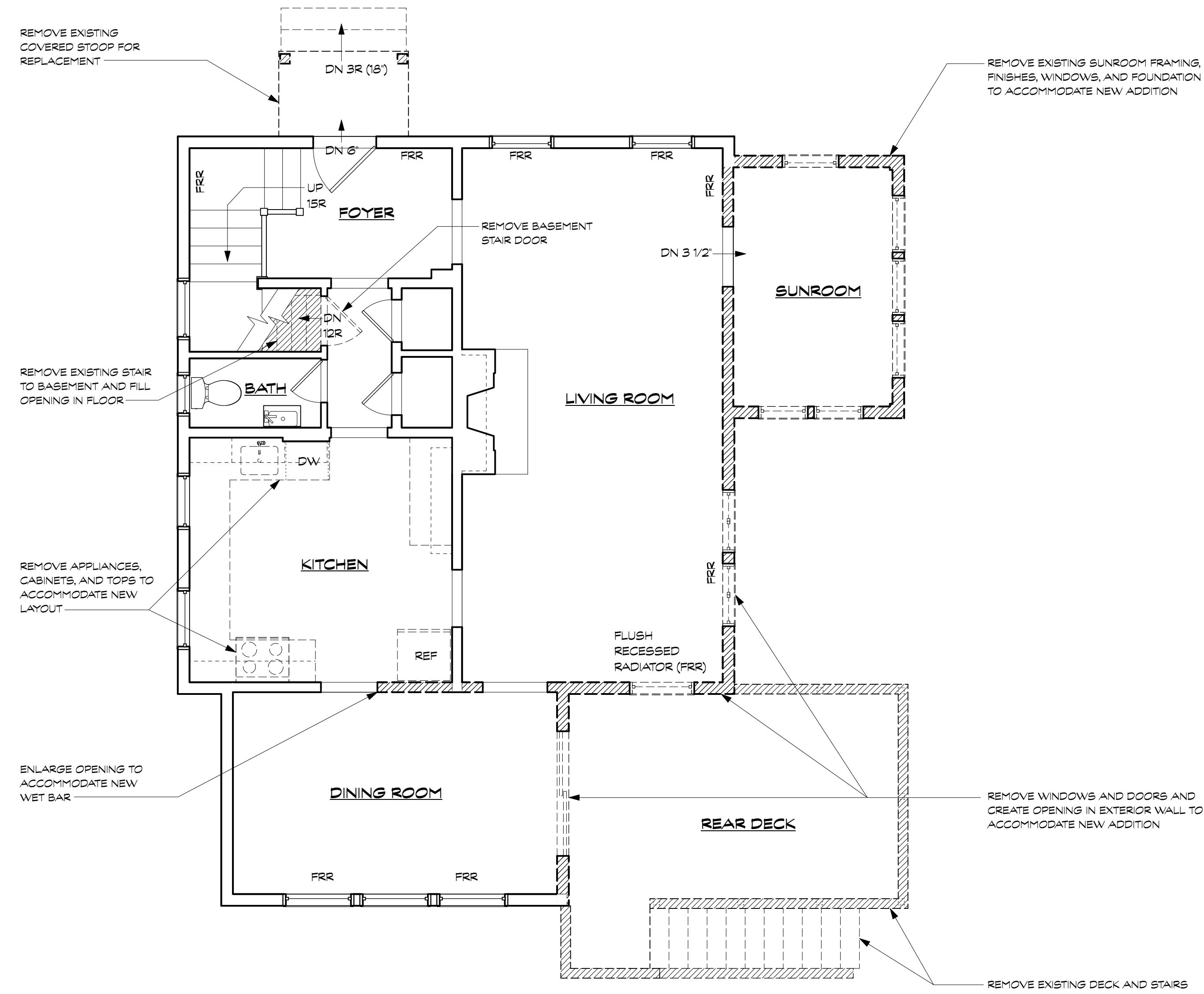
EXPIRATION DATE:

SAWYER

#2004



1 CELLAR DEMOLITION PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"

WALL LEGEND

	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

GENERAL NOTES:
 1. DO NOT SCALE THE DRAWINGS
 2. NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
 3. EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)

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12/17/20	PROGRESS SET

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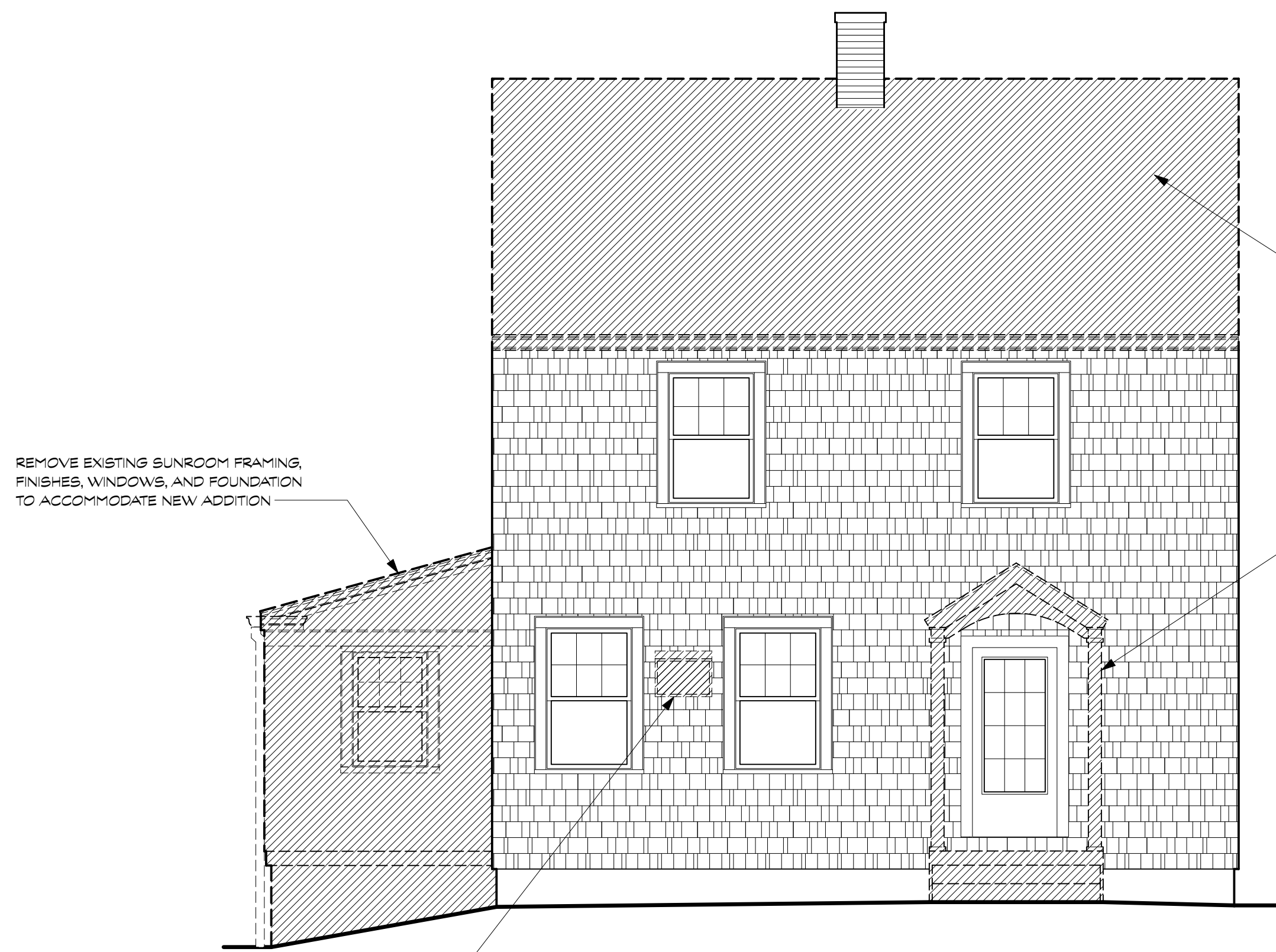
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SAWYER ADDITION
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 Project # 2004

CELLAR & FIRST FLOOR
 DEMOLITION PLANS

D100

17 December 2020 - Progress Set



REMOVE THRU WALL A/C UNIT
AND PATCH WALL OPENING

1 FRONT / NORTH DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"

REMOVE ALL EXISTING ROOF SHINGLES
AND UNDERLAYMENT FOR REPLACEMENT

REMOVE EXISTING COVERED
STOOP FOR REPLACEMENT

REMOVE EXISTING DOOR
AND PATCH OPENING



REMOVE ALL RAKES,
SUBRAKES, AND FASCIAS
FOR REPLACEMENT

REMOVE EXISTING ROOF
AND GABLE WALL FOR
REPLACEMENT

REMOVE WINDOW
MOUNTED A/C UNIT

REMOVE EXISTING
DECK AND STAIRS

2 SIDE / WEST DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"

REMOVE ALL EXISTING ROOF SHINGLES
AND UNDERLAYMENT FOR REPLACEMENT



3 REAR / SOUTH DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"

REMOVE ALL EXISTING RAKES, SUBRAKES,
AND FASCIAS FOR REPLACEMENT

REMOVE EXISTING ROOF AND GABLE
WALL FOR REPLACEMENT

REMOVE WINDOW AND PATCH OPENING

REMOVE SIDING AND SHEATHING
AT ALL WALL SURFACES
CONCEALED BY ADDITION

REMOVE EXISTING SUNROOM FRAMING,
FINISHES, WINDOWS, AND FOUNDATION
TO ACCOMMODATE NEW ADDITION

REMOVE WINDOWS AND DOORS AND
CREATE OPENING IN EXTERIOR WALL TO
ACCOMMODATE NEW ADDITION

REMOVE EXISTING DECK AND STAIRS



REMOVE EXISTING
WINDOW AND ENLARGE
OPENING TO
ACCOMMODATE NEW
WINDOW GROUP

REMOVE EXISTING
COVERED STOOP
FOR REPLACEMENT

4 SIDE / EAST DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"

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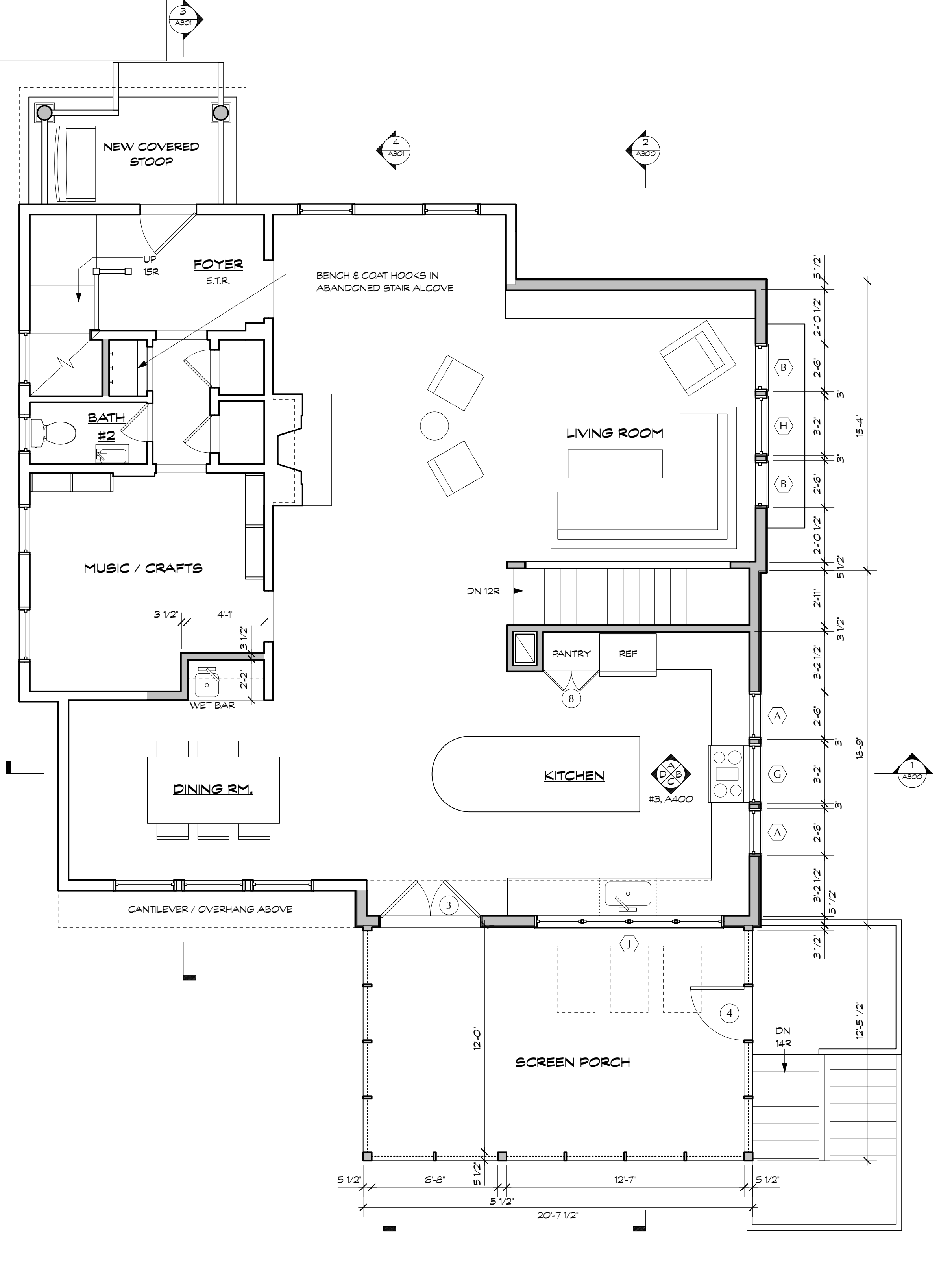
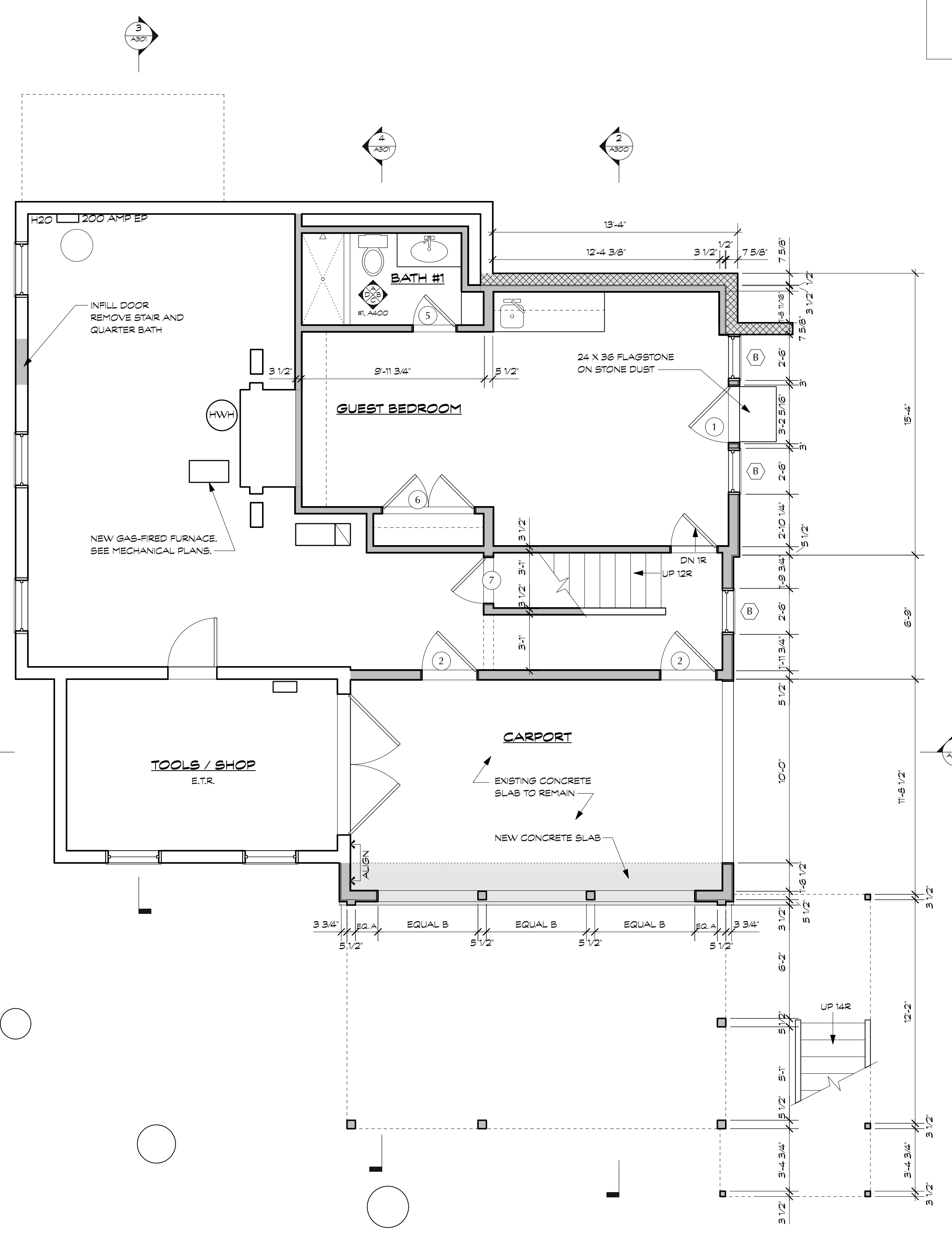
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SAWYER ADDITION
514 Philadelphia Ave. Takoma Park, Maryland 20912
Project # 2004

DEMOLITION
ELEVATIONS

D200

17 December 2020 - Progress Set

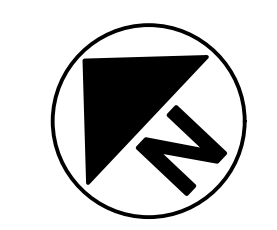


WALL LEGEND

- EXISTING WALLS AND PARTITIONS TO REMAIN
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW WOOD FRAMED WALLS AND PARTITIONS
- NEW LOW WALLS
- NEW CMU WALLS

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS
- NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O.)
- EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O.)



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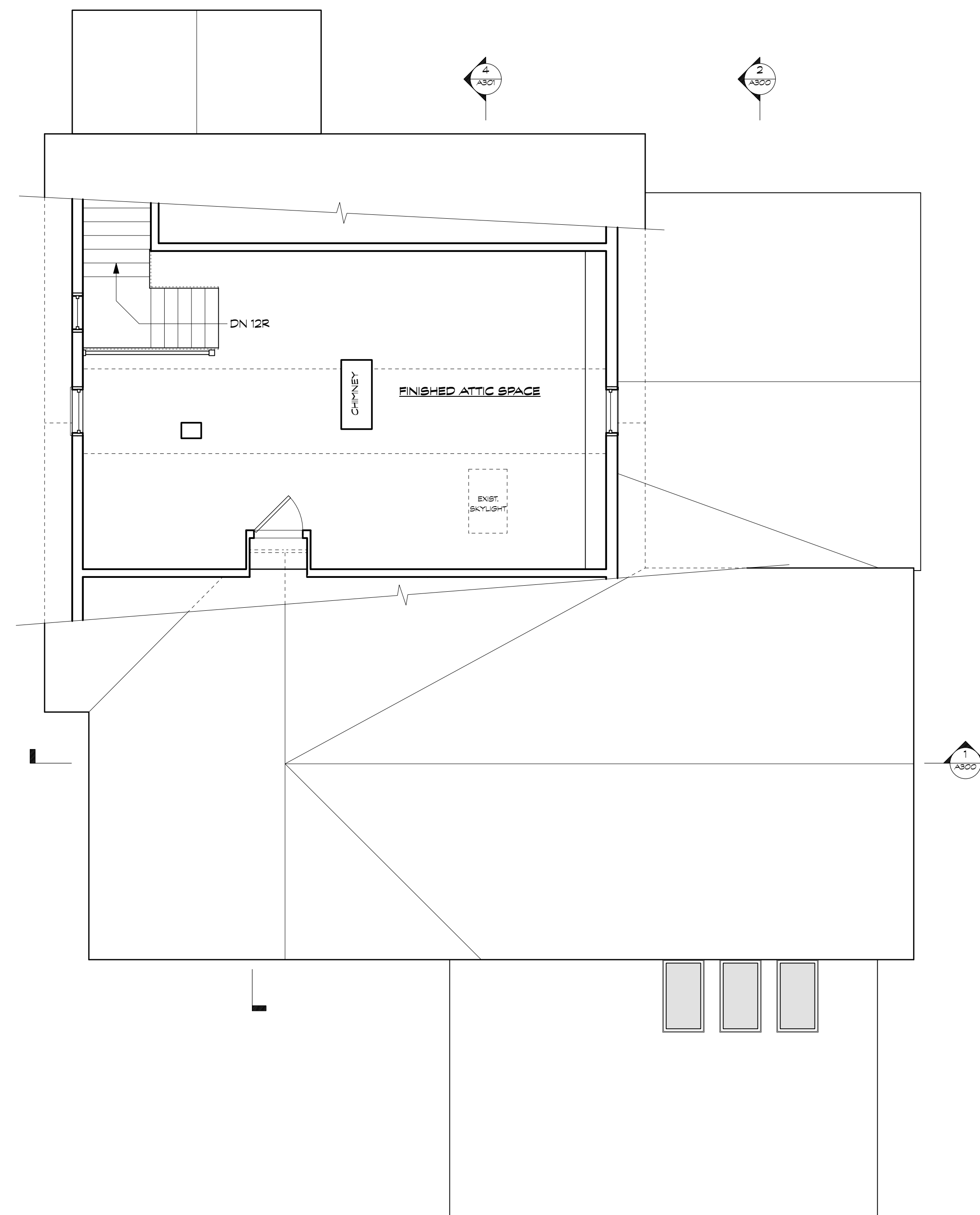
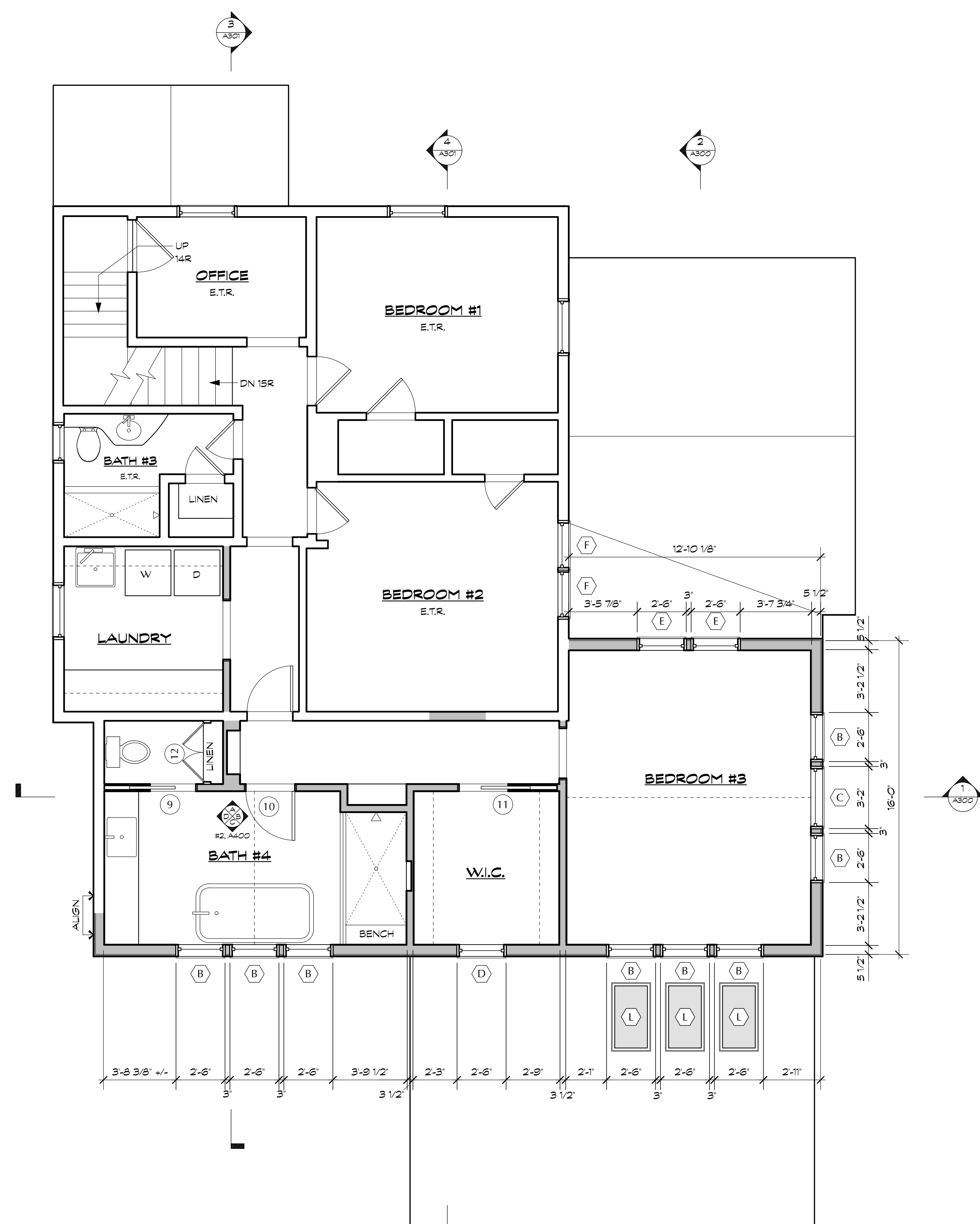
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Project # 2004

CELLAR & FIRST FLOOR PLANS

A100

17 December 2020 - Progress Set



WALL LEGEND	
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	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

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SAWYER ADDITION
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Project # 2004

SECOND FLOOR &
ATTIC PLAN

A101



1 PROPOSED FRONT / NORTH ELEVATION
Scale: 1/4" = 1'-0"

2 PROPOSED SIDE / WEST ELEVATION
Scale: 1/4" = 1'-0"

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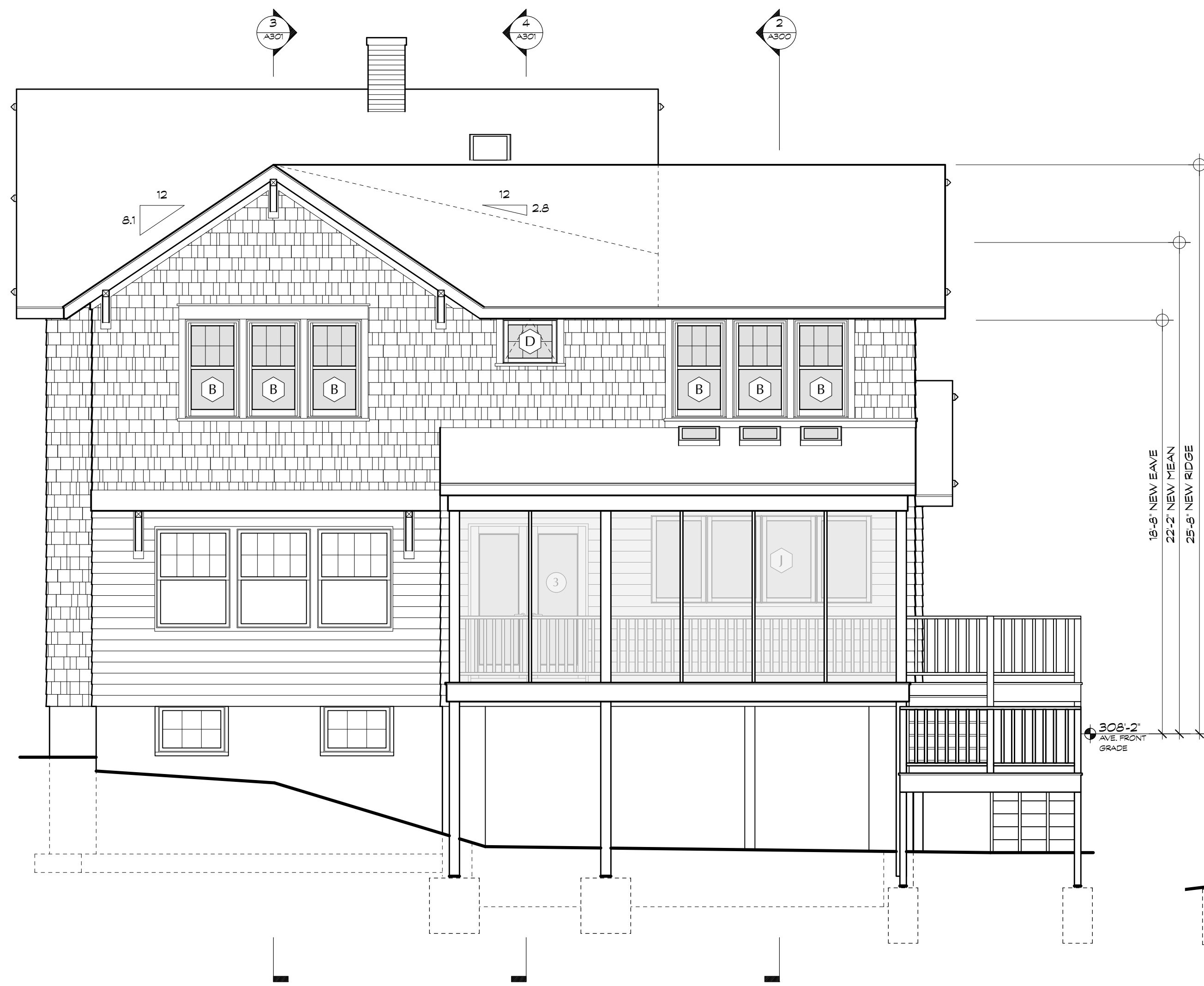
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PROPOSED
ELEVATIONS

A200

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1 PROPOSED REAR / SOUTH ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED SIDE / EAST ELEVATION
Scale: 1/4" = 1'-0"

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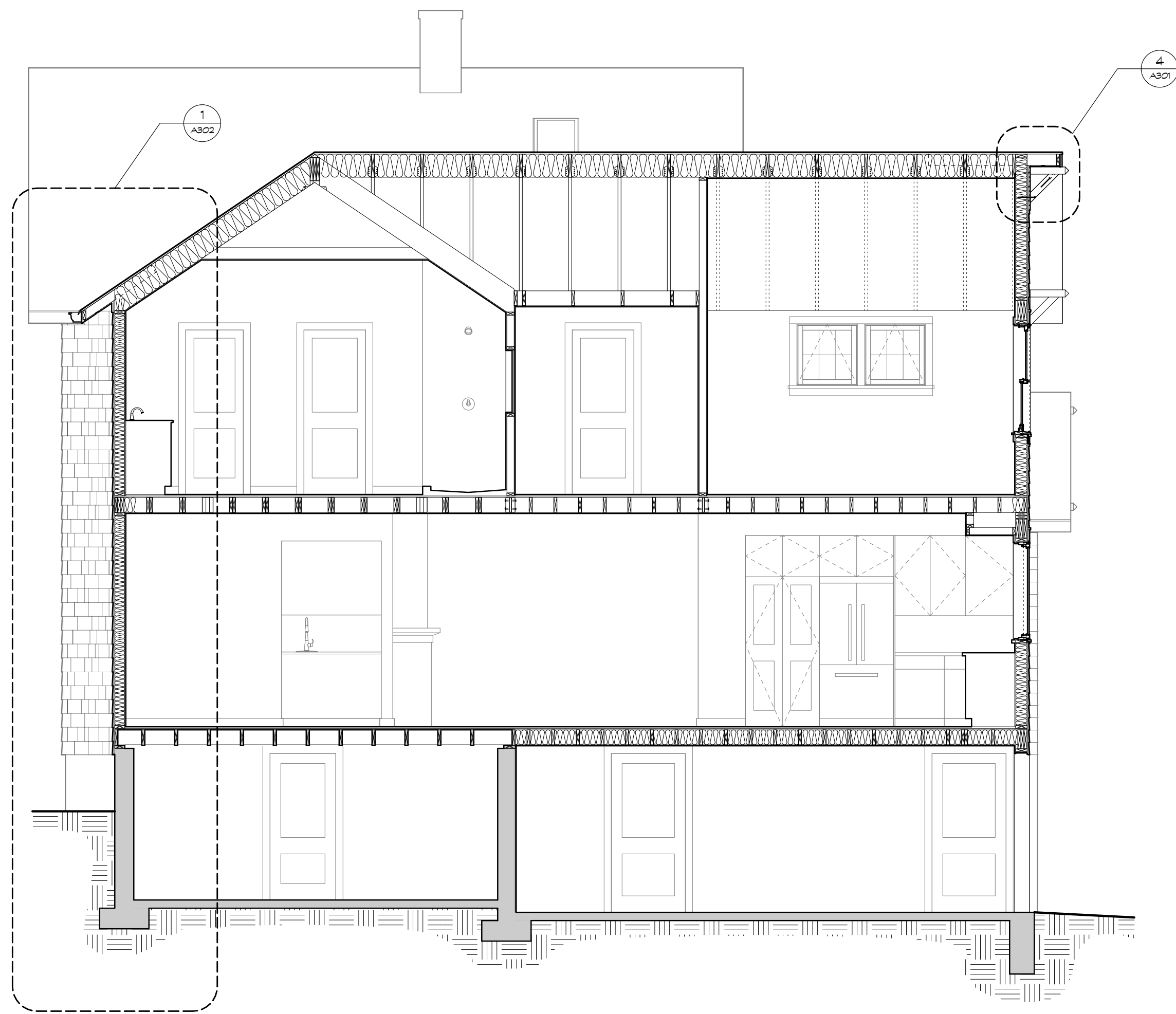
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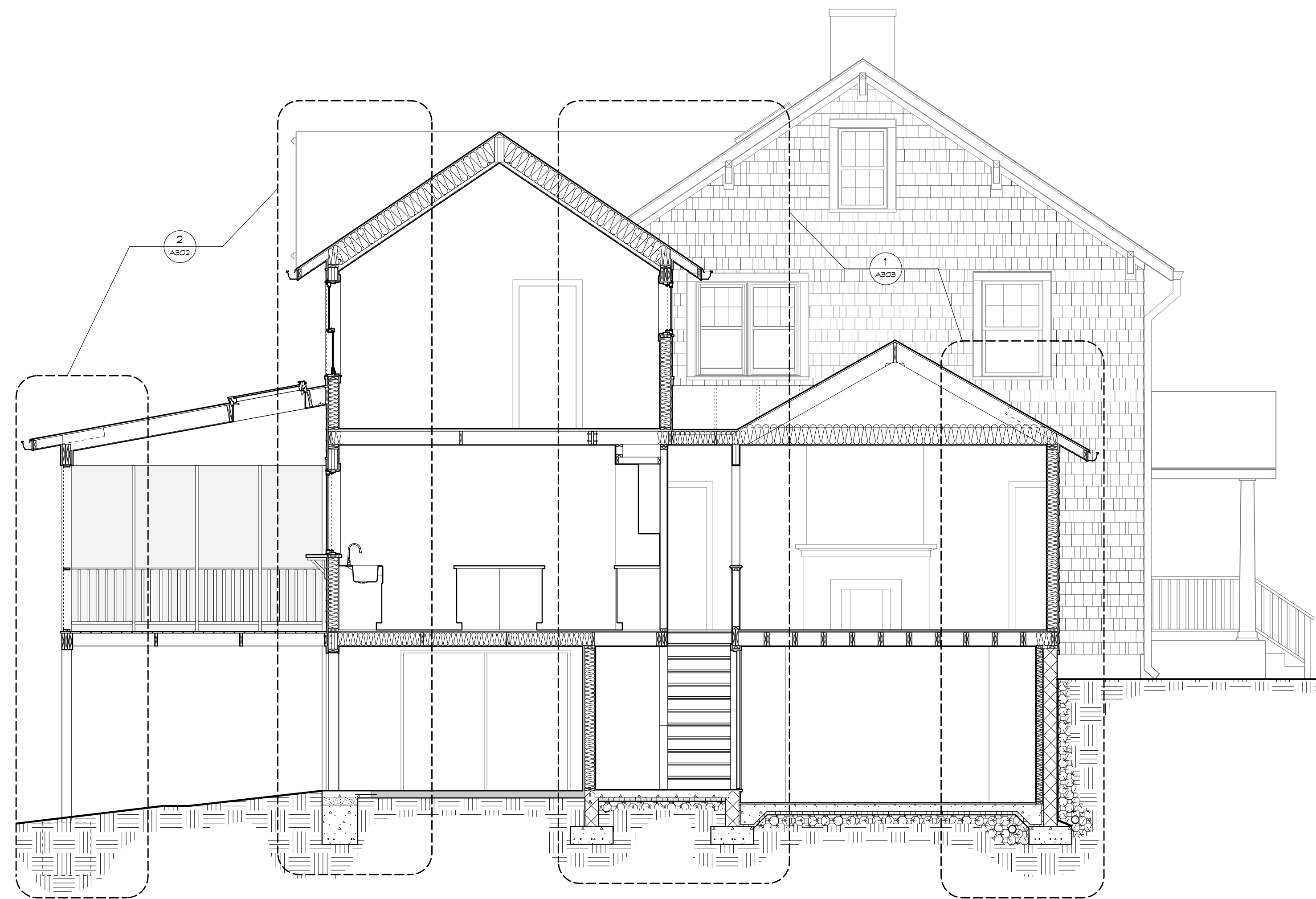
PROPOSED
ELEVATIONS

A201

17 December 2020 - Progress Set



1 BUILDING SECTION
Scale: 1/4" = 1'-0"



2 BUILDING SECTION
Scale: 1/4" = 1'-0"

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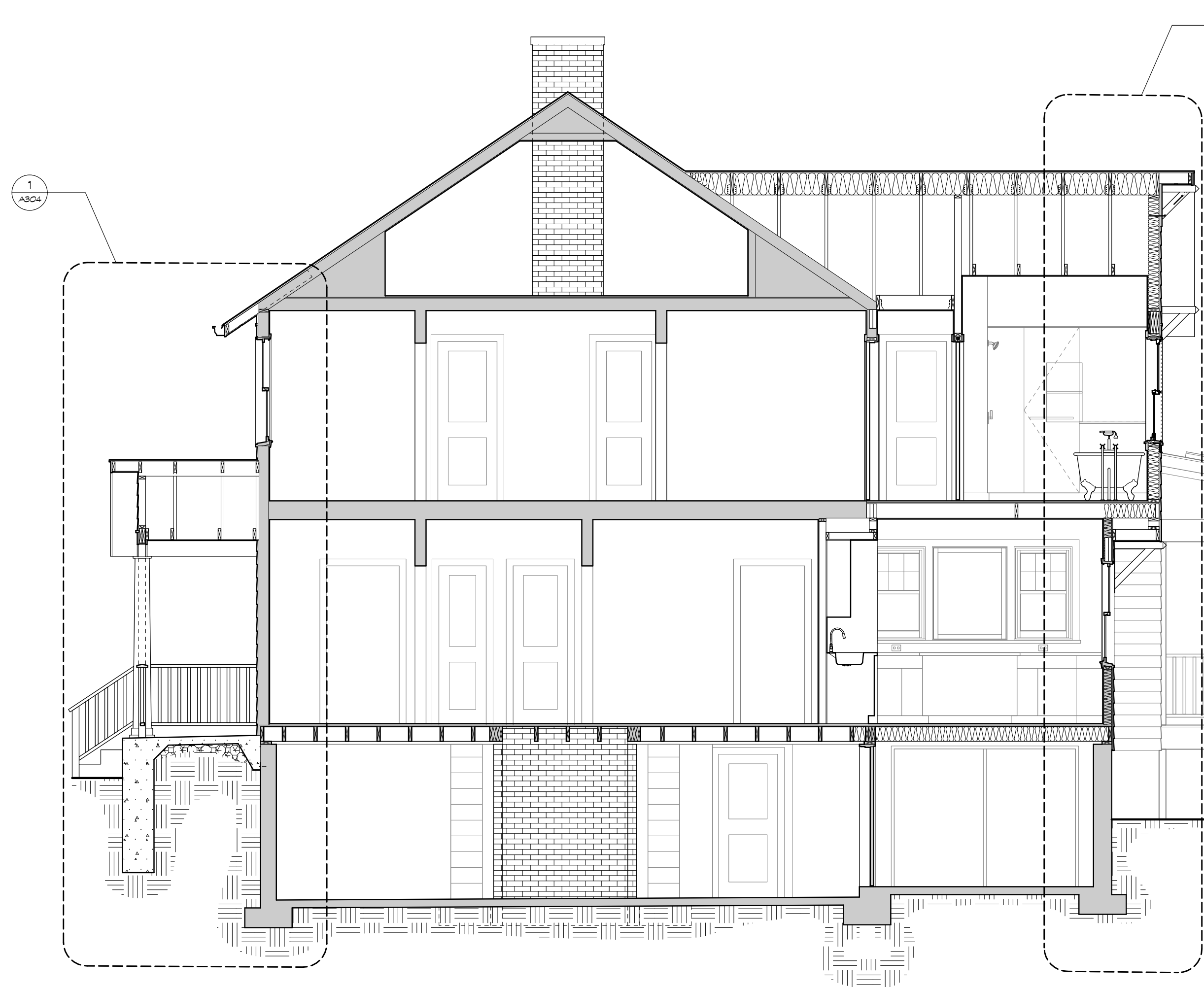
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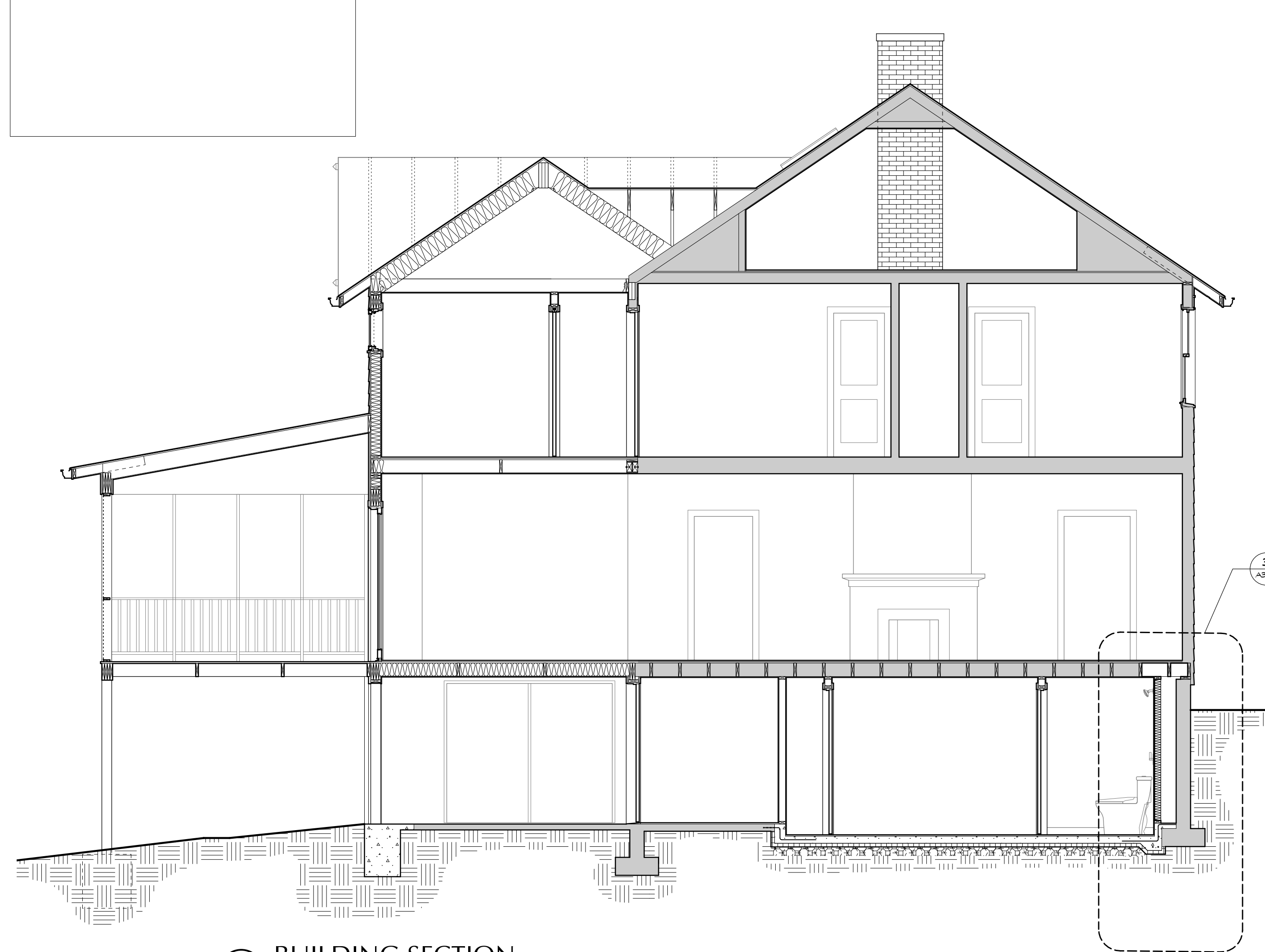
**BUILDING
SECTIONS**

A300

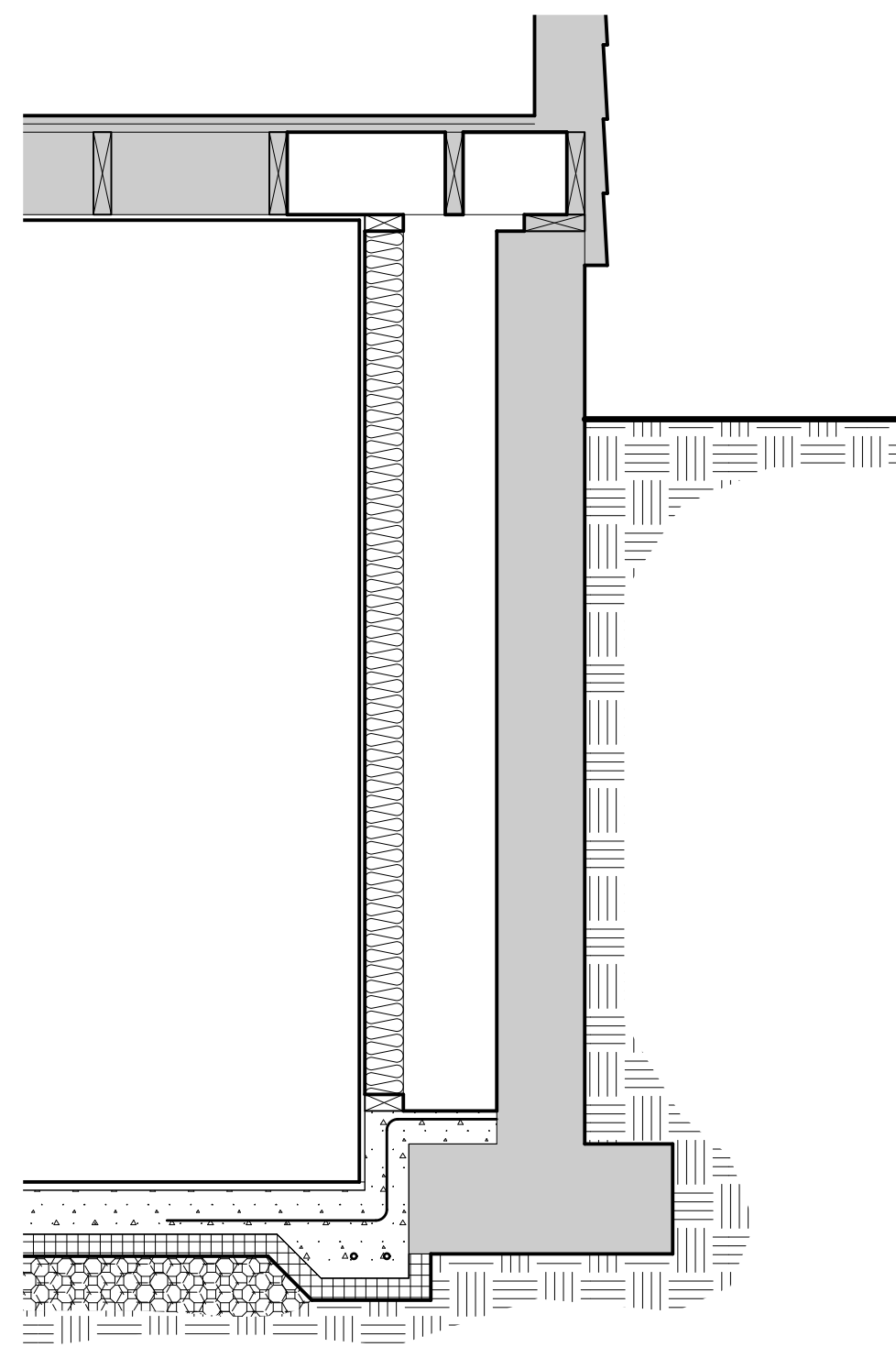
17 December 2020 - Progress Set



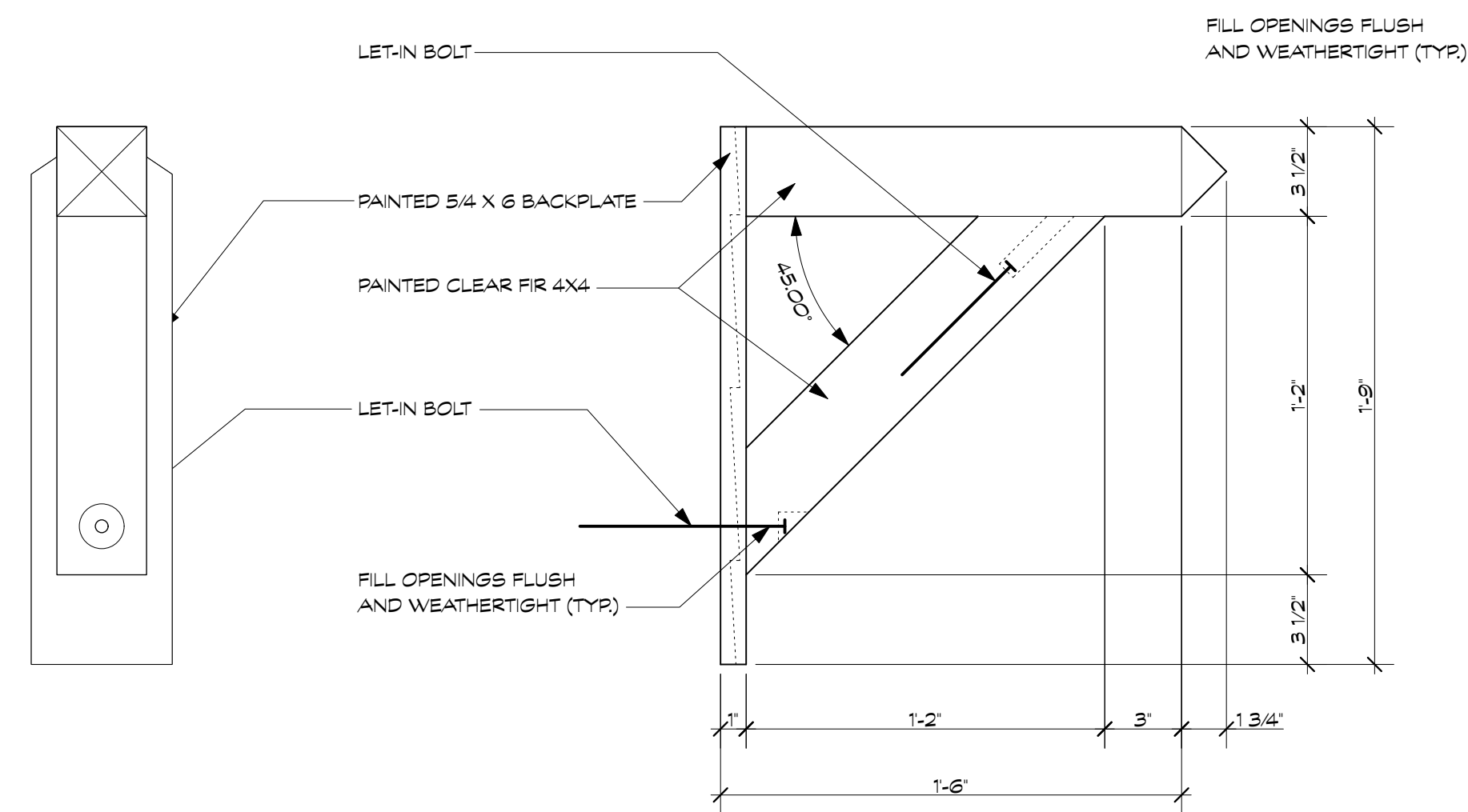
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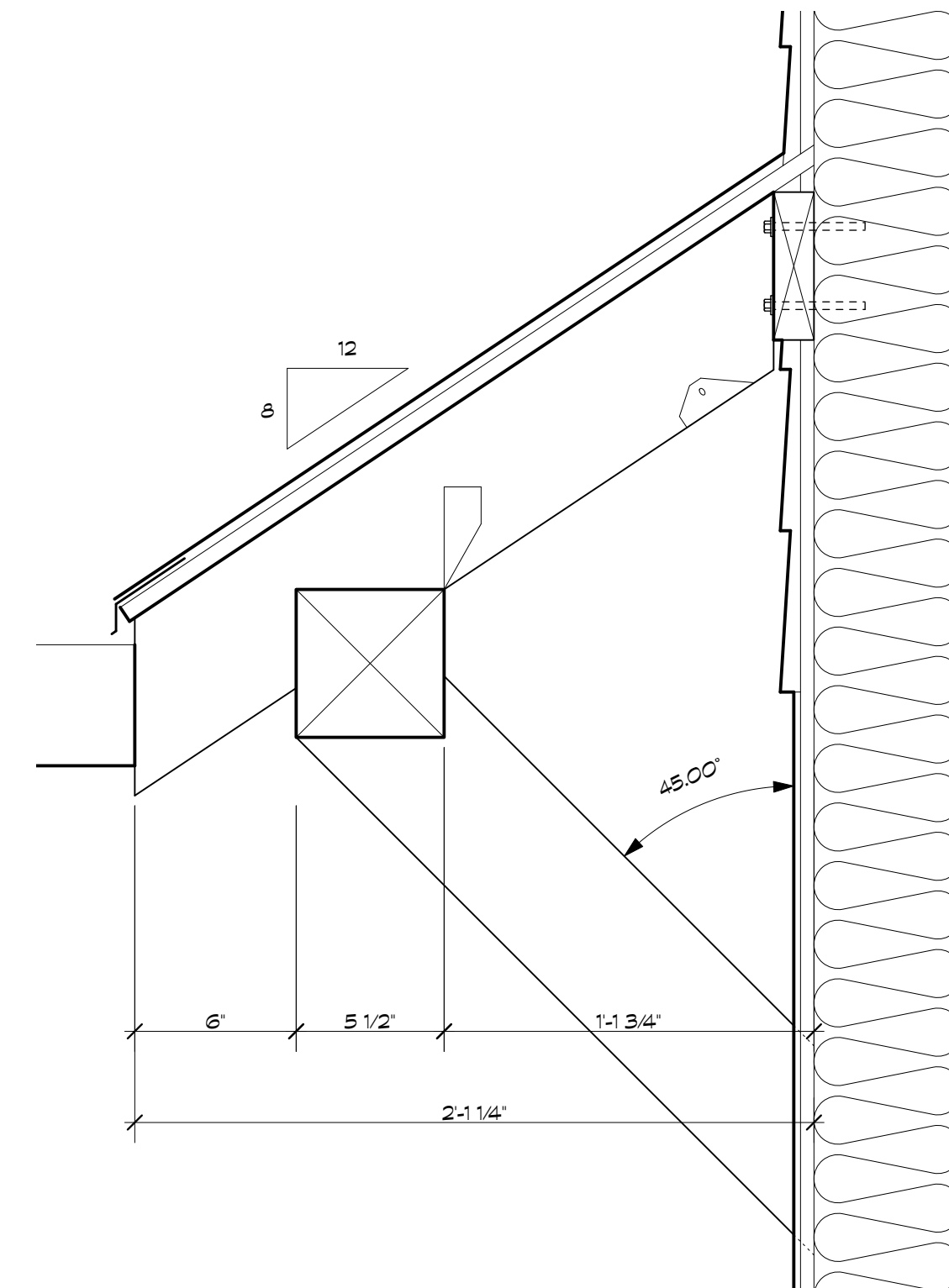
2 BUILDING SECTION
Scale: 1/4" = 1'-0"



3 WALL SECTION
Scale: 3/4" = 1'-0"



4 BRACKET DETAIL
Scale: 2" = 1'-0"



5 CANOPY DETAIL
Scale: 2" = 1'-0"

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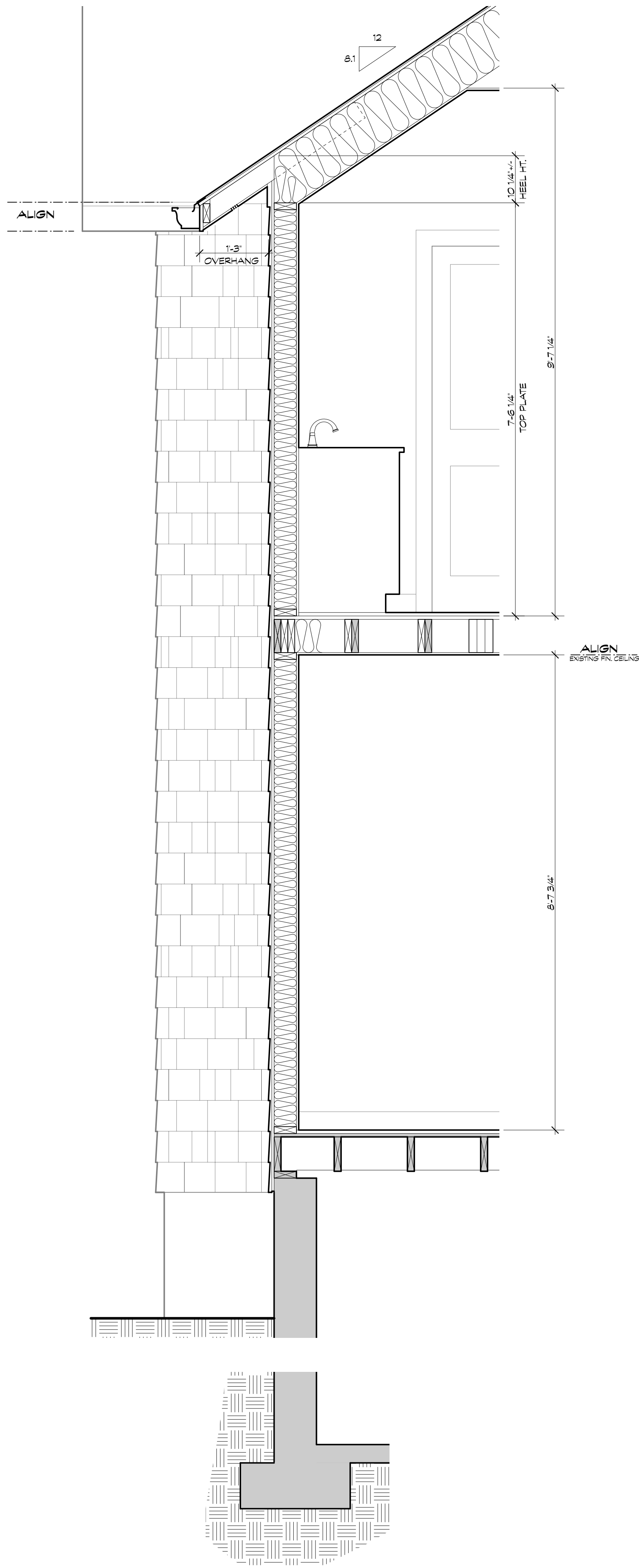
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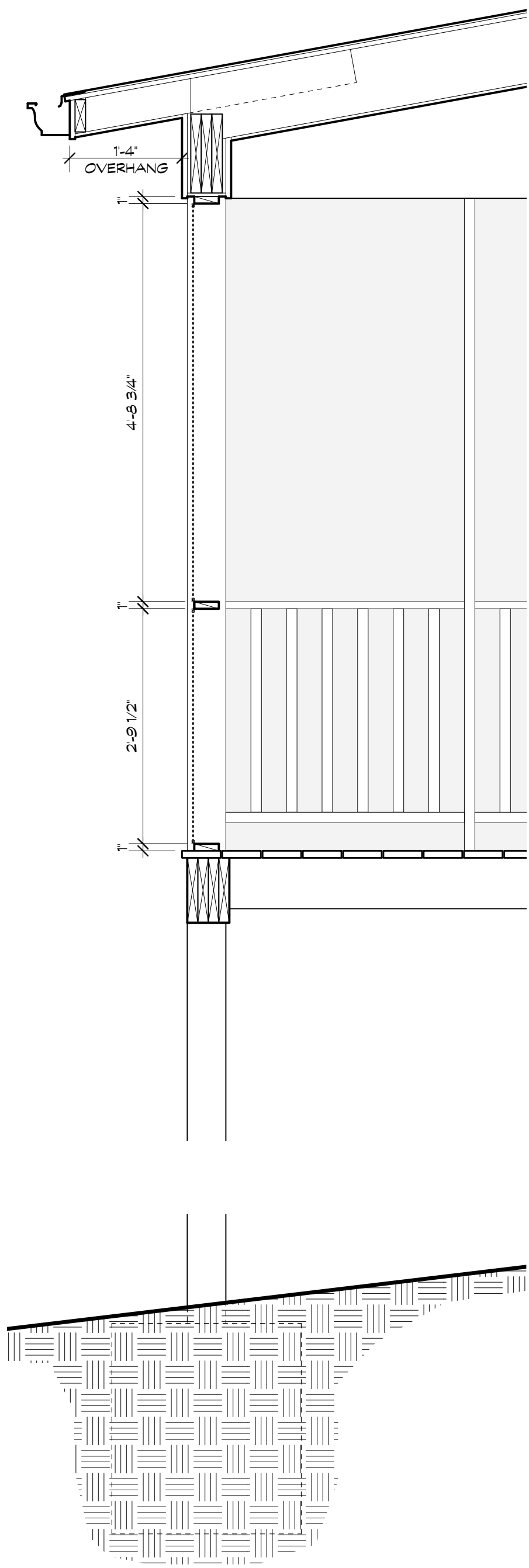
**WALL & BUILDING
SECTIONS**

A301

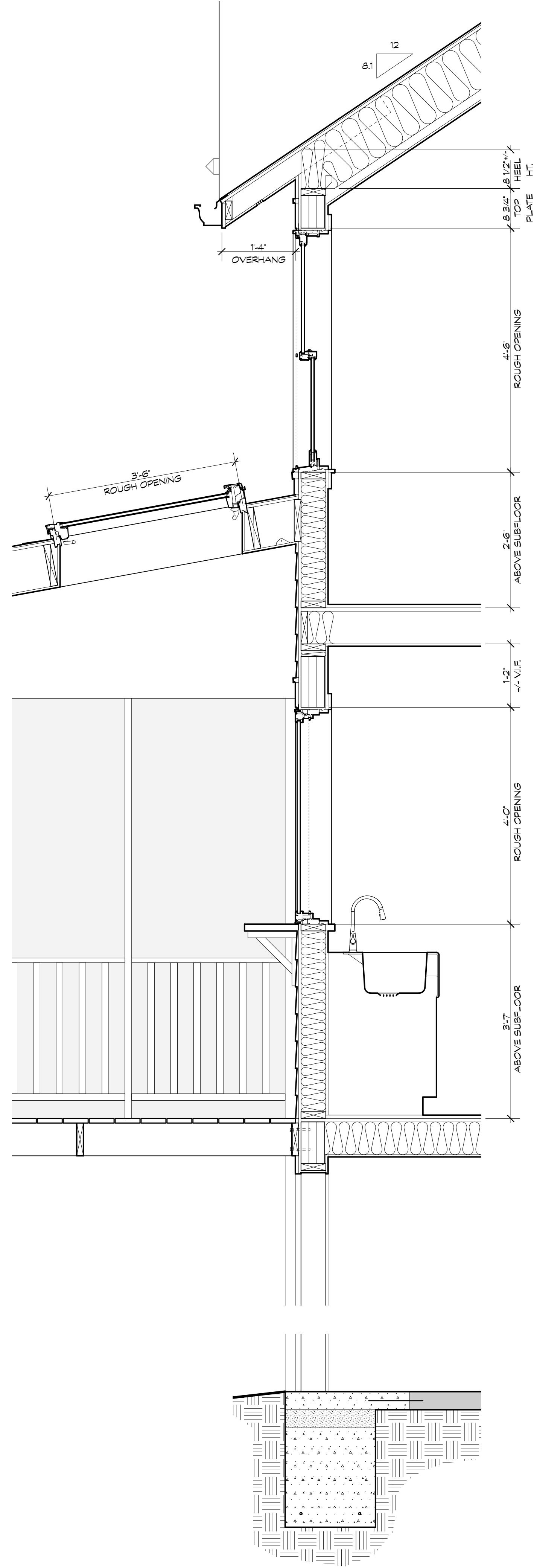
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1 WALL SECTION
Scale: 3/4" = 1'-0"



2 WALL SECTION
Scale: 3/4" = 1'-0"



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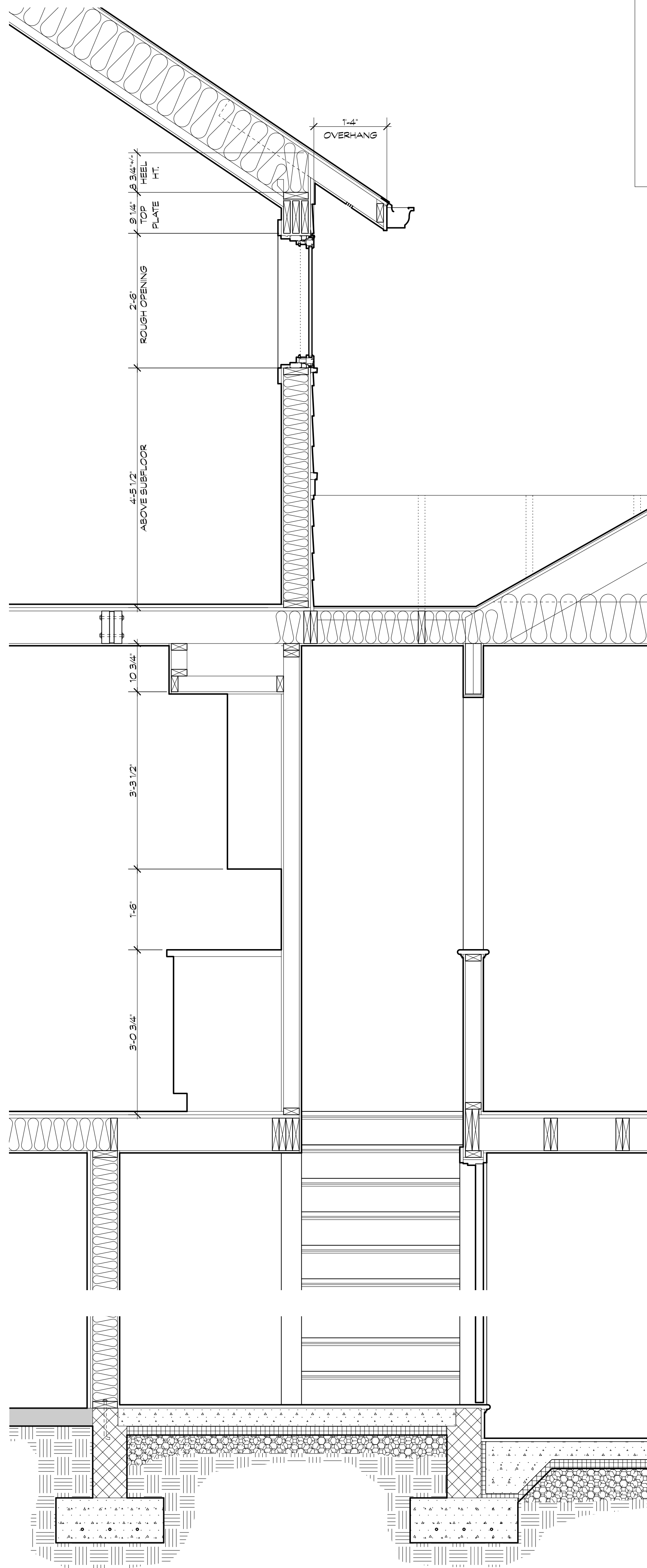
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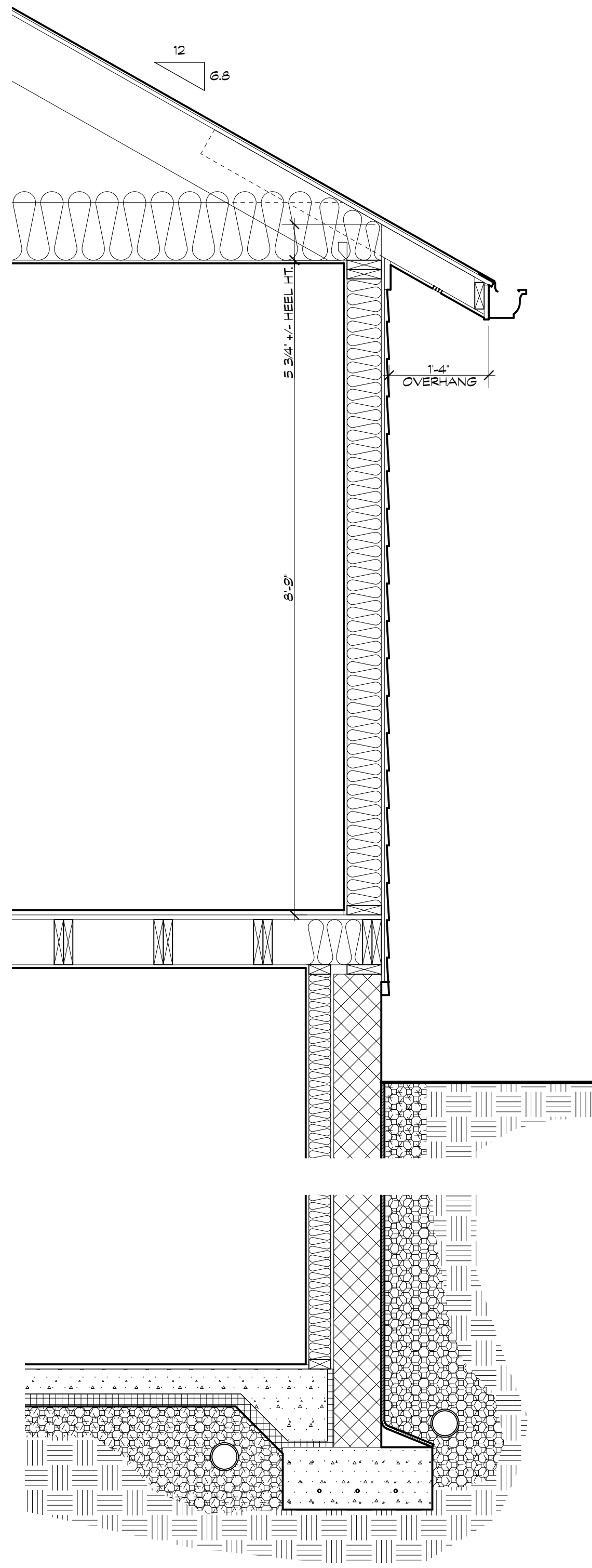
WALL SECTIONS

A302

17 December 2020 - Progress Set



1 WALL SECTION
Scale: 3/4" = 1'-0"



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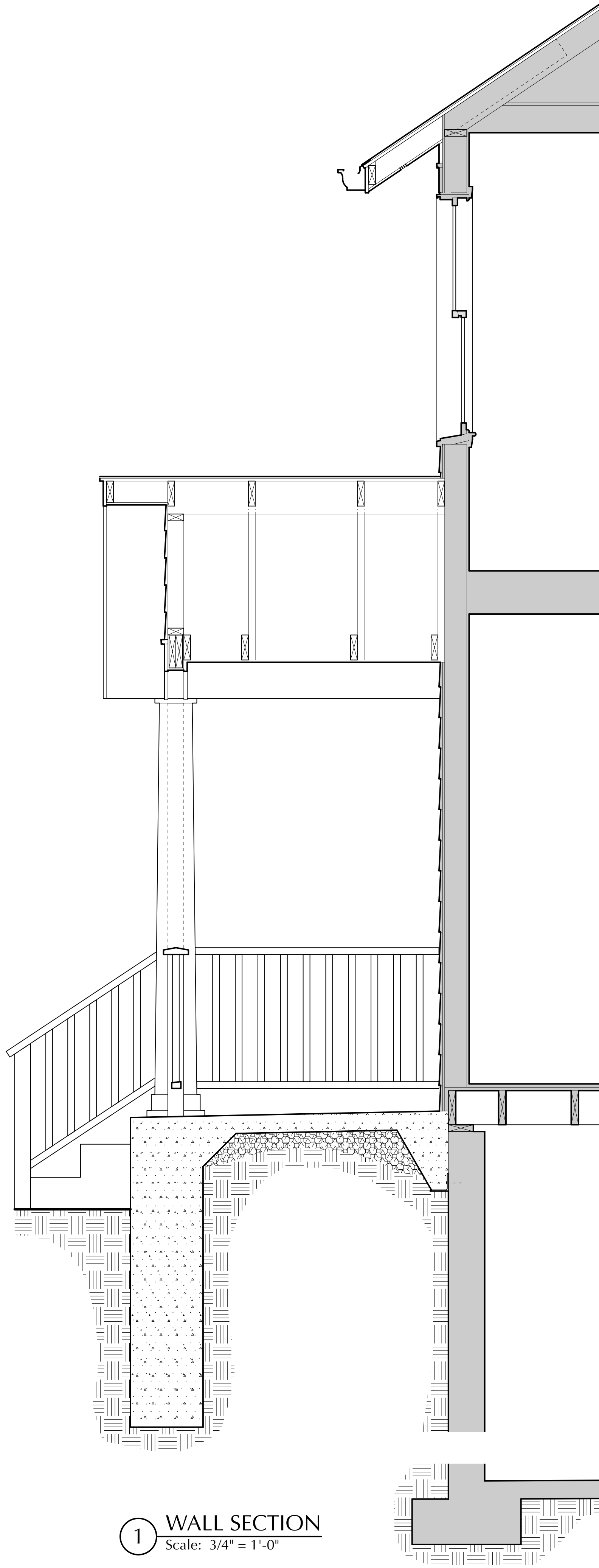
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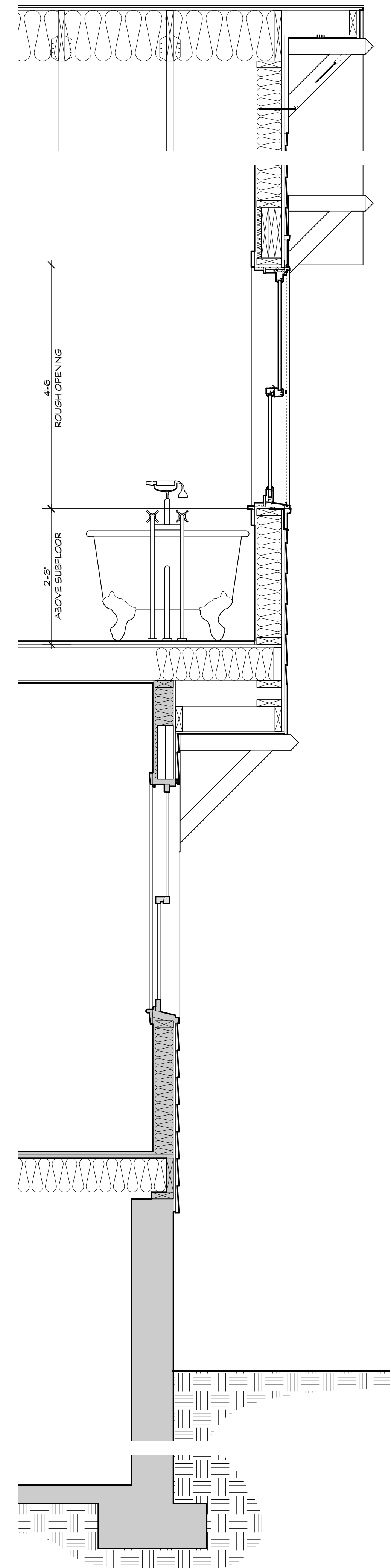
WALL SECTIONS

A303

17 December 2020 - Progress Set



1 WALL SECTION
Scale: 3/4" = 1'-0"



2 WALL SECTION
Scale: 3/4" = 1'-0"

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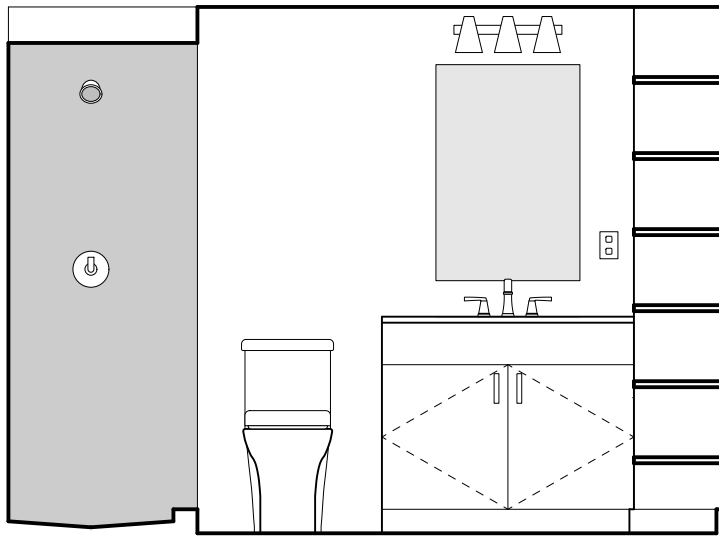
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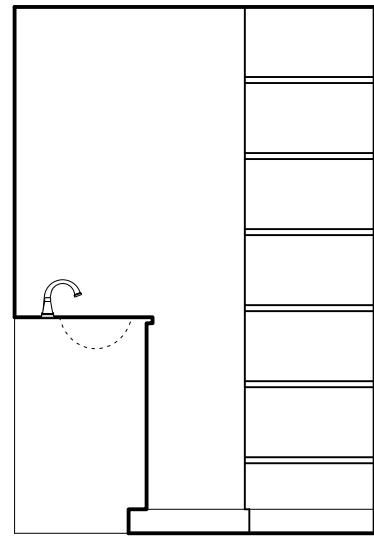
WALL SECTIONS

A304

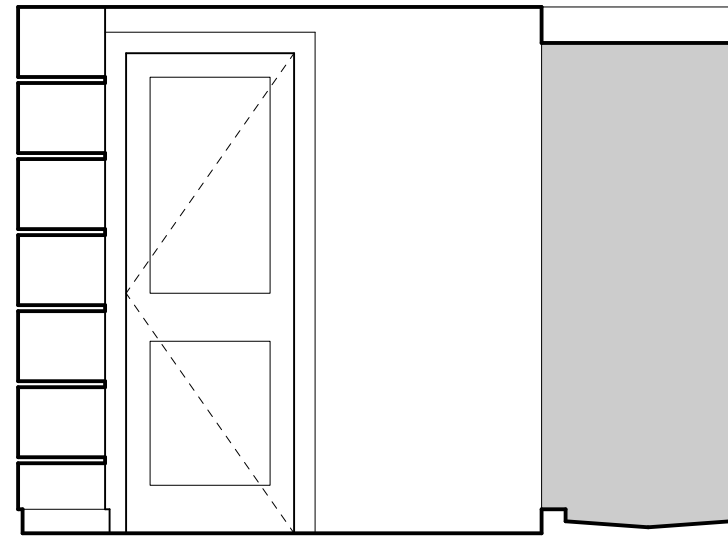
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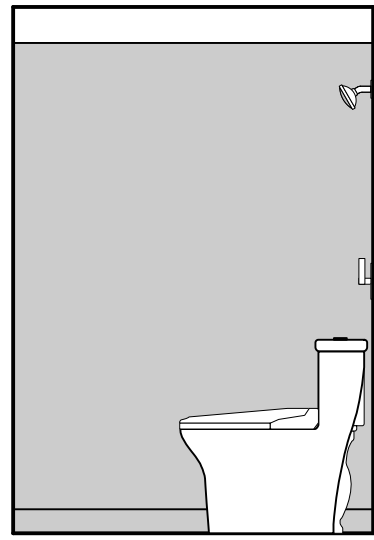
A



B



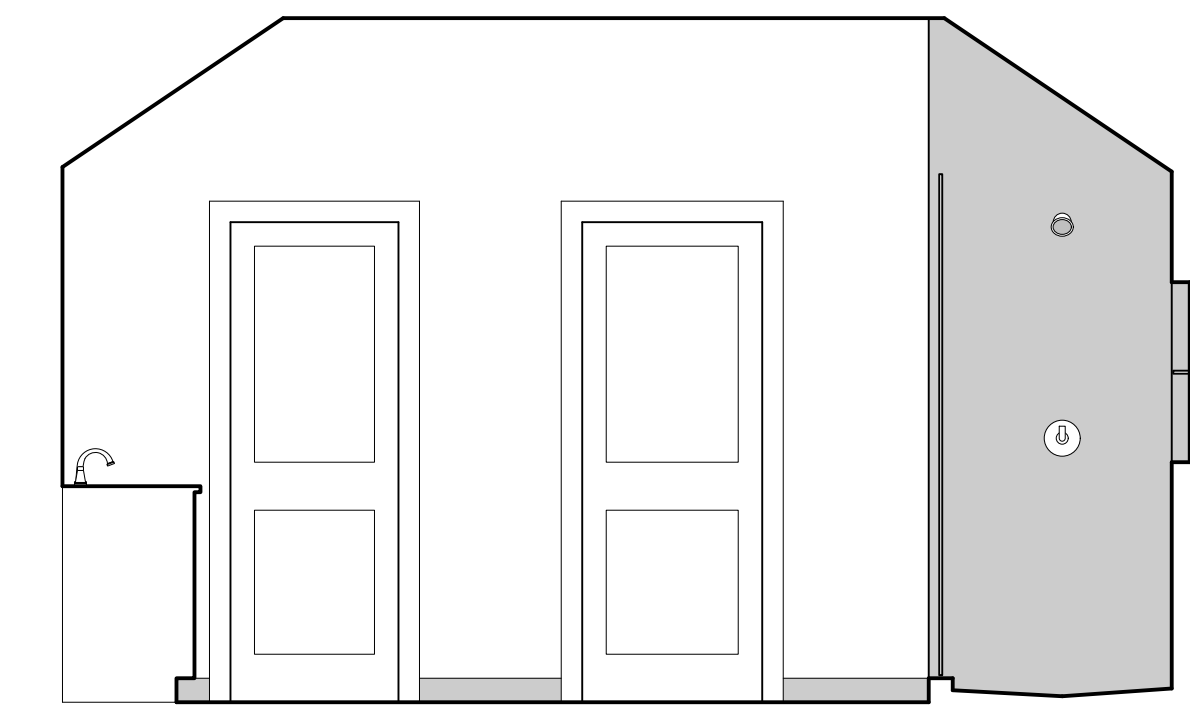
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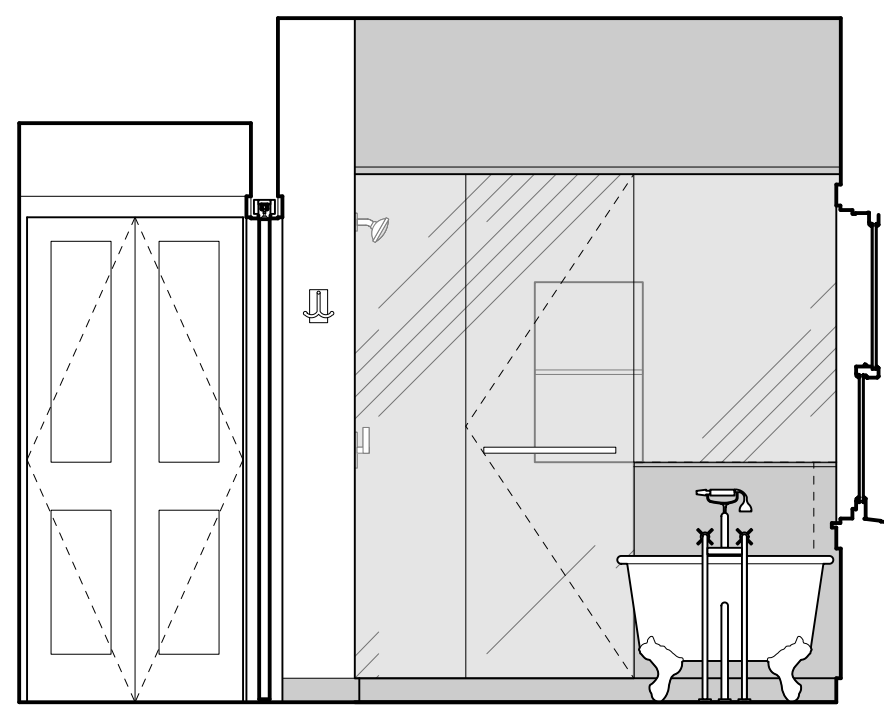
D

1 BATH #1 ELEVATIONS

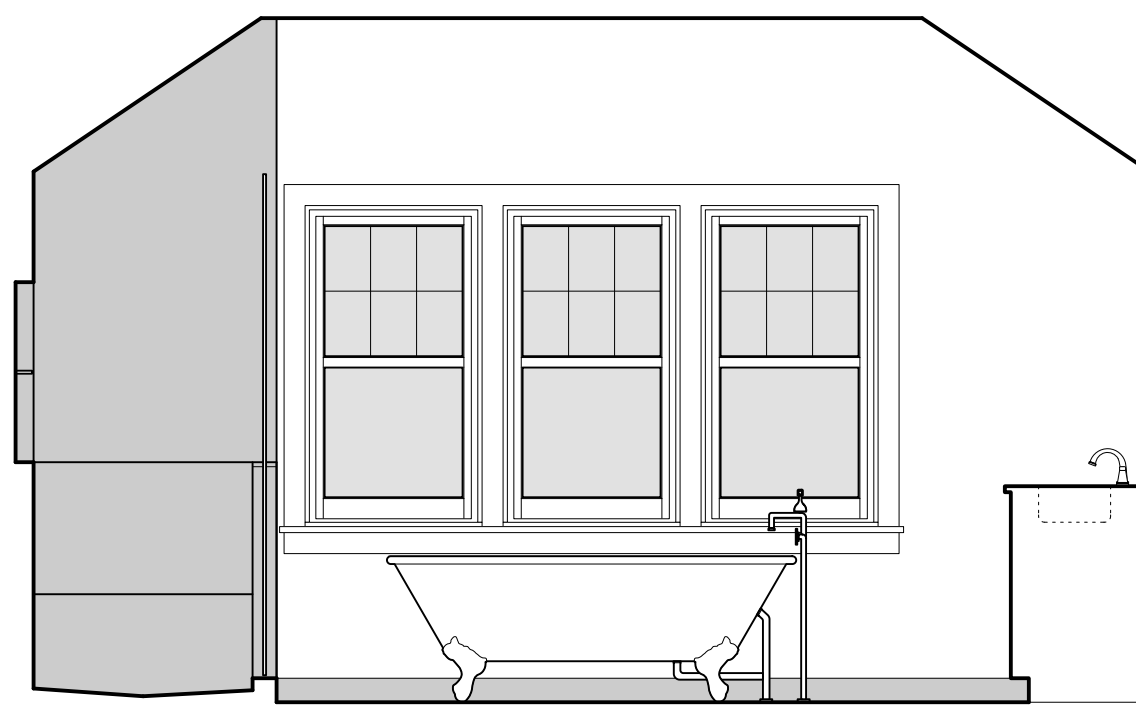
Scale: 3/8" = 1'-0"



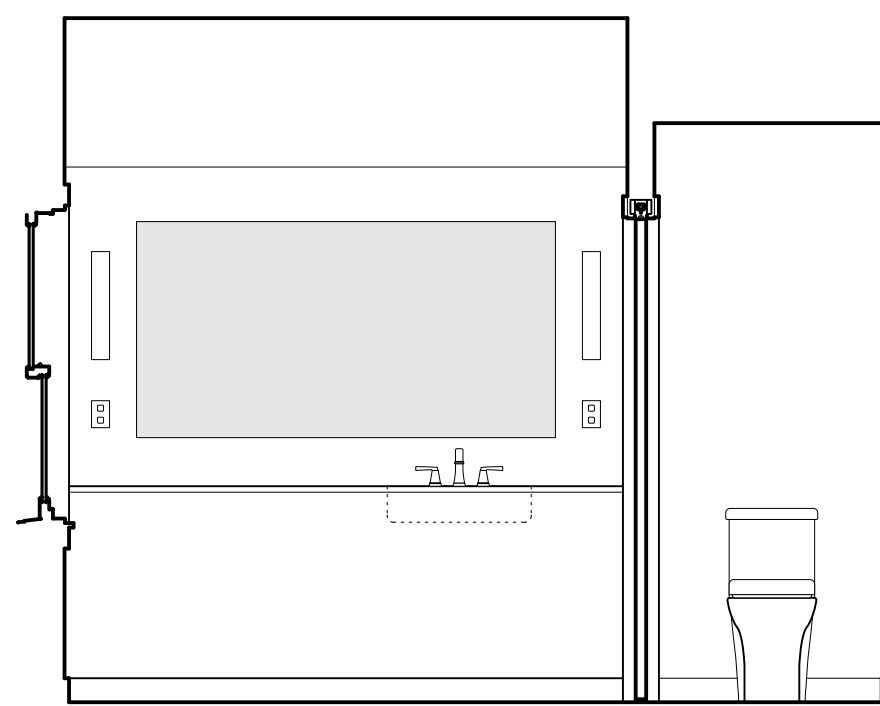
A



B



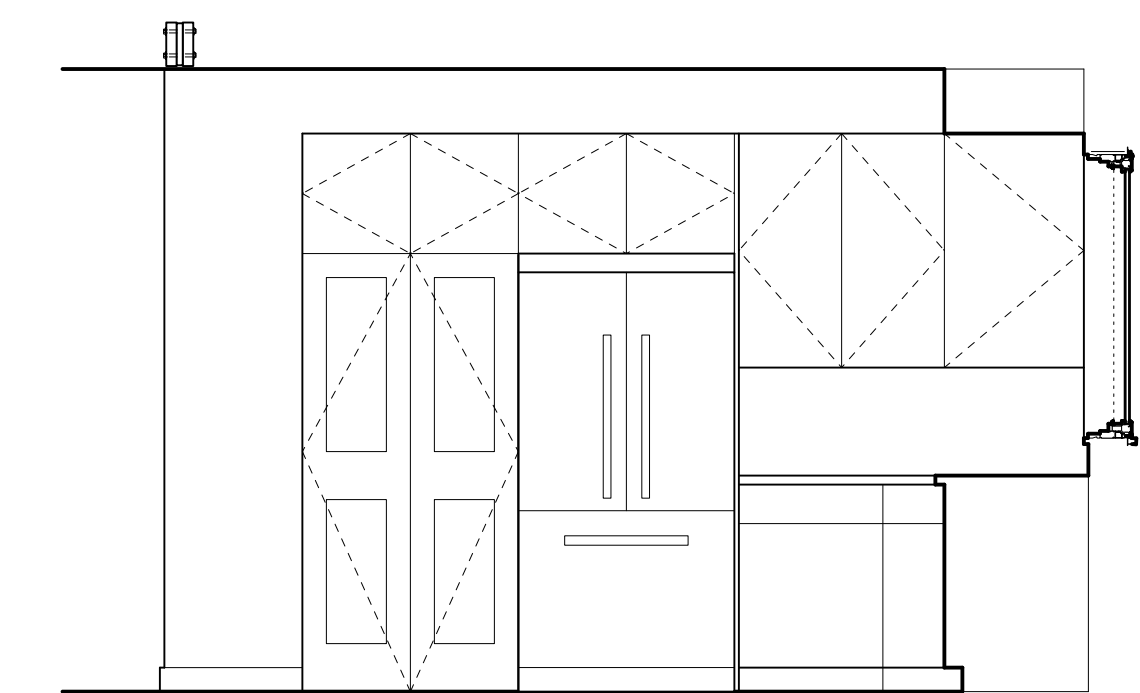
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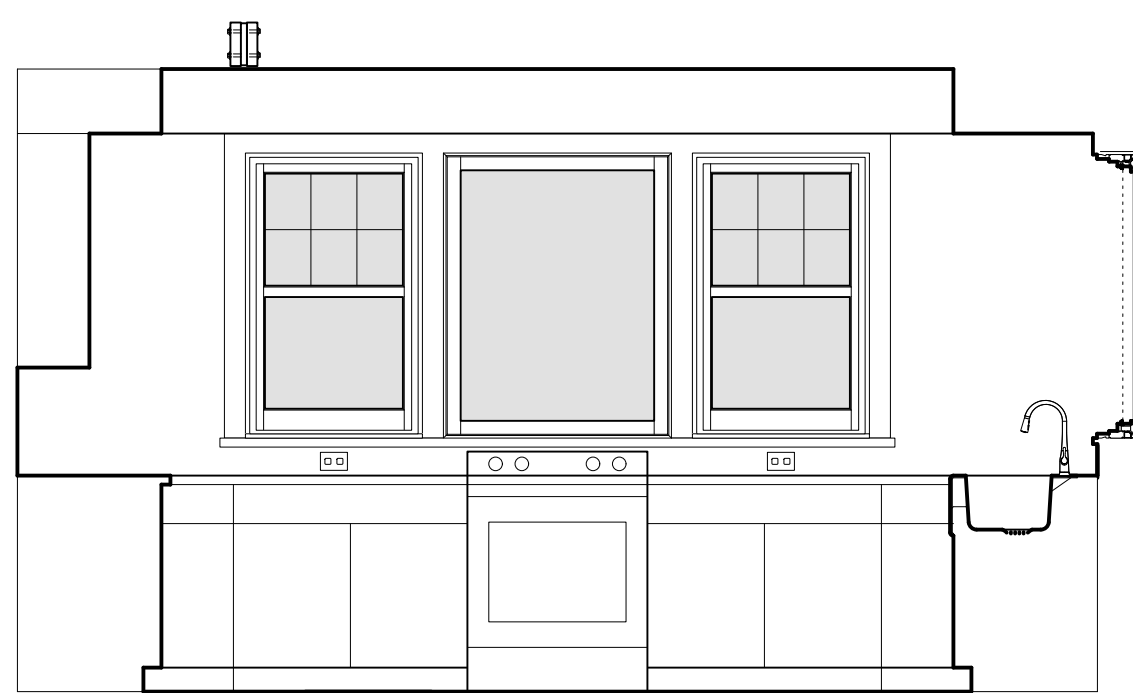
D

2 BATH #3 ELEVATIONS

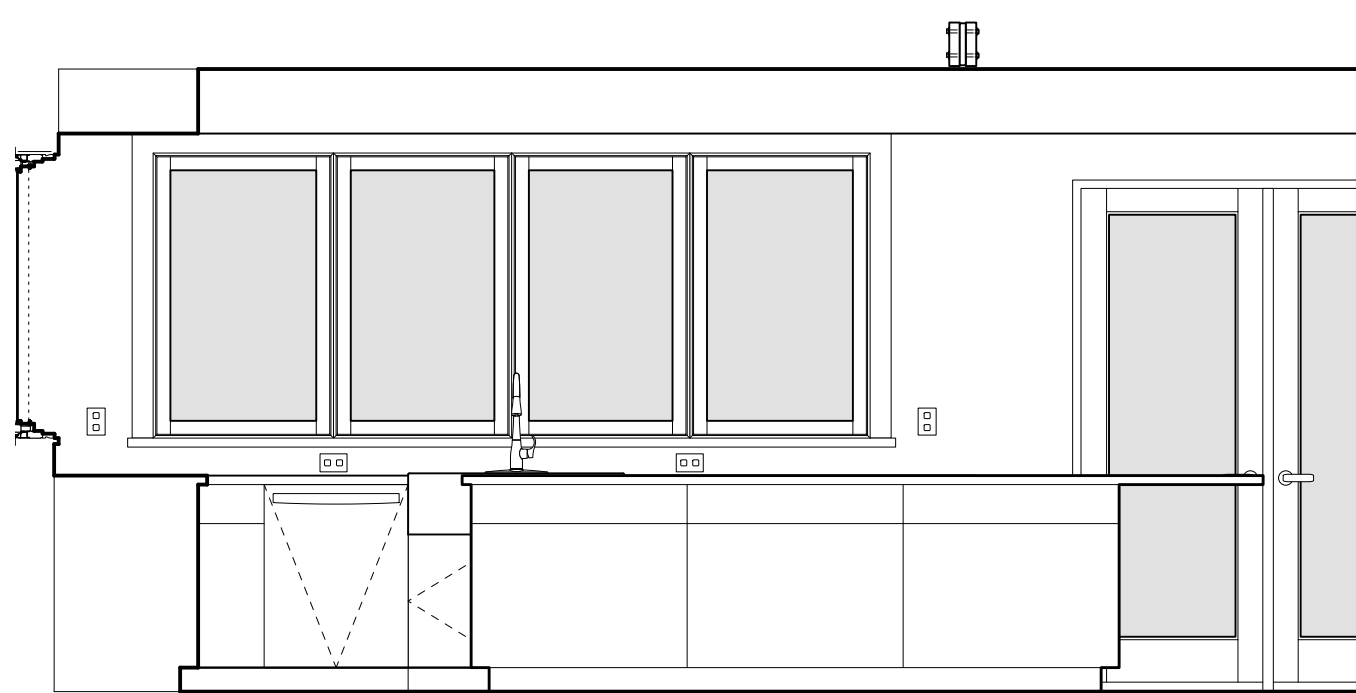
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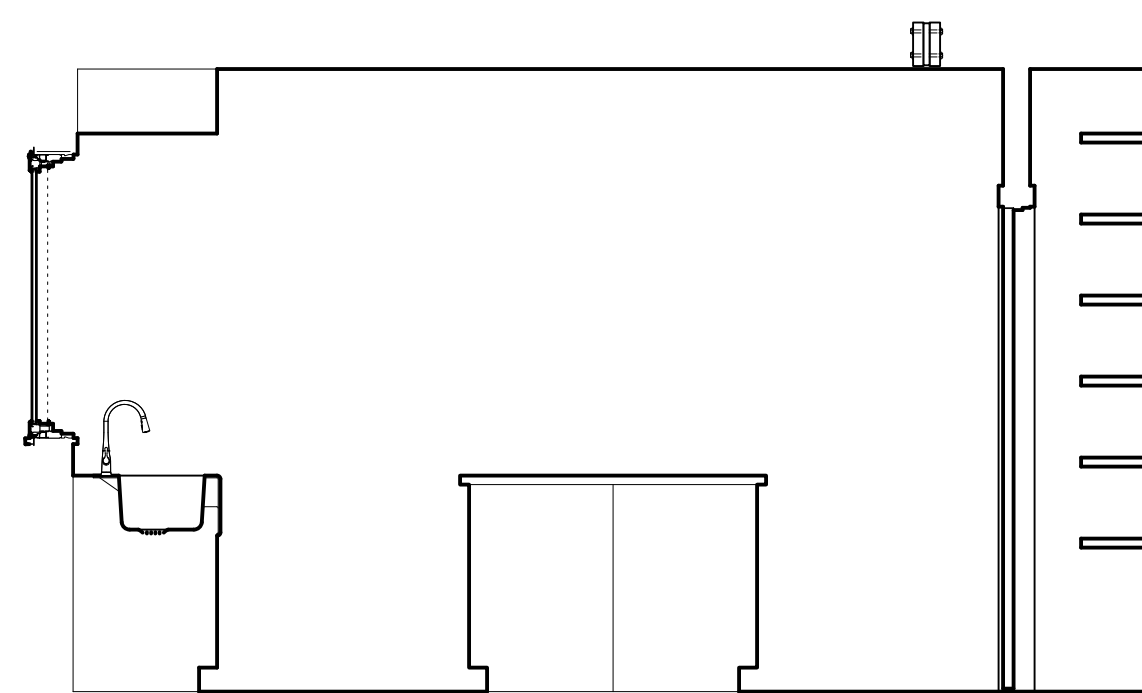
A



B



C



D

3 KITCHEN ELEVATIONS

Scale: 3/8" = 1'-0"

WINDOW SCHEDULE									
MARK	WEATHER SHIELD SIG. SERIES	MODEL NO.	TYPE	UNIT SIZE (W x H)	ROUGH OPENING (W x H)	OPER.	EGRESS	GLAZING	REMARKS
A	2840	DOUBLE-HUNG	2-5 1/2' X 3-11 1/2'	2-5' X 4'-0"	Y	N	LOW-E		
B	2848	DOUBLE-HUNG	2-5 1/2' X 4-5 1/2'	2-5' X 4'-6"	Y	N	LOW-E		
C	3248	DOUBLE-HUNG	3-1 1/2' X 4-5 1/2'	3-2' X 4'-6"	Y	N	LOW-E		
D	2820	AWNING	2-5 1/2' X 1-11 1/2'	2-5' X 2'-0"	Y	N	LOW-E		
E	2828	AWNING	2-5 1/2' X 2-5 1/2'	2-5' X 2'-6"	Y	N	LOW-E		
F	2848	CASEMENT	2-5 1/2' X 4-5 1/2'	2-5' X 4'-6"	Y	N	LOW-E	PROVIDE FALSE CHECKRAIL	
G	3240	FIXED	3-1 1/2' X 3-11 1/2'	3-2' X 4'-0"	N	N	LOW-E		
H	3248	FIXED	3-1 1/2' X 4-5 1/2'	3-2' X 4'-6"	N	N	LOW-E		
J		ACCORDION	3-1 1/2' X 3-11 1/2'	10'-0" X 4'-0"	Y	N	LOW-E		
L	VELLUX	SKYLIGHT		2'-0" X 3'-6"	N	N	LOW-E		
NOTES: 1. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR. 2. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING. 3. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATHTUB & SHOWER ENCLOSURES. 4. PROVIDE ONE EMERGENCY EGRESS WINDOW CONFORMING W/ CODE IN EACH SLEEPING AREA & BEDROOM. THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET. THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES. THE MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE THE FINISH FLOOR. 5. SEE ELEVATIONS FOR MUNTIN / GRILLE PATTERNS, AND UNIT OPERATION.									

DOOR SCHEDULE													
NO.	LOCATION	SIZE	THICKNESS	MATERIAL		TYPE/STYLE	CONFIG	OPER.	HARDWARE		REMARKS		
1	GUEST BEDROOM ENTRY	3'-2 5/8" X 6'-6"	1 3/4"	WD/GL	WD	FULL-LITE	SINGLE	SWING	LOCKSET & DEADBOLT		WEATHER SHIELD SIG. SERIES 1-3268	1	
2	CARPORT	3'-0" X 6'-6"	1 3/4"	WD	WD	TWO-PANEL	SINGLE	SWING	LOCKSET & DEADBOLT			2	
3	KITCHEN	5'-4" X 7-2 1/2"	1 3/4"	WD/GL	WD	FULL-LITE	PAR	SWING	LOCKSET & DEADBOLT		WEATHER SHIELD SIG. SERIES 2-5472	3	
4	SCREEN PORCH	2'-0" X 7'-9"	1 3/8"	WD/SCREEN	WD	SCREEN	SINGLE	SWING				4	
5	BATH #1	2'-4" X 6'-6"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING	PRIVACY			5	
6	GUEST BEDROOM CLOSET	4'-0" X 6'-6"	1 3/8"	WD	WD	TWO-PANEL	PAR	SWING	DUMMY PULLS & MAGNETIC CATCHES			6	
7	CELLAR STAIR STORAGE	2'-6" X 6'-6"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING	PASSAGE			7	
8	PANTRY	4'-6" X 6'-6"	1 3/8"	WD	WD	TWO-PANEL	PAR	SWING	DUMMY PULLS & MAGNETIC CATCHES			8	
9	TOILET	2'-4" X 6'-6"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	POCKET	JOHNSON HEAVY DUTY TRACKS & TRUCKS			9	
10	BATH #4	2'-6" X 6'-6"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING	PRIVACY			10	
11	W.I.C.	2'-6" X 6'-6"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	POCKET	JOHNSON HEAVY DUTY TRACKS & TRUCKS			11	
12	BATH #4 LINEN	3'-0" X 6'-6"	1 3/8"	WD	WD	TWO-PANEL	PAR	SWING	DUMMY PULLS & MAGNETIC CATCHES				

FINISH SCHEDULE									
ROOM	FLOORING	BASE	WALLS	PAINT	CEILING	PAINT	TRIM	REMARKS	
CELLAR	UTILITY / STORAGE								
	TOOLS / SHOP								
	GUEST BEDROOM								
FIRST FLOOR	BATH #1								
	FOYER								
	LIVING ROOM								
	KITCHEN								
	DINING ROOM								
SECOND FLOOR	MUDR/ CRAFTS								
	BATH #2								
	OFFICE								
BEDROOM FLOOR	BEDROOM #1								
	BEDROOM #2								
	BATH #3								
	LAUNDRY								
	BATH #4								
W.I.C.	W.I.C.								
	BEDROOM #3								
NOTES: 1. PATCH TO MATCH EXISTING HARDWOOD FLOOR AS NECESSITATED BY NEW WORK. SAND / REFINISH ENTIRE FLOOR TO UNIFORM APPEARANCE. 2. TILE SHOWER SURROUND 3. TILE BACKSPASH									

BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

DATE	ISSUE - REMARKS
12/17/20	PROGRESS SET

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: EXPIRATION DATE:

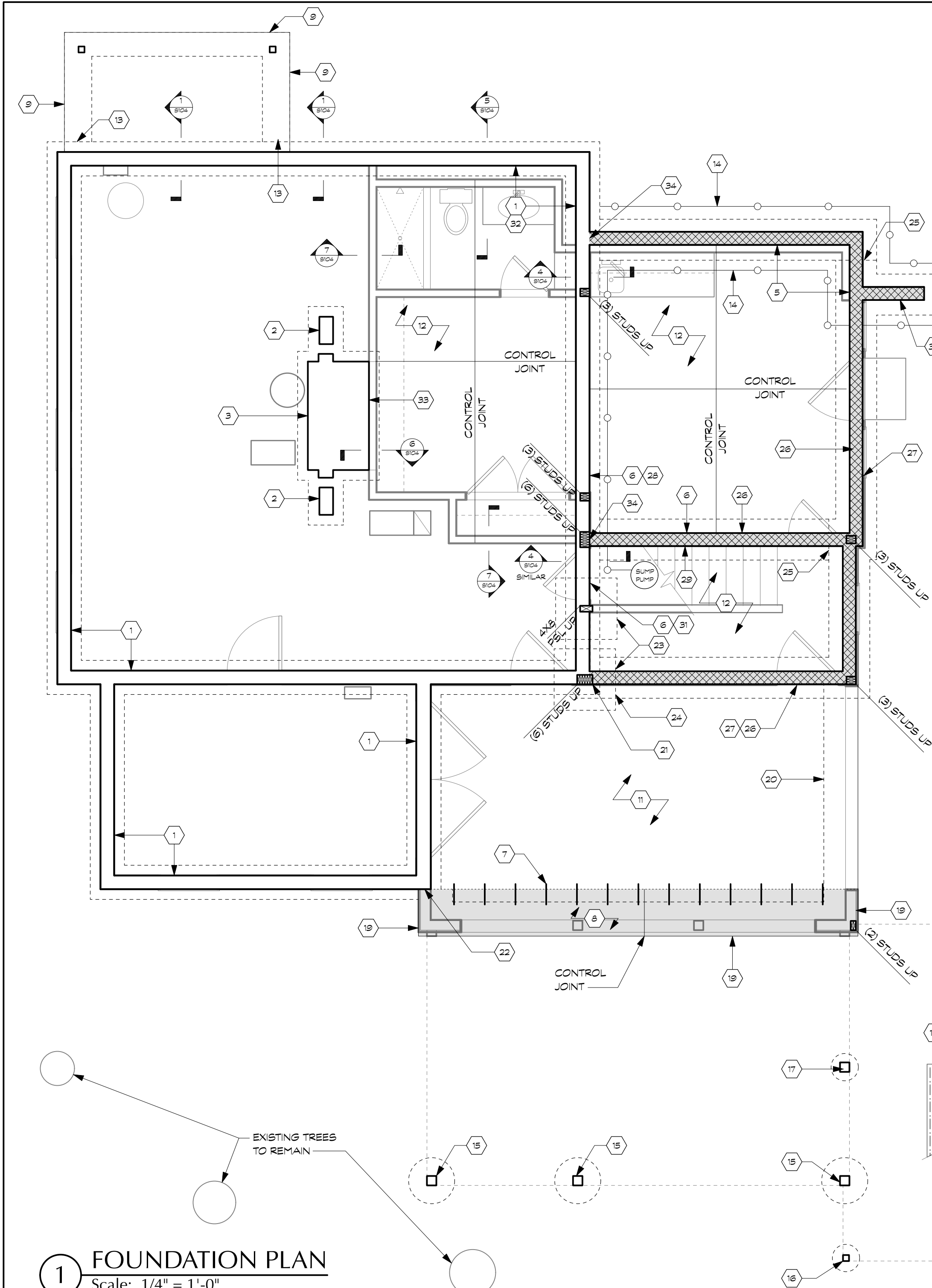
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SAWYER ADDITION
514 Philadelphia Ave. Takoma Park, Maryland 20912
Project # 2004

INTERIOR ELEVATIONS & SCHEDULES

A400

17 December 2020 - Progress Set

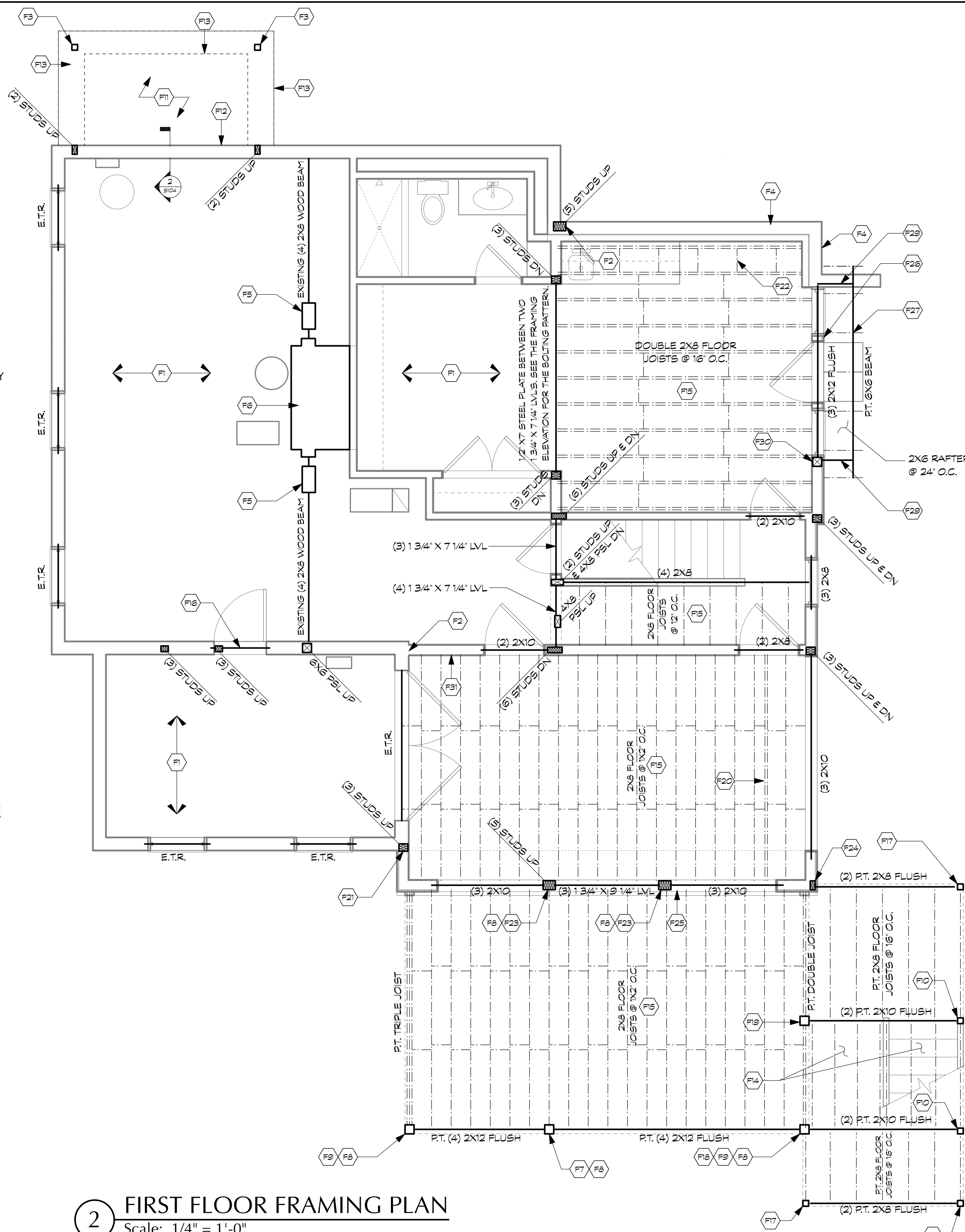


1 FOUNDATION PLAN
Scale: 1/4" = 1'-0"

- 1 EXISTING FOUNDATION WALL AND FOOTING.
- 2 EXISTING MASONRY PIER AND FOOTING.
- 3 EXISTING MASONRY CHIMNEY AND FOOTING.
- 4 THE BOTTOM OF THE NEW FOOTING SHALL MATCH THE BOTTOM OF THE EXISTING FOOTING. EPOXY DOWEL THE FOOTING REBAR INTO THE EXISTING FOOTING WITH SIMPSON SET-XP EPOXY AND 6" EMBEDMENT. ATTACH THE NEW WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. CAULK THE JOINT BETWEEN THE WALLS WITH WATERSTOP RX BY CETCO.
- 5 8" CMU WALL PLACED ON A 24X10 FOOTING WITH (3)#4 BARS. REINFORCE THE WALL WITH #4 BARS AT 16" O.C. FILL ALL CELLS SOLID IN THE WALL. DOWEL EVERY OTHER REBAR INTO THE FOOTING.
- 6 TURN THE SLAB DOWN TO THE NEW OR EXISTING FOOTING.
- 7 12" LONG #4 BAR DOWELS BETWEEN THE NEW SLAB AND THE EXISTING SLAB AT 16" O.C. WITH 3" EMBEDMENT IN THE EXISTING SLAB WITH SIMPSON SET-XP EPOXY. PLACE A CONTROL JOINT BETWEEN THE NEW AND EXISTING SLAB.
- 8 4" CONCRETE SLAB ON 4" GRAVEL. REINFORCE THE SLAB WITH 6X6 W2.OXW2.O WWF.
- 9 16" WIDE TURN DOWN SLAB AROUND THE PERIMETER OF THE PORCH REINFORCED WITH (2)#4 BARS. THE BOTTOM OF THE FOOTING SHALL BE 48" BELOW GRADE.
- 10 NOT USED.
- 11 EXISTING SLAB ON GRADE CAR PORT.
- 12 NEW 4" CONCRETE SLAB ON 4" GRAVEL AND A 6 MIL POLY VAPOR BARRIER. REINFORCE THE SLAB WITH 6X6 W2.OXW2.O WWF. SEE THE ARCHITECTURAL DRAWINGS FOR INSULATION REQUIREMENTS.
- 13 THE TURN DOWN SLAB ACTS AS A GRADE BEAM NEXT TO THE EXISTING HOME. POCKET THE TURN DOWN SLAB IN THE EXISTING WALL PER THE STRUCTURAL DETAIL.
- 14 4" PERFORATED DRAIN WRAPPED WITH FILTER FABRIC. PLACE THE EXISTING DRAIN IN GRAVEL COVERED WITH FILTER FABRIC. EXIT THE DRAIN TO A SUMP PUMP.
- 15 PT6X6 POST ON A 27" FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON AB466.
- 16 PT4X4 POST ON A 16" FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON AB444.
- 17 PT6X6 POST ON A 16" FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON AB466.
- 18 PLACE THE STAIRS ON FOOTINGS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- 19 20" WIDE TURN DOWN SLAB FOOTING REINFORCED WITH (2)#4 BARS. PLACE A PT2X6 SILL PLATE ON THE SLAB WITH 3/8" EPOXY BOLTS AT 48" O.C. WITH 7" EMBEDMENT.
- 20 PLACE A NEW 20" WIDE TURN DOWN FOOTING BELOW THE EDGE OF THE SLAB. REINFORCE THE FOOTING WITH (2)#4 BARS.
- 21 ATTACH THE NEW WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C.
- 22 THE BOTTOM OF THE FOOTING SHALL MATCH THE BOTTOM OF THE EXISTING FOOTING. EPOXY DOWEL THE FOOTING REBAR INTO THE EXISTING FOOTING WITH SIMPSON SET-XP EPOXY AND 6" EMBEDMENT.
- 23 PLACE A 36X36X10 FOOTING BELOW THE EXISTING FOOTING. REINFORCE THE FOOTING WITH (4)#4 BARS EACH WAY. PROVIDE TEMPORARY SHORING FOR THE EXISTING FOUNDATION WALL AND FOOTING DURING CONSTRUCTION. PLACE N-S GROUT BETWEEN THE NEW AND EXISTING FOOTING.

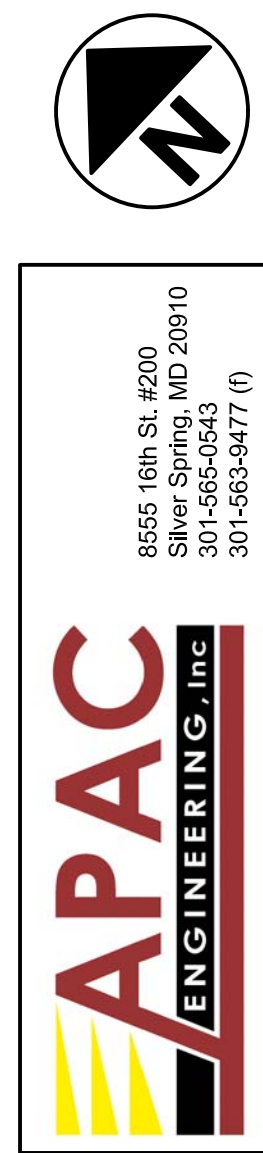
FRAMING NOTES:

- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- 4. ATTACH ALL QUADRUPE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 3/8" BOLTS AT 16" O.C. STAGGERED.
- 5. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
- 7. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- 8. ALL NAILS, HANGERS, BOLTS, AND AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- 10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
- 11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
- 12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
- 13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- 14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
- 15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- 16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- 17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- 18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
- 19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- 20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- 21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
- 22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.
- 23. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.



2 FIRST FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"

- F1 EXISTING 1ST FLOOR FRAMING TO REMAIN. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A DOUBLE 2X8.
- F2 ATTACH THE NEW WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. CAULK THE JOINT BETWEEN THE WALLS WITH WATERSTOP RX BY CETCO.
- F3 PT4X4 POST UP ATTACHED TO THE SLAB WITH A SIMPSON AB444.
- F4 PT2X6 SILL PLATE WITH 3/8" ANCHOR BOLTS AT 48" O.C. WITH 7" EMBEDMENT.
- F5 EXISTING MASONRY PIER.
- F6 EXISTING MASONRY CHIMNEY.
- F7 PT6X6 POST UP. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM.
- F8 PT6X6 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM.
- F9 PT6X6 POST UP. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- F10 PT4X4 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC4 ON EACH SIDE OF THE BEAM.
- F11 5" CONCRETE SLAB ON 4" GRAVEL. REINFORCE THE SLAB WITH #3 BARS AT 12" O.C. EACH WAY. SLOPE THE SLAB TO SHED WATER AWAY FROM THE HOME.
- F12 TURN THE SLAB DOWN TO A GALVANIZED L4X4X1/2" STEEL ANGLE UNITE WITH 3/4" GALVANIZED EPOXY BOLTS AT 12" O.C. PLACE A 6 MIL POLY VAPOR BARRIER BETWEEN THE SLAB AND THE WOOD FRAMING AND CAULK THE JOINT BETWEEN THE SLAB AND THE EXISTING WALL WITH WATERSTOP RX BY CETCO.
- F13 TURN DOWN SLAB FOOTING PER THE FOUNDATION PLAN.
- F14 FRAME THE STAIRS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- F15 PLACE BLOCKING BETWEEN THE JOISTS AT THE 1/2 POINTS.
- F16 REPLACE THE EXISTING HEADER WITH A TRIPLE 1X7X7 LVL.
- F17 PT4X4 POST DOWN. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- F18 HANG THE LOWER BEAM FROM THE 6X6 POST WITH A SIMPSON HUC CONCEALED FLANGE HANGER.
- F19 PT6X6 POST DOWN. SET THE DOUBLE 2X10 BEAM ON THE POST. ATTACH THE DOUBLE 2X10 BEAM TO THE POST WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM. EXTEND THE BEAM INTO THE PORCH AS NEEDED SO THAT THE RIM JOISTS CAN BE HUNG FROM THE BEAM.
- F20 PLACE A DOUBLE JOIST BELOW THE EDGE OF COUNTER.
- F21 ATTACH THE FIRST STUD TO THE EXISTING WALL WITH 3/4" EPOXY BOLTS AT 24" O.C.
- F22 PLACE BLOCKING AT 24" O.C. BETWEEN THE JOISTS IN THE 1ST BAY.
- F23 PLACE PLACE PLYWOOD FILLERS BETWEEN THE TRIPLE 2X10 HEADERS SO THAT THE WIDTH MATCHES THE LVL WIDTH.
- F24 POCKET THE BEAM IN THE WALL AND PLACE IT ON A DOUBLE STUD DOWN.
- F25 PT2X8 LEDGER WITH 3/4" THRU BOLTS AT 12" O.C. TOP AND BOTTOM STAGGERED. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- F26 2X6 LEDGER. ATTACH THE LEDGER TO EACH STUD WITH (2) LEDGERLOK SCREWS. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LSU HANGER.
- F27 ATTACH EACH RAFTER TO THE BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
- F28 PT6X6 POST BETWEEN THE BEAM AND THE WALL BELOW. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM. ATTACH THE POST TO THE WALL WITH A SIMPSON AB466.
- F29 BRACKET DESIGNED BY THE MANUFACTURER. THE BRACKET SHALL HAVE AN ALLOWABLE LOAD OF 600LBS. ATTACH THE BEAM TO THE BRACKET WITH A SIMPSON H2.5A ON EACH SIDE OF THE BEAM.
- F30 PLACE A 6X6 PSL POST INSIDE THE WALL AT THE BRACKET. ATTACH THE POST TO THE TOP AND BOTTOM WALL PLATE WITH A SIMPSON L50 ON EACH SIDE OF THE POST.
- F31 PLACE THE NEW WALL BELOW THE EXISTING RIM BOARD. HANG THE JOISTS FROM THE RIM BOARD WITH SIMPSON LUS HANGERS.



BENNETT FRANK MCCARTHY
architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
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I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

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














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Project # 2004

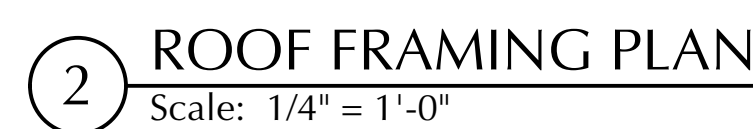
FOUNDATION & FIRST FLOOR FRAMING PLANS
S100

17 December 2020 - Progress Set



-  P16X6 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPCB ON EACH SIDE OF THE BEAM.
-  P16X6 POST DOWN. ATTACH THE POST TO THE BEAMS WITH A SIMPSON LCE IN EACH DIRECTION.
-  2X6 CEILING JOISTS AT 24" O.C.
-  PLACE A TRIPLE JOIST BELOW THE END WALL ABOVE.
-  12"x7 1/2" LVL RIM BOARD. ATTACH EACH JOIST TO THE RIM WITH AN UPSIDE DOWN SIMPSON LUS HANGER.
-  PLACE THE BEAM BELOW THE EDGE OF THE WINDOW ON THE 2ND FLOOR.
-  SISTER EACH JOIST WITH A 2X8 PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-SPAN
-  PT4X4 POST DOWN ATTACHED TO THE BEAMS WITH A SIMPSON LCE IN EACH DIRECTION.
-  FRAME THE ROOF WITH 2X6 RAFTERS AND CEILING JOISTS AT 24" O.C. ATTACH EACH RAFTER TO EACH CEILING JOIST WITH (4)10d NAILS.
-  2X6 CLEAT FOR THE ROOF AND CEILING. ATTACH EACH CLEAT TO THE WALL WITH (2)#8 SCREWS AT 6" O.C.
-  POCKET THE BEAM IN THE WALL AND PLACE IT ON A DOUBLE STUD DOWN.
-  TAPER CUT THE TOP OF THE BEAM AS NEEDED TO FIT BELOW THE ROOF.
-  ATTACH EACH RAFTER TO EACH CEILING JOIST WITH (8)10d NAILS.
-  HANG THE W6X25 FROM THE FLITCH BEAM WITH A SIMPSON FGUS 5.5/8 HANGER. NOTCH THE FLANGES OF THE BEAM SO IT FITS IN THE HANGER.
-  PLACE BLOCKING BETWEEN THE JOISTS AT THE MID SPAN.

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPEL AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 7/8" BOLTS AT 16" O.C. STAGGERED.
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16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
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18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
21. TYPICAL FLUSH BEAM HANGER SHALL AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLUSH BEAM AND THE HANGER.
22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.
23. PLACE DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.



- (R9) ATTACH EACH RAFTER TO THE RIDGE WITH A SIMPSON LSU HANGER. HOLD THE BOTTOM OF THE RIDGE DOWN AS NEEDED FOR VENTILATION AND SO THAT IT IS EVEN WITH OR DEEPER THAN THE BOTTOM OF THE RAFTERS.
- (R10) SET THE HEADER ON A DOUBLE JACK AND TRIPLE KING STUD. THE KING STUDS SHALL BE CONTINUOUS FROM THE FLOOR TO CEILING FOR LATERAL STABILITY. ATTACH THE HEADER TO THE JACK AND KING STUD WITH A SIMPSON LSU ABOVE AND BELOW THE HEADER.
- (R11) 2X8 CEILING JOISTS AT 24" O.C. OVER THE CLOSET AND HALLWAY.
- (R12) REPLACE THE HEADER WITH A DOUBLE 1 $\frac{1}{2}$ "X9 $\frac{1}{2}$ " LVL.
- (R13) SISTER 2X6X4FT INCH RAFTER TAIL TO EXISTING RAFTERS TO PROVIDE 16 INCH DEEP EAVE. REMOVE EXISTING EAVE ROOF SHEATHING AS REQUIRED TO INSTALL FULL WIDTH OF 4 FT. SHEATHING OVER NEW SISTERED RAFTER TAILS. MATCH THICKNESS OF EXISTING SHEATHING.
- (R14) REMOVE / REPLACE RAKE EAVE ROOF SHEATHING WITH 4 FT. WIDE BAND OF PLYWOOD SHEATHING TO SECURE NEW CHICKEN LADDER RAKE EXTENSION TO GABLE ENDS. MATCH WITH EXISTING RAFTER SPACING. MATCH THICKNESS OF EXISTING SHEATHING. IF THE EAVE OF THE SHEATHING DOES NOT OCCUR AT AN EXISTING RAFTER, PLACE THE JOIST JOINT BETWEEN THE EXISTING RAFTERS AT 16" O.C. AT THE SPLICE IN THE DECKING






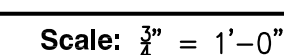
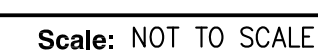
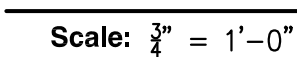
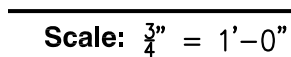
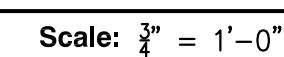
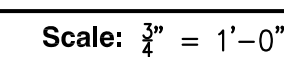
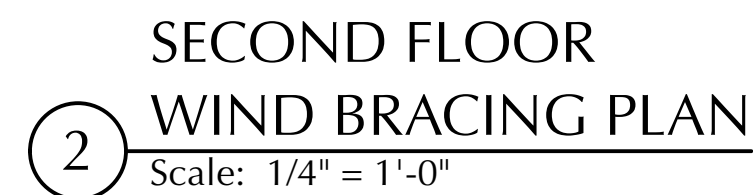
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S101

17 December 2020 - Progress Set



- | | |
|---|--------------------------------------|
|  | NEW EDP WIND BRACING PANEL. |
|  | EXISTING WOOD SHEAR WALL. |
|  | EXISTING PERFORATED WOOD SHEAR WALL. |



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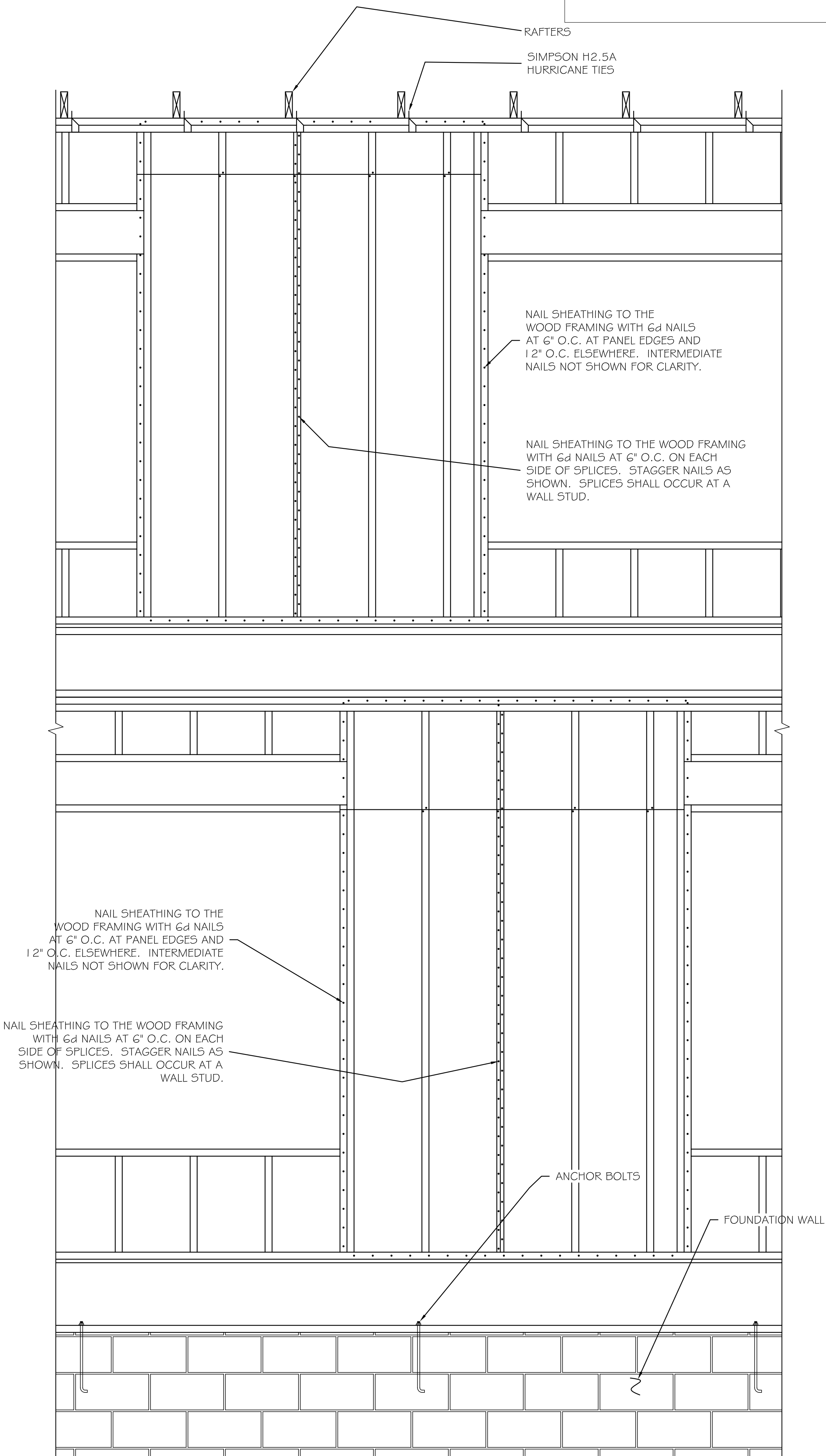
S102

17 December 2020 - Progress Set

Structural Notes

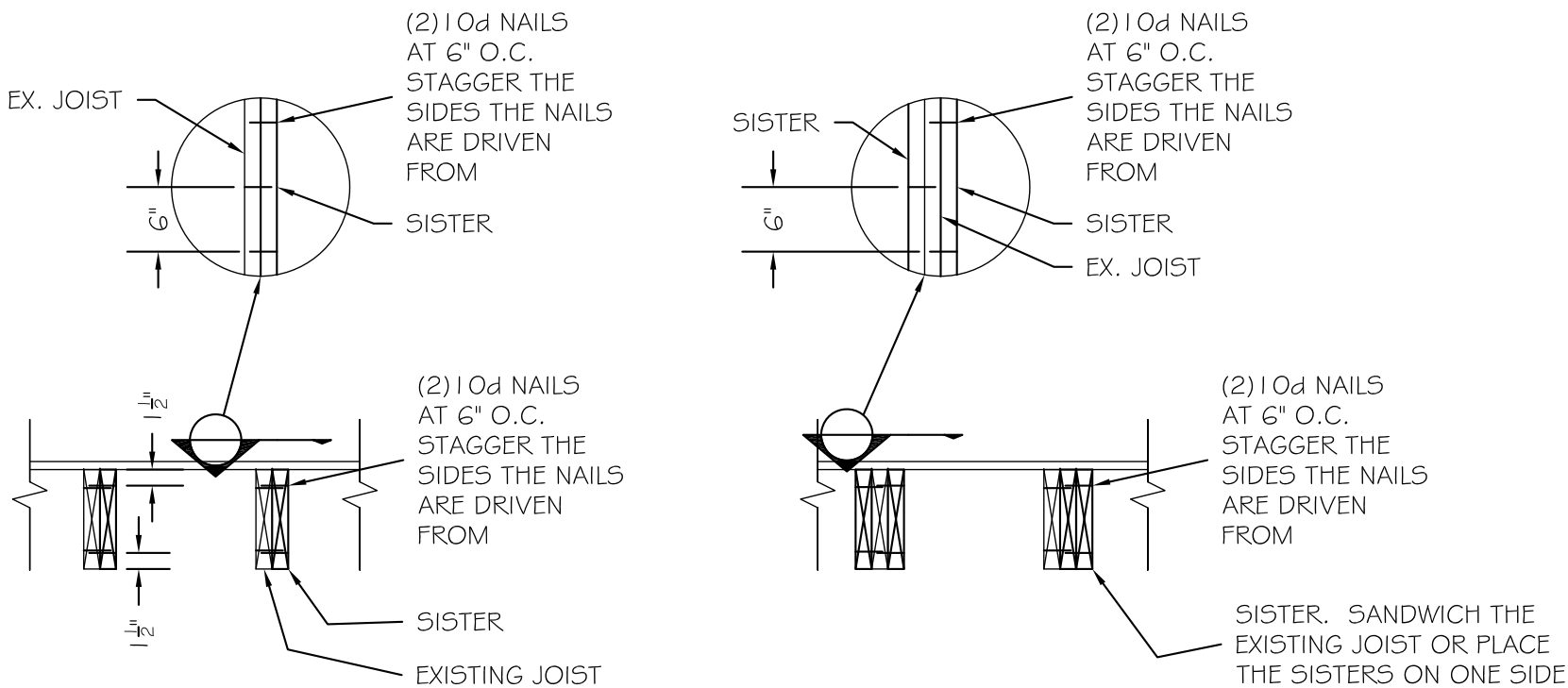
1. All work and materials to comply with the requirements of the 2018 IBC and IRC codes as revised by Montgomery County
2. Codes: the following design standards are applicable by reference:
TMS 402-2016 Building Code Requirements for Masonry Structures.
AWC NDS -2018 - Wood Frame Construction Manual for One and Two Family Dwellings.
ACI 318-14 Building Code Requirements for Reinforced Concrete
AISC - 360-16 Specifications for Steel Buildings.
3. Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
4. Structural steel:
A. All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
B. All structural tubing shall conform to ASTM A500, grd.B
C. All steel pipe shall be ASTM A53, type E or S, grade B
D. All welders shop and field, shall be certified. Use E70xx electrodes only.
E. All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
F. Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
G. All exterior structural steel shall receive rust preventative paint.
H. Connections:
I. All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
II. Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
5. Lumber:
A. Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
B. LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
C. Floor decking shall be 1/2" APA rated decking. Roof decking shall be 1/2" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw the floor decking to the joists.
D. Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically.
E. Provide double joists under all walls that run parallel to floor framing.
F. Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
G. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
H. Provide solid blocking below all wood posts.
I. All posts shall have Simpson Cap and Base Plates typ.
J. All joists shall have Simpson Hangers where applicable.
K. Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
L. All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R317 and R316 for protection against corrosion and termite damage.
M. All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
N. Wood Limits shall be as follows:
Opening ≤ 3'-0" - 2-2x6
3'-0" < Opening ≤ 5'-0" - 2-2x8
5'-0" < Opening ≤ 8'-0" - 2-2x10
Greater than 8'-0" - See plans
6. Fasteners:
A. All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
B. Follow the manufacturer recommendations for setting epoxy bolts.
C. Expansion bolts shall be rawl power studs.
7. Masonry:
A. Masonry construction shall be in conformance with the applicable sections of TMS 402-2016 "Building Code Requirements for Masonry Structures."
B. Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and Fm = 1500psi.
C. All joints to be filled solid with mortar.
D. Mortar to comply with ASTM C270 (type M or S).
E. Provide corrugated masonry ties between brick facade and wood walls or cmu walls at 16" O.C. in each direction.
F. Provide biga truss style joint reinforcement @ 16" O.C. vertically.
G. Limits shall be as follows:
Opening ≤ 3'-0" - L4x3 1/2 LLV/ 4" of wall
3'-0" < Opening ≤ 7'-0" - L6x3 1/2 LLV/ 4" of wall.
Opening > 7'-0" - See Plan
8. Cast in place concrete:
A. Concrete construction shall be in conformance with the applicable sections of ACI 318-14, "Part 3 - Construction Requirements."
B. Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
C. All concrete shall be placed with a slump of 4" (± 1")
D. All concrete shall be normal weight, UNO.
E. All concrete exposed to weather shall have 6% ±1% entrained air.
F. Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
G. Concrete cover for reinforcement shall be:
Columns and beams 1 1/2"
Slabs 3"
Footings 3"
9. Reinforcement:
A. Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
B. Welded wire fabric (wvf) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
10. Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
11. Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-14, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

Dead Loads:	
SPF #2 -	25 PCF
1/2" Decking -	1.7 PSF
1/2" Decking -	2.5 PSF
Asphalt Shingles -	2.5 PSF
Slate Shingles -	15 PSF
1/2" Drywall -	2.2 PSF
Insulation -	1.5 PSF
Siding -	2.0 PSF
CMU -	87 PCF
Brick -	130 PCF
LIVE LOADS:	
DECK:	40PSF
ATTIC:	20PSF
FLOOR:	40PSF
BALCONY:	60PSF
BEDROOM:	40PSF
ROOF:	30PSF
WIND LOADS	
WIND SPEED:	Vult = 115mph; Vasd = 89mph
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR:	B
WIND DESIGN PRESSURE:	11PSF
SNOW LOADS:	
GROUND SNOW LOAD (PG):	30PSF
FLAT ROOF SNOW LOAD (PF):	30PSF
SNOW EXPOSURE FACTOR (CE):	0.9
SNOW IMPORTANCE FACTOR (I):	1.0
Deflection Limitations:	
Railers:	L/240
Interior Walls and Partitions:	H/180
Floors and Plastered Ceilings:	L/360
All Other Structural Members:	L/240
Ext. Walls with plaster or stucco finishes:	L/360
Ext. Walls - Wind Loads with Brittle Finishes:	L/240
Ext. walls - Wind Loads with Flexible Finishes:	L/120
SEISMIC DESIGN DATA:	
SEISMIC IMPORTANCE FACTOR (I _s):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(S _s):	20.0%
(S1):	8.0%
SPECTRAL RESPONSE COEFFICIENTS:	
(S _{ds}):	33%
(S _{d1}):	18.7%
SEISMIC DESIGN CATEGORY:	B
SEISMIC SITE CLASSIFICATION:	D
SEISMIC COEFFICIENT (C _s):	0.05
SEISMIC MODIFICATION FACTOR (R):	6.5
BASE SHEAR:	2.1k
ANALYSIS PROCEDURE:	EQUIV. LATERAL FORCE
BASIC SFRS:	LIGHT FRAMED WALLS



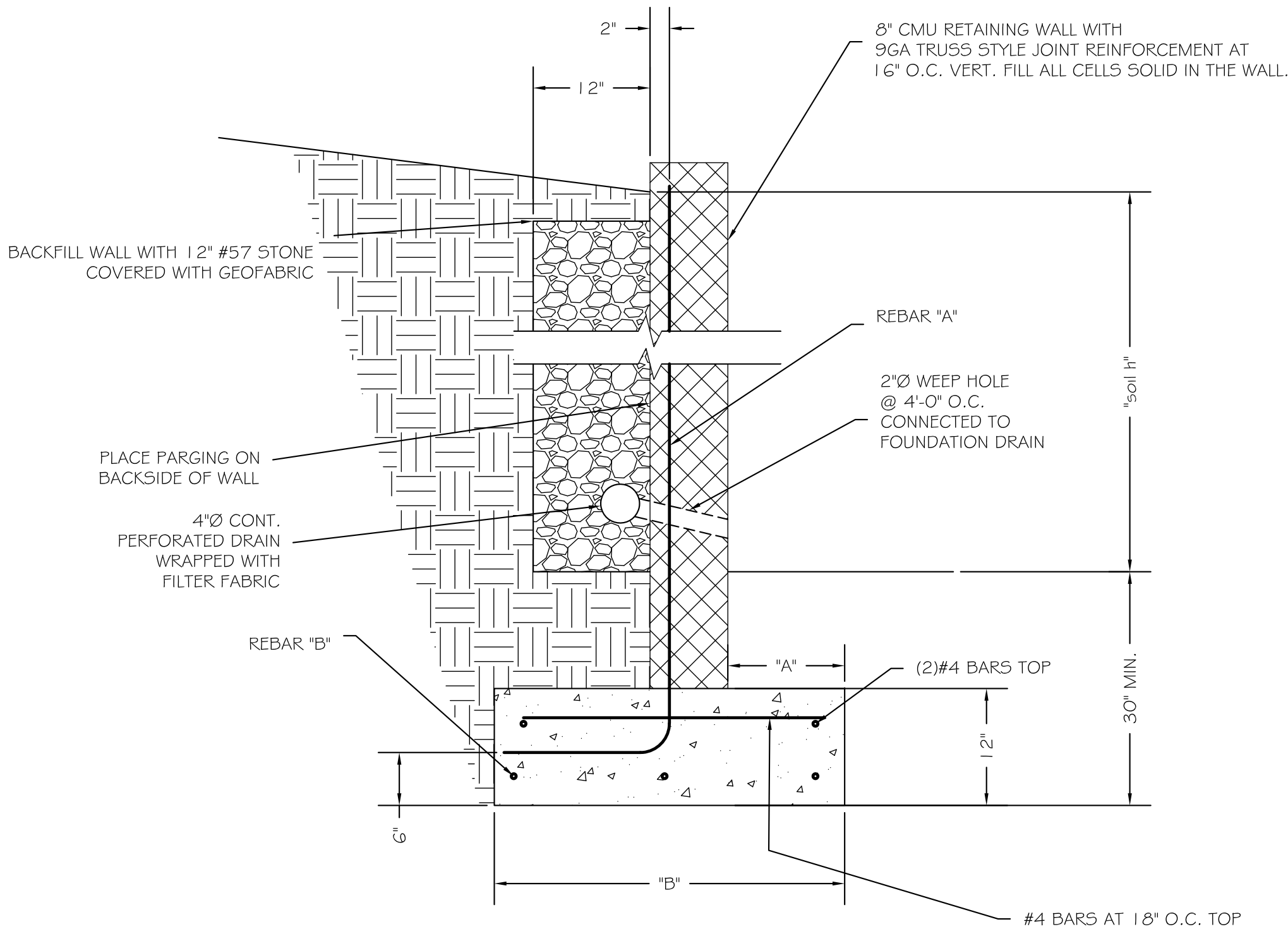
Typical Framing Elevation at EDP Panels

Scale: 3/8" = 1'-0"±



Typical Sistering Details

Scale: NTS



Typical Retaining Wall Detail

Scale: NOT TO SCALE

RETAINING WALL SCHEDULE				
"H"	"A"	"B"	REBAR "A"	REBAR "B"
2'-0"	8"	2'-0"	#4 BARS @ 24" O.C. IN FILLED CELLS	3-#4 BARS
3'-0"	8"	2'-8"	#4 BARS AT 24" O.C. IN FILLED CELLS	3-#4 BARS
4'-0"	8"	3'-4"	#4 BARS AT 16" O.C. IN FILLED CELLS	3-#4 BARS
5'-0"	12"	4'-6"	#4 BARS AT 8" O.C.	4-#4 BARS
6'-0"	12"	5'-6"	#5 BARS AT 8" O.C.	5-#4 BARS

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architects, inc.

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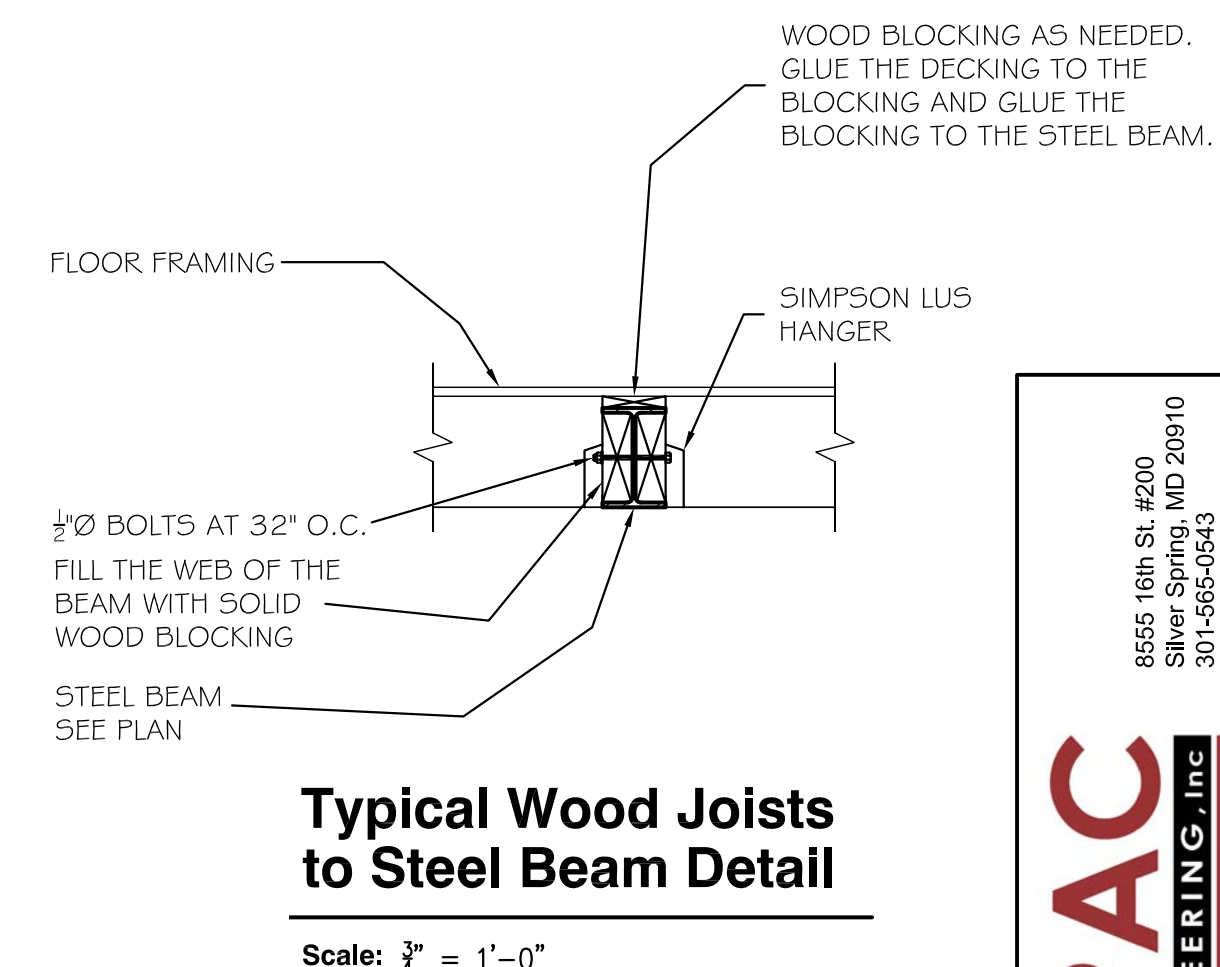
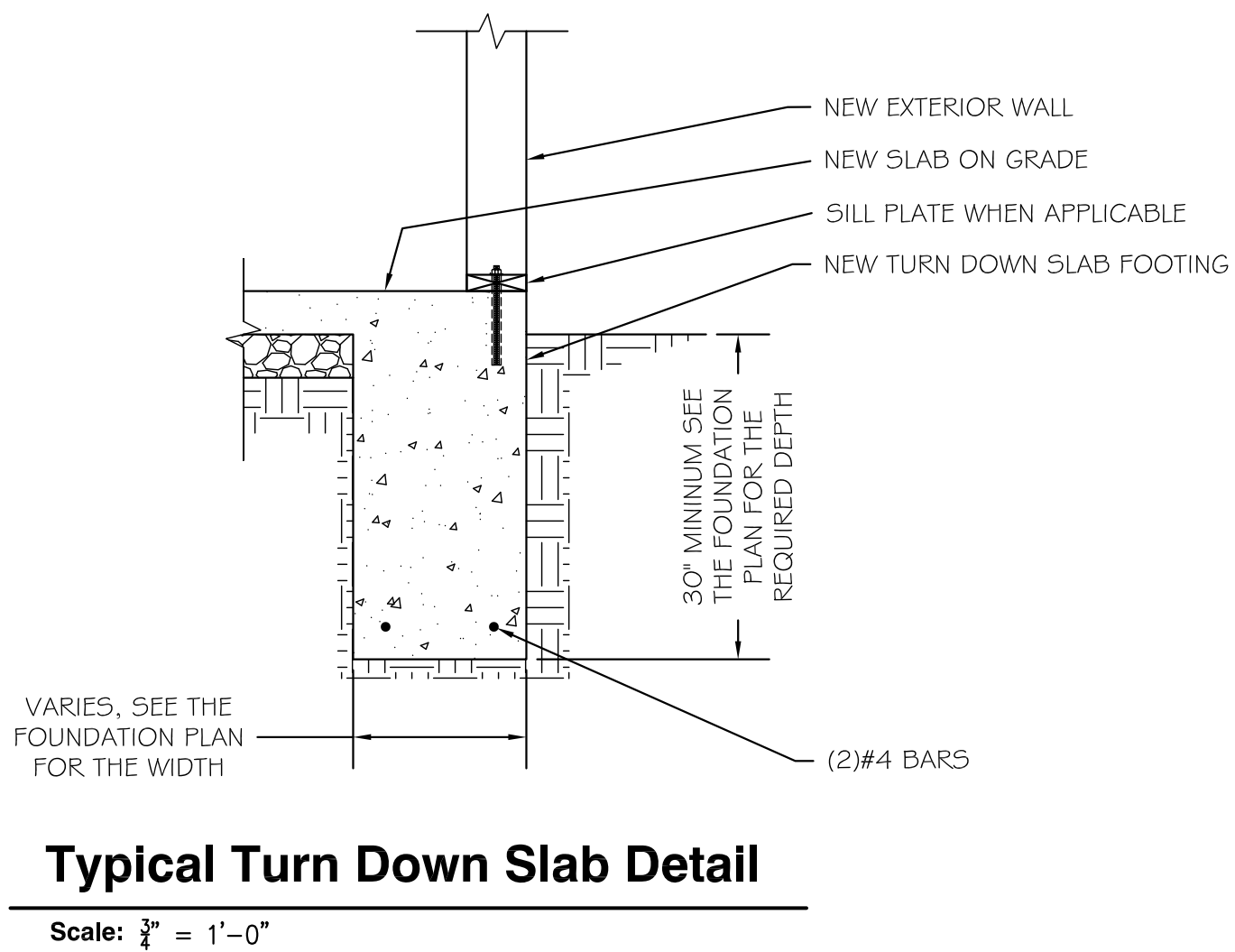
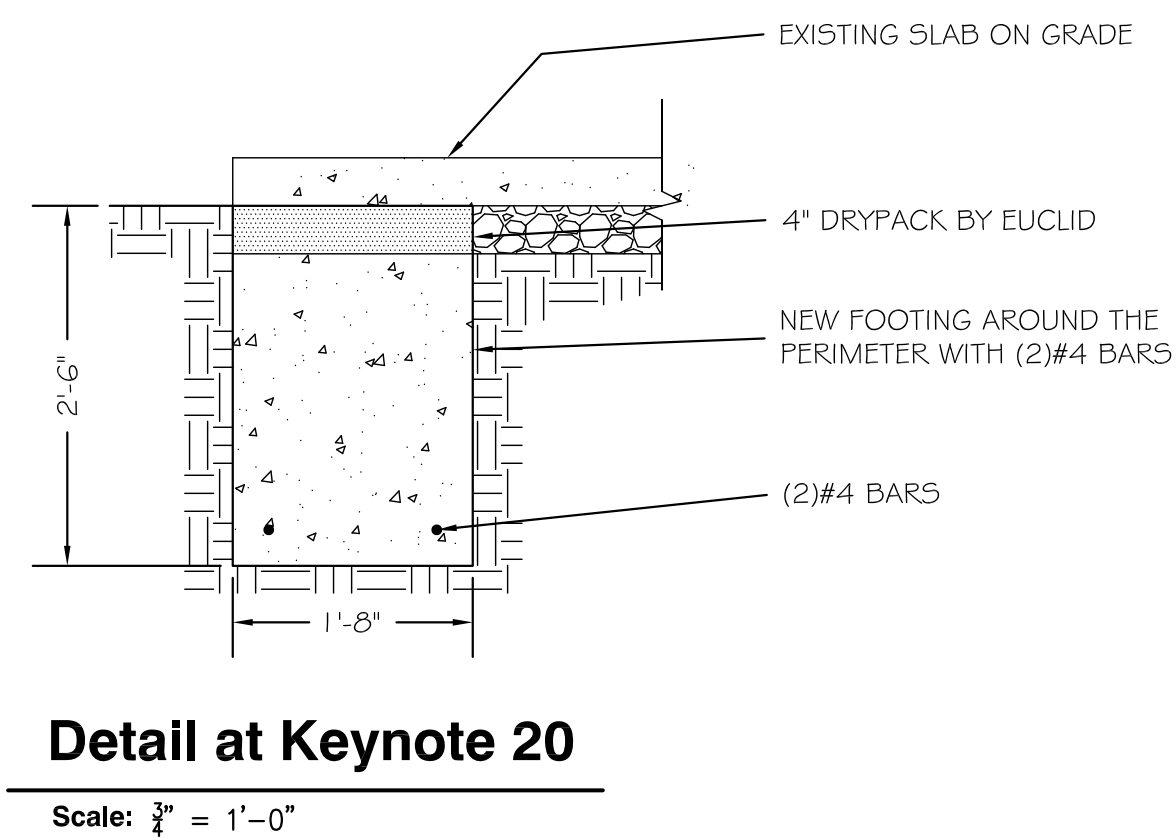
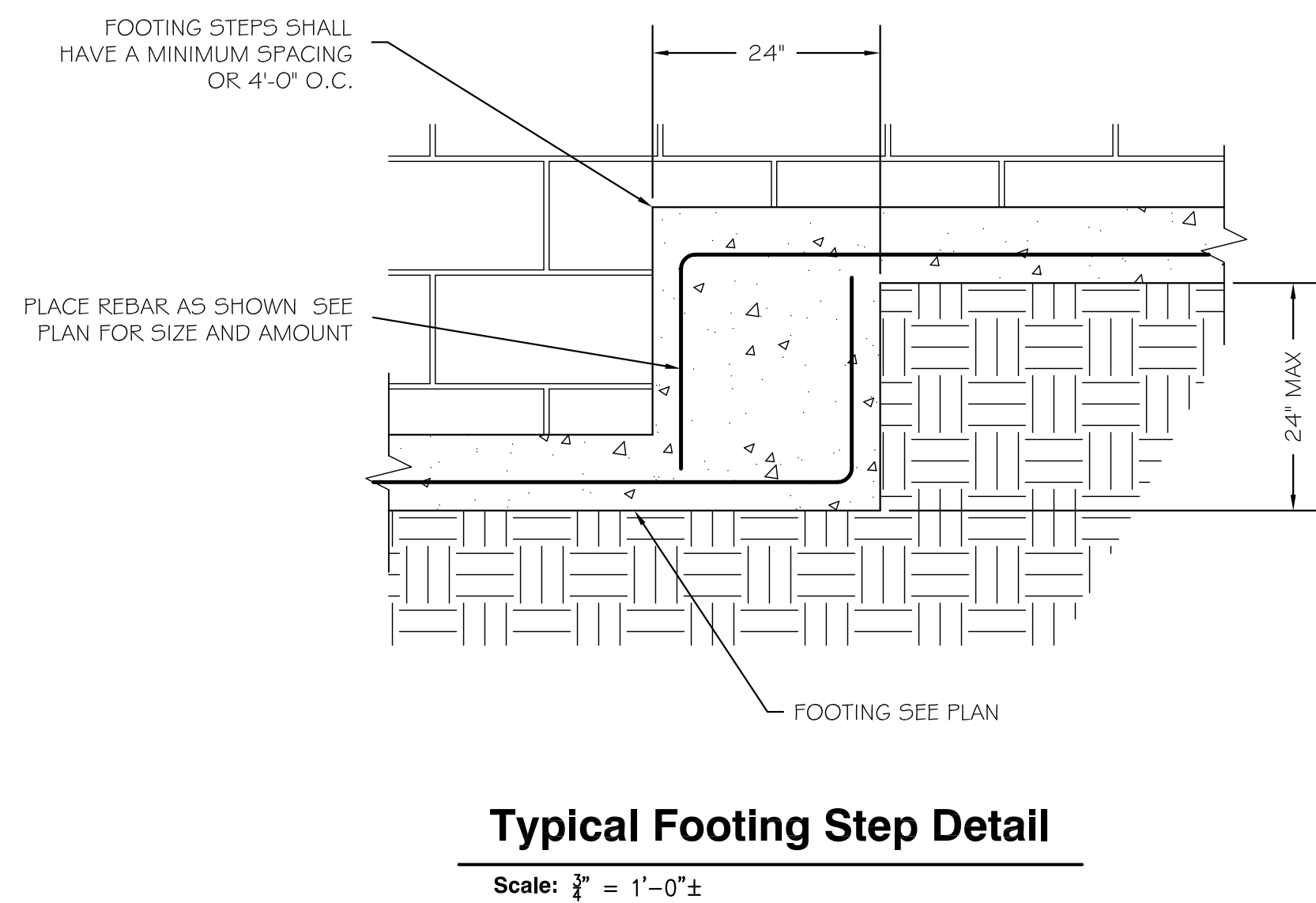
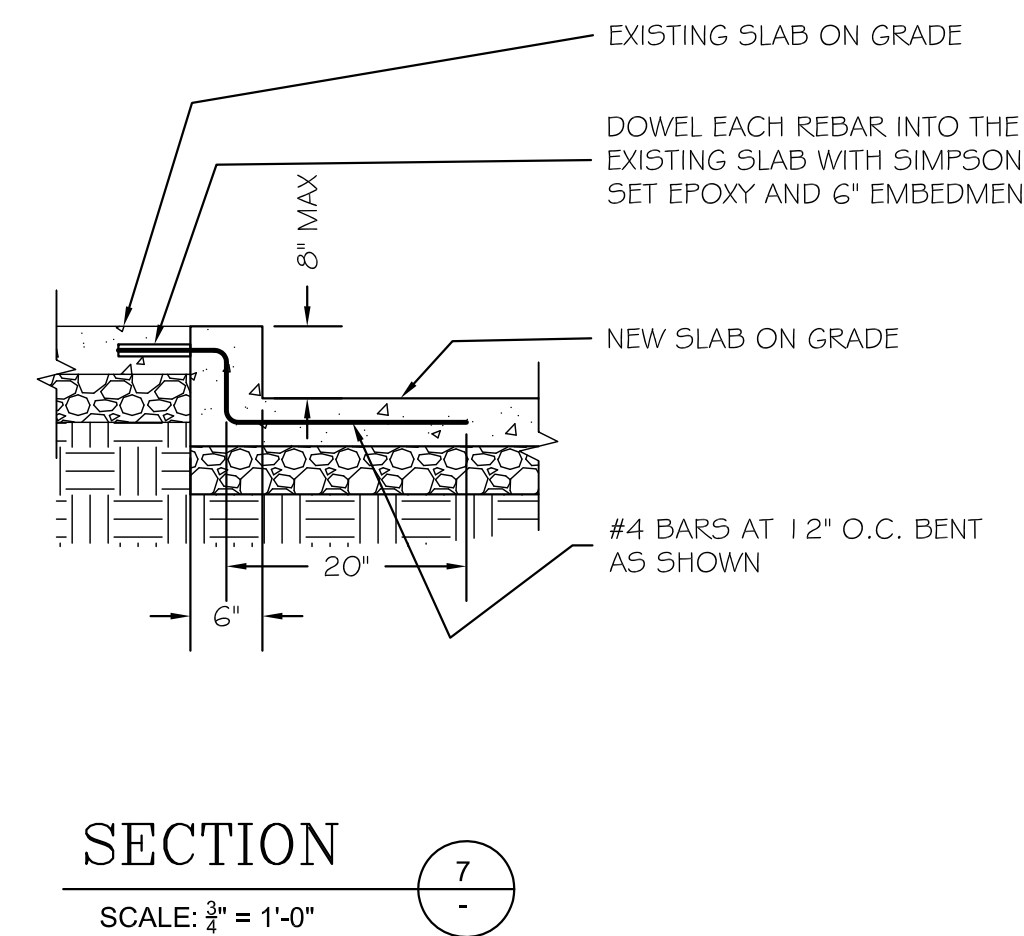
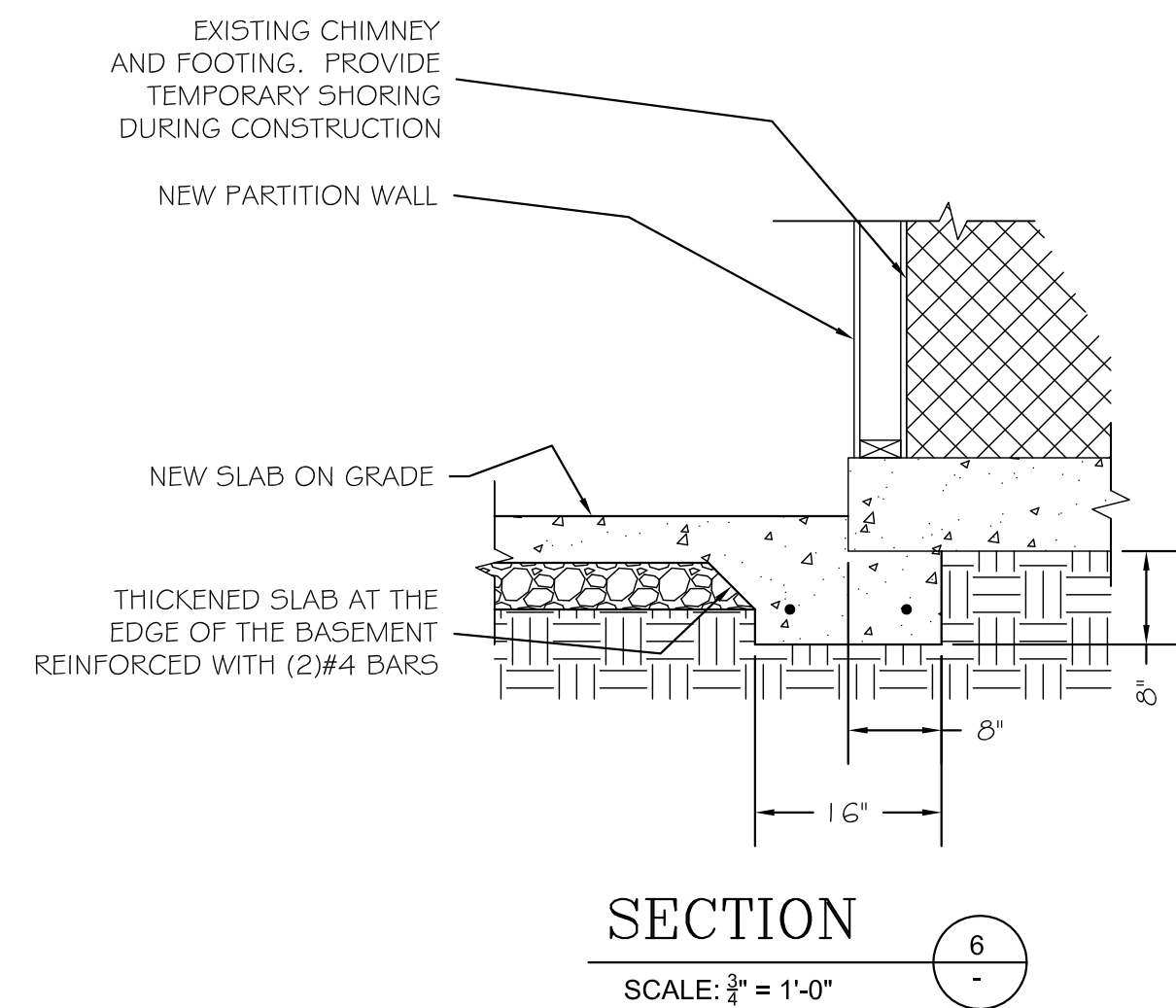
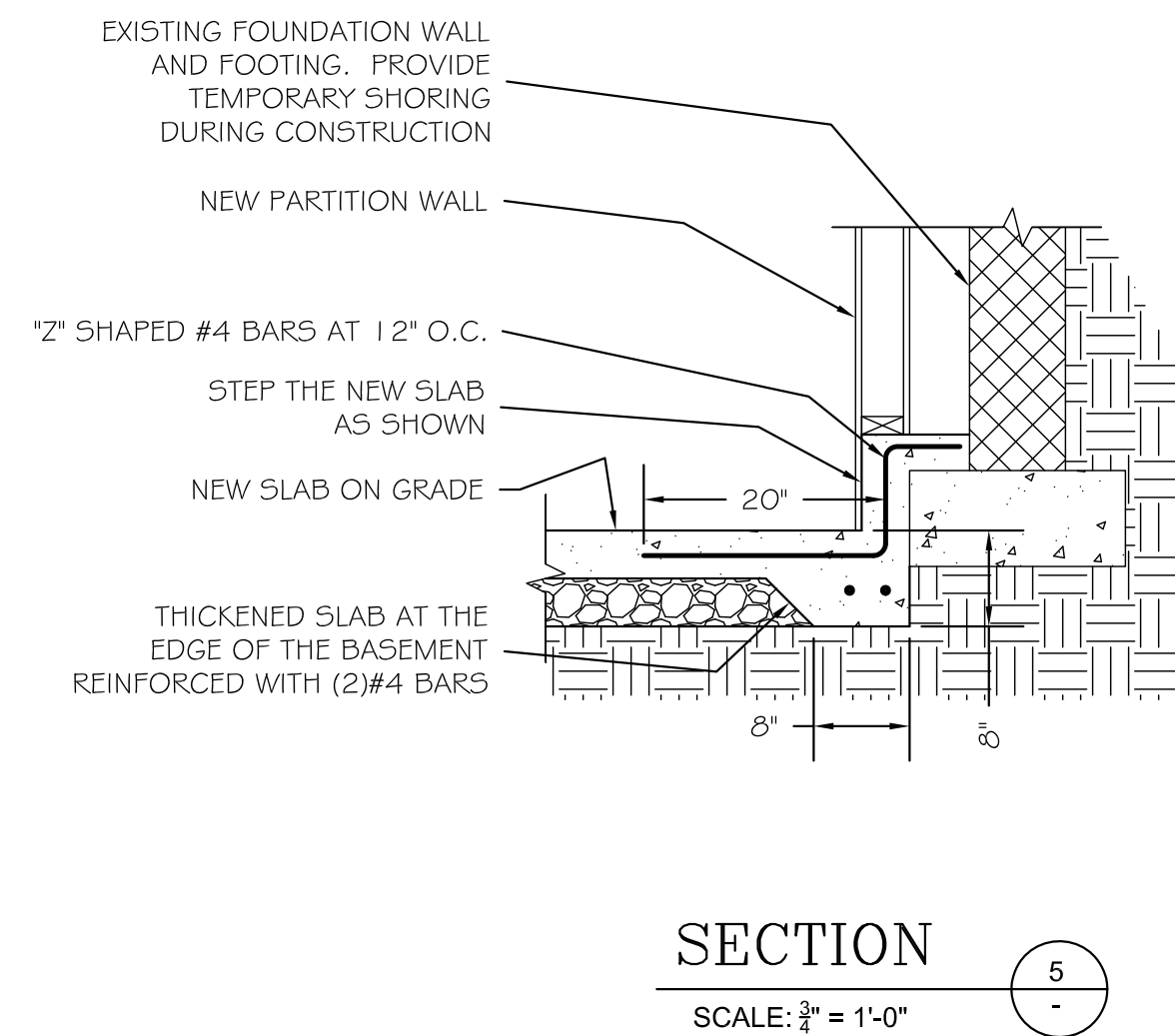
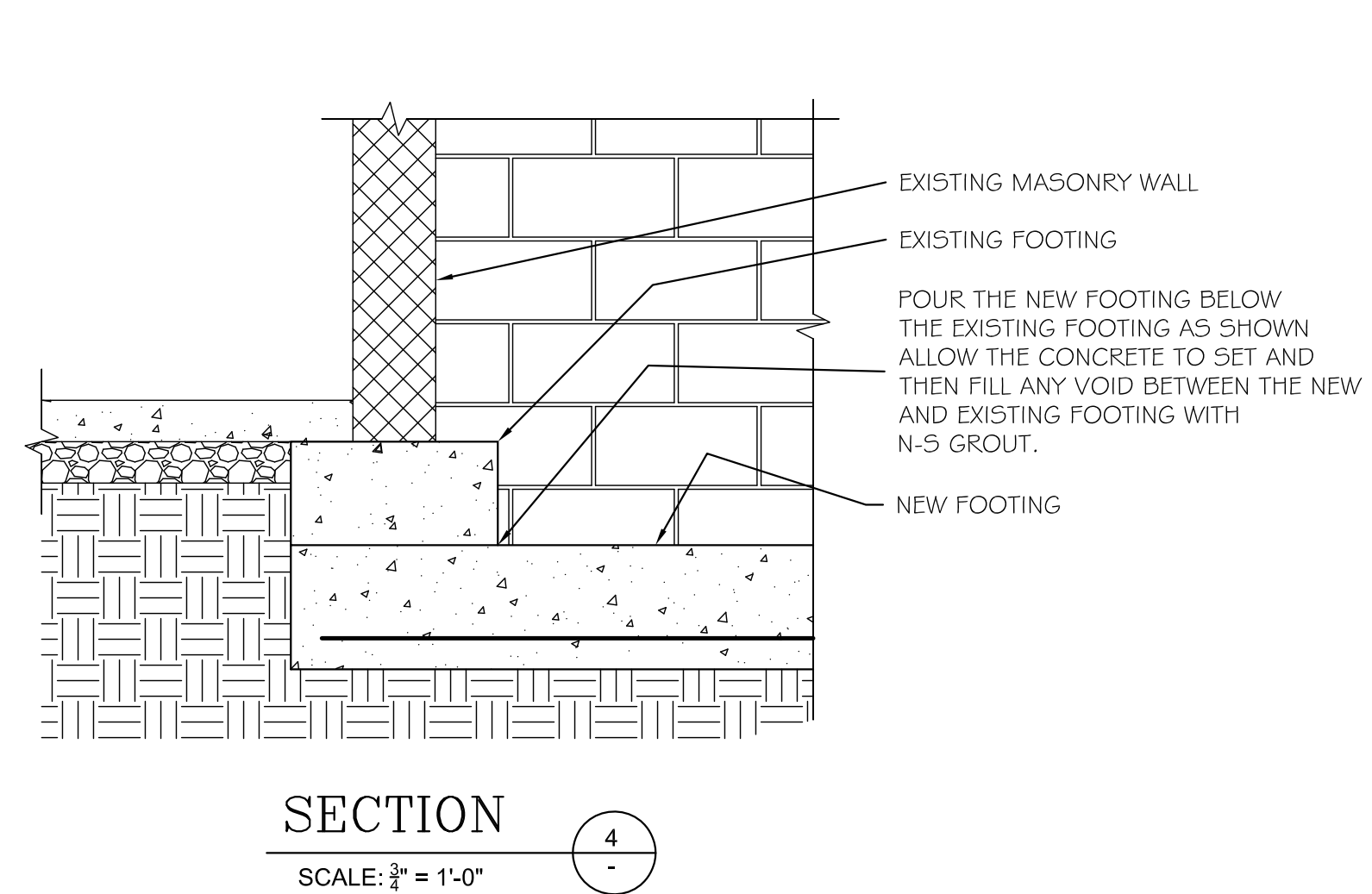
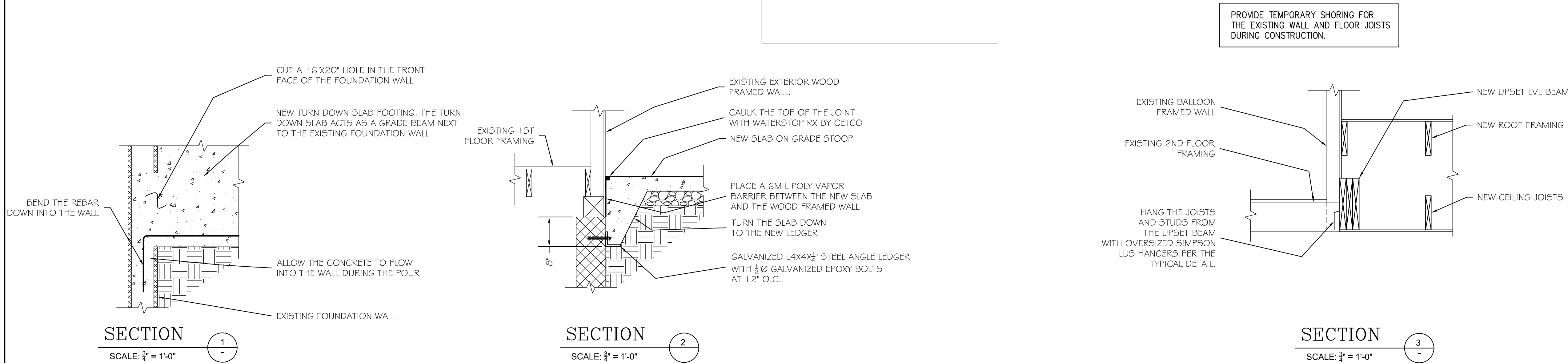
STRUCTURAL
NOTES & DETAILS

S103



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301-585-0543
301-583-9477 (f)

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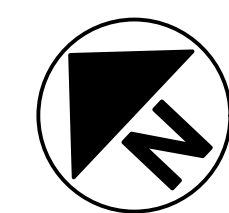
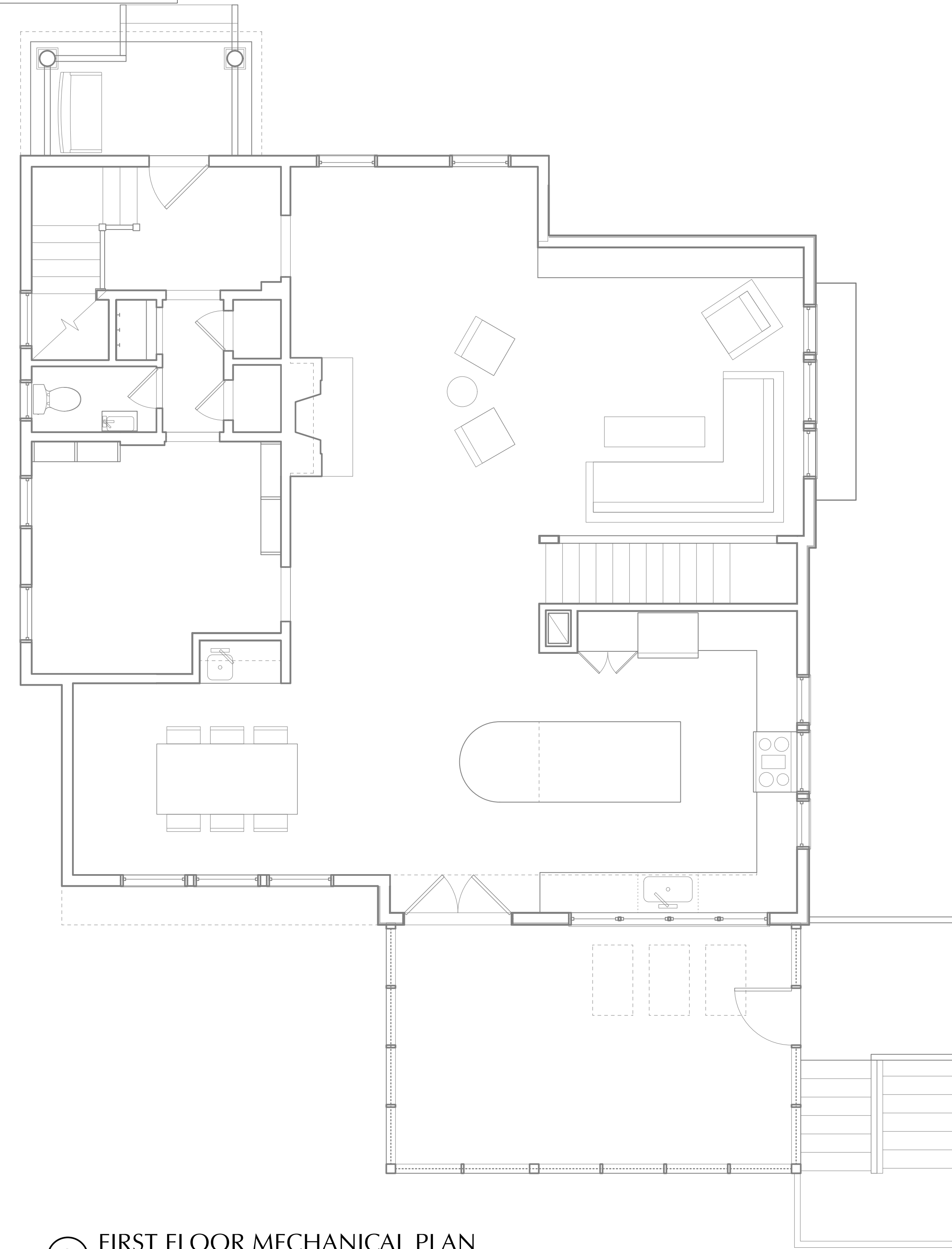
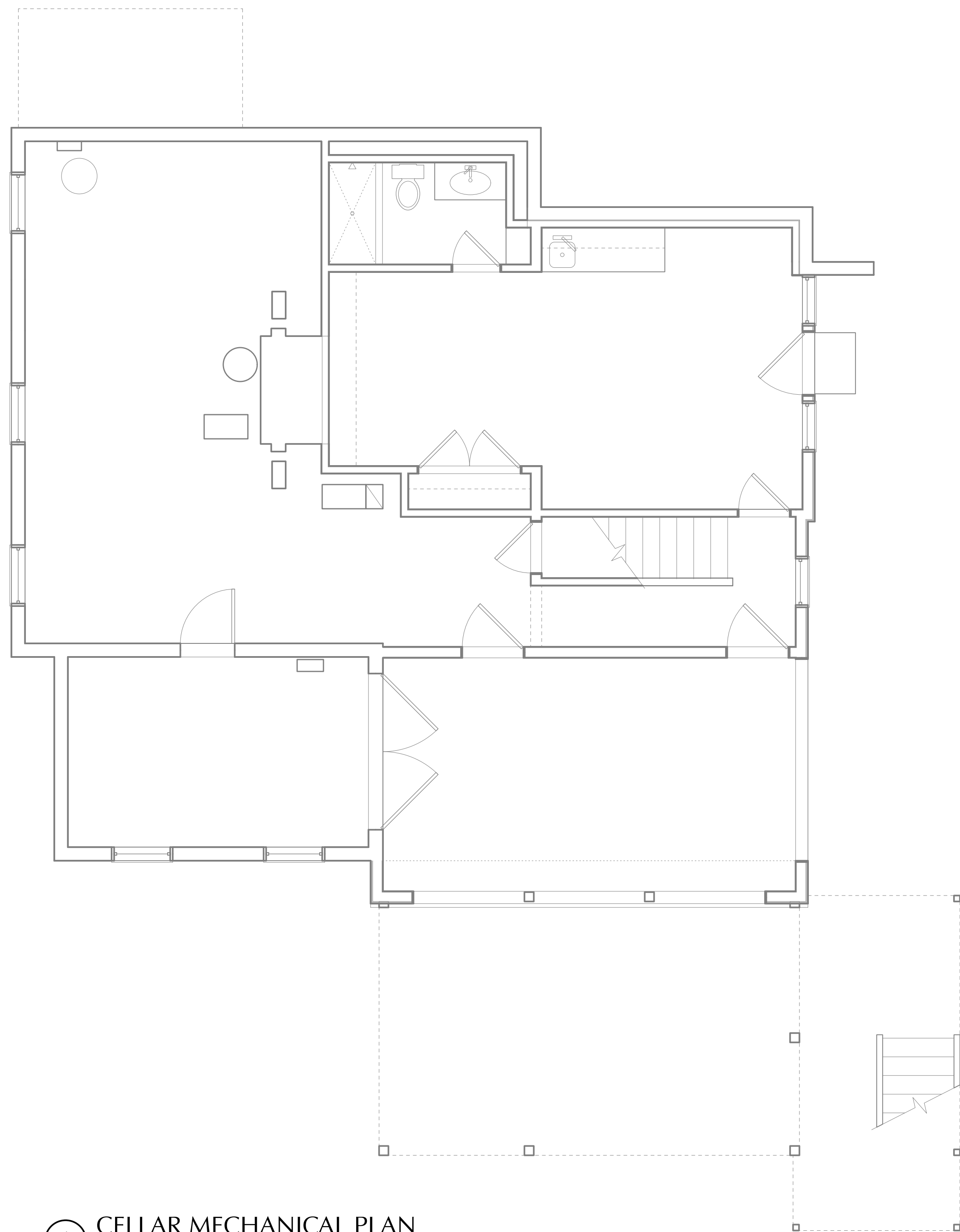
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STRUCTURAL DETAILS

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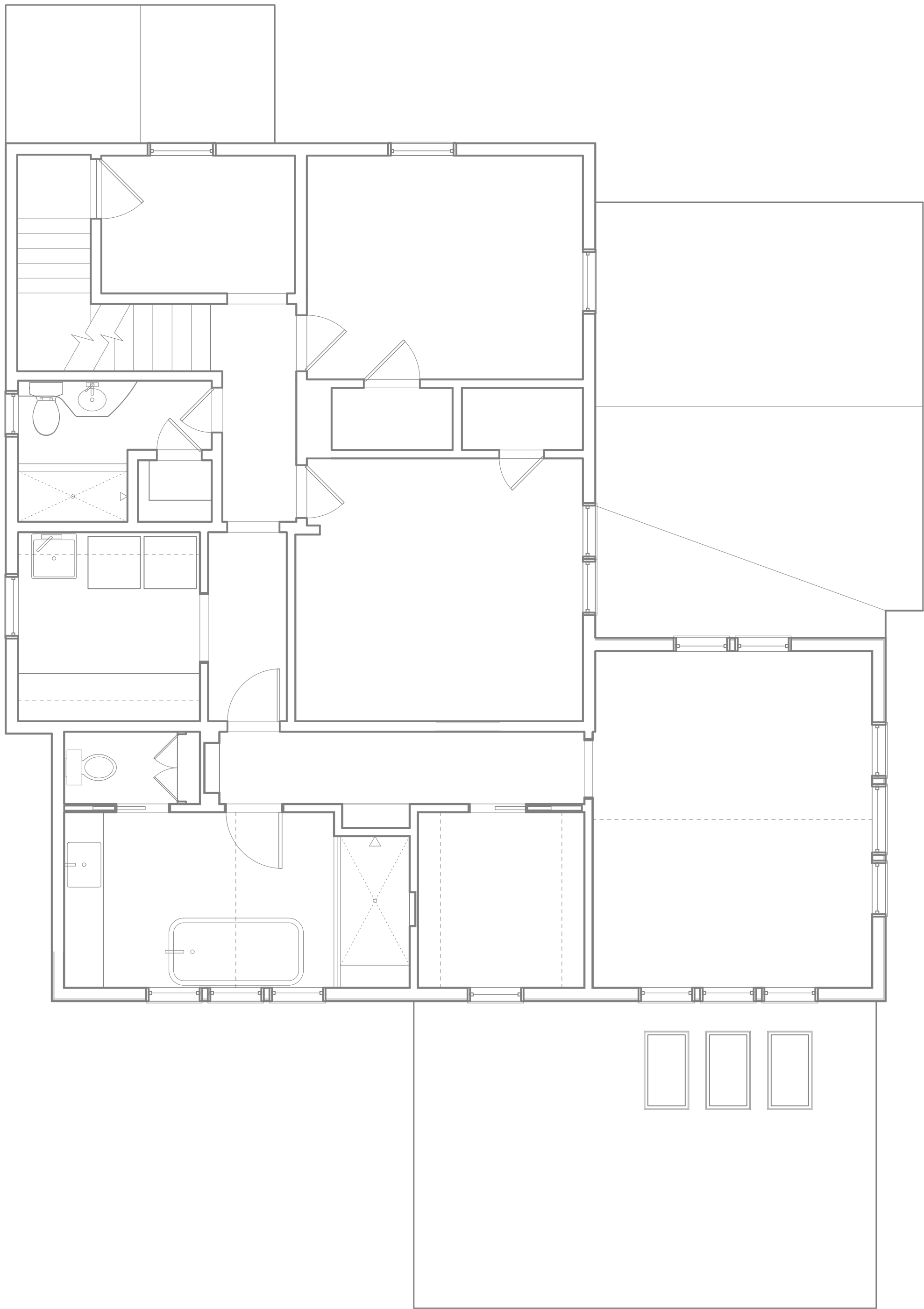
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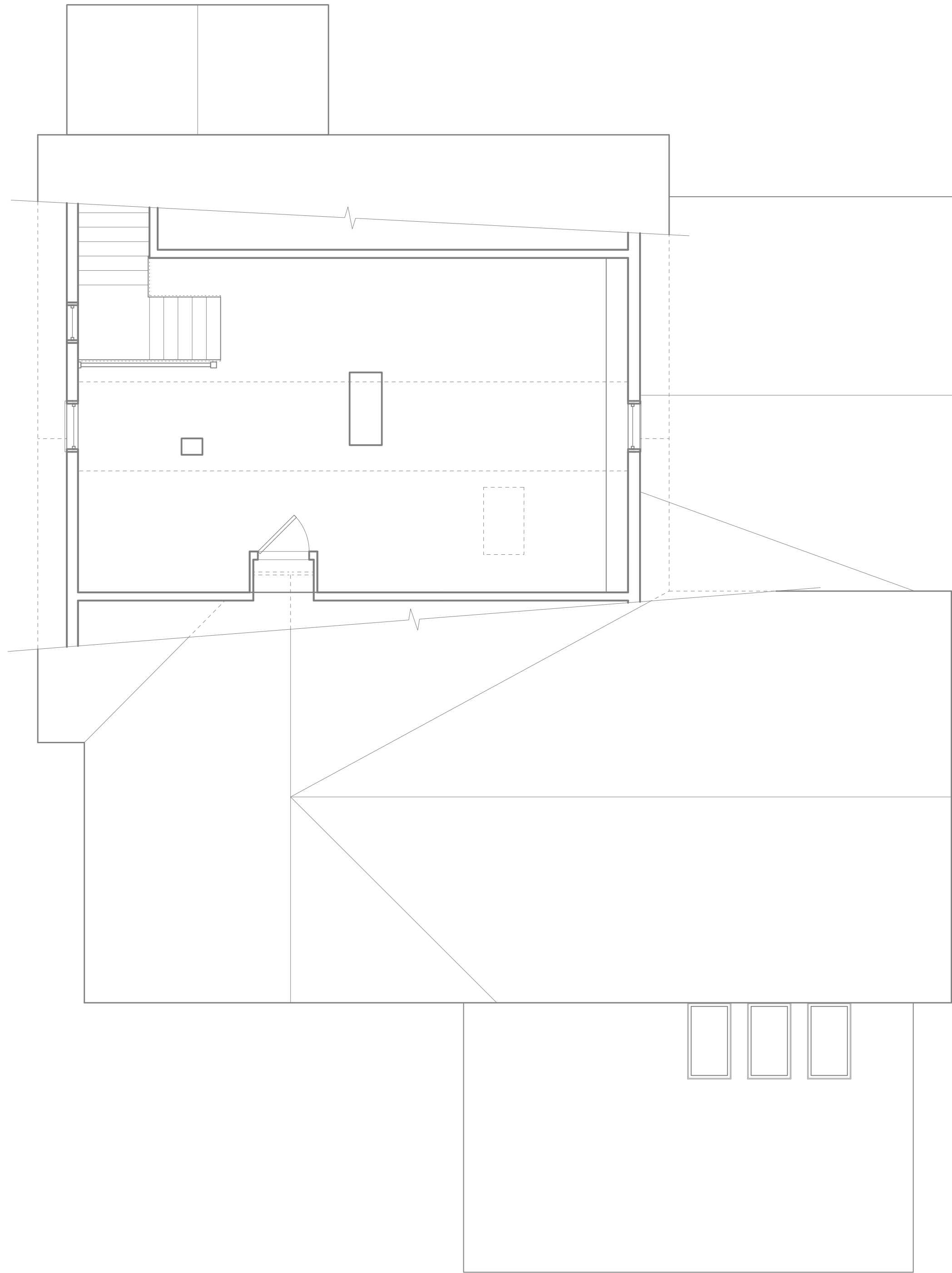
MECHANICAL
PLANS

M100

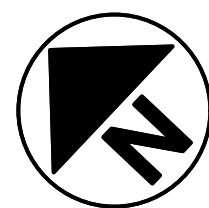
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1 SECOND FLOOR MECHANICAL PLAN
Scale: 1/4" = 1'-0"



2 ATTIC MECHANICAL PLAN
Scale: 1/4" = 1'-0"



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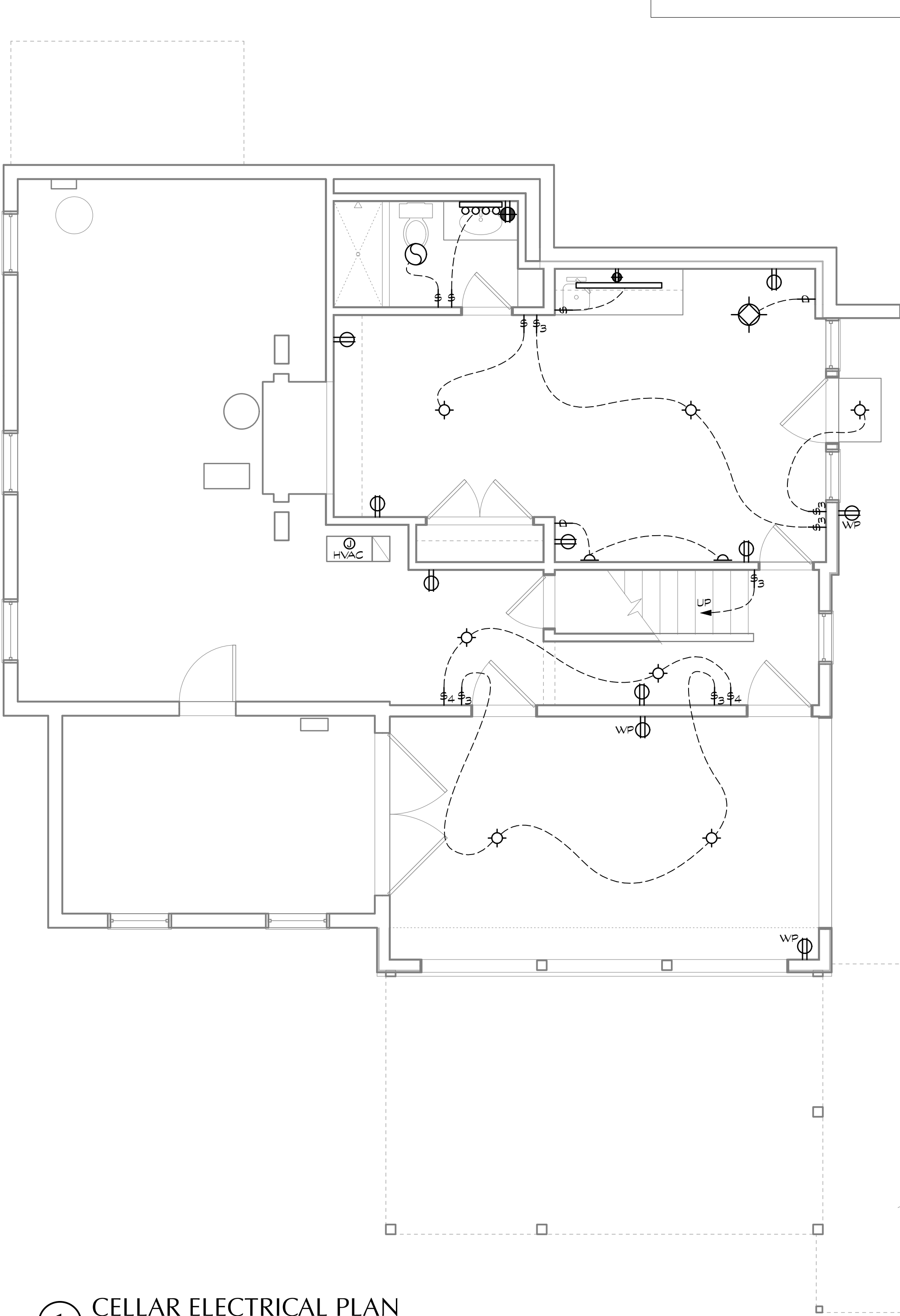
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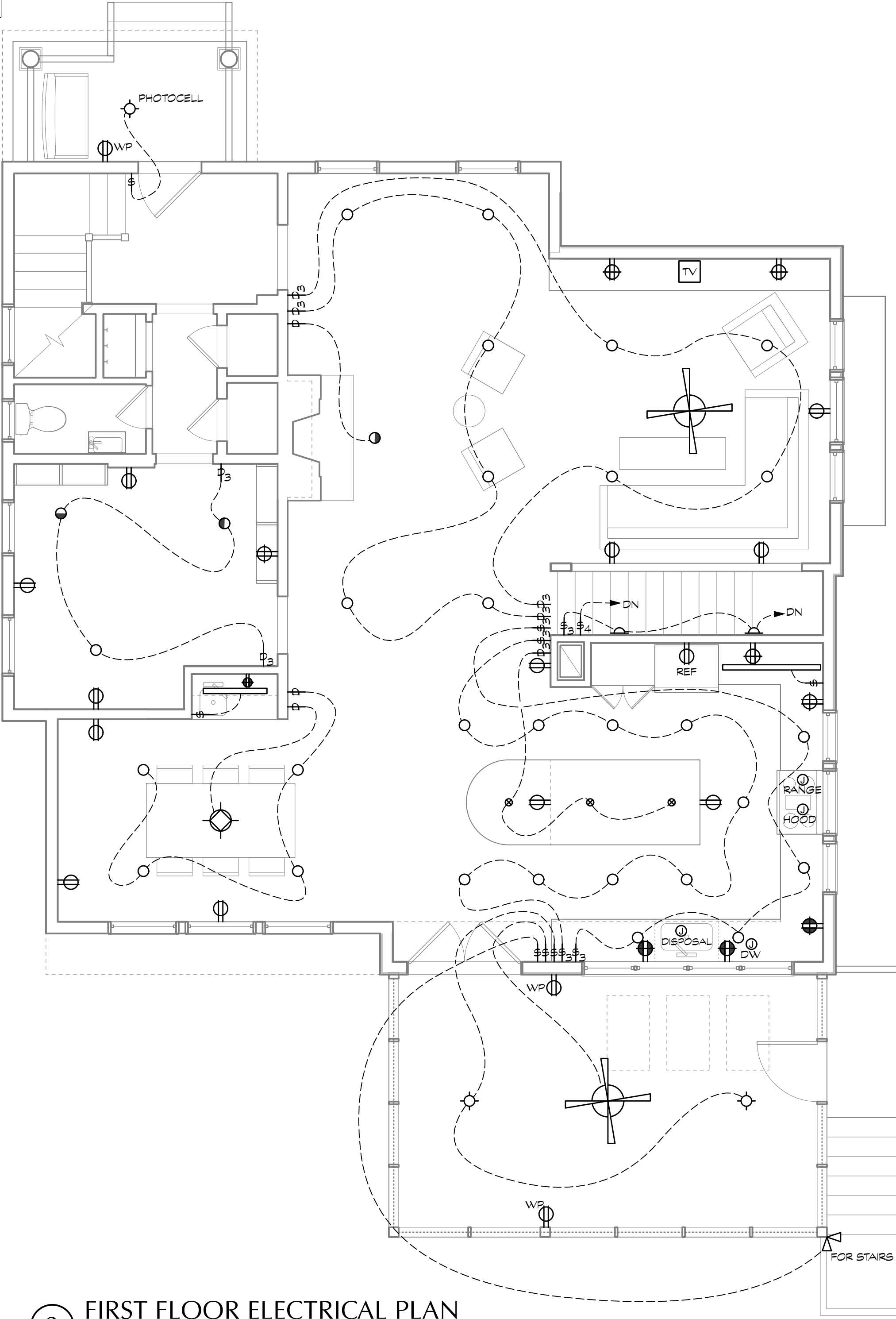
ELECTRICAL SYMBOLS	
	DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP @ 18" A.F.F.- COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP @ 45° AFF- COORDINATE W/ PANEL & EQUIP.
	GFI OUTLET- 20 AMP @ 18" A.F.F.
	GFI OUTLET- 20 AMP @ 45° A.F.F.
	ELECTRIC DRYER
	QUAD RECEPTACLE 15/20 AMP @ 18" A.F.F. (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX- SIZE AS REQUIRED
	DATA/TELEPHONE JACK- MOUNT @ 18" A.F.F. (U.N.O.)
	CABLE TV OUTLET
	EXISTING SMOKE DETECTOR- REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE DETECTOR- HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	DISPOSAL AIR SWITCH

LIGHTING SYMBOLS	
	SURFACE MOUNTED CEILING LIGHT FIXTURE
	FULLY RECESSED LED LIGHT
	UNDER CABINET MOUNTED FIXTURE
	SUSPENDED HALOGEN FIXTURE
	PENDANT FIXTURE
	VANITY LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	SCONCE FIXTURE
	CEILING FAN/LIGHT
	LED LIGHT FIXTURE
	SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL: PROVIDE 1/2" HOUSING AS NECESSARY IN INSULATED CAVITIES



1 CELLAR ELECTRICAL PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

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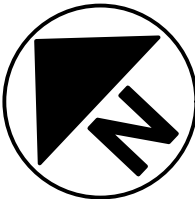
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CELLAR & FIRST
FLOOR ELECTRICAL

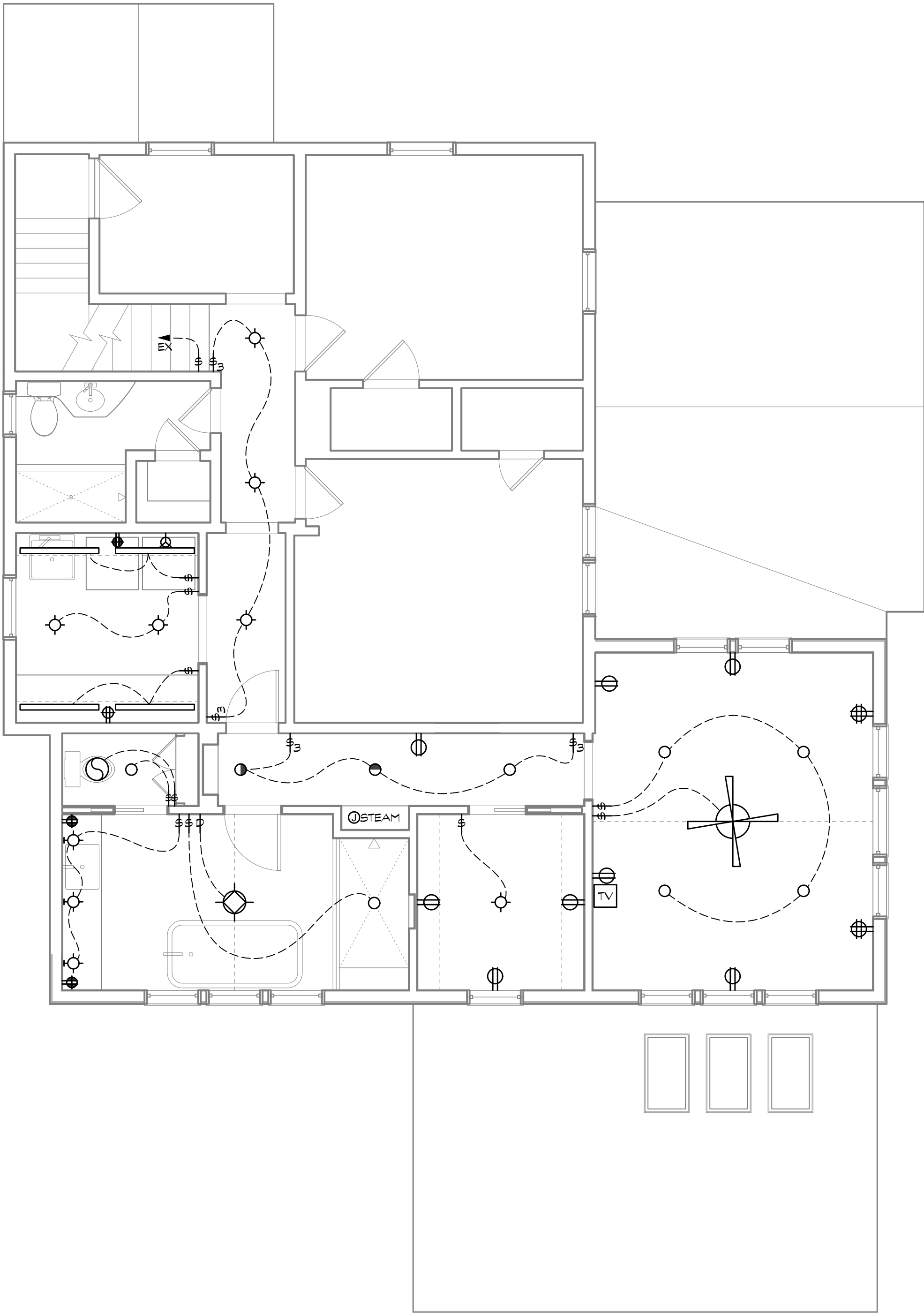
E100



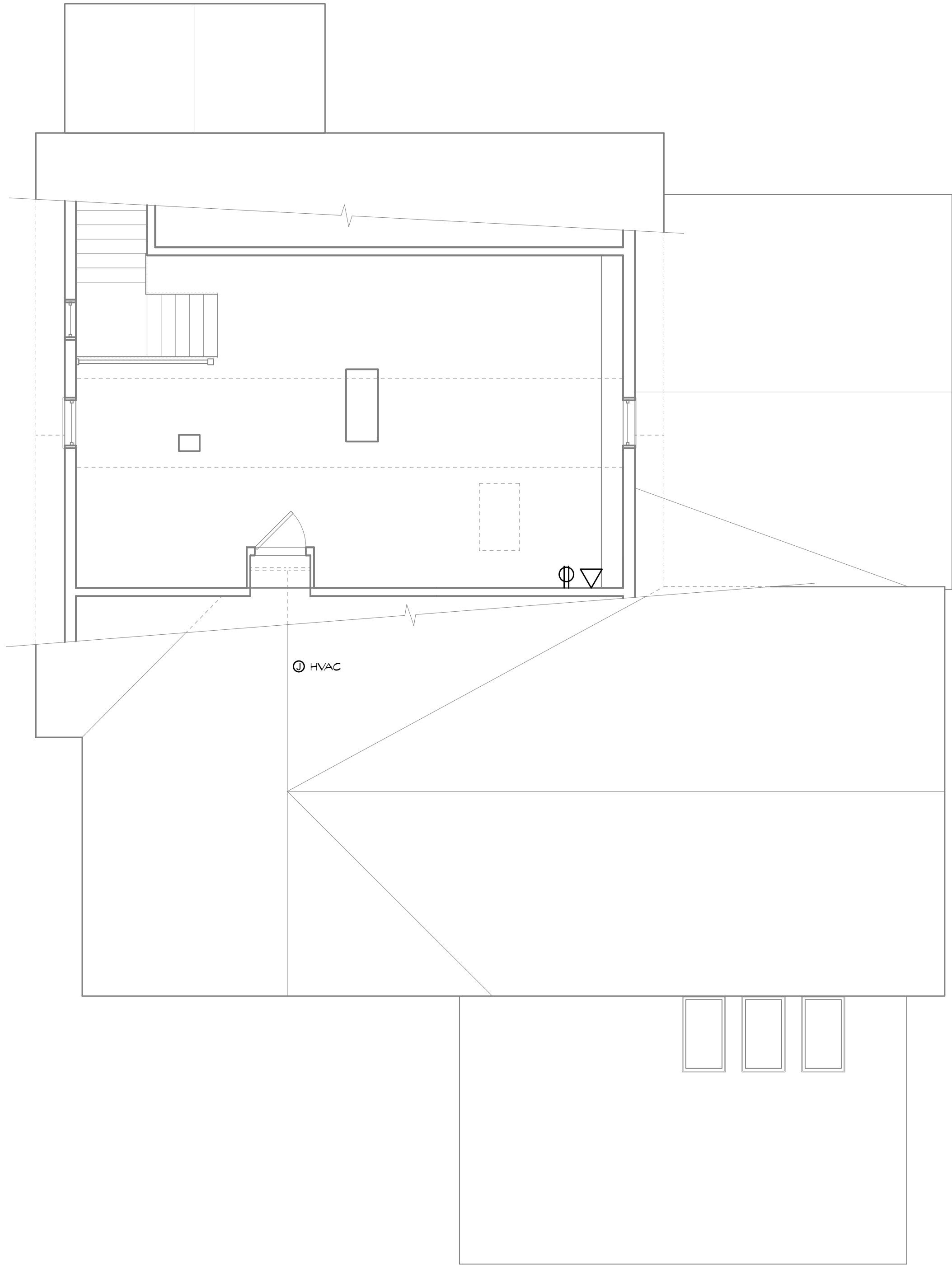
ELECTRICAL SYMBOLS	
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	GFI DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP @ 45' A.F.F.- COORDINATE W/ PANEL & EQUIP.
	GFI OUTLET- 20 AMP @ 15' A.F.F.
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	LED LIGHT FIXTURE
	SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL: PROVIDE I.C. HOUSING AS NECESSARY IN INSULATED CAVITIES



1 SECOND FLOOR ELECTRICAL PLAN
Scale: 1/4" = 1'-0"



2 ATTIC ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

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SECOND FLOOR & ATTIC
ELECTRICAL PLANS

E101

