MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	37 West Irving Street, Chevy Chase	**Meeting Date:**	1/27/2021
Resource:	Contributing Resource **Chevy Chase Village Historic District**	**Report Date:**	1/20/2021
		Public Notice:	1/13/2021
Applicant:	Roslyn Mazer and David Holzworth (Jonathan Kuhn, Agent)	**Tax Credit:**	N/A
Review:	HAWP	**Staff:**	Michael Kyne
Permit Number:	937249		
PROPOSAL:	Construction of a new addition		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1916-1927

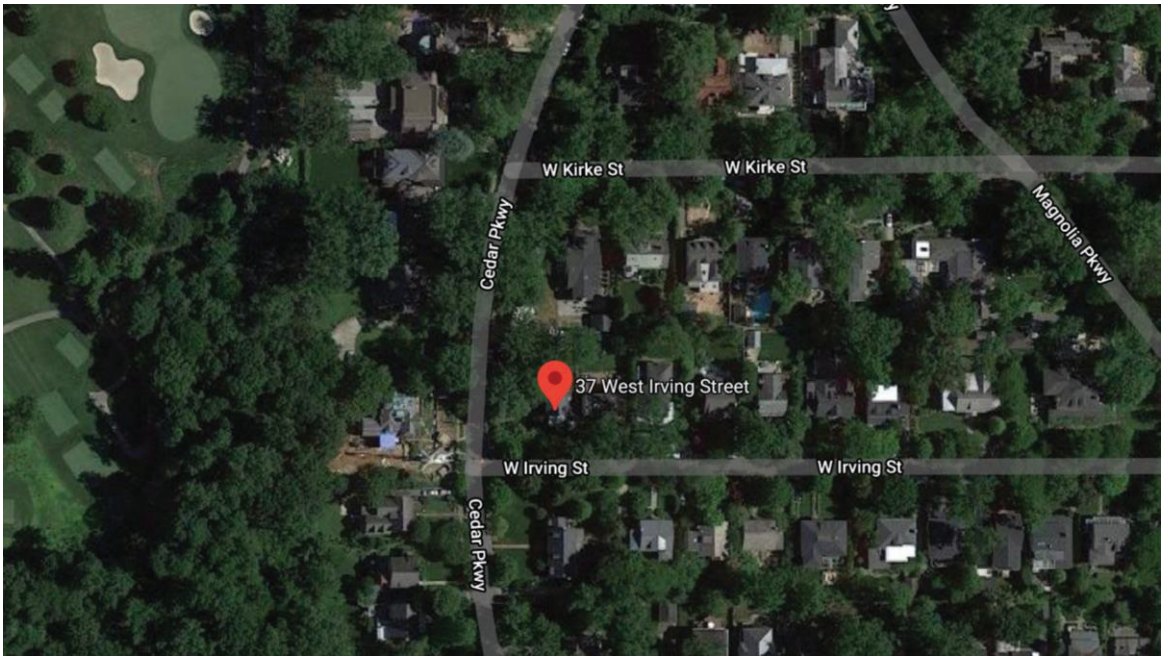


Fig. 1: Subject property.

BACKGROUND:

The applicants appeared before the Commission for a preliminary consultation at the July 29, 2020 HPC meeting.[1]

PROPOSAL:

The applicants propose a building addition at the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A*), the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines),* and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

(a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

(4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

[1] Link to July 29, 2020 preliminary consultation staff report: https://montgomeryplanning.org/wp-content/uploads/2020/07/II.A-37-West-Irving-Street-Chevy-Chase.pdf
Link to July 29, 2020 audio/video transcript: http://mncppc.granicus.com/MediaPlayer.php?publish_id=fc70ce7d-d290-11ea-b5c3-0050569183fa

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Chevy Chase Village Historic District Guidelines

The *Guidelines* state that the following five basic policies should be adhered to:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.

2. Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

3. Maintaining the variety of architectural styles and the tradition of architectural excellence.

4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The G*uidelines* break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

"Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"Strict Scrutiny" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The subject property is located on a corner lot, with West Irving Street to the south and Cedar Parkway to the west. The house is addressed on West Irving Street, although its west elevation is experienced as the traditional front from Cedar Parkway. There is an existing non-historic addition at the north side of the house and an existing non-historic open-air deck at the west side of the addition. The addition and deck are highly visible from the public right-of-way of Cedar Parkway.

The applicants propose to construct a one-story sleeping porch addition at the west side of the existing non-historic addition within the footprint of the existing non-historic deck.

The *Guidelines* state that "major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources."

Staff finds that, because the west elevation is experienced as the front of the house from the public right-of-way, it is within the spirit of the *Guidelines* to review the proposed addition as a front/side addition; however, staff does not find that the proposed addition will substantially alter or obscure the perceived front of the house. Furthermore, staff finds that the lot size and building restriction lines to the north and east (see the applicants' narrative) make it infeasible to construct the proposed addition elsewhere on the property. Accordingly, staff finds that the proposed addition should be reviewed with moderate scrutiny.

The *Guidelines* define moderate scrutiny as:

> …a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

As noted on Page Two, the applicants appeared before the Commission for a preliminary consultation at the July 29, 2020 HPC meeting. Initially, the applicants proposed a non-traditional building form, with the northwest wall of the proposed addition following the angle of the existing deck. However, prior to the preliminary consultation, the applicants provided revised architectural drawings (dated 7/21/2020), removing the non-traditional angled wall from the proposal.

At the July 29, 2020 preliminary consultation, the Commission provided the following comments/guidance:

- The Commission supported the proposed building addition footprint and location, due to site restrictions.
- The Commission indicated support for the proposed revisions (architectural set dated 7/21/2020), finding that the removal of the angled northwest wall results in an addition that is compatible with the subject property and surrounding streetscape.

- The Commission requested additional information regarding the proposed materials.
- A minority (3 of 8) found the flat roof incompatible with the subject property and surrounding streetscape. One suggested alternative was a cross gable roof.

Staff finds that the applicants have responded to the Commission's comments and recommendations. The current proposal is generally consistent with the previously submitted architectural drawings dated 7/21/2020. The main difference is that, in the current submission, an awning has been added behind the proposed projection at the north side of the house. The proposed awning is intended to cover two new HVAC units.

The proposed materials include stucco siding to match the first floor of the historic house and existing north side addition, membrane roofing (with metal coping on the parapet), and aluminum-clad, SDL, fixed and casement windows.

Staff supports the applicants' proposal, finding it to be consistent with *Guidelines*, as outlined above. Additionally, staff finds that the proposal will not remove or alter character-defining features of the subject property or surrounding streetscape, in accordance with *Standards #2* and *#9*. In accordance with *Standard #10*, the proposed alterations can be removed in the future without impairing the essential form and integrity of the historic property and its environment.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9,* and *#10*, and the *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9,* and *#10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

FOR STAFF ONLY:
HAWP# 937249
DATE ASSIGNED_____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Roslyn Mazer and David Holzworth E-mail: homeruns@aol.com

Address: 37 W. Irving Street City: Chevy Chase Zip:20815

Daytime Phone: 202-362-3638 Tax Account No.: 00455281

AGENT/CONTACT (if applicable):

Name: Jonathan Kuhn E-mail: jonathan@kuhnarchitect.com

Address: 1 P Street NW City: Washington, DC Zip:20001

Daytime Phone: 202-494-5061 Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property_____

Is the Property Located within an Historic District? _X_Yes/District Name Chevy Chase Village
__No/Individual Site Name_____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 37 Street: West Irving

Town/City: Chevy Chase Village Nearest Cross Street: Cedar Parkway Lot: 7 Block: 32

Subdivision: Chevy Chase Section II Parcel: 07-009-00455281

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- ☐ New Construction
- ☒ Addition
- ☐ Demolition
- ☐ Grading/Excavation
- ☐ Deck/Porch Fence
- ☐ Hardscape/Landscape
- ☐ Roof
- ☐ Shed/Garage/Accessory Structure
- ☐ Solar
- ☐ Tree removal/planting
- ☐ Window/Door
- ☐ Other:_____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Emily Hirst
Signature of owner or authorized agent

23.December.2020
Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The home sits on a corner lot at the intersection of West Irving Street and Cedar Parkway in the Chevy Chase Village District. The main structure, 2-story plus basement, is of the colonial revival type built in the first quarter of the 20th century. An addition was placed on the north, considered to be the rear of the house, that included a family room with bathroom and storage at the first floor and guest bedroom above. An open-air deck is located along the addition and faces Cedar Parkway with some exposure to Lot 8 to the north. The lot is heavily landscaped including mature tulip poplars to the Cedar Parkway face of the house and in proximity to the existing deck.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Please see attached that includes additional notes of the existing and a detailed description of the proposed including a justification for the work.

37 West Irving Street is a corner lot bounded by West Irving Street on the front (south side) and Cedar Parkway on the west side. The house was built in 1920 before the Building Restriction Line (BRL) referenced in Section 8-16(c) of the Chevy Chase Building Regulations was established. As a result, the BRL actually runs through a segment of the original house from the edge of front door steps to the northwest corner of the original house. The western wall of the original house is 50 feet from Cedar Parkway at its farthest point at the southeast corner of the main structure. Because Cedar Parkway curves toward the east as it goes north, the distance between Cedar Parkway and the house decreases by approximately 2 feet at the northwest corner of the house. At the point where the BRL exits Lot 7 to Lot 8, it has moved east by approximately 11 feet. The trajectory of the BRL goes through the house from the front door steps and through the existing at-grade level deck.

The deck has three points of entry from the house: one opens to the deck from the original house through a pair of French doors in the dining room; one opens to the deck from a breakfast alcove; and the third opens through a set of sliding doors from the family room. The last two points of entry are from additions to the house.

The proposed sleeping porch addition would be a first floor extension of an existing condition. It would extend from the western face of the house on the line of the original structure -- within the footprint of the existing at-grade deck -- incorporating or replacing the piers built for the deck. It may be necessary to add additional piers, but they would conform to the geometry of the extended line of the original house and the line of the deck for the portion of the addition that ties into the northern wall of the existing addition. The angled northern wall of the sleeping porch is the only wall on the perimeter of the existing deck. The attached photos show the existing condition from several perspectives, including Cedar Parkway views, which are characterized by dense shrubbery and tall trees.

The proposed addition is designed to (1) fall within the footprint of the existing at-grade deck with the exception of the angled northern wall, (2) conform the materials and geometry of the windows, walls and roof line to the design elements and materials of the original house and previous additions, and (3) limit to the greatest extent possible any disturbance of the root structure of the trees nearest to the deck footprint. This is especially important for the old growth tulip poplar, which accounts for the angled north wall of the proposed addition. This approach will ensure both continuity with the existing structure and compatibility with the streetscape.

JUSTIFICATION FOR THE ADDITION:

Accommodation for Aging in Place and Senior Living:

We purchased this lovely property in 2017 to live in during our retirement years (we are both retired). One of the most attractive features of the home is a ground level room (now called the Family Room) with en suite bath that is adjacent to the deck on the west side of the property. Currently, the deck may be accessed from the Family Room via a set of sliding doors, from the dining room via a set of French doors, and from a kitchen nook area via a single door (See Photo #). As we age, we anticipate that one or both of us will eventually need to live on the ground level of the house and will not be able to navigate stairs. Now that we have lived in the house for 2+ years, we appreciate more fully that the Family Room can be usefully converted to a master bedroom with two key modifications: (1) enlarging the current small inaccessible en suite bath (we are proceeding that that project separately), and (2) incorporating the deck into a 4-season room that can be accessed from at least two of the current access points described above.

If we are able to build the addition, the 4-season room would augment and enhance the existing Family Room space. Once built, it would be used now as supplementary space for small casual gatherings, dining, reading, and as a sleeping porch. Once we convert the Family Room into a first floor master bedroom, the room would be used to facilitate ground-level family visits, care giver visits, and to store items needed to support the bedroom.

Infeasibility of Alternate Locations for the Proposed Addition:

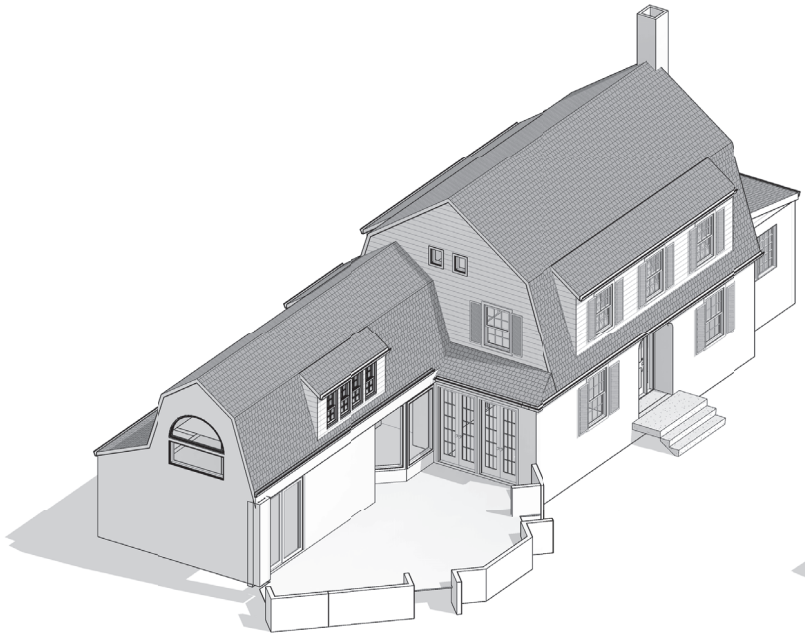
As seen in the attached photos, it is not feasible to build an addition adjacent to the Family Room and en suite bathroom in any other location. The following restrictions pertain to the east and north of the current house footprint:

To the East: Section 8-16(g) of the Montgomery County Building Code, *Building and Dwellings Regulations*, provides that "no part of any building or structure shall be erected or maintained within seven (7) feet of the side or rear lots, nor within ten (10) feet or the nearest adjacent dwelling . . ." As shown in Photo # XX, the eastern wall of the house stands a few inches over 7 feet from the lot line, making it infeasible to build an addition there.

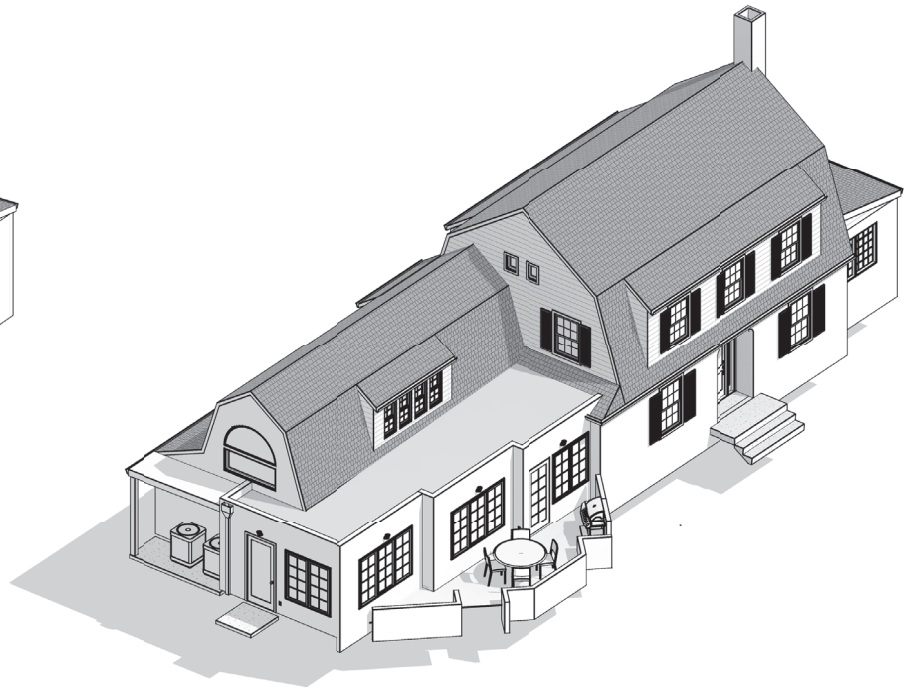
To the North: As shown in Photo # XX and the boundary survey, the northern wall stands 26.22 from the lot line, making it infeasible to build an addition there. Section 16 (h) – "Rear setback for main building. No part of any main building shall be erected within twenty (20) feet of the rear lot line of the property upon which it is located."] Furthermore, space between the house and the fence is occupied by another very large tulip poplar. As noted above, our intent is to minimize disturbance of old growth trees.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	**Owner's Agent's** mailing address
37 W Irving Street Chevy Chase Village, MD 20815	
Adjacent and confronting Property Owners mailing addresses	
Sasan Jalali/Shadi Pezeshki 35 W Irving Street Chevy Chase, Village, MD 20815	David O'Neil/Laura M Billings 5904 Cedar Parkway Chevy Chase Village, MD 20815
Martin J. + Lori Weinstein 5815 Cedar Parkway Chevy Chase Village, MD 20815	John D. + Ellen F. Talbott 5906 Cedar Parkway Chevy Chase Village, MD 20815
Tom + Melissa Dann 34 West Kirke Street Chevy Chase Village, MD 20815	



EXISTING RENDERING



PROPOSED RENDERING

Mazer Holzworth Residence

37 West Irving Street, Chevy Chase,
Montgomery County, MD 20815

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number **15238**, exp. date of **10.24.21**.

JONATHAN KUHN ARCHITECT
ONE P STREET NW WASHINGTON DC 20001
T: 202.494.5061
JONATHAN@KUHNARCHITECT.COM
WWW.KUHNARCHITECT.COM

JKA

Mazer Holzworth Residence
37 West Irving Street, Chevy Chase,
Montgomery County, MD 20815

12.October. 2020 Issued for Permit

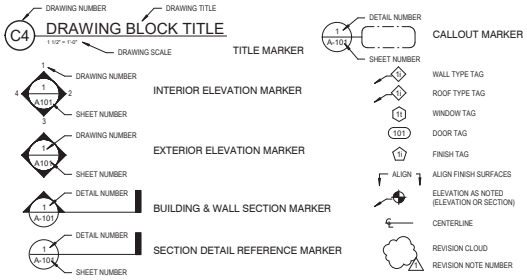
LIST OF ABBREVATIONS

<	Angle	MFR	Manufacturer('S)
@	At	MIN	Minimum
#	Number	MISC	Miscellaneous
	Centerline	MO	Masonry Opening
f	Diameter	MTL	Metal
1X	One-inch nominal thickness	MTD	Mounted
2X	Two-inch nominal thickness	MTG	Mounting
ABV	Above	MW	Microwave Oven
AC	Air Conditioning	N	North
ACOUST	Acoustical	NIC	Not in Contract
ACT	Acoustical Ceiling Tile	NO	Number
ADJ	Adjacent, Adjustable	NTS	Not to Scale
AFF	Above Finish Floor	OA	Overall
AHU	Air Handler Unit	OD	Outside Diameter
ALT	Alternate	OC	On Center
ALUM	Aluminum	OFCI	Owner Furnished, Contractor Installed
ANOD	Anodized	OFF	Office
APPROX	Approximate	OH	Opposite Hand
BD	Board (or Bead, if applicable)	OPNG	Opening
BTWN	Between	OPP	Opposite
BLDG	Building	PART	Partition
BLKG	Blocking	PERF	Perforated
BLT	Bolt	PL	Plate/Property Line
BM	Beam	PLAM	Plastic Laminate
BOT	Bottom	PLEX	Plexiglass
BRG	Bearing	PLYWD	Plywood
BSMT	Basement	POLY	Polyethylene
CAB	Cabinet	PR	Pair
CER	Ceramic	PSF	Pound Per Square Foot
CH	Ceiling Height	PSI	Pound Per Square Inch
CJ	Control Joint	PT	Pressure Treated
CLG	Ceiling	PTD	Painted
CLAD	Cladding	PVC	Polyvinyl Chloride
CLO	Closet	QT	Quarry Tile
CLR	Clear	QTY	Quantity
CMU	Concrete Masonry Unit	R	Riser(s)
COL	Column	RO	Rough Opening
CONC	Concrete	R=	Radius
CONST	Construction	RCP	Reflected Ceiling Plan
CONT	Continuous	RECPT	Receptacle
CORR	Corrugated	REF	Refrigerator
CPT	Carpet	REG	Register
CS	Cast Stone	REINF	Reinforcing
CSK	Countersink	REQD	Required
CSMT	Casement	RESIL	Resilient
CT	Ceramic Tile	REV	Revision
CTR	Center/Counter	RL	Rain Leader
CTRD	Centered	RM	Room
CW	Cold Water	RTU	Roof Top Unit
DBL	Double	S	South
DEMO	Demolish, Demolition	S4S	Surface Four Sides
DET	Detail	SC	Solid Core
DF	Drinking Fountain	SCHED	Schedule(d)
DH	Double Hung	SECT	Section
DIA	Diameter	SHT	Sheet
DIM	Dimension	SIM	Similar
DN	Down	SF	Square Feet
DR	Door	SPEC	Specification
DS	Downspout	SQ	Square
DW	Dishwasher	SS	Stainless Steel
DWG	Drawing	STD	Standard
E	East	STL	Steel
EA	Each	STOR	Storage
EJ	Expansion Joint	STRUCT	Structure
EL	Elevation	SURF	Surface
ELEC	Electric(al)	SUSP	Suspend
ELEV	Elevator	T	Tread(s)
EMER	Emergency	T&G	Tongue and Groove
EQ	Equal	TBD	To Be Determined
EQUIP	Equipment	TEL	Telephone
EWC	Electric Water Cooler	TEMP	Temperature
EXIST	Existing	THK	Thick
EXH	Exhaust	TOIL	Toilet
EXP	Expansion, Exposed	TO	Top of (_____)
EXT	Exterior	TYP	Typical
FA	Fire Alarm	UL	Underwriters Laboratories, Inc.
FBO	Furnished by Owner	UNFIN	Unfinished
FD	Floor Drain	UNO	Unless Noted Otherwise
FND	Foundation	U/S	Underside
FEC	Fire Extinguisher Cabinet	UTIL	Utility
FF	Finish Floor	VB	Vapor Barrier
FGL	Fiberglass	VCT	Vinyl Composition Tile
FIN	Finish	VENT	Ventilate(or)
FLASH	Flashing	VERT	Vertical
FL	Floor	VEST	Vestibule
FLUOR	Fluorescent	VIF	Verify in Field
FOM	Face of Masonry	VNR	Veneer
FOS	Face of Structure (or Face of Stud, where applicable)	W	West
		WC	Water Closet
FRP	Fiberglass reinforced plastic	WD	Wood
FRT	Fire Retardant Treated	WF	Wide Flange
FRMG	Framing	WH	Water Heater
FT	Feet	WP	Waterproofing
FTG	Footing	W/	With
FURN	Furniture/Furnish	W/O	Without
FURR	Furring	WT	Weight
FVC	Fire Valve Cabinet	WWM	Welded Mire Mesh
GA	Gauge		
GALV	Galvanized		
GC	General Contractor		
GFI	Ground Fault Interrupter		
GL	Glass		
GWB	Gypsum Wall Board		
GYP	Gypsum		
HB	Hose Bib		
HC	Hollow Core/Handicappd		
HD	Head		
HDWE	Hardware		
HM	Hollow Metal		
HORIZ	Horizontal		
HT	Height		
HTR	Heater		
HVAC	Heating/Ventilation/Air-Conditioning		
HW	Hot Water		
IG	Isolated Ground		
IN	Inch		
INCAN	Incandescent		
INCL	Include(d)		
INSUL	Insulation		
INT	Interior		
JAN	Janitor		
JT	Joint		
KIT	Kitchen		
LAV	Lavatory		
LEV	Level		
MAS	Masonry		
MAX	Maximum		
MDF	Medium Density Fiberboard		
MDO	Medium Density Overlay		
MECH	Mechanical		
MEZZ	Mezzanine		

GENERAL NOTES

1. OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK. IN THE CASE OF CONFLICTS BETWEEN DRAWINGS, OR NOTES AND DRAWINGS, IT SHALL BE ASSUMED THE STRICTEST CONDITION OR REQUIREMENT HAS BEEN INCLUDED IN THE COST AND SCOPE OF THE WORK.
2. ISSUE COMPLETE SETS OF THE CONTRACT DOCUMENTS TO EACH OF THE SUBCONTRACTORS FOR COORDINATION OF THEIR WORK WITH OTHER TRADES AND DESCRIPTION OF SCOPE.
3. APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTIONS OVER THE PROJECT. PROVIDE COPIES OF ALL CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING PROTECTION FOR ALL NEW AND EXISTING WORK IN PLACE WHEN SUBJECT TO POTENTIAL DAMAGE BY WORK OF OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL ABOVE CEILING WORK AND SHALL DURING LAYOUT, SUBMIT COORDINATION SHOP DRAWINGS OF ALL CEILING HEIGHT, FIXTURES, CONDUIT, PIPING, SPRINKLER LINES AND DUCT WORK IDENTIFYING ANY POTENTIAL CONFLICTS. CONTRACTOR SHALL REROUTE ITEMS AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR RELOCATIONS OF ITEMS, TO AVOID CONFLICTS WHILE MAINTAINING THE DESIGN INTENT.
5. GC SHALL DEFINE SCOPE, SCHEDULE AND COST IMPLICATIONS WITH OWNER REGARDING ANY WORK BEING DONE BY OUTSIDE CONTRACTORS AND SUBCONTRACTORS.
6. COORDINATE SCHEDULING PROVISIONS FOR INSTALLATION, LOCATIONS AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY OWNER OR BY OTHERS. FACILITATE WORK WITH ALL TRADES ON THE PROJECT NOT UNDER CONTRACT TO THE CONTRACTOR (I.E.,TELEPHONE, COMPUTER INSTALLERS, ETC.).
7. VERIFY DIMENSIONS IN THE FIELD. TO THE EXTENT THAT DIMENSIONS CANNOT BE VERIFIED OR THE VERIFICATION OF DIMENSIONS WOULD CAUSE A DELAY IN THE PROGRESS OF THE WORK, CONTRACTOR SHALL GUARANTEE DIMENSIONS TO HIS SUBCONTRACTOR FOR COORDINATION. DO NOT SCALE DRAWINGS.
8. SUBMIT FOR CONSIDERATION SAMPLES AND PRODUCT LITERATURE AND OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS.
9. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.
10. EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS.
11. INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL COST TO OWNER.
12. PROVIDE TO OWNER ANY MANUFACTURER/ PRODUCT LITERATURE, MAINTENANCE REQUIREMENTS AND/ OR SCHEDULES.

SYMBOLS LEGEND



VICINITY MAP

PROJECT INFORMATION

Address: 37 West Irving Street, Chevy Chase, Montgomery County, MD 20815

Neighborhood: Chevy Chase Village
Uses : Residential Zoning Classification : R-60
Parcel : 07-009-00455281
Account No.: 00455281
Lot : 7 Block : 32 Subdivision : Chevy Chase Section 2
District: 07 Jurisdiction : Montgomery County, Maryland

PROJECT TEAM

OWNER:

Roslyn and David Holzworth
37 West Irving Street, Chevy Chase,
Montgomery County, MD 20815

Contact: Roslyn Mazer 202.362.3638

STRUCTURAL ENGINEER:

BEL Engineering, LLC.,
4542 Beech Road,
Temple Hills, MD 20748

Contact: Wondwosen Ali 240.830.2555

ARCHITECT:

Jonathan Kuhn Architect
One P Street NW
Washington, DC 20001

Contact: Jonathan Kuhn 202.621.6654

PROJECT DESCRIPTION

ENCLOSED PART OF EXISTING DECK FOR A ONE-STORY SLEEPING PORCH. NEW ADDITION WILL NOT ENCROACH THE 25' BUILDING RESTRICTION LINE.

APPLICABLE CODES

2018 International Residential Code
MBRC Maryland Rehabilitation Building Code
2018 International Energy Conservation Code
2018 International Mechanical Code
2017 National Electrical Code
2015 Life Safety Code NFPA 70

DRAWING INDEX

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number **15238**, exp. date of **10.24.21**.

OFFICIAL STAMPS

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Mazer Holzworth Residence
37 West Irving Street, Chevy Chase,
Montgomery County, MD 20815

ISSUE RECORD
12.October. 2020
Issued for Permit

REVISION SCHEDULE

NO.	DATE
1	

SEAL

SHEET NAME
PROJECT INFO

SCALE
3/16" = 1'-0"

SHEET NO.
A.001

1 View from W Irving Street

2 Side Yard

3 View from Cedar Parkway

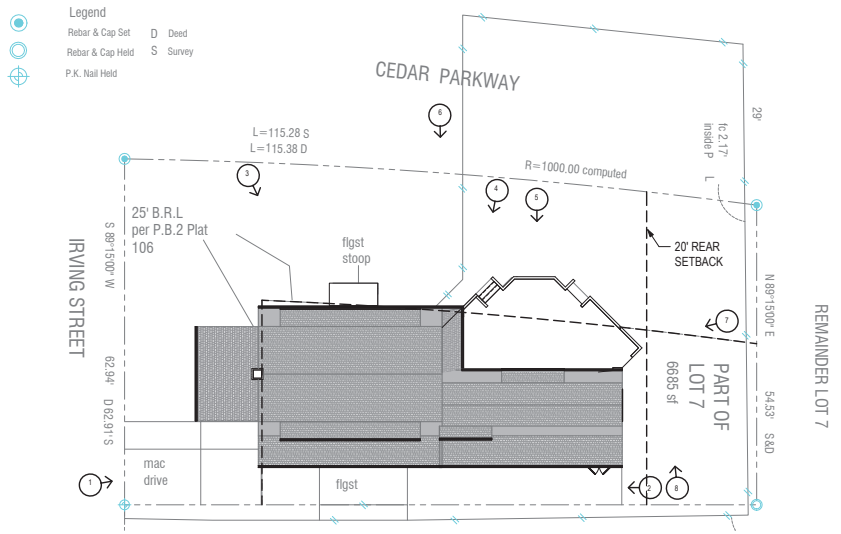
4 View from Cedar Parkway

5 View from Cedar Parkway

6 View from Cedar Parkway

7 View from Lot 8 showing existing deck

8 View of North side of the property



1 PHOTO KEY PLAN

OFFICIAL STAMPS

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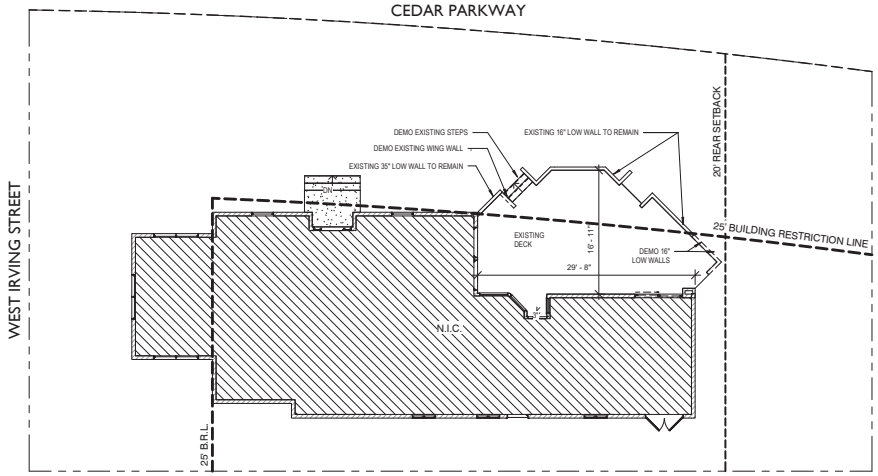
SEAL

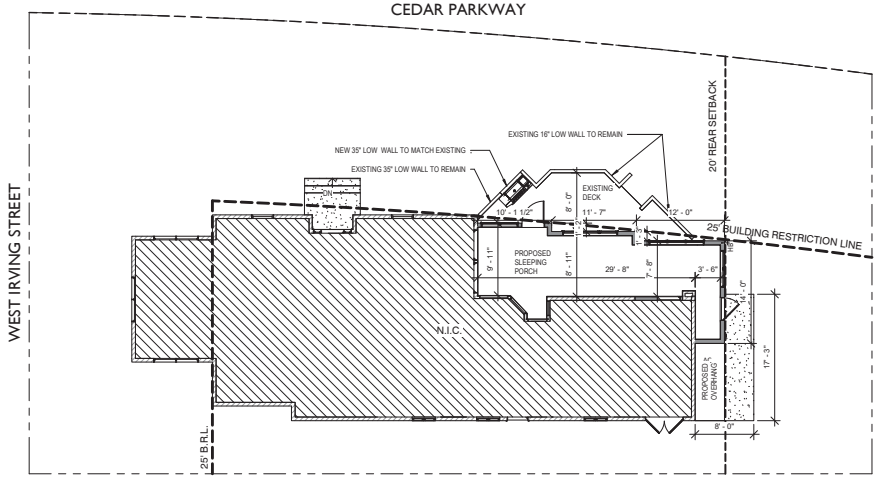
SHEET NAME
SITE PHOTOGRAPHS AND KEY PLAN

SCALE
3/32" = 1'-0"

SHEET NO.
A.002



1 EXISTING SITE PLAN
1/8" = 1'-0"



2 PROPOSED SITE PLAN
1/8" = 1'-0"

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NORTH

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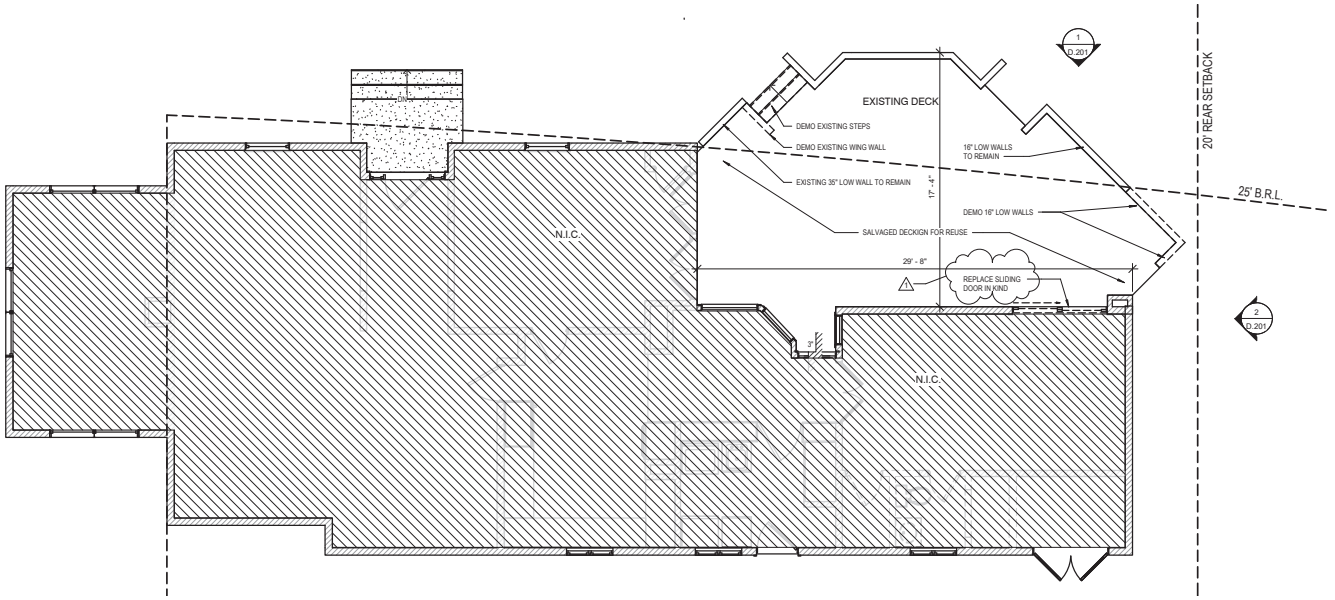
SEAL

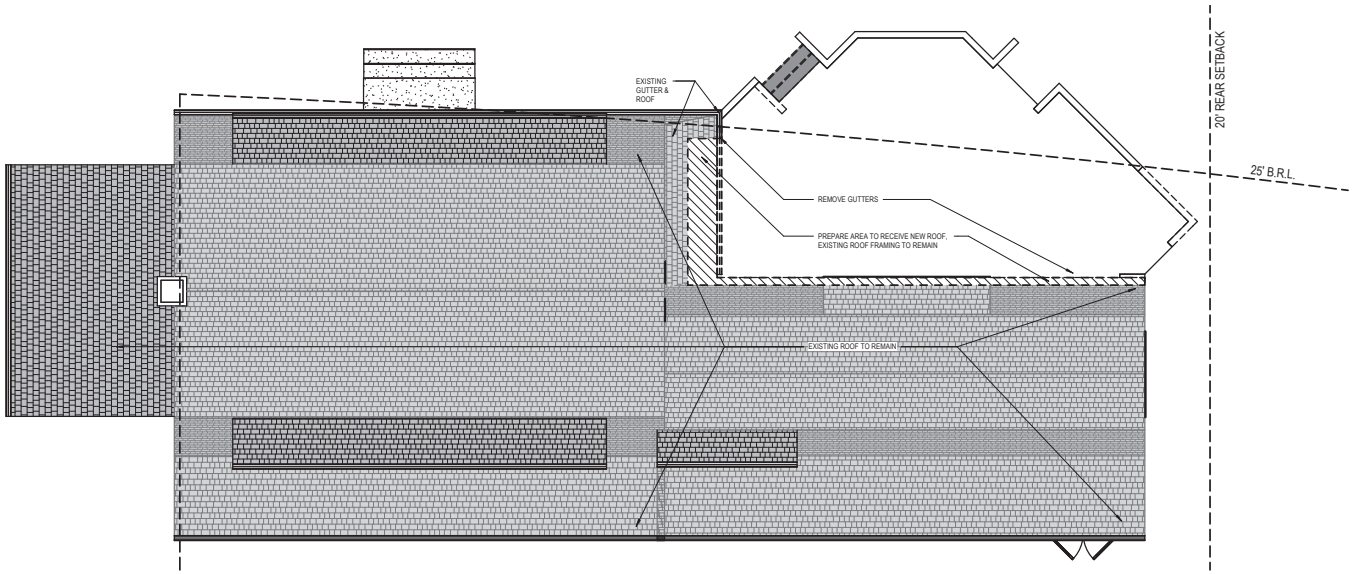
SHEET NAME
ARCHITECTURAL SITE PLANS

SCALE
1/8" = 1'-0"

SHEET NO.
D.100



1 EXISTING FIRST FLOOR



2 EXISTING ROOF PLAN

DEMOLITION NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REGULATIONS SET BY THE BUILDING DEPARTMENTS AND AGENCIES HAVING JURISDICTION.

2. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, WHAT IS INDICATED ON THE DRAWINGS. THE INTENT IS TO PROVIDE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK DEMONSTRATED IN THE CONTRACT DRAWINGS. COORDINATE DEMOLITION WITH THE PROPOSED LAYOUT, FURNISHINGS, FIXTURES AND MATERIALS INDICATED IN THE FOLLOWING DRAWINGS.

WALL KEY:

EXISTING WALLS TO BE DEMOLISHED

EXISTING WALLS TO REMAIN

NORTH

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NO.	DATE
1	12-11-20

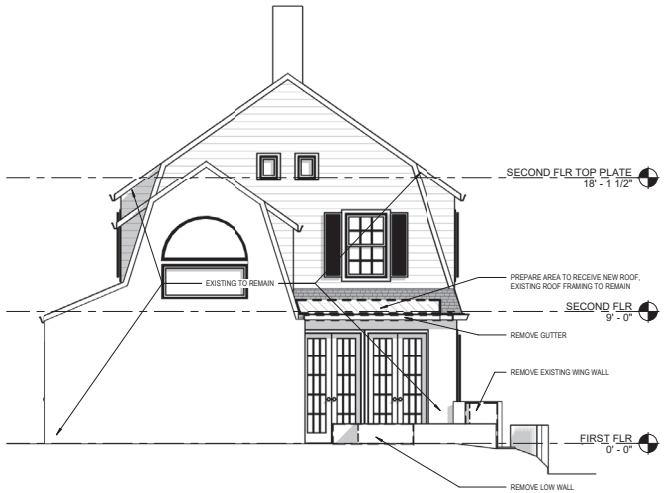
SEAL

SHEET NAME
EXISTING FIRST FLOOR & ROOF PLANS

SCALE
As indicated

SHEET NO.
D.101

1 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"

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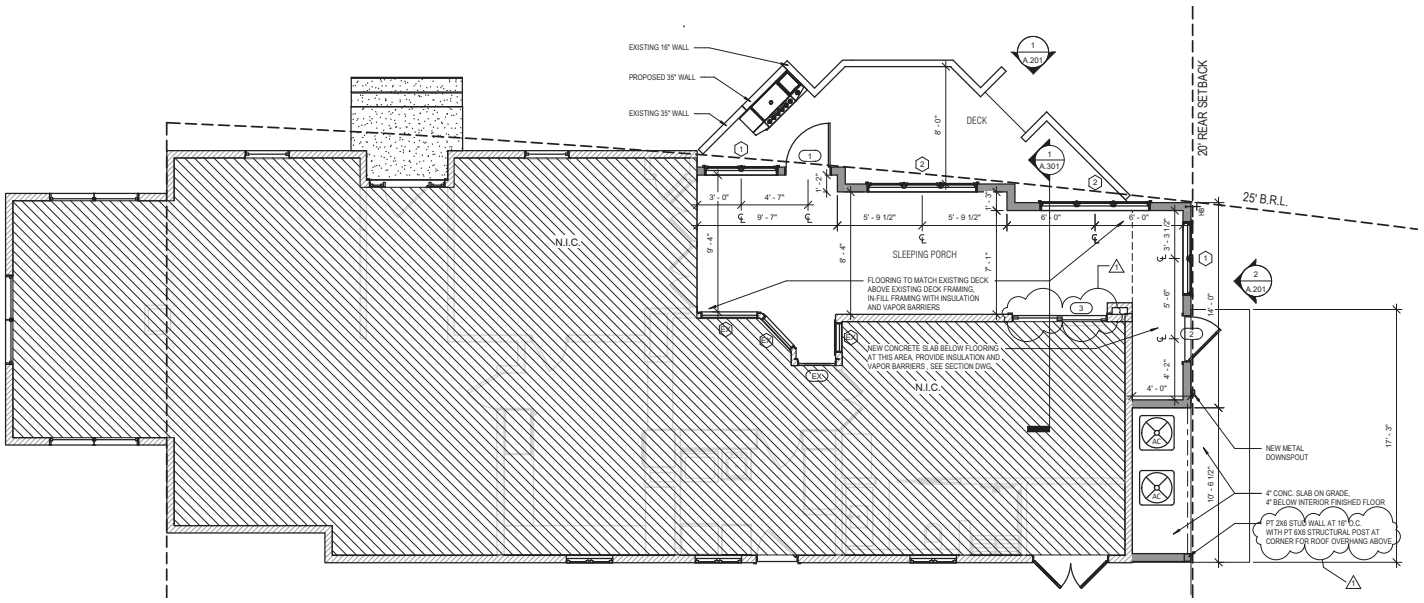
SEAL

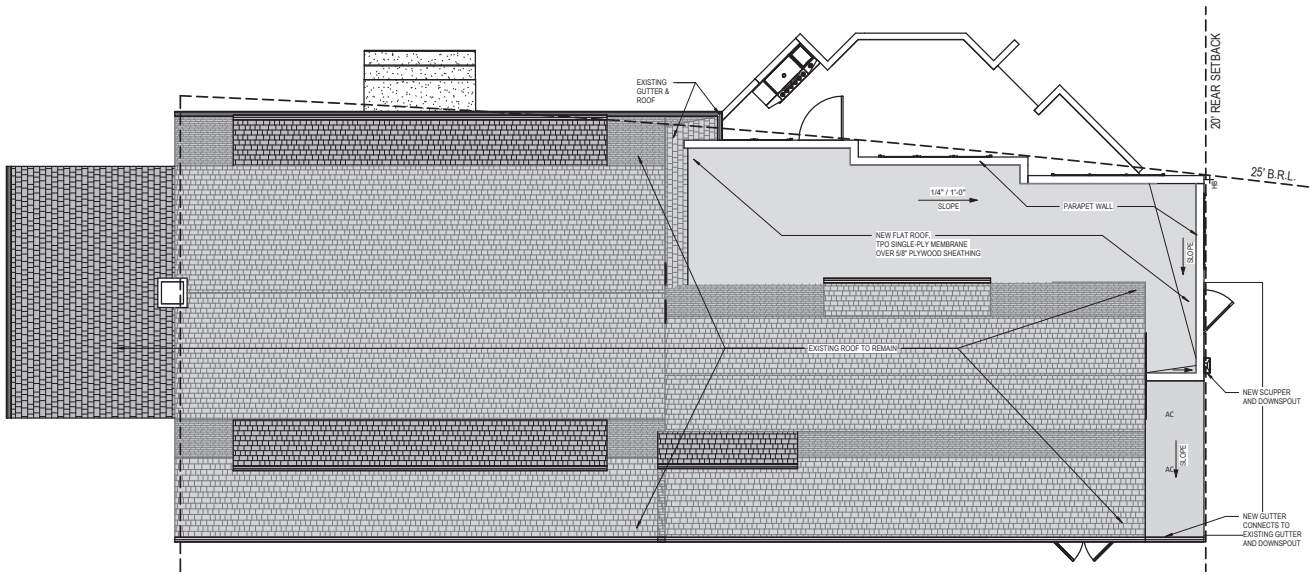
SHEET NAME
EXISTING ELEVATIONS

SCALE
1/4" = 1'-0"

SHEET NO.
D.201



1 PROPOSED FIRST FLOOR
1/4" = 1'-0"



2 PROPOSED ROOF PLAN
1/4" = 1'-0"

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PLAN GENERAL NOTES

1. TYPICAL INTERIOR WALL IS 2X4 WOOD STUD AT 16" O.C. WITH 1/2" DRYWALL TO BOTH SIDES, U.N.O.
2. USE MOISTURE RESISTANT ' PURPLE BOARD' DRYWALL AT ALL WET LOCATIONS.
3. DOORS ARE TO BE LOCATED 6" FROM THE NEAREST PERPENDICULAR WALL OR CENTERED ON WALL, U.N.O.
4. DOORS AT CLOSETS SHALL BE LOCATED AT THE CENTER OF THE INTERIOR FINISHED SPACE, U.N.O.
5. MIN U FACTOR FOR GLAZING WILL MEET 0.35

WALL KEY:

EXISTING WALLS TO REMAIN

NEW WALL

NORTH

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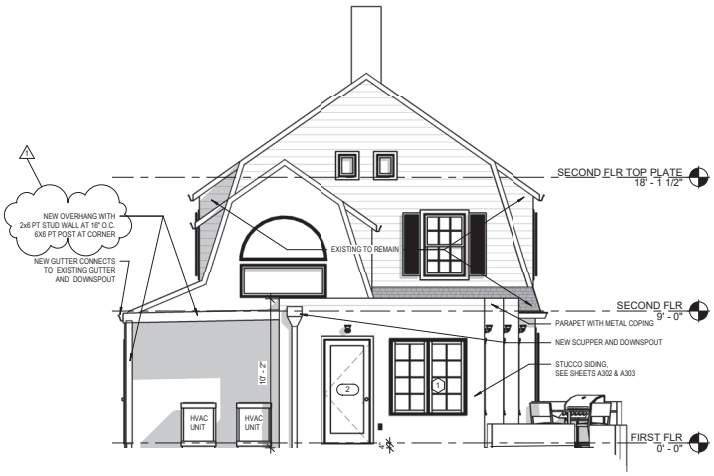
SEAL

SHEET NAME
PROPOSED FIRST FLOOR & ROOF PLANS

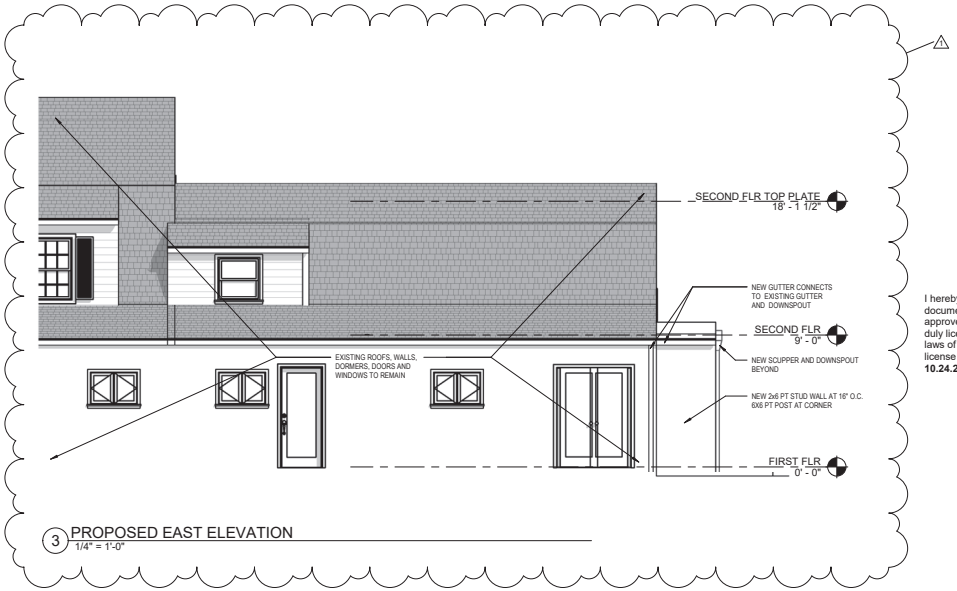
SCALE
As indicated

SHEET NO.
A.101

1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED EAST ELEVATION
1/4" = 1'-0"

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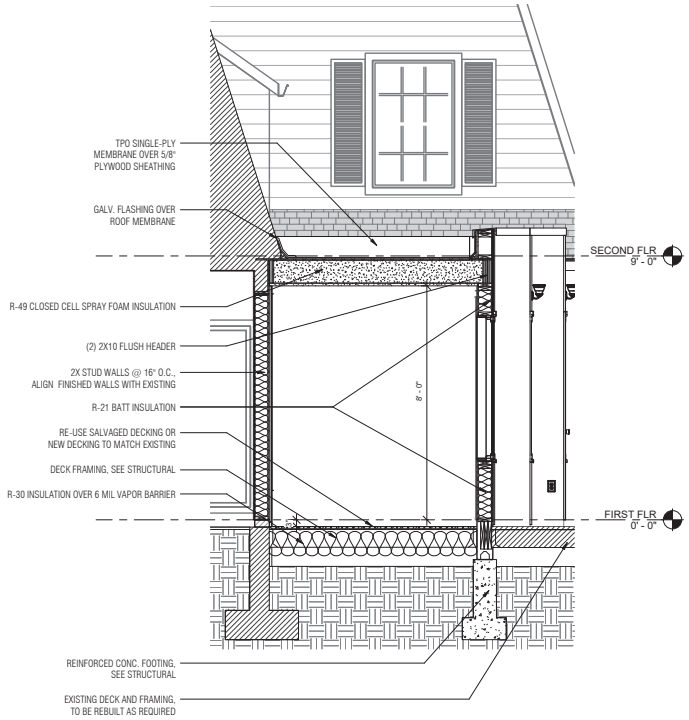
SEAL

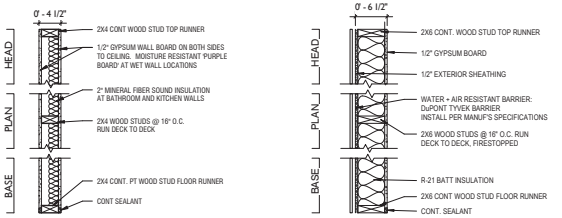
SHEET NAME
PROPOSED
ELEVATIONS

SCALE
1/4" = 1'-0"

SHEET NO.
A.201



1 SECTION AT SLEEPING PORCH
1/2" = 1'-0"



INTERIOR PARTITION WALL ASSEMBLY
SCALE: 1" = 1'-0"

EXTERIOR FRAMED WALL ASSEMBLY
SCALE: 1" = 1'-0"

WALL TYPES
1" = 1'-0"

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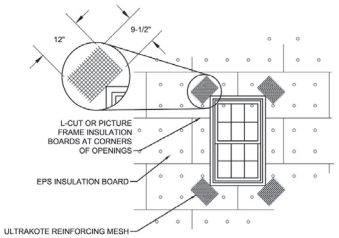
SEAL

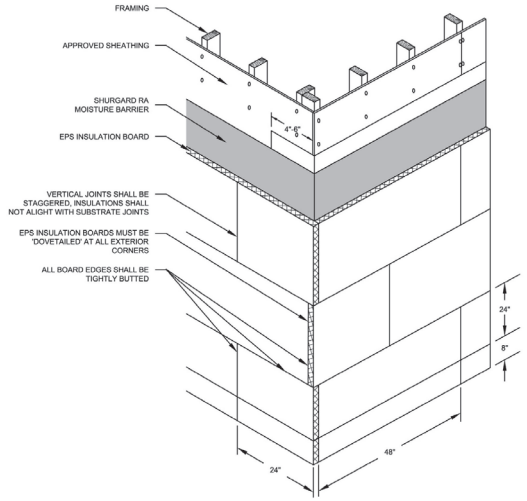
SHEET NAME
WALL SECTION AND WALL TYPES

SCALE
As indicated

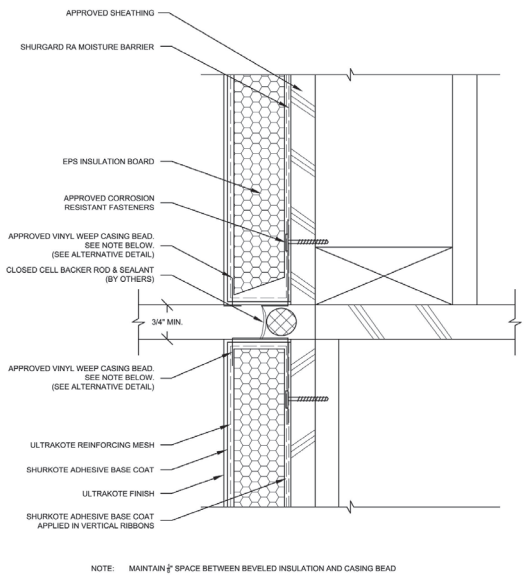
SHEET NO.
A.301



1 TYP. REINFORCED MESH AT OPENINGS

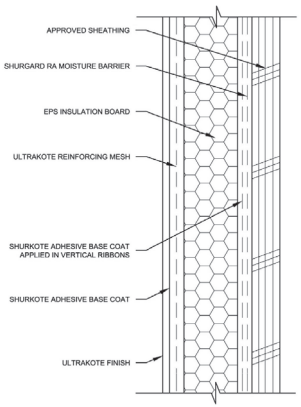


2 TYP. INSULATION BOARD LAYOUT

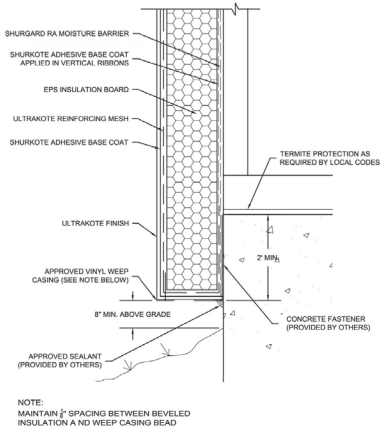


NOTE: MAINTAIN ¾" SPACE BETWEEN BEVELED INSULATION AND CASING BEAD

3 CONTROL JOINT DETAIL @ FLOOR LINE

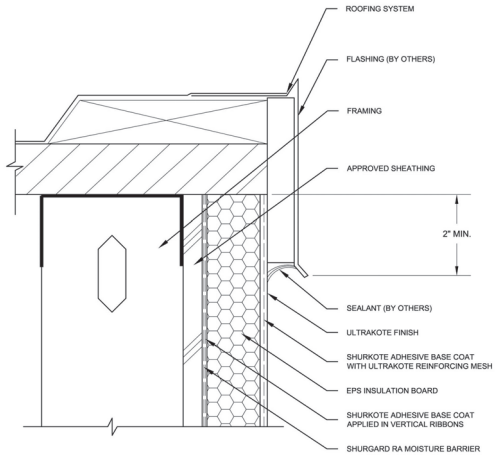


4 TYP. CROSS SECTION

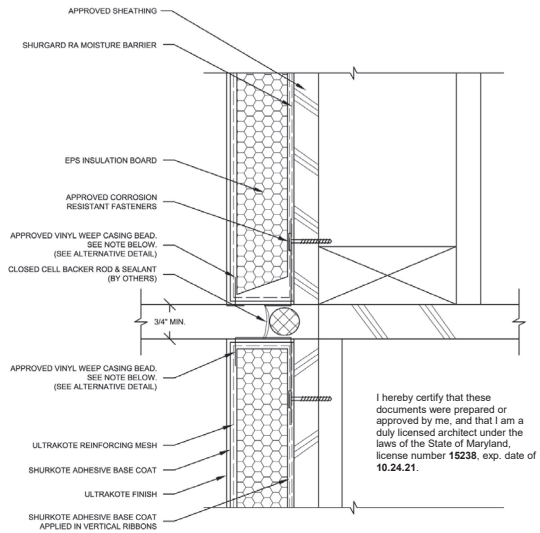


NOTE:
MAINTAIN ¾" SPACING BETWEEN BEVELED INSULATION A ND WEEP CASING BEAD

5 TERMINATION @ FOUNDATION LINE



6 FLAT ROOF TERMINATION



NOTE: MAINTAIN ¾" SPACE BETWEEN BEVELED INSULATION AND CASING BEAD

7 DETAIL @ BUILDING EXPANSION JOINT

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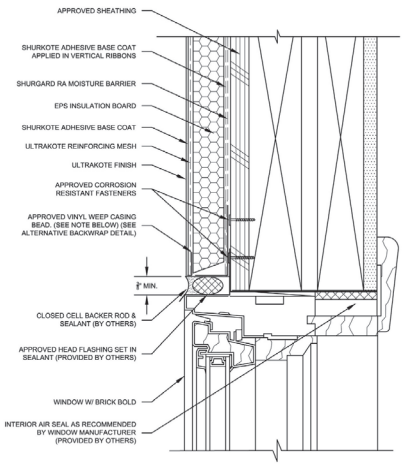
SHEET NAME
STUCCO SIDING
TYPICAL DETAILS

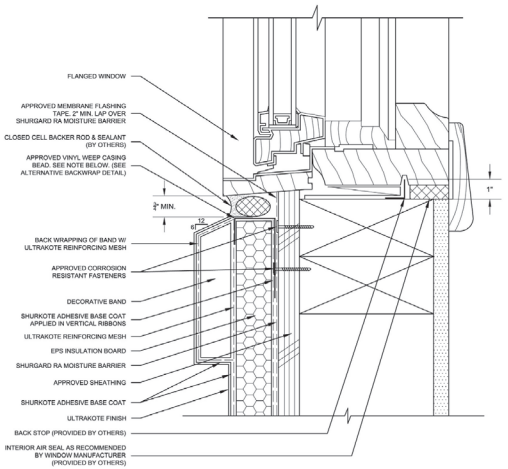
SCALE
6" = 1'-0"

SHEET NO.
A.302



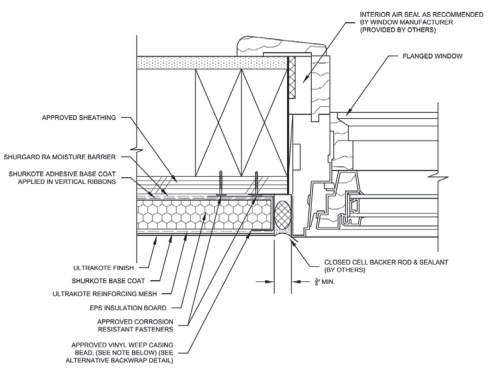
NOTE: MAINTAIN ¾" SPACE BETWEEN BEVELED INSULATION AND WEEP CASING BEAD.

1 TYP. DETAIL @ WINDOW HEAD



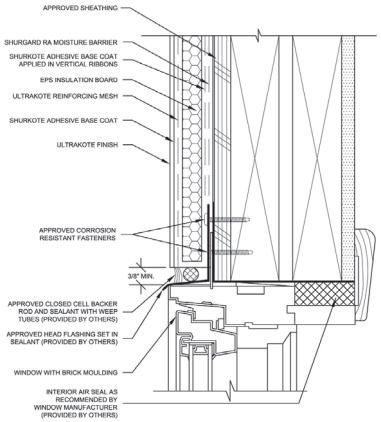
NOTE: AT HORIZONTAL WALL SURFACES, INCLUDING LEDGES, CAPS, SILLS, ETC., A MINIMUM SLOPE OF 6 INCHES IN 12 INCHES IS REQUIRED

2 TYP. DETAIL @ WINDOW SILL

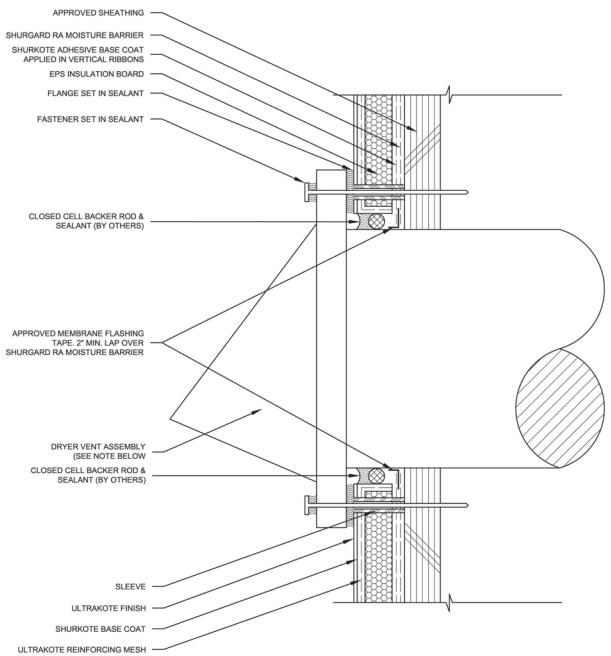


NOTE: MAINTAIN ¾" SPACE BETWEEN BEVELED INSULATION AND WEEP CASING BEAD.

3 TYP. DETAIL @ WINDOW JAMB

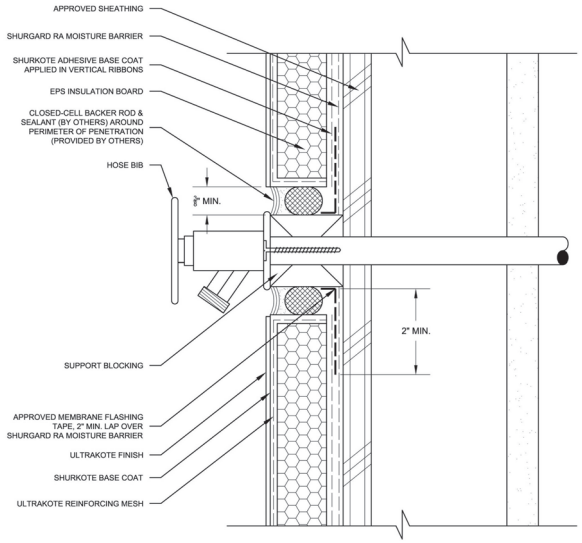


4 ALTERNATE BACKWRAP

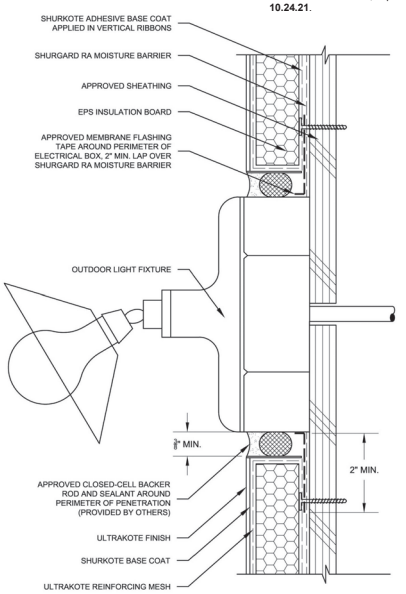


NOTE: DRYER VENT ASSEMBLY MUST B E SUPPLIED AS TWO INDEPENDENT PARTS. SHEET METAL DUCT MUST BE INSTALLED PRIOR TO EIFS INSTALLATION TO INSTALL MEMBRANE FLASHING. TAPE SEAL BACKER ROD AND SEALANT TO BE APPLIED PRIOR TO DRYER VENT COVER ATTACHMENT.

5 DETAIL @ EXHAUSTED VENT



6 DETAIL @ PIPE PENETRATION



7 TYP. ELEC. BOX PENETRATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number **15238**, exp. date of **10.24.21**.

OFFICIAL STAMPS

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Mazer Holzworth Residence
37 West Irving Street, Chevy Chase,
Montgomery County, MD 20815

ISSUE RECORD
12.October. 2020
Issued for Permit

REVISION SCHEDULE
NO. DATE

SEAL

SHEET NAME
STUCCO SIDING
TYPICAL DETAILS

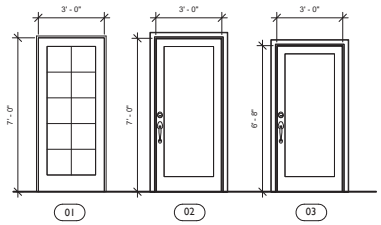
SCALE
6" = 1'-0"

SHEET NO.
A.303

DOOR SCHEDULE

TYPE MARK	DIMENSIONS		TYPE	FINISH	FRAME MATERIAL	U-FACTOR	SHGC	NOTES
	WIDTH	HEIGHT						
01	3'-0"	7'-0"	FIBERGLASS	PTD	PTD WD	MAX 0.35	MAX 0.4	EXTERIOR DOOR, DIVIDED LITE 2 OVER 5
02	3'-0"	7'-0"	FIBERGLASS	PTD	PTD WD	MAX 0.35	MAX 0.4	DOOR WITH FULL-LITE, TEMPERED GLASS
03	3'-0"	6'-8"	SOLID CORE HARDBOARD	PTD	PTD WD	MAX 0.35	MAX 0.4	DOOR WITH FULL-LITE, TEMPERED GLASS

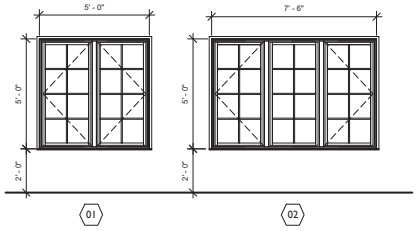
NOTES:
A. INTERIOR DOOR TYPE IS FLUSH-PANEL SOLID CORE HARDBOARD PRE-HUNG STYLE, PAINT GRADE.
B. EXTERIOR DOORS AND ENTRANCE DOOR TO INCLUDE LOCKSET, DEADBOLT, AND SELF CLOSER.
C. FRAMES ARE SOLID POPLAR JAMB WITH SQUARE CORNER HINGE.
D. FRAME DEPTH VARIES. FIELD VERIFY PRIOR TO ORDERING.
E. MINIMUM U-FACTOR FOR GLAZING AT EXTERIOR DOORS WILL MEET 0.35.

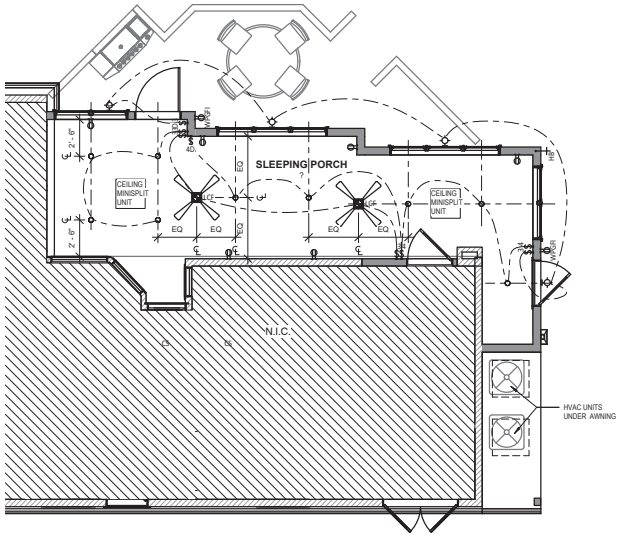


WINDOW SCHEDULE

TYPE MARK	DIMENSIONS		MANUF/STYLE	TYPE	SHGC VALUE	U VALUE	NOTES
	WIDTH	HEIGHT					
01	5'-0"	5'-0"	JELD-WEN/ CLAD WOOD	FIXED	MAX 0.40	MAX 0.35	Simulated Divided Lites, 2 over 4
02	7'-6"	5'-0"	JELD-WEN/ CLAD WOOD	CASEMENT/FIXED/CASEMENT	MAX 0.40	MAX 0.35	Simulated Divided Lites, 2 over 4

WINDOW SCHEDULE NOTES:
A. CONTRACTOR TO VERIFY ALL WINDOWS AND MASONRY OPENINGS IN FIELD
B. EGRESS UNITS TO MEET OR EXCEED THE FOLLOWING CODE DIMENSION -
CLEAR OPENING AREA: 5.7 SQ FT, CLEAR OPENING WIDTH 20", CLEAR OPENING HEIGHT 24"
C. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.4 SHALL BE SAFETY GLAZING AND BE LABELED PER IBC 2406
D. OPERABLE WINDOWS TO COMPLY WITH IBC 2015 SECTION 1013.8 WINDOW SILLS - FOR OPERABLE WINDOWS WITH SILL HEIGHT LESS THAN 36" ABOVE FINISH FLOOR AND LOCATED MORE THAN 72" FROM EXTERIOR SURFACE, PROVIDE WINDOW LIMIT DEVICE TO RESTRICT WINDOW OPENING FOR 4" OR MORE.
E. U-FACTOR FOR GLAZING MAXIMUM 0.35 AND SHGC MAXIMUM 0.40





1 FIRST FLOOR-REFLECTED CEILING PLAN
1/4" = 1'-0"

RCP + ELECTRICAL KEY

- RECESSED CAN
- EXTERIOR SCONCE
- CEILING FAN WITH LIGHT
- HOSE BIB
- SINGLE POLE SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- TYPICAL DUPLEX RECEPTACLE, WILL BE AT 18" AFF, UNO
  - GFCI AT WET LOCATIONS
  - GFCI AT EXTERIOR LOCATIONS w/WATERPROOF COVER
  - AFCI IN ALL HABITABLE SPACES
- TYPICAL DUPLEX RECEPTACLE, WATERPROOF

GENERAL RCP NOTES

1. ALL ELECTRICAL REQUIREMENTS INCLUDING SWITCHING, RECEPTACLES (SPACING AND LOCATIONS) WILL ADHERE TO THE 2011 NFPA NATIONAL ELECTRICAL CODE
2. ALL OUTLETS TO BE WHITE 'STANDARD' TYPE
3. ALL SWITCHES TO BE WHITE 'TOGGLE' TYPE
4. RECEPTACLE AND SWITCH COVER PLATES ARE WHITE, U.N.O.
5. ALL VISIBLE SCREWS TO BE HORIZONTALLY ALIGNED
6. ALL LIGHTS TO BE CENTERED IN ROOM, U.N.O.
7. RECEPTACLES SHOWN ALONGSIDE SWITCHES ARE TO BE CENTERED BELOW SWITCHES, U.N.O.
8. RECEPTACLES SHOWN BELOW WINDOWS WILL BE CENTERED ON WINDOW OPENING. ALL ELECTRICAL REQUIREMENTS INCLUDING SWITCHING, RECEPTACLES (SPACING AND LOCATIONS) WILL ADHERE TO THE 2014 NFPA NATIONAL ELECTRICAL CODE
9. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL
10. A MIN OF 75% OF LAMPS IN PERMANENT FIXTURES OR 75% OF PERMANENT FIXTURES SHALL USE HIGH EFFICIENCY LAMPS.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number **15238**, exp. date of **10.24.21**.

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SEAL

SHEET NAME
REFLECTED CEILING PLAN, DOOR SCHEDULE, WINDOW SCHEDULE
SCALE
As indicated

SHEET NO.
A.501

(/?landingpage=false)

Barcelona BAW-6

Print Download (/products/baw_6/barcelona_baw_dash_6/tearsheet/download)

DESCRIPTION

6" Barcelona Wall Mount

- **Dimensions:** 5.75"W x 11"H x 6.5"D
- **Extension:**
- **Canopy/Back Plate Dimensions:** 5.25" x 6"
- **Mounting Center to Top:** 5.25"
- **Bulb Type:** 1-100W Medium (not included)
- **Safety Rating:** Suitable for Wet Locations
- **Finish Shown:** Bronze
- **Ships Via:** Small Parcel

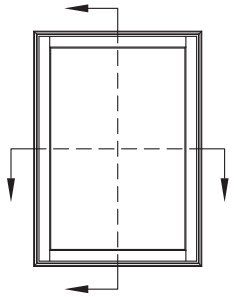
Glass

White Opalescent

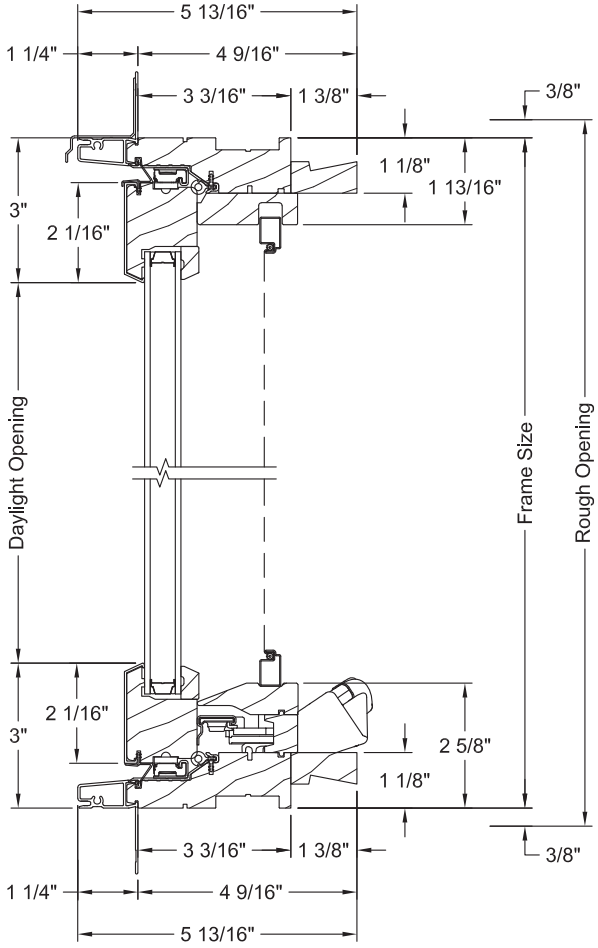
Finish

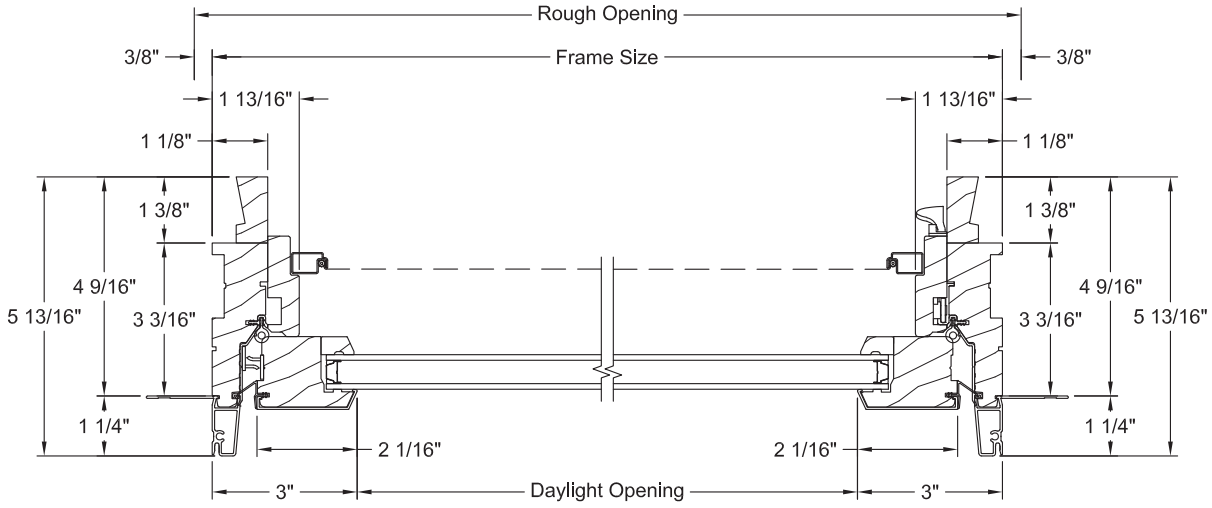
Slate

OPERATOR SECTIONS

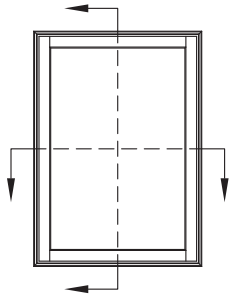


Not To Scale - Reference Only

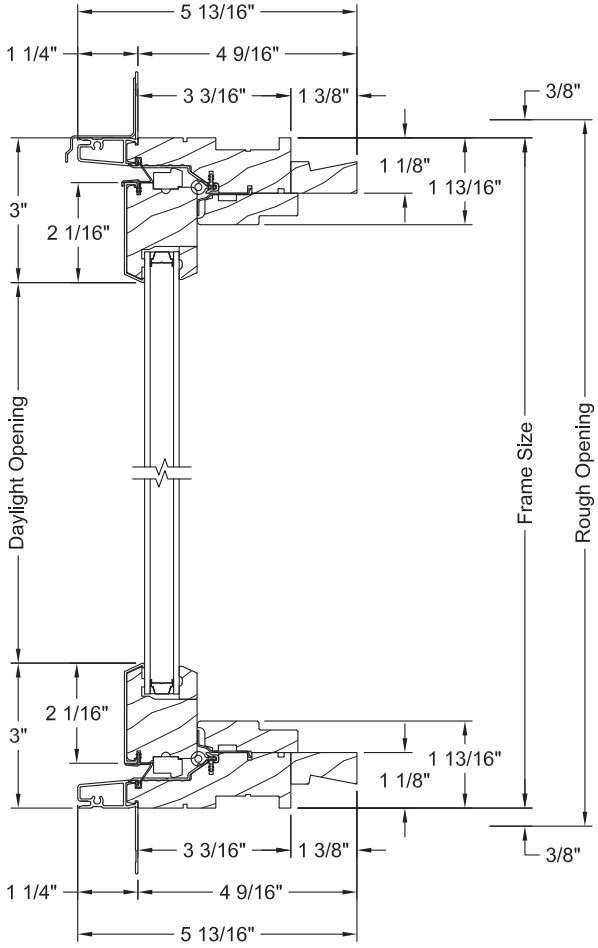


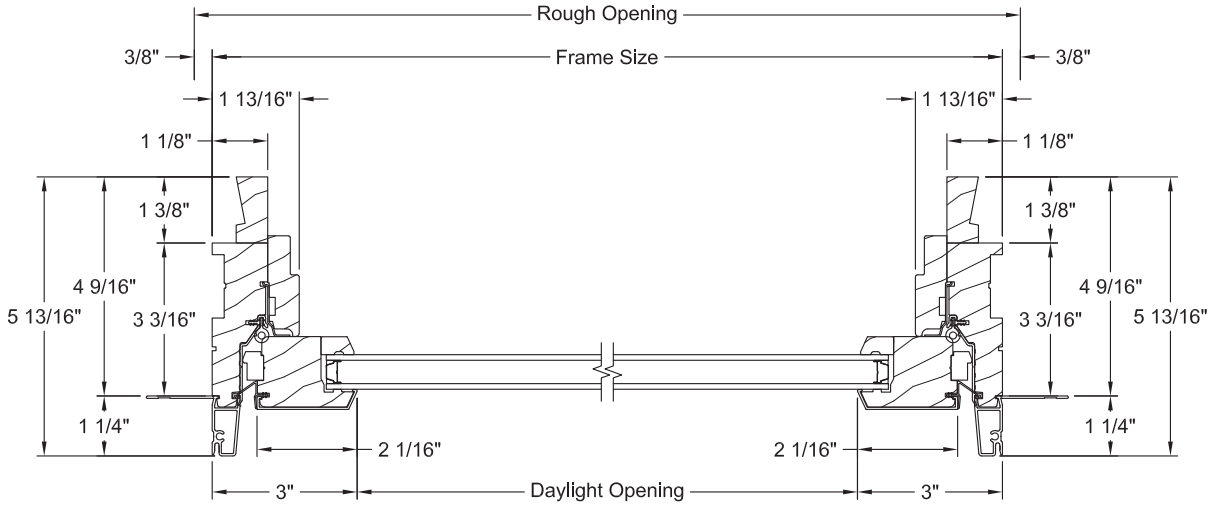


STATIONARY SECTIONS



Not To Scale - Reference Only

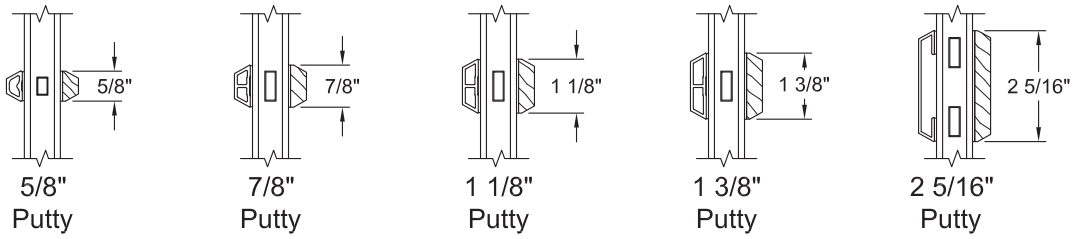




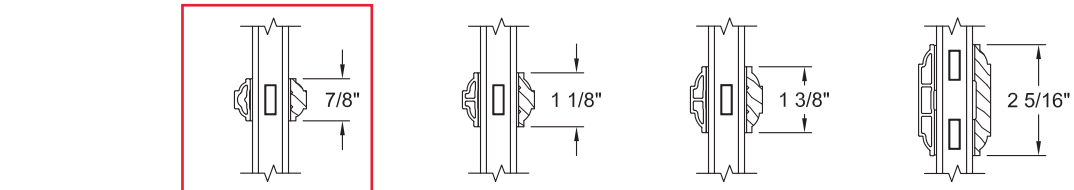
GRID & GLASS STOP OPTIONS

Exterior ◄——— ———► Interior

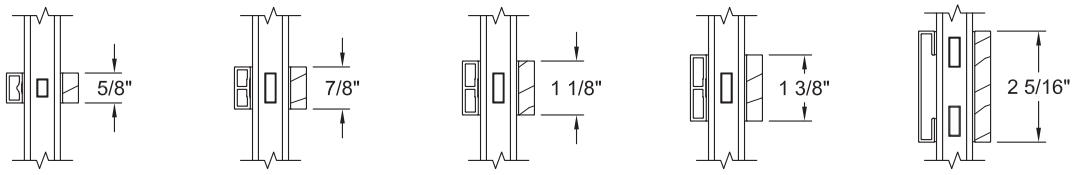
SDL Options



5/8" Putty | 7/8" Putty | 1 1/8" Putty | 1 3/8" Putty | 2 5/16" Putty



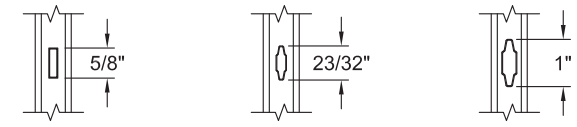
7/8" Bead | 1 1/8" Bead | 1 3/8" Bead | 2 5/16" Bead



5/8" Contemporary | 7/8" Contemporary | 1 1/8" Contemporary | 1 3/8" Contemporary | 2 5/16" Contemporary

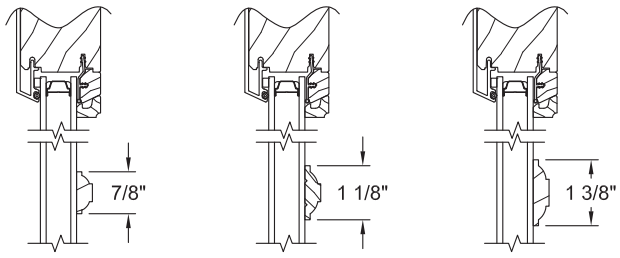
Note: Various Combinations of the SDL Bars Shown are Available

GBG Options



5/8" Flat | 23/32" Contoured | 1" Contoured

Grille Options

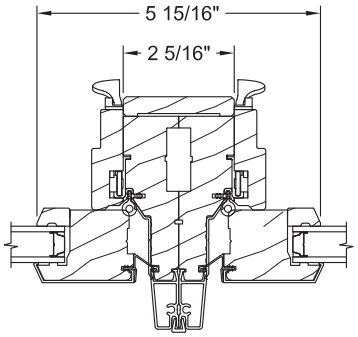


7/8" Full Surround | 1 1/8" Full Surround | 1 3/8" Full Surround

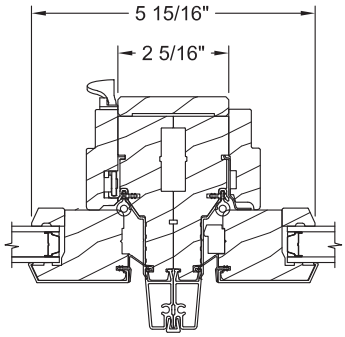
Glass Stop Options

Traditional | Contemporary

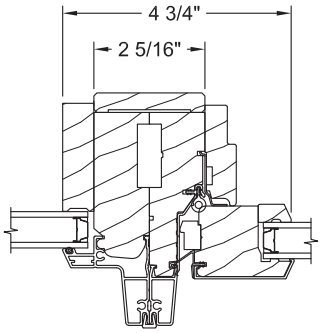
MULLION OPTIONS



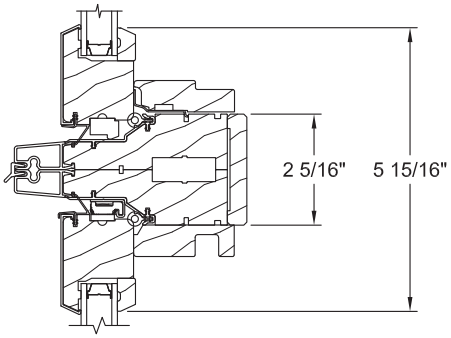
Operator / Operator



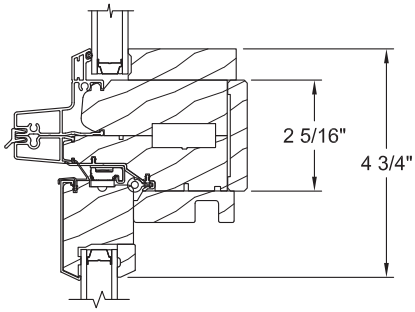
Operator / Stationary



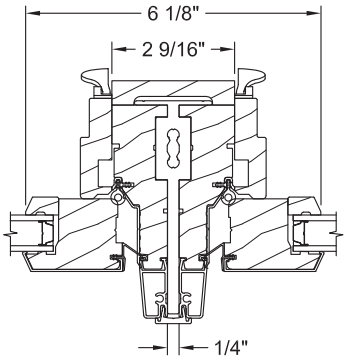
Direct Set / Operator



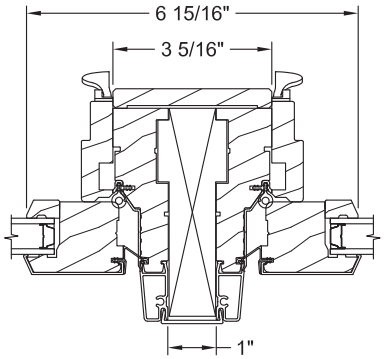
Stationary
Operator



Direct Set
Operator



Operator / Operator
1/4" Structural Mull



Operator / Operator
1" Solid Spread Mull

View full-size in new tab

Mitsubishi MXZ-2C20NA2-U1 - M-Series Multi-Zone Outdoor Heat Pump Unit, 20K BTU, R410A, 208-230/1/60

Item: MXZ2C20NA2U1 MFR: MXZ-2C20NA2-U1

What's the price?
Sign in or register for pricing.

Quantity *

1

Add to Cart

Your Order Templates
Save products for later, or create order templates to quickly re-buy items for routine jobs.

Add To Order Template

Inventory At Nearby Branches

North Carolina

0	Charlotte #704
10	Hickory #703
5	Raleigh #708
7	Wilmington #706
1	Winston - Salem #701

Virginia

2 Chesapeake #713

3 Newport News #714

0 **Richmond #711**

Description

Specifications

Name	Mitsubishi MXZ-2C20NA2-U1 - M-Series Multi-Zone Outdoor Heat Pump Unit, 20K BTU, R410A, 208-230/1/60
Gemaire Item Number	MXZ2C20NA2U1
Manufacturer Product Number	MXZ-2C20NA2-U1
SKU - PIM Number	6461263476817593
ERP Number	374085
Unit of Measure	EA
Weight	126.0 Pounds (Lb)
Length	13.0 Inches (In)
Width	33.1 Inches (In)
Height	27.9 Inches (In)
Country of Origin	JPN
Brand	Mitsubishi
Tonnage	1.5
SEER	20
EER	10-12.7
Refrigerant	R-410a
CFM	1342-1458
Cooling Capacity	5700-20000
Heating Capacity	7400-25000
Voltage	208-230 VAC
Phase	Single
Cycle/Hertz	60 Hz
Circuit Breaker - Max Amps	20
Rated Load Amps	10.7
Suction Line Fitting	Flare
Suction Line Size (OD)	3/8"
Liquid Line Fitting	Flare
Liquid Line Size (OD)	1/4"
Multi Zone	Yes

Color	White
Inverter	Yes
Warranty Offered	Yes
Energy Star Rated	Yes
UL Listed	No
Product Family	MXZ
Equipment Type	Heat Pump
Number of HVAC Zones	2
GEM - Case Quantity	

Matched Systems

SUBMITTAL DATA: SLZ-KF09NA

9,000 BTU/H CEILING-CASSETTE INDOOR UNIT FOR MULTI-ZONE HEAT PUMP SYSTEMS

Job Name:	
System Reference:	Date:

GENERAL FEATURES

- Ceiling-recessed cassette (24"x24") ductless heat pump
- Install SLZ in a drywalled ceiling (with an access panel for servicing) or in a 2'x2' drop ceiling
- Wide airflow pattern for excellent air distribution
- Fresh air intake provided in the main body
- Built-in drain condensate lift mechanism (lifts to 33")
- Multiple control options available:
  - kumo cloud® smart device app for remote access
  - Third-party interface options
  - Wired or wireless controllers
- Long-life air filter included
- Individual vane control

SPECIFICATIONS: SLZ-KF09NA

Cooling Capacity[1, 3]		Btu/h	9,000
Heating Capacity[2, 3]		Btu/h	11,000
Electrical	Voltage, Phase, Frequency		208/230V, 1 phase, 60Hz
	Guaranteed Voltage Range	V AC	187-253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Voltage: Indoor - Remote controller	V DC	12
MCA		A	0.25
Fan Motor Full Load Amperage		A	0.20
Fan Motor Output		W	50
Airflow Rate at Cooling, Dry		CFM	300-265-230
Airflow Rate at Cooling, Wet		CFM	270-239-207
Airflow Rate at Heating, Dry		CFM	335-265-230
Sound Pressure Level (Cooling)[1]		dB(A)	31-28-25
Sound Pressure Level (Heating)[2]		dB(A)	31-28-25
External Static Pressure		in.WG	N/A
Drain Pipe Size		In. (mm)	1 1/4 (32)
Condensate Lift Mechanism, Maximum Distance		In. (mm)	33 (850)
Heat Exchanger Type			Plate fin coil
External Finish Color			Munsell 1.0Y 9.2/0.2
Unit Dimensions		W: In. (mm)	22-7/16 (570)
		D: In. (mm)	22-7/16 (570)
		H: In. (mm)	9-21/32 (245)
Package Unit Dimensions		W: In. (mm)	24-13/32 (620)
		D: In. (mm)	27-15/16 (710)
		H: In. (mm)	9-7/16 (240)
Unit Weight		Lbs. (kg)	31 (13.9)
Package Unit Weight		Lbs. (kg)	37 (17)
Refrigerant	Type		R410A
	Charge	Lbs, oz	2, 5
Piping	Gas Pipe Size O.D. (Flared)	In.(mm)	3/8 (9.52)
	Liquid Pipe Size O.D. (Flared)	In.(mm)	1/4 (6.35)

Notes:

Nominal Conditions	[1]Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
	[2]Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB
[3]Capacity varies based on the number of indoor units operating and the model of the Multi-zone Outdoor Unit. For reference to connected capacity charts, please refer Multi-zone Outdoor Unit Operational Performance.			

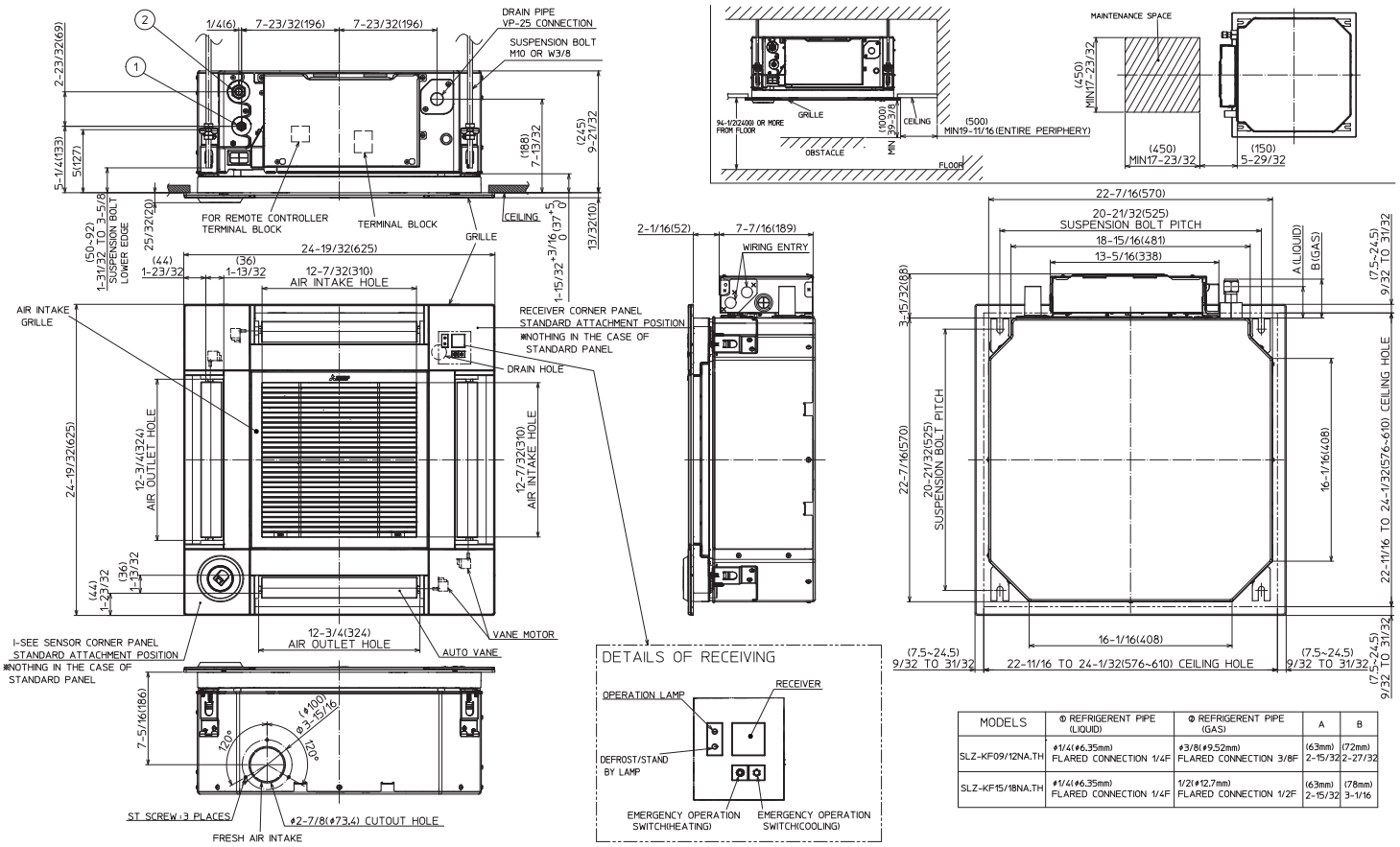
ACCESSORIES: SLZ-KF09NA

Wireless Signal Receiver	□ PAR-FA32MA-W
Wireless Signal Receiver	□ PAR-FA32MA-E
Wireless Remote Receiver Panel	□ PAR-SF9FA-E
Wireless Remote Controller	□ PAR-SL100A-E
Backlit, Wall-mounted, Wireless Controller	□ MHK1
Portable Central Controller	□ MCCH1
Wired MA Controller	□ PAR-33MAA
Simple MA Controller	□ PAC-YT53CRAU
Touch MA Controller	□ PAR-CT01MAU-SB
Wired Remote Sensor	□ PAC-SE41TS-E
Wireless Temperature and Humidity Sensor	□ PAC-USWHS003-TH-1
Outside Air Sensor for MHK1	□ MOS1
Flush Mount Remote Temperature Sensor	□ PAC-USSEN001-FM-1
System Control Interface	□ MAC-333IF-E
Wireless Interface	□ PAC-USWHS002-WF-1
Thermostat Interface	□ PAC-US444CN-1
kumo station®	□ PAC-WHS01HC-E
USNAP Interface	□ PAC-WHS01UP-E
IT Extender	□ PAC-WHS01IE-E
BACnet® and MODBUS® Interface	□ PAC-UKPRC001-CN-1
External Fan / Heater Control Relay Adapter	□ CN24RELAY-KIT-CM3
Wire for Remote on/off with CN32 connector	□ PAC-715AD
Connector and wire for Operation status/error using CN51	□ PAC-725AD
Connector cable for remote display	□ PAC-SA88HA-EP
Connector for CN32 (remote on/off)	□ PAC-SE55RA-E
Remote Operation Adapter[1]	□ PAC-SF40RM-E
Grille (required)	□ SLP-18FAU
3D i-see Sensor™ Corner Panel	□ PAC-SF1ME-E
Grille with 3D i-see Sensor™	□ SLP-18FAEU
Blue Diamond Sensor Extension Cable — 15 Ft.	□ C13-103
Blue Diamond Alarm Extension Cable — 6.5 Ft.	□ C13-192
Blue Diamond MultiTank — collection tank for use with multiple pumps	□ C21-014
Blue Diamond Rubber Foot Pads	□ F10-010
Mini Condensate Pump — 230 volt application	□ SI30-230
MegaBlue Advanced Blue Diamond Condensate Pump w/ Reservoir & Sensor	□ X87-835 - 110 to 250V
Advanced Blue Diamond Mini Condensate Pump w/ Reservoir & Sensor (208/230V) [recommended]	□ X87-721 - 208/230V
Drain Pan Level Sensor	□ DPLS2
(30A/600V/UL) [fits 2" X 4" utility box] - Black	□ TAZ-MS303
(30A/600V/UL) [fits 2" X 4" utility box] - White	□ TAZ-MS303W

[1] Unable to use with wireless remote controller

DIMENSIONS: SLZ-KF09NA

Unit: inch (mm)



MODELS	① REFRIGERENT PIPE (LIQUID)	② REFRIGERENT PIPE (GAS)	A	B
SLZ-KF09/12NA.TH	ø1/4(ø6.35mm) FLARED CONNECTION 1/4F	ø3/8(ø9.52mm) FLARED CONNECTION 3/8F	(63mm) 2-15/32	(72mm) 2-27/32
SLZ-KF15/18NA.TH	ø1/4(ø6.35mm) FLARED CONNECTION 1/4F	1/2(ø12.7mm) FLARED CONNECTION 1/2F	(63mm) 2-15/32	(78mm) 3-1/16

MITSUBISHI ELECTRIC
COOLING & HEATING

1340 Satellite Boulevard, Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

FORM# SLZ-KF09NA FOR MULTI-ZONE HEAT PUMP SYSTEMS - 201901