

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	20 Philadelphia Ave., Takoma Park	Meeting Date:	2/10/2021
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	2/3/2021
Applicant:	Marwan Hishmeh (Alan Kinney, Agent)	Public Notice:	1/27/2021
Review:	HAWP	Tax Credit:	N/A
		Staff:	Michael Kyne

Permit Number: 928002

PROPOSAL: After-the-fact roof replacement, porch alterations, dormer additions, deck enclosure, and new deck construction

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman, 2-Story
DATE: 1913



Fig. 1: Subject property, as marked by the blue star.

BACKGROUND

The applicant previously appeared before the Commission for preliminary consultations at the July 29, 2020, September 9, 2020, and December 2, 2020 HPC meetings.¹

PROPOSAL

This is a retroactive application for work at 20 Philadelphia Avenue. Multiple Stop Work orders have been issued at this property since April 2020. The applicant is seeking retroactive approval for roof replacement, porch alterations, dormer additions, deck enclosure, and new deck construction. Additionally, the existing slate roof was removed and replaced with an asphalt shingle roof by the applicant; the applicant is seeking approval of this work after the fact.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of structures in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

¹ Link to July 29, 2020 HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=fc70ce7d-d290-11ea-b5c3-0050569183fa

Link to July 29, 2020 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2020/07/II.B-20-Philadelphia-Avenue-Takoma-Park.pdf>

Link to September 9, 2020 HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=e4693bc3-f463-11ea-b6a9-0050569183fa

Link to September 9, 2020 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2020/09/III.C-20-Philadelphia-Avenue-Takoma-Park.pdf>

Link to December 2, 2020 HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=f58c36dc-35a4-11eb-bc32-0050569183fa

Link to December 2, 2020 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2020/11/II.A-20-Philadelphia-Avenue-Takoma-Park.pdf>

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right of way is discouraged where such materials would replace or damage original building materials that are in good condition.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

At the December 2, 2020 preliminary consultation, the Commission expressed the following:

- The plans and elevations submitted with the HAWP application should be entirely accurate, showing the building conditions/features before the unpermitted changes occurred, as well as the accurate proposed/built conditions.
- The proposed replacement window on the first floor, left elevation should be an aluminum-clad wood window.
- Vinyl windows are approvable on the basement-level (rear/right elevation) and in the rear addition/deck enclosure [due to their location and/or general lack of visibility from the public right-of-way].
- As revised, the proposed front porch is appropriate and compatible with the subject property and surrounding streetscape.
- The majority (5 of 7) found the proposed asphalt shingle roofing to be appropriate and compatible. Two Commissioners stated that they would only approve a real slate roof, replacing the slate roof that was removed without a HAWP.

The applicant has responded with the following:

- The applicant's architect worked with staff to identify and correct discrepancies in the existing and proposed plans elevations.
- The applicant proposes paired aluminum-clad wood windows on the first floor, left elevation of the historic house.
- The applicants continues to propose vinyl windows on the basement-level (rear/right elevation and rear) and in the rear addition/deck enclosure.
- No revisions have been made to the front porch, as it previously received the Commission's support.
- No revisions have been made to the proposed roofing, as it previously received the Commission's support.

Staff fully supports the applicant's proposal, as revised, finding that it responds to the Commission's comments and is consistent with the *Guidelines*. The proposed addition/deck enclosure is in the preferred location at the rear of the historic house, where it is less visible from the public right-of-way.

Additionally, the proposed alterations are generally consistent with the predominant architectural style and period of the historic house, they preserve the predominant architectural features of the historic house, and they respect the existing environmental setting, landscaping, and pattern of open space.

As noted by staff and the Commission at the December 2, 2020 preliminary consultation, the revised front porch proposal is compatible with the subject property and surrounding streetscape. Historically, the

subject property had a full-width, one-story, open front porch, as did most of the neighboring properties. This is clearly demonstrated by the 1959 Sanborn Fire Insurance Map (see Fig. 2 below). Additionally, the proposed front porch takes visual cues from neighboring properties, including 18 and 22 Philadelphia Avenue. Like the subject property, both of these properties are listed as two-story Craftsman houses.

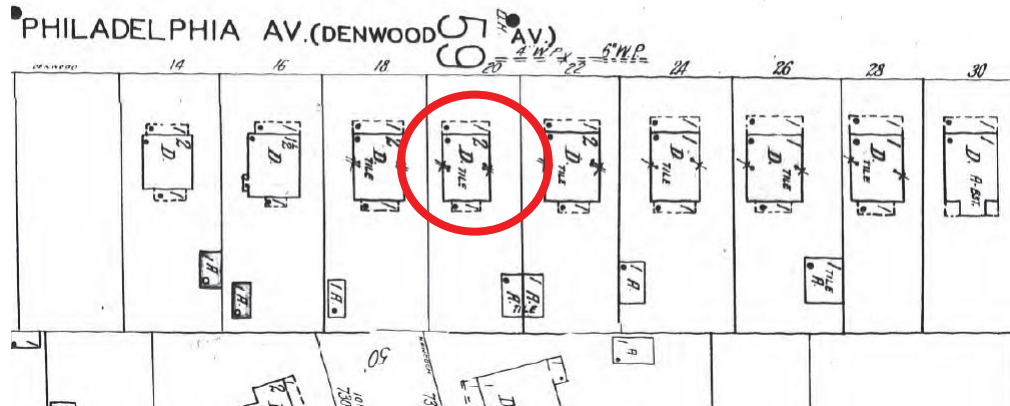


Fig. 2: 1959 Sanborn Fire Insurance Map, with subject property circled in red.

Likewise, the proposed architectural asphalt shingle roofing is generally consistent with the style and character of the subject property. Asphalt shingle roofing is also compatible with the surrounding streetscape, as this is the predominant roofing material at the neighboring and confronting properties on Philadelphia Avenue (including the aforementioned 22 Philadelphia Avenue). Although 18 Philadelphia Avenue retains its slate roofing, this property is designated as an Outstanding Resource, while the subject property and 22 Philadelphia Avenue are designated as Contributing Resources. Staff notes that the *Guidelines* for Outstanding Resources place greater emphasis on the preservation of original building materials, specifically stating that “Preservation of original building materials and use of appropriate, compatible new materials is encouraged.”

In accordance with *Standards* #2 and #9, staff finds that the proposal will not remove or alter character-defining features of the subject property and surrounding streetscape. Per *Standard* #10, the proposed alterations can be removed in the future without impairing the essential form and integrity of the historic property and its environment.

After full and fair consideration of the applicant’s submission, staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-8(b) 1 and 2 and (d), having found the proposal is consistent with the *Secretary of the Interior’s Standards for Rehabilitation* #2, #9 and #10, and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior’s Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present the 3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 928002
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: ACE CONSTRUCTION LLC
Address: 904 ERIC AVENUE
Daytime Phone: 301-351-5929

E-mail: N/A
City: TAKOMA PARK Zip: 20912
Tax Account No.: 01078834

AGENT/CONTACT (if applicable):

Name: ALAN KINNEY
Address: 335 WEST SPRINGGETTSBURY AVE
Daytime Phone: 301-351-5929

E-mail: DCQUALITY@GMAIL.COM
City: YORK, PA Zip: 17403
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 20 PHILADELPHIA AVENUE

Is the Property Located within an Historic District? Yes/District Name Takoma Park
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 20 Street: PHILADELPHIA AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: ETHAN ALLEN
Lot: 10 Block: 3 Subdivision: HILL CREST Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>DORMER</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

9/25/20

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

SFD DETACHED

Description of Work Proposed: Please give an overview of the work to be undertaken:

Retroactive roof replacement, porch alterations, dormer additions, deck enclosure, and new deck construction

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 9/25/2020

Application No: 928002
AP Type: HISTORIC
Customer No: 1386558

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

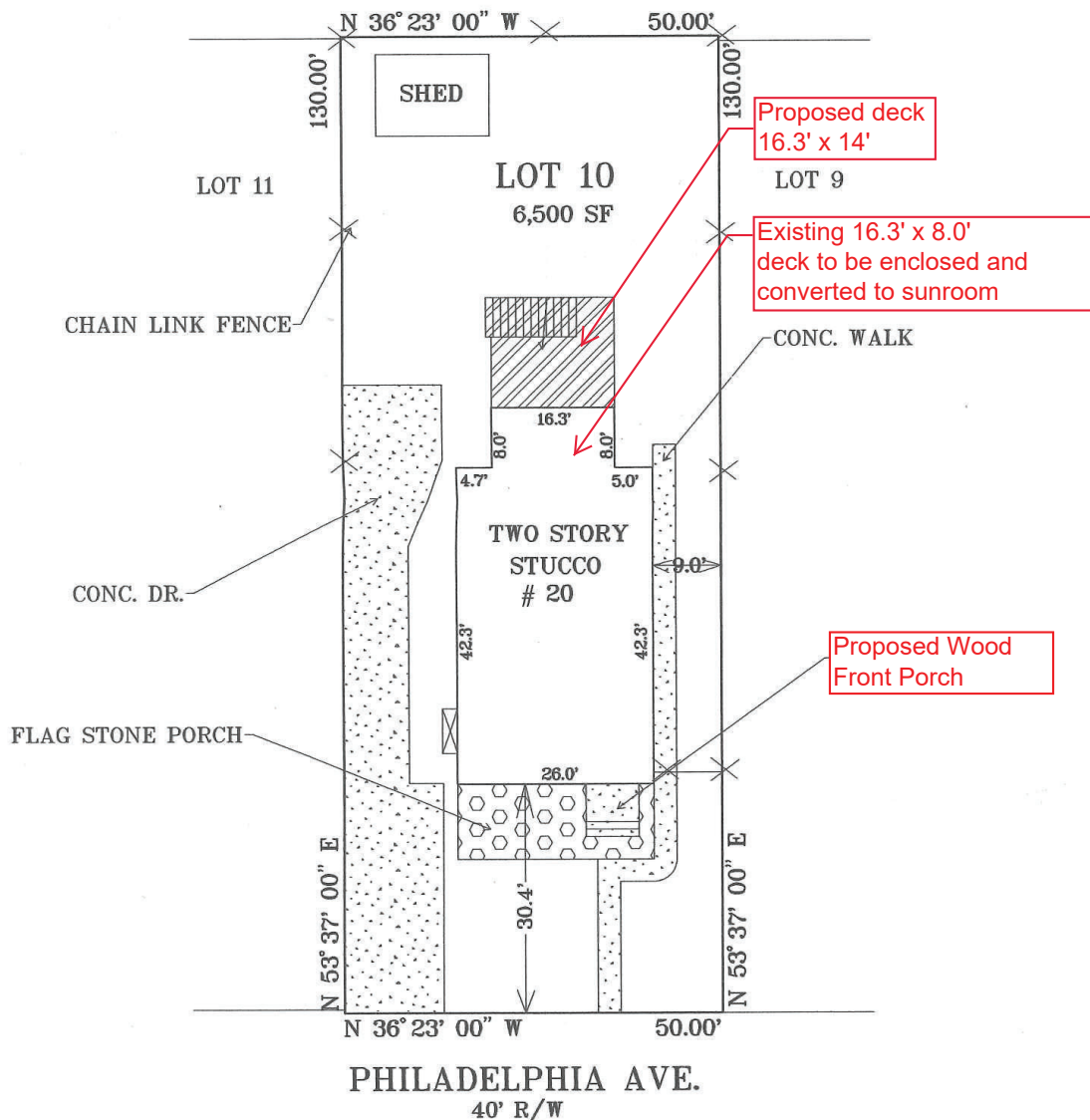
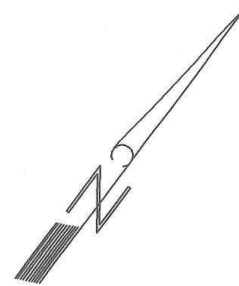
Primary Applicant Information

Address 20 PHILADELPHIA AVE
TAKOMA PARK, MD 20912
Othercontact Kinney
Homeowner ACE CONSTRUCTION LLC (Primary)

Historic Area Work Permit Details

Work Type ADD
Scope of Work Retroactive roof replacement, porch alterations, dormer additions, deck enclosure, and new deck construction

20 PHILADELPHIA AVE.
 LOT: 10
 BLOCK: 3
 HILL CREST
 MONTGOMERY COUNTY
 MARYLAND



NOTE: LICENSE NO. 574
 EXPIRATION DATE 03/21/21

SITE SURVEY

THE PURPOSE OF THIS
 SURVEY IS TO OBTAIN A
 BUILDING PERMIT.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE PROPERTY DELINEATED HEREON IS IN ACCORDANCE WITH THE PLAT OF SUBDIVISION AND DEED OF RECORD AND THAT THE IMPROVEMENTS SHOWN WERE LOCATED BY ACCEPTED FIELD PRACTICES. THIS SITE SURVEY IS NOT FOR THE DETERMINING PROPERTY LINES, AND NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, AND LOT CORNERS HAVE NOT BEEN SET BY THIS SURVEY.



MARYLAND LAND SURVEYING

CONSULTING LAND SURVEYORS AND PLANNERS
 9890 LYON AVENUE
 LAUREL, MARYLAND 20723

(301) 206-2258

SCALE 1" = 20'	DWG. BY G.E.L.	CASE No.
LIBER 3710 FOLIO 612	ELECTION DISTRICT 13	COUNTY MONTGOMERY
PLAT BOOK 2 PLAT NO. 140		DATE 05/01/20



Home Remodel

20 Philadelphia Avenue

Takoma Park, MD.20912

CODE

Plans conform with IRC 2018.
-All wood in contact with soil or masonry foundations will meet the ASTM standard A 193 and A 953 class 1-B.
-All framing lumber to be SPF#2 unless indicated otherwise.
Design criteria used are as follows:
-Roof load: 50lbs/sf
-Roof and floor dead load: 10lbs/sf
- seismic design category B
-Termite damage susceptibility: moderate to heavy
-Wind design: intermediate: 15 degrees F - 4 degrees C
-Susceptivity to damage from waterborne-boring
-Roof live load in sleeping areas: 40lbs/sf
-Floor live load in sleeping areas: 50lbs/sf
-Wind speed: 115mph (3 sec. gust method) 115 mph 40 m/s.
-Frost free depth: 30"
-Flood hazard: Yes
-Floor joists: 8' x 16" APA superior/underlayment rated tongue and groove, glued and nailed to joists.
-Roof sheathing: 1/2" OSB with spacing
-Roofing: 2 1/8lb per square asphalt shingles over 15lb felt.

GENERAL NOTES

1. EMERGENCY EGRESS WINDOW SIZES TO CONFORM WITH SECTION R910 OF THE 2018 IRC.
2. MAX. SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 4'4" IN CONFORMANCE WITH 2018 INTERNATIONAL RESIDENTIAL CODE (IRC).
3. HANDRAIL RISER HEIGHT SHALL BE 1 3/4" AND MAX TREAD 11" FOR ALL STAIRWAYS HANDRAIL PROJECTION 3/4" MAXIMUM PER 2018 IRC.
4. ROOF SHINGLES TO BE INSTALLED PER 2018 IRC.
5. PRETYPING SHALL BE PROVIDED PER 2018 IRC.
6. ROOF VENTING SHALL BE INSTALLED PER 2018 IRC.
7. GUARDRAIL HEIGHTS TO BE 36" MIN. ACCORDING WITH 2018 IRC.
8. PROVIDE GALVANIZED WALL TIES IN ACCORDANCE WITH 2018 IRC.
9. ALL GLAZED AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLASS IN CONFORMANCE WITH SECTION R905 OF THE 2018 IRC.
10. ALL FREE PLACES TO BE UL RATED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND 2018 IRC.
11. ALL FOOTINGS TO EXTENDED AT LEAST 30 INCHES BELOW FINISH GRADE PER 2018 IRC.
12. ALL FRAME BEARING WALLS TO CONFORM WITH 2018 IRC.
13. PROVIDE WALL BRACING IN ACCORDANCE WITH 2018 IRC.
14. PROVIDE EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4X8 SHEATHING PANELS APPLIED VERTICALLY.
15. PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2018 IRC.
16. ALL TRUSSES, BRIDGES, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS AND 2018 IRC.
17. FLYWOOD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2018 IRC.
18. PROVIDE FLASHING AS PER 2018 IRC.
19. PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELLING UNIT, AND ALL BEDROOMS. THE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNITS PER 2018 IRC.
20. SMOKE DETECTORS SHALL BE GLAZED WITH ANY OF THE FOLLOWING MATERIALS SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2018 IRC: LAMINATED GLASS, WIRED GLASS, ANNEALED GLASS, HEAT STRENGTHENED GLASS, TYPED GLASS, GLASS BLOCK AND LIGHT TRANSMITTING PLASTIC.
21. VERIFY ALL DIMENSIONS AND ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION, AND COMMUNICATE TO THE ARCHITECT ANY DISCREPANCIES WITH THESE DRAWINGS.

STRUCTURAL NOTES

SOIL BEARING AND WATER CONDITION: ASSUMED SOIL BEARING CAPACITY OF 1500 PSF (MIN) WITH A LATERAL PRESSURE OF 60 PSF.

LIVE LOADS: ROOF: 30 PSF 15 PSF DEAD LOAD
FLOOR: 40 PSF 15 PSF
STAIRWAY: 100 PSF 15 PSF
BALCONIES: 30 PSF 15 PSF
FLOOR AT BEDROOM LEVEL: 30 PSF 15 PSF
WIND LOAD: 11 PSF

BACKFILL SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE ARE IN PLACE AND REQUIRED INSPECTIONS ARE MADE WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS. BACKFILL BOTH SIDES SIMULTANEOUSLY WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME.

LATERAL LOADS ON FOUNDATION WALLS: WALLS BUILT TO RETAIN OR SUPPORT THE LATERAL PRESSURE OF EARTH OR WATER OR OTHER EQUIVALENT TO THAT EXERTED BY FLUID WEIGHING 30 POUNDS PER CUBIC FOOT AND HAVING A DEPTH EQUAL TO THAT OF THE RETAINED EARTH.

FOUNDATIONS (BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT 12" INTO UNDISTURBED EXISTING NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANTS RECOMMENDATIONS. TOPS AND SIZES OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST AIA CODE 318.28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:
F_c = 2500 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE AND FILL IN CONCRETE SLABS
F_c = 3000 PSI FOR EXTERIOR SLABS ON GRADE
F_c = 4000 PSI FOR PRECAST CONCRETE UNITS

SLABS ON GRADE: EXCEPT WHERE OTHERWISE NOTED SHALL BE 6" THICK REINFORCED WITH 6X6 #10/12 WELDED WIRE MESH LAP WIRE IN EACH DIRECTION. SLABS SHALL BE LAID ON A LAYER OF 4" MIN. POLYETHYLENE OVER A 4" LAYER OF WASHED GRAVEL. REFER TO DRAWINGS FOR LOCATION OF THERMAL INSULATION.

EXTERIOR SLABS ON GRADE: FOR ALL EXTERIOR SLABS ON GRADE, AIR ENTRAINED CONCRETE WITH EXTENDED JOINTS OF 4" OR EQUIVALENT AIR-ENTRAINING AGENT SHALL BE USED TO PROVIDE CONTROL JOINTS AT 10'-0" ON CENTER. EACH JOINT IN ALL EXTERIOR SLABS ON GRADE (EXCEPT WITH TERRACE SLAB).

REINFORCING STEEL: REINFORCING STEEL OR TIES UNLESS OTHERWISE NOTED SHALL BE INTERMEDIATE GRADE DEFORMED BILLET STEEL CONFORMING TO ASTM SPECIFICATIONS A614-60. WELDED WIRE FABRIC TO CONFORM TO ASTM A185. ALL REINFORCING SHALL BE DETAILED FABRICATED INSULATED ACCORDING WITH THE LATEST DETAILING MANUAL, ACI 315.

STRUCTURAL STEEL: SHALL BE IN CONFORMANCE WITH THE LATEST AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL OR BILDERSTEIN 2007. ALL FIELD CONNECTIONS SHALL BE WELDED OR WELDED WITH 3/8" HIGH STRENGTH BOLTS. SEE DETAILS ON DRAWINGS FOR WELDING AND BOLTING. ALL STEEL SHALL BE GALVANNEAL OR CONFORM TO ASTM SPECIFICATIONS A36. NO HOLES ARE PERMITTED IN STEEL BEAMS OTHER THAN SHOWN ON THE DRAWINGS UNLESS APPROVED BY THE STRUCTURAL CONSULTANT.

SCOPE OF WORK

DEMO EXISTING WALL SECTIONS, DECK AND FRONT COLUMNS.
CONSTRUCT NEW WALLS, BATHS, DECK AND FRONT DECK.
CONSTRUCT NEW DORMER.
REPLACE WINDOWS AS SHOWN.

INDEX

COVER SHEET A001
EX FLOOR PLANS A002
PROP FLOOR PLANS A003
PROP FLOOR PLANS A004
EX ELEVATIONS A005
PROP ELEVATIONS A006

F_d = 2,000 PSI
F_v = 235 PSI
F_c = 2,100 PSI
E = 2,900,000 PSI

IF A DOUBLE TOP PLATE OF LESS THAN 2X6S OR 2X4S IS USED FOR JOISTS (AND TRUSSES) MUST BE CENTERED DIRECTLY OVER AND BELOW BEARING STUDS UNLESS CERTIFIED BY STRUCTURAL ENGINEER.

UNFINISHED INTERIOR BEARING WALLS: AT LEAST ONE SIDE OF THE ALL SHEATHED WITH A MINIMUM OF 1/2" GYPSUM BOARD FASTENED ACCORDING TO DRYWALL MANUFACTURERS RECOMMENDATIONS.

Description Date

Home Remodel
20 Philadelphia Avenue
Takoma Park, MD.20912

Date: 1/24/21

Drawn By: ALK LOM

Scale: 1/4" = 1'-0"

Sheet Number:

001
Cover Sheet



**Quality Home
and Design**
Consulting-Design Ser
Drafting-Permit Ser
301-351-5929
dqquality.net
dqquality@gmail.com

Description	Date
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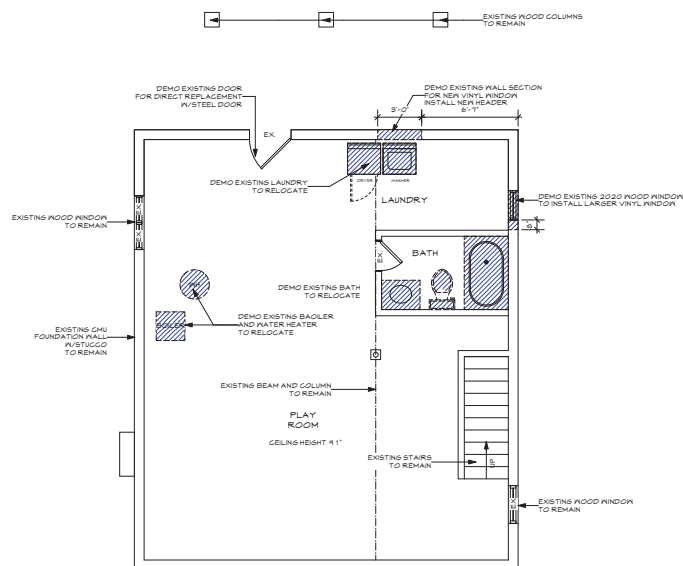
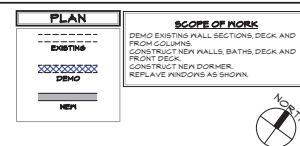
Home Remodel
20 Philadelphia Avenue
Takoma Park, MD. 20912

Date: 1/29/21

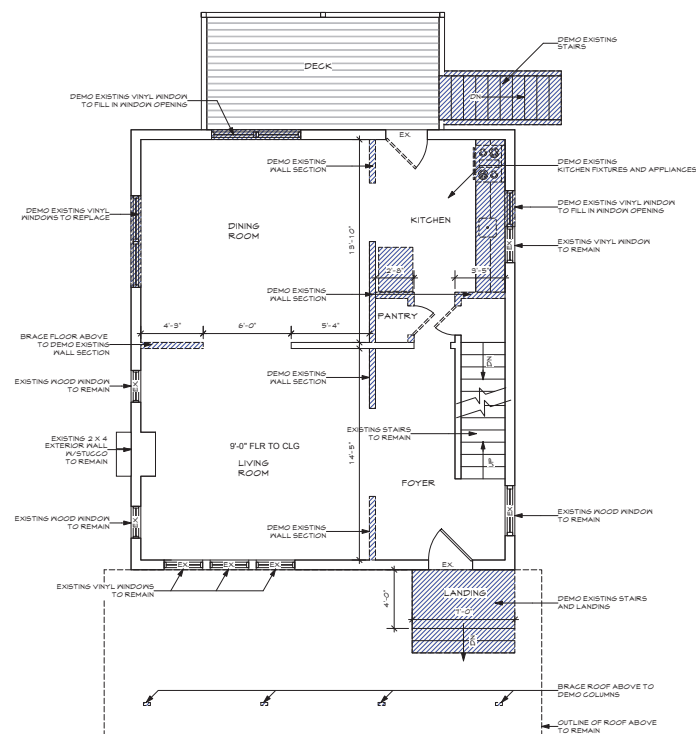
Drawn By: AILK LOM

Scale: 1/4" = 1'-0"

AOO 1
Ex Floor Plan



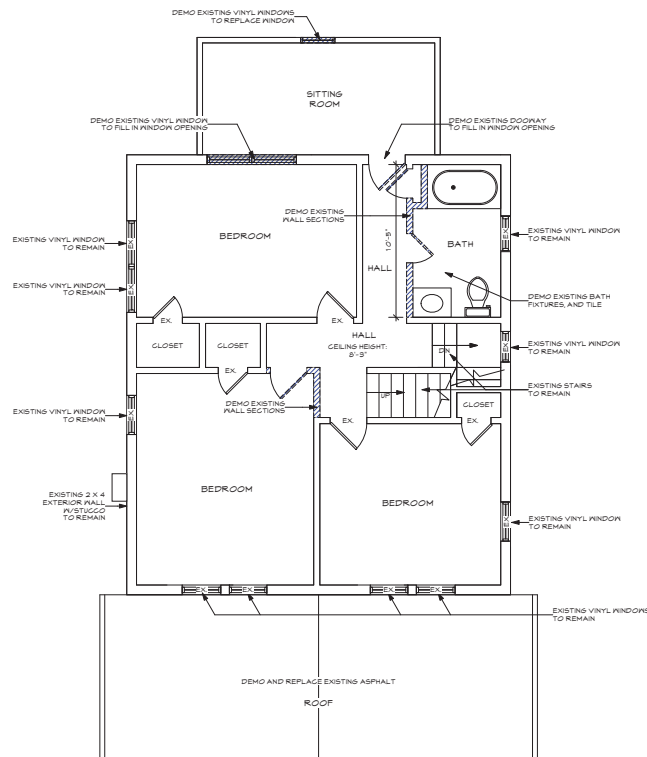
1 Existing Basement Plan
Scale: 1/4" = 1'-0"



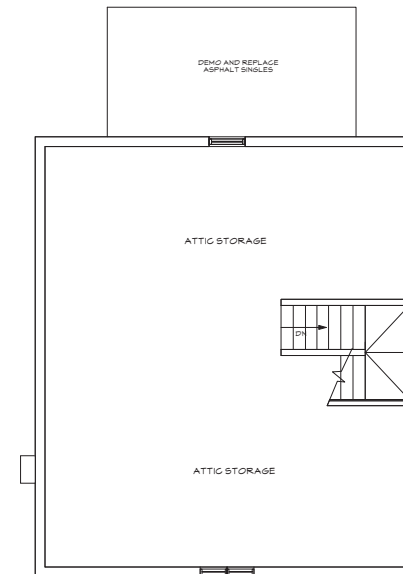
2 Existing First Floor Plan
Scale: 1/4" = 1'-0"

PLAN
----- EXISTING
----- DEM
----- NEW

SCOPE OF WORK
 DEMO EXISTING HALL SECTIONS, DECK AND FRONT COLUMNS.
 CONSTRUCT NEW HALLS, BATHS, DECK AND FRONT DECK.
 CONSTRUCT NEW DORMER.
 REPLACE WINDOWS AS SHOWN.



3 Existing Second Floor Plan
 Scale: 1/4" = 1'-0"



4 Attic Floor Plan
 Scale: 1/4" = 1'-0"

Description	Date

Home Remodel
 20 Philadelphia Avenue
 Takoma Park, MD. 20912

Date: 1/24/21

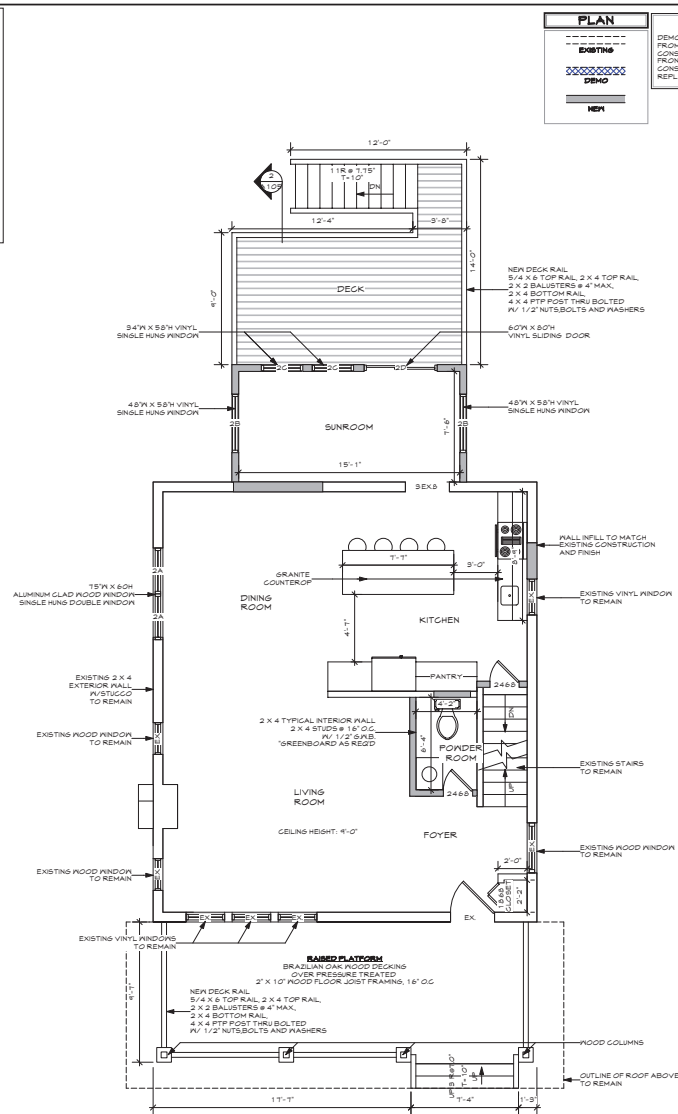
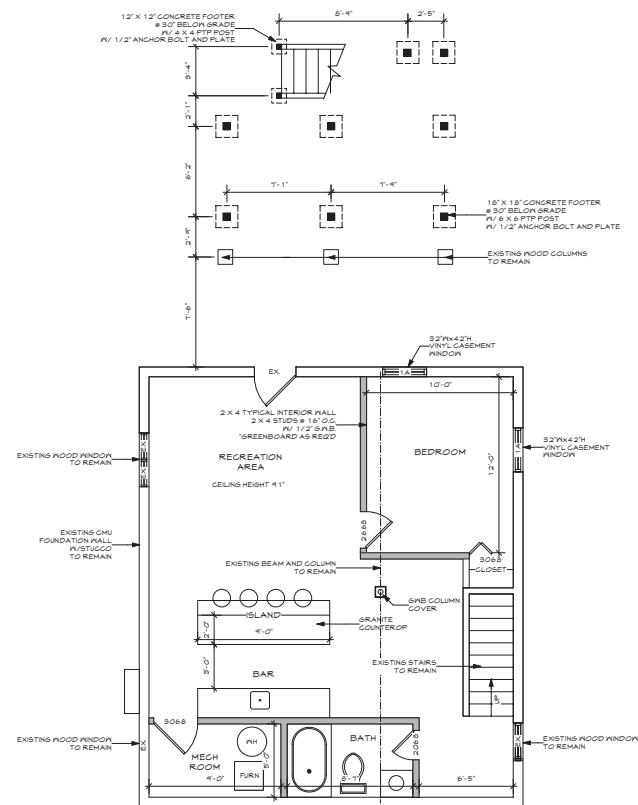
Drawn By: ALK/LOH

Scale: 1/4" = 1'-0"

Sheet Number:

A002

Ex Floor Plans




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SCOPE OF WORK
DEMO EXISTING WALL SECTIONS, DECK AND
FROM COLUMNS.
CONSTRUCT NEW WALLS, BATHS, DECK AND
FRONT DECK.
CONSTRUCT NEW DORMER.
REPLACE WINDOWS AS SHOWN.



<u>Description</u>	Date
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Home Remodel
20 Philadelphia Avenue
Takoma Park, MD. 20912

Date: 1/29/21

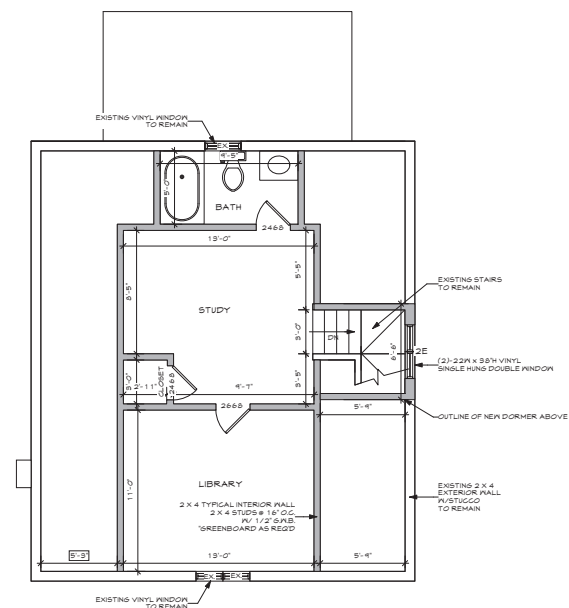
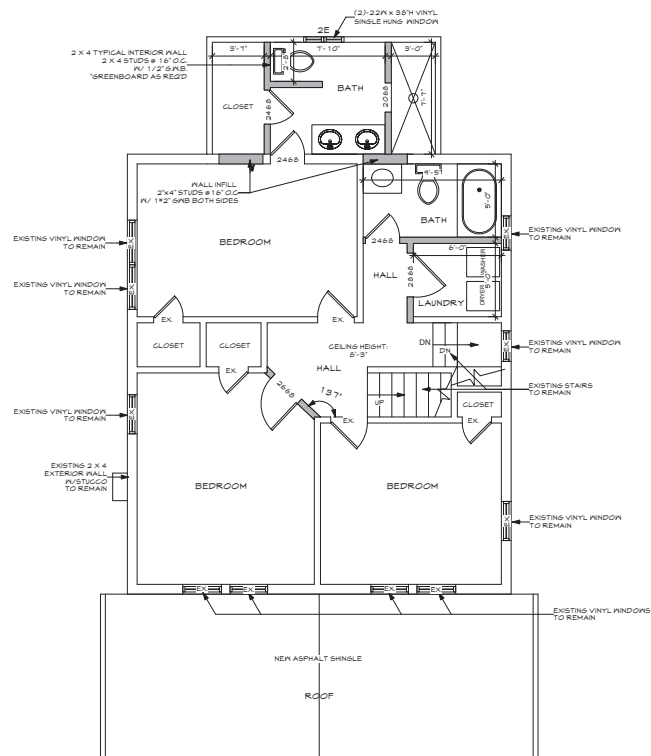
Drawn By: ANK LOHL

Scale:	1/4" = 1'-0"
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Sheet Number:

A003

Prop FI Plans



SCOPE OF WORK
DEMO EXISTING WALL SECTIONS, DECK AND
FROM COLUMNS.
CONSTRUCT NEW WALLS, BATHS, DECK AND
FRONT DECK.
CONSTRUCT NEW DORMER.
REPLACE WINDOWS AS SHOWN.



<u>Description</u>	<u>Date</u>
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Home Remodel
20 Philadelphia Avenue
Takoma Park, MD. 20912

Date:	1/29/21
Drawn By:	AELK LONG
Scale:	1/4" = 1'-0"
Sheet Number:	

A004
Prop FI Plans



<u>Description</u>	<u>Date</u>
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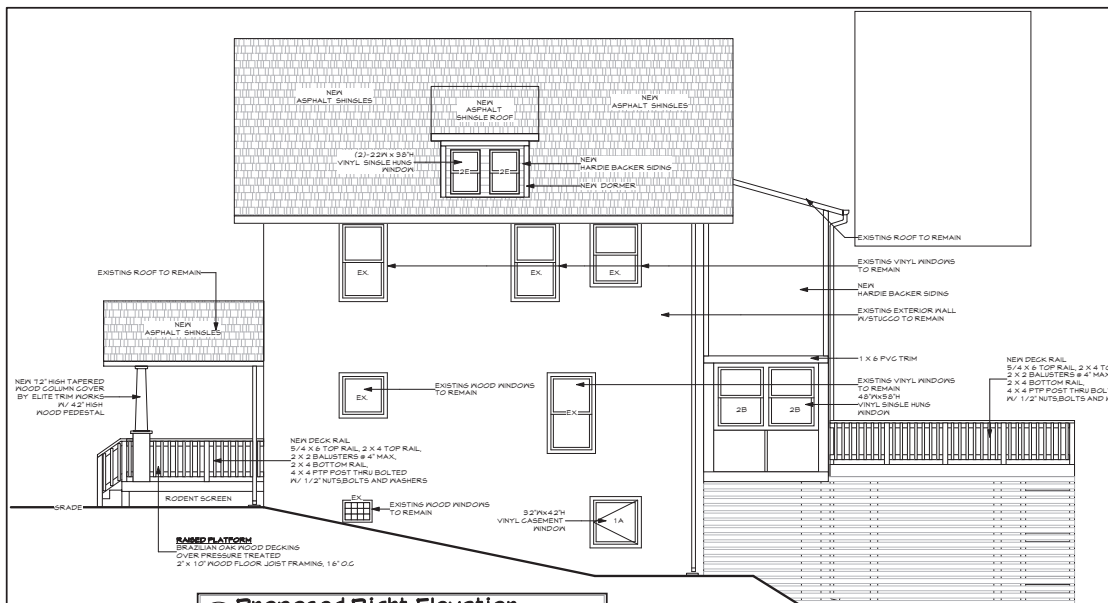
Home Remodel
20 Philadelphia Avenue
Takoma Park, MD. 20912

Date: 1/29/21

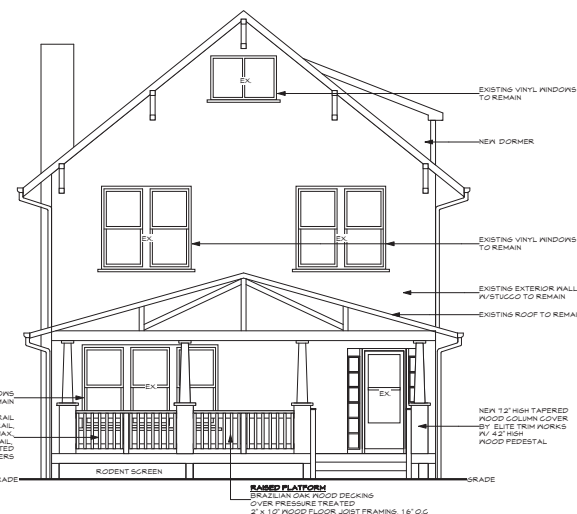
Drawn By: AILK LOML

Scale: 1/4" = 1'-0"

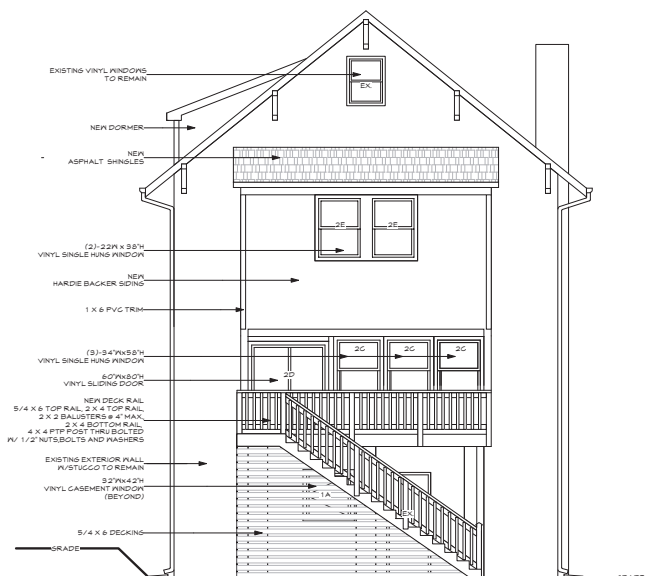
A005
Ex Elevations



14 Proposed Right Elevation
Scale: 1/4" = 1'-0"



13 Proposed Front Elevation
Scale: 1/4" = 1'-0"



15 Proposed Rear Elevation
Scale: 1/4" = 1'-0"



16 Proposed Left Elevation
Scale: 1/4" = 1'-0"

Description	Date
-------------	------


Home Remodel
20 Philadelphia Avenue
Takoma Park, MD. 20912

Date:	1/29/21
Drawn By:	ANK LONG
Scale:	1/4" = 1'-0"
Sheet Number:	

A006
Prop Elevations

20 Philadelphia Ave Takoma Park, MD.

WINDOW AND DOOR SCHEDULE

ITEM#	LOCATION	QUANTITY	TYPE	SIZE	MATERIAL
1A	BASEMENT	2	CASEMENT	32W X 42H	VINYL
2A	1 ST FLOOR	1	DOUBLE HUNG	75W X 60H	ALUM CLAD 
2B	1 ST FLOOR	2	SINGLE HUNG	36W X 58H	VINYL
2C	1 ST FLOOR	2	SINGLE HUNG	34W X 58H	VINYL
2D	1 ST FLOOR	1	SLIDING DOOR	60W X 80H	VINYL
2E	2 ND FLOOR	2	SINGLE HUNG	22W X 38H	VINYL

MATERIALS LIST

EXTERIOR- STUCCO PAINTED WHITE

NEW DORMER AND REAR ADDITION- HARDIBACKER CEMENT SIDING PAINTED WHITE.

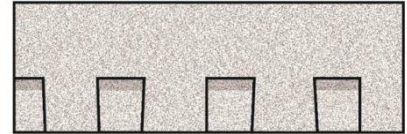
ROOF- ASPHALT SHINGLES

Technical Data Sheet

LANDMARK™ Premium Shingles
LANDMARK Pro/Architect™ 80 Shingles (NW Region only)
LANDMARK™ Pro Shingles
LANDMARK™ Shingles

PRODUCT INFORMATION

Landmark™ shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark Premium (and Algae Resistant-AR), Landmark Pro (and AR) and Landmark (and AR) are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark is produced with the unique NailTrak™ nailing feature. **Please see the installation instruction section below for important information regarding NailTrak™.**



In the Northwest (NW) Region Landmark Pro (AR) is double-branded as Landmark Pro/Architect 80 (AR).

Landmark algae-resistant (AR) shingles have the additional attribute of resisting the growth of algae especially in damp regions. AR shingles are not available in all regions

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard™ Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark series shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

Applicable Standards

ASTM D3018 Type I	ICC Evaluation Report ESR-1389
ASTM D3462	ICC Evaluation Report ESR-3537
ASTM E108 Class A Fire Resistance	CSA Standard A123.5 (Regional)
ASTM D3161 Class F Wind Resistance	Miami-Dade Product Control Approved (Regional)
ASTM D7158 Class H Wind Resistance	Florida Product Approval # FL5444 (Regional)
UL 790 Class A Fire Resistance	TDI Windstorm Resistance (Regional)

Technical Data:

	Landmark (and AR)	Landmark Pro* (and AR)	Landmark Premium (and AR)
Weight/Square (approx.)	229 / 240 lb**	250 / 270 lb**	300 lb
Dimensions (overall)	13 1/4" x 38 3/4"	13 1/4" x 38 3/4"	13 1/4" x 38 3/4"
Shingles/Square (approx.)	65	66	66
Weather Exposure	5 5/8"	5 5/8"	5 5/8"

*Includes "Landmark Pro AR/Architect 80"

**Dependent on manufacturing location

INSTALLATION

The following is a general summary of the installation methods. Detailed installation instructions are supplied on each bundle of Landmark shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Roof Deck Requirements: Apply shingles to minimum 3/8" thick plywood, minimum 7/16" thick non-veneer (e.g. OSB), or minimum 1" thick (nominal) wood decks. The plywood or non-veneer decks must comply with the specifications of APA-The Engineered Wood Association.

Ventilation: Provisions for ventilation should meet or exceed current HUD Standards. To ensure adequate balance ventilation, use a combination of continuous ridge ventilation (using CertainTeed Ridge Vent products, or a comparable product with an external baffle) combined with soffit venting.

Valleys: Valley liner must be applied before shingles. The Closed-Cut valley application method is recommended, using CertainTeed WinterGuard Waterproofing Shingle Underlayment or its equivalent to line the valley prior to being fully covered by the shingles.

Underlayment:

On slopes 4" per foot or greater, CertainTeed recommends one layer of DiamondDeck™ Synthetic Underlayment, or Roofers' Select™ High-Performance shingle underlayment, or shingle underlayment meeting ASTM D226, D4869 or ASTM D6757. Always ensure sufficient deck ventilation, and take particular care when DiamondDeck or other synthetic underlayment is installed. For UL fire rating, underlayment may be required. Corrosion-resistant drip edge is recommended and should be placed over the underlayment at the rake and beneath the underlayment at the eaves. Follow manufacturer's application instructions.

On low slopes (2" up to 4" per foot), one layer of CertainTeed's WinterGuard Waterproofing Shingle Underlayment (or equivalent meeting ASTM D1970) or two layers of 36" wide felt shingle underlayment (Roofers' Select High-Performance Underlayment or product meeting ASTM D226, D4869 or ASTM D6757) lapped 19" must be applied over the entire roof, ensure sufficient deck ventilation. When DiamondDeck or other synthetic underlayment is installed, weather-lap at least 20" and ensure sufficient deck ventilation. When WinterGuard is applied to the rake area, the drip edge may be installed under or over WinterGuard. At the eave, when WinterGuard does not overlap the gutter or fascia, the drip edge should be installed under WinterGuard. When WinterGuard overlaps the fascia or gutter, the drip edge or other metal must be installed over it. Follow manufacturer's application instructions.

Fastening (NailTrak™):

Low & Standard Slopes: On low and standard slopes, four nails are required per shingle. There are three nail lines on NailTrak shingles. Position nails vertically between the upper and lower nailing-guide lines. It is acceptable to nail between either the middle and lower lines, or between the upper and middle lines. Nails must be of sufficient length to penetrate into the deck 3/4" or through the thickness of the decking, whichever is less. They are to be located 1" and 12" in from each side of the shingle (see instructions on product wraps.) Nails are to be 11 or 12 gauge, corrosion-resistant roofing nails with 3/8" heads.

Steep Slopes: On slopes greater than 21" per foot, fasten each shingle with six nails and four spots of roofing cement placed under each shingle according to application instructions provided on the shingle package. Fasteners must penetrate the two-layer common bond area that is indicated by the middle and lower NailTrak lines, also illustrated on the shingle package.

Application: The recommended application method is the 'Five-Course, Diagonal Method' found on each bundle of shingles. In this method, shingle course offsets are 6" and 11". Instructions also may be obtained from CertainTeed. These shingles may be used for new construction or for reroofing over existing Metric-sized shingles.

Flashing: Use corrosion-resistant metal flashing.

Hips and Ridges: For capping hip and ridge apply CertainTeed Shadow Ridge™, Cedar Crest™ or Mountain Ridge™ shingles of a like color.

MAINTENANCE

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

Landmark Premium (and AR), Landmark Pro/Architect 80 AR, Landmark Pro (and AR), and Landmark (and AR) shingles carry a lifetime limited, transferable warranty to the consumer against manufacturing defects. In addition, Landmark Premium (and AR), Landmark Premium/Architect 80, Landmark Pro (and AR), and Landmark (and AR) carry 10-years of SureStart™ Protection. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

FOR MORE INFORMATION

Sales Support Group: 800-233-8990

Web site: www.certainteed.com

See us at our on-line specification writing tool, CertaSpec, at www.certainteed.com/certaspec.

CertainTeed Roofing

20 Moores Road
Malvern, PA 19355

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[HOME](#) | [WINDOWS](#) | [8" WALL PVC HINGED BASEMENT WINDOWS](#) | [31-7/8 X 39-7/8 FULL 8" JAMB PVC EGRESS CASEMENT WINDOWS](#)



31-7/8 X 39-7/8 F PVC EGRESS CASI WINDOWS (NVPC

\$169.00

SKU

NVPC3240W7

Brand

American Window Products LLC

Weight

41.00 LBS

Rating



Shipping

Calculated at checkout

* Hi Performance Glass

25



No

Quantity

1



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PRODUCT DESCRIPTION

31-7/8 x 39-7/8 Full 8" Jamb PVC



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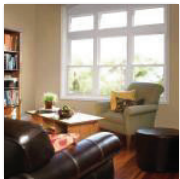



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Home / Doors & Windows / Windows / Double Hung Windows

Internet #203157331 Model #70 DH FIN Store SKU #532227






 Live Chat

 Feedback

Hover Image to Zoom

37.75 in. x 56.75 in. 70 Series Double Hung White Vinyl Window with Nailing Flange

 379

by American Craftsman 

 (275) 

Write A Review

Questions & Answers (125)

Rough
Opening
Width
(In.)

View Product

View Product

View Product

View Product

Specifications

Dimensions

Grid Width (in.)	None
Jamb Depth (in.)	3.25
Product Depth (in.)	4.5
Product Height (in.)	56.75
Product Width (in.)	37.75
Rough Opening Height (In.)	57.25
Rough Opening Width (In.)	38.25
Width (in.) x Height (in.)	37.75 x 56.75

Details

Exterior Color/ Finish	White
Exterior Color/Finish Family	White
Features	Argon Gas Insulated,Integral J-channel,Locking System,Security Lock,Tilt-In Cleaning
Frame Material	Vinyl
Frame Type	Nail Fin
Glass Type	Low-E Glass
Glazing Type	Double-Pane

Grid Pattern	No Grid
Grille Type	No Grille
Hardware Color/Finish Family	White
Included	Hardware,Screen
Insect screen included	Yes
Interior Color/Finish Family	White
Lock Type	Cam Action
Number of Grids	No Grid
Number of Locks	2
Product Weight (lb.)	35.9
Returnable	180-Day
Solar Heat Gain Coefficient	0.29
Storm window	No
Tilt-in cleaning	Yes
U-Factor	0.33
Window Type	Double Hung
Window Use Type	New Construction



Live Chat

Feedback

Warranty / Certifications

Energy Star Qualified	North-Central,South-Central,Southern
Manufacturer Warranty	Limited Lifetime Warranty

How can we improve our product information? Provide feedback.

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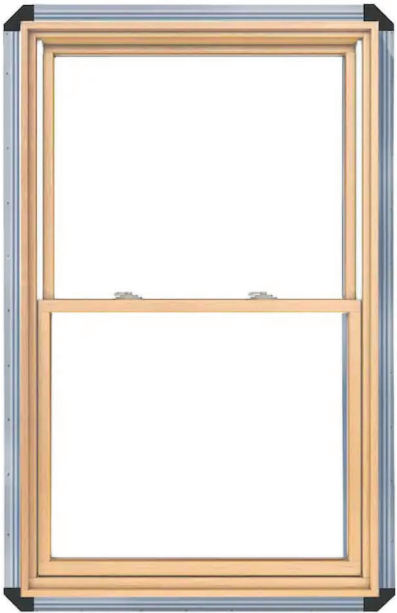
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Pella Lifestyle 35.5-in x 59.5-in x 2.69-in Jamb Wood New Construction Egress White Enduraclad Double Hung Window ENERGY STAR North/Central Zone

Item #160260 Model #748171605494

High quality beautifully crafted double hung with durable wood frame system designed for exceptional protection and lasting performance

Advanced Low-E Insulating Glass with argon delivers balanced insulation for cold winters and hot summers

Both upper and lower sashes open and tilt for easy cleaning from the interior of the home and improved ventilation

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Delivery

Delivery Estimate: Wed, Feb 17, 2021; Schedule Delivery Date in Checkout

Feedback

OVERVIEW

For 90 years, Pella has crafted products with one purpose in mind – to help you create beautiful, long-lasting spaces that make life’s favorite moments more comfortable and enjoyable. With Pella® Lifestyle Series , you get exceptional wood craftsmanship at a competitive price so you can enjoy the look of luxury for less.


- High quality beautifully crafted double hung with durable wood frame system designed for exceptional protection and lasting performance
- Advanced Low-E Insulating Glass with argon delivers balanced insulation for cold winters and hot summers
- Both upper and lower sashes open and tilt for easy cleaning from the interior of the home and improved ventilation
- Pella's durable wood frame features an EnduraGuard® wood protection formula that provides a strong protection from moisture, termites, stains and decay as well as a durable aluminum clad exterior finish to resist fading for years to come
- A cam action lock reengages the sashes and pulls them against the weatherstripping to ensure a superior weathertight seal
- Dual weatherstrip and compression jambliners create a tight seal around the window
- Additional shapes, colors and grille options are available as special order
- Ready to install and completely assembled for easy nail fin installation for replacement or new construction applications
- Pella® Lifestyle Series is backed with a limited lifetime warranty that is one of the best warranties in the business



CA Prop 65
PDF

CA Residents:  [Prop 65 Warning\(s\)](#) 

SPECIFICATIONS

Actual Height (Inches)	59.5
Actual Width (Inches)	35.5
Jamb Depth (Inches)	2.69
Interior Color/Finish	Unfinished pine
Exterior Color/Finish	White EnduraClad
Hardware Color/Finish	Champagne
Paintable	
Color/Finish Family	White
Frame Material	Wood

Mulling	N/A
Wood Jamb Extension	4-9/16-in
Number of Locks	2
Ventilation Latches	N/A
Tilt Mechanism	Compression
High Altitude Rated	×
Hurricane Approved	×
Miami Dade Approved	×
Sound Transmission Control (STC) Rated	31 

Feedback

Grid Type	N/A
Grid Width	N/A
Grid Profile	N/A
Grid Pattern	N/A
Argon Gas Insulated	✓
Glass Strength	Annealed
Obscure Glass	✗
Frame Profile	Flat
Screen Included	None
Screen Type	N/A
Screen Frame Type	N/A
Balance System	Block and tackle
Tilting	✓
Warranty	20-year
Lowe's Exclusive	✓
Project Type	New construction
Meets Egress Requirement	✓
Lock Type	Cam
Nail Fin	Applied
J Channel	N/A

Florida Product Approved	✓	Feedback
Design Pressure (DP) Rating	35	
Texas Department of Insurance Approved	✓	
U Value	0.3	
Meets CA Forced Entry Requirements	✓	
Solar Heat Gain Coefficient (SHGC)	0.3	
Grid Included	✗	
ENERGY STAR Certified Northern Zone	✗	
ENERGY STAR Certified North/Central Zone	✓	
ENERGY STAR Certified South/Central Zone	✗	
ENERGY STAR Certified Southern Zone	✗	
Rough Opening Height (Inches)	60.25	
Common Size (W x H)	36-in x 60-in	
UNSPSC	30171600	
CA Residents: Prop 65 Warning(s)	⚠ Prop 65 WARNING(S)	
Glass Insulation	Low-E	
Rough Opening Width (Inches)	36.25	
Series Name	32 Lifestyle	

REVIEWS



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THIS ITEM

Pella® Lifestyle Series Double-Hung

Aluminum EnduraClad® Exterior

Detailed Product Description

Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Overall frame depth is 5" (127 mm) for a wall depth of 3-11/16" (94 mm).
- Jamb liner shall be high-impact polyvinyl chloride backed by continuous hard-tempered aluminum springs.
- Optional factory applied jamb extensions are available.
- Optional factory installed fold-out installation fins with flexible fin corners.
- Optional factory-applied EnduraClad® exterior trim.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with aluminum, lap-jointed and sealed.
- Corners mortised and tenoned, glued and secured with metal fasteners.
- Sash thickness is 1-5/8" (41 mm).
- Sashes tilt for easy cleaning.

Weatherstripping

- Foam with 3 mm skin at head and bottom rail. Thermal-plastic elastomer bulb with slip-coating set into upper sash for tight contact at check rail.
- Secondary polyvinyl chloride leaf-type weatherstrip on bottom sash at sill.
- Jamb liner to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- High altitude glazing available.
- Silicone groove-glazed 11/16" [obscure] dual-seal insulating glass [[annealed] [tempered]] [[Advanced Low-E] [SunDefense™ Low-E] [AdvancedComfort] [NaturalSun Low-E] with argon]].

Exterior

- Exterior aluminum surfaces are finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
 - Color is [White] [Tan] [Putty] [Brown] [Poplar White] [Portobello] [Hartford Green] [Morning Sky Gray] [Brick Red] [Black].

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [factory prefinished [White] [Linen] [Bright White] [stain₁]].

Hardware

- Galvanized block-and-tackle balances are connected to sash with a polyester cord and concealed within the frame.
- Factory installed self-aligning surface-mounted sash lock. Two sash locks on units with frame width 33-1/4" and greater.
- Optional Sash lift furnished for field installation. Two lifts on units with frame width 33-1/4" and greater.
- Finish is [baked enamel [Champagne] [White] [Brown] [Matte Black]] [Oil-Rubbed Bronze] [Satin Nickel].
- Champagne locks are standard on unfinished units; White locks are standard on factory prefinished white units.

Optional Products

Grilles

- Simulated-Divided-Light [with optional spacer]
 - 7/8" Grilles permanently bonded to the interior and exterior of glass.
 - Patterns are [Traditional] [Prairie] [Cross] [Top Row] [Custom – Equally Divided].
 - Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₁]].
 - Exterior grilles to match the exterior cladding color.
 - Available only on units glazed with Low-E insulated glass with argon.

– or –
- Grilles-Between-the-Glass₂
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - Patterns are [Traditional] [9-Lite Prairie] [Top Row] [Custom – Equally Divided].
 - Interior color is [White] [Ivory] [Tan₃] [Brickstone] [Black] [Putty₃] [Brown₃] [Harvest] [Cordovan].
 - Exterior color [matched to the exterior cladding color] [White]₄.

– or –
- Roomside Removable Grilles
 - 3/4" [Traditional] [Custom – Equally Divided] removable solid pine wood bars steel-pinned at joints and fitted to sash with steel clips and tacks.
 - Interior [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₁]].
 - Exterior [unfinished, ready for site finishing] [factory primed] [factory prefinished, finish color matched to exterior cladding] [White]₄.

Screens

- InView™ screens
 - Full-size Vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Screen frame finish is baked enamel, color to match window cladding.

– or –
- Vivid View® screens
 - Full-size PVDF 21/17 mesh, minimum 78 percent light transmissive screen, set in aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Screen frame finish is baked enamel, color to match window cladding.


Hardware


- Optional factory applied limited opening device available for vent units in steel, nominal 3-3/4" opening.
- Optional window opening control device available for field installation. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

Sensors

- Optional factory installed integrated security sensors available in vent units.

- (1) Contact your local Pella sales representative for current designs and color options.
- (2) Available on units glazed with Low-E insulated glass with argon, and obscure insulated glass.
- (3) Tan, brown and putty Interior GBG colors are available only with matching interior and exterior colors.
- (4) Appearance of exterior grille color will vary depending on Low-E coating on glass.





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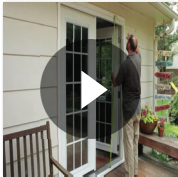


| 0 items



Home / Doors & Windows / Exterior Doors / Patio Doors

Internet #205451446 Model #STPFL_PR_60_4IRH





GLASS PRIVACY RATING (GPR)

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60 in. x 80 in. Retrofit Prehung Right-Hand Inswing White Primed Steel Patio Door

 600

by Steves & Sons

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36

Specifications

Dimensions

Actual Door Height (in.)	79.5
Actual Door Thickness (in.)	1.75
Actual Door Width (in.)	59
Door Height (in.)	80
Door Thickness (in.)	1.75
Door Width (in.)	60
Nominal Door Height (in.)	80
Nominal Door Height (in.)	80
Nominal Door Thickness (in.)	2
Nominal Door Thickness (in.)	1.75
Nominal Door Width (in.)	60
Nominal Door Width (in.)	60
Rough Opening Height (In.)	80
Rough Opening Width (In.)	60



Details

Bore Type	Double Bore
Color Family	White
Color/Finish	White Primed
Core Type	Solid Core
Door Configuration	Double Door
Door Glass Insulation	Low-E
Door Handing	Right-Hand/Inswing
Door Type	French Patio Door

Features	Lockset Bore (Double Bore),Weatherstripping
Finish Type	Primed
Frame Material	Wood
Hinge Type	Standard
Included	No Additional Items Included
Material	Galvanized Steel
Number of Lites	1 Lite
Product Weight (lb.)	250
Returnable	180-Day



Live Chat


Warranty / Certifications

Energy Star Qualified	North-Central,Northern,South-Central,Southern
Manufacturer Warranty	10 Year Warranty


Feedback


How can we improve our product information? Provide feedback.

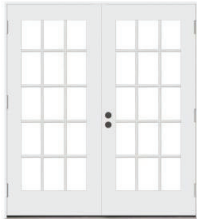
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Steves & Sons 60 in. x 80 in. Retrofit Prehung Right-Hand Inswing White Primed Steel Patio Door-STPFL_PR_60_4IRH

★★★★★ (23)

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★★★★★ (796)

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★★★★★ (119)

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★★★★ (0)

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★★★★★ (99)

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★★★★★ (0)

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