

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6124 MacArthur Boulevard, Bethesda	Meeting Date:	1/6/2021
Resource:	Master Plan Site #35/47 (Bonfield's Garage)	Report Date:	12/30/2020
Applicant:	William Fuchs	Public Notice:	12/23/2020
Review:	HAWP	Tax Credit:	No
Permit Number:	936957	Staff:	Michael Kyne
PROPOSAL:	New signage		

STAFF RECOMMENDATION:

☒ Approve
☐ Approve with conditions

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #35/47, *Bonfield's Garage*
STYLE: Automobile Repair Garage
DATE: c. 1921

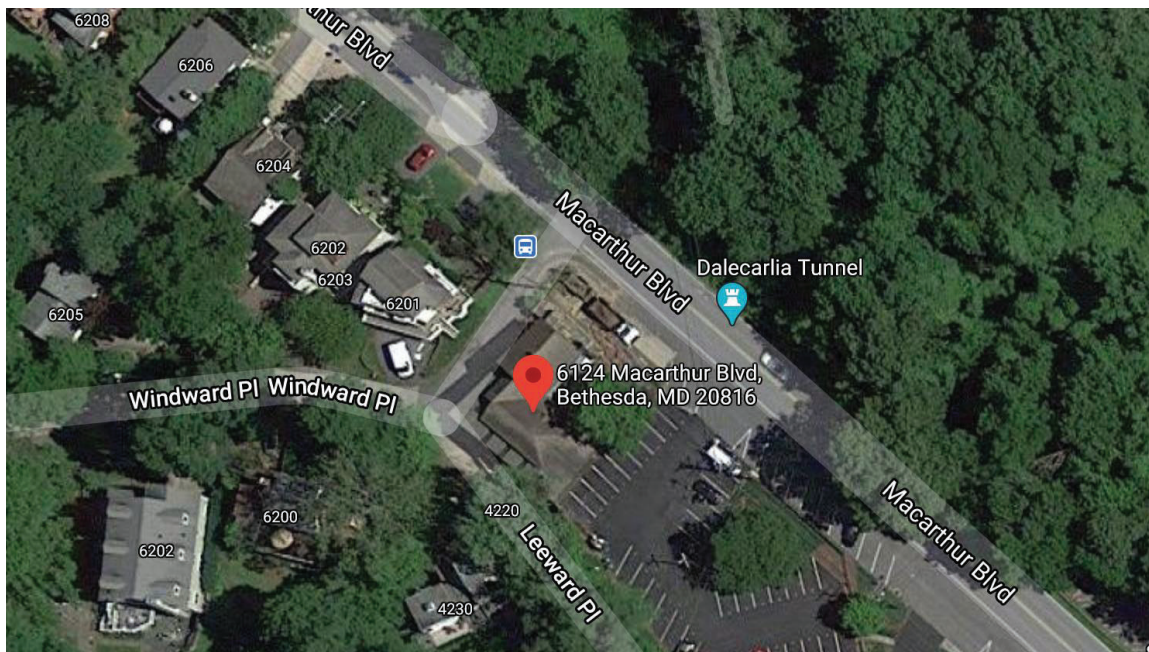


Fig. 1: Subject property.

PROPOSAL:

The applicant proposes to replace the existing non-original mast sign on the steel post in front of the subject property. The existing post will be retained. The proposed new sign will be constructed from aluminum, with LED lights and PVC lettering. Otherwise, the sign will be externally illuminated via the existing lights on the post.

At this time, staff is not considering the proposed monument sign. Staff reached out to the applicant seeking additional information regarding the proposed monument sign's compliance with zoning requirements, but, as of this writing, this information has not been provided. Additionally, staff expressed concerns regarding the design and materials of the proposed monument sign and suggested revisions, but these revisions have not been received.

APPLICABLE GUIDELINES:

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
6. Signs that are in conformance with all other County sign regulations.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), & (2) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the resource and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 936957
DATE ASSIGNED _____

APPLICANT:

Name: William Fuchs
Address: 4845 Massachusetts Ave
Washington DC 20008
Daytime Phone: _____

E-mail: bill@wagshals.com
City: Washington Zip: 20016
Tax Account No.: 00418062

AGENT/CONTACT (if applicable):

Name: Marion Architects
Address: 6617 81st St.
Daytime Phone: 301.229.7000

E-mail: permits@marionarchitects.com
City: Cabin John Zip: 20813
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 6124 MacArthur Blvd. Bethesda MD
#35/047-000A 20816

Is the Property Located within an Historic District? Yes District Name BonAir Heights
No/Individual Site Name Bonfield's Garage

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 6124 Street: MacArthur Blvd.
Town/City: Bethesda Nearest Cross Street: Winward Pl.
Lot: Z + P. 1 Block: - Subdivision: BonAir Heights Parcel: -

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>Signage</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

12.14.2020

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Bill Fuchs - Wagshals 4845 Mass. Ave NW Washington DC 20016	Owner's Agent's mailing address Manion Architects 6617 31st St. Cabin John MD 20818
Adjacent and confronting Property Owners mailing addresses	
Peter + Laura Rundlet 4443 Spingdale St. NW Washington DC 20016 (re: 6201 Winward Pl. - right side)	Paul Singleton + Suzanne Rosen 6200 Winward Pl. Bethesda MD 20816 (right rear)
Helmut Schimansky + Cathy Kiefer 4230 Leeward Pl. Bethesda MD 20816 (rear)	Mark McInturff 4224 Leeward Pl. Bethesda MD 20816 (rear)
Burt Koplow 4210 Leeward Pl. Bethesda MD 20816 (left rear)	MacArthur Assoc. Limited Part. 6106 MacArthur Blvd. Bethesda MD 20816 (left side)

Wagshal's BBQ and DELI (Bonfield's Garage)



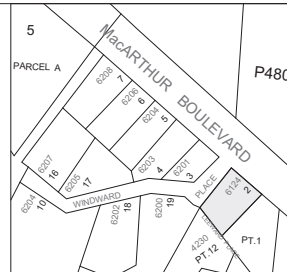
Pre-existing Conditions- No Date



Pre-existing Conditions 1990s



Existing Conditions 2020

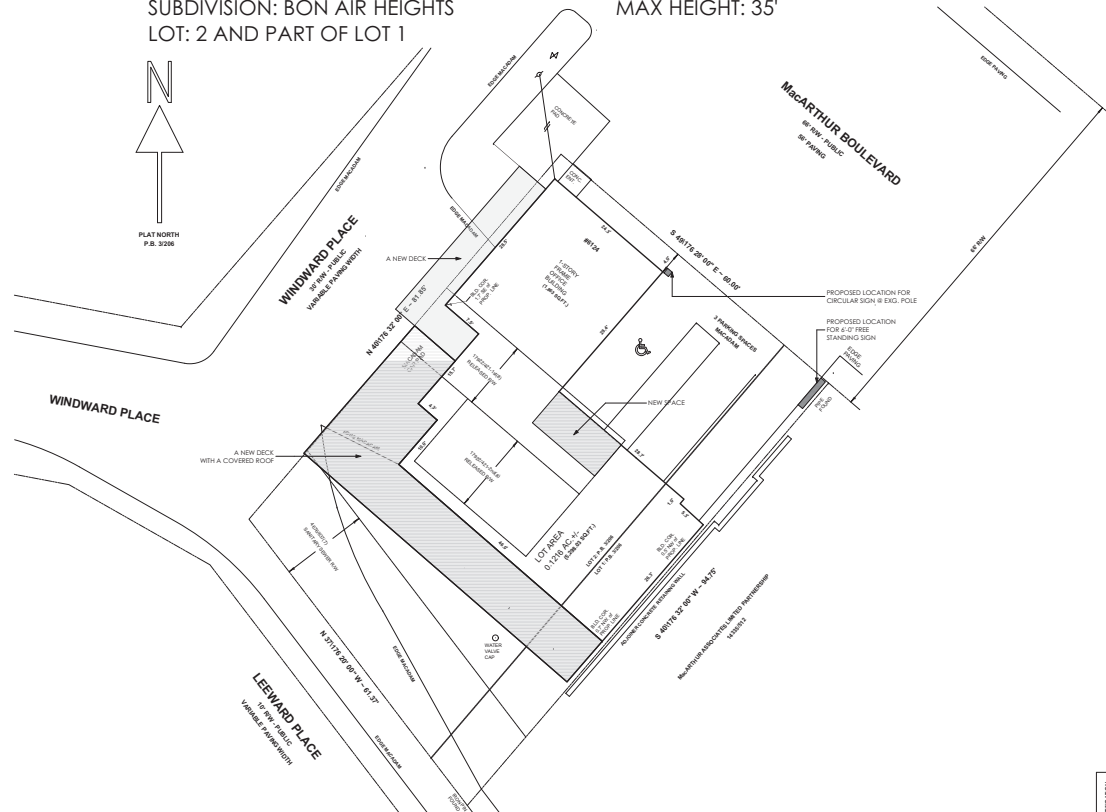


1 Location Map
SCALE: 1" = 100'

6124 MacArthur Blvd.
Bethesda, Maryland 20816
HAWP Application

HISTORIC SITE: BONFIELDS GARAGE
HISTORIC RESOURCE # 35/047-000A
TYPE: MASTER PLAN INDIVIDUAL SITE
LIBER: 17572
FOLIO: 0545
SUBDIVISION: BON AIR HEIGHTS
LOT: 2 AND PART OF LOT 1

ZONING: CRT-0.75 C-0.75 R-0.25 H-35
COMMERCIAL RESIDENTIAL TOWN (CRT)
ALLOWED FAR: 0.75
MAX NON-RESIDENTIAL FAR: 0.75
MAX RESIDENTIAL FAR: 0.25
MAX HEIGHT: 35'



2 Site Plan
SCALE: 1" = 10'

Sheet Index- HAW	
ID	Name
H.1	Site Plan and Historic Photos
H.2	Signage



MANION + ASSOCIATES ARCHITECTS
7307 MacArthur Blvd. Ste. 216, Bethesda, Maryland 20816
T301.229.7000 F301.229.7171 www.manionandassociates.com
PROJECT PHASE: HAWP
DRAWN BY: RL
CHECKED BY: TM
ISSUE DATE: 12.14.20
REVISIONS



Wagshal's BBQ and DELI (Bonfield's Garage)
6124 MacArthur Blvd.
Bethesda, Maryland 20816
Site Plan and Historic Photos

DO NOT SCALE DRAWINGS
These drawings are for informational purposes only. They are not to be used for construction or other purposes without the written consent of the architect. The architect is not responsible for any errors or omissions in these drawings.

H.1

