

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8008 Westover Road, Bethesda	Meeting Date:	1/6/2021
Resource:	Non-Contributing Resource (Greenwich Forest Historic District)	Report Date:	12/30/2020
Applicant:	Alex Walker (Kate Donahue, Agent)	Public Notice:	12/23/2020
Review:	HAWP	Tax Credit:	No
Permit Number:	936394	Staff:	Michael Kyne
PROPOSAL: Partial demolition and construction of new rear addition			

STAFF RECOMMENDATION:

☒ Approve
☐ Approve with conditions

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Non-Contributing Resource within the Greenwich Forest Historic District
STYLE: Modern Movement
DATE: c. 1979

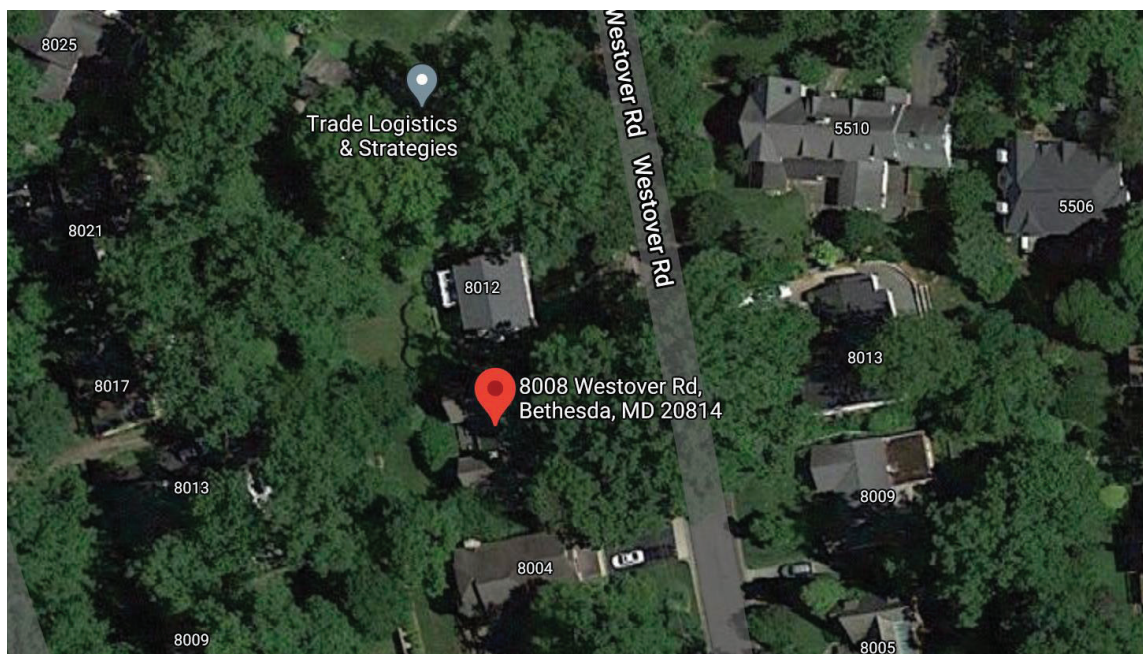


Fig. 1: Subject property.

PROPOSAL:

The applicant proposes to remove the existing masonry deck, steps, metal awning and Wisteria plants at the rear of the subject property and construct a new screened porch in the same approximate footprint. At the west end of the new screened porch, a new masonry fireplace with a factory built, wood burning fireplace insert will be constructed. The existing exterior doors between the existing masonry deck and rear sunroom will be removed, turning the sunroom into exterior space connected to the proposed new screened porch.

The proposed work is entirely at the rear of this Non-Contributing Resource, where it will not be visible from the public right-of-way.

APPLICABLE GUIDELINES:

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the *Greenwich Forest Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 936394
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Alex Walker (owner)
Address: 8008 Westover RD
Daytime Phone: 301-646-5748

E-mail: alexandragwalker@gmail.com
City: Bethesda Zip: 20814
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Kate Donahue (agent)
Address: 4009 Georgia Ave NW
Daytime Phone: 2024238703

E-mail: kate@fourbrothersdc.com
City: Washington Zip: 20011
Contractor Registration No.: 125965

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? X Yes/District Name Greenwich Forest
____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 8008 Street: Westover Rd
Town/City: Bethesda Nearest Cross Street: Lambeth Rd
Lot: 9 Block: K Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The existing house at the subject property is a non-contributing structure in the Greenwich Forest Historic District, Lot 9, Block K. The house was built c. 1979 in the Modern Movement style and is clad in lap siding (planks and shingles) with brick around the foundation wall in the rear. In the rear yard, there exists a masonry deck with a metal framed awning covered by Wisteria plants, and a brick paver patio to the North of the deck. Several small trees are located towards the rear property line, and multiple small shrubs along the side property lines.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed construction includes demolishing the existing masonry deck, steps, metal awning and Wisteria plants, and replacing it with a screened porch in roughly the same footprint. At the West end of the new screened porch, a new masonry fireplace with a factory built, wood burning fireplace insert is proposed. The existing exterior doors between the masonry deck and the interior sunroom will be removed, thus turning the interior sunroom into exterior space, to be open and connected to the proposed screened porch. No existing trees will be affected by the proposed construction. All proposed work is contained to the rear yard and not visible from Westover Rd / the public right-of-way.

Work Item 1: <u>screened porch</u>	
Description of Current Condition: masonry deck and steps with metal awning and Wisteria plant coverings	Proposed Work: New wood framed screened porch with Cumaru (Brazilian teak) decking and railing, aluminum screen system, architectural asphalt shingles on the roof (with skylights) and a masonry fireplace. All new posts and beams of the porch will be wrapped with paint-grade exterior trim and painted. The ceiling inside the porch will be stained tongue & groove pine planks.
Work Item 2: <u>sunroom</u>	
Description of Current Condition: The existing sunroom is currently conditioned as interior space with tile floors, drywall on the walls and ceiling, and interior pocket doors between the sunroom and existing living room.	Proposed Work: The interior sunroom will be turned into exterior space by removing the existing exterior door between the sunroom and masonry deck, and removing the drywall, tile floor, and interior pocket doors. The walls will be insulated and clad with lap siding to match the reveal of the existing siding on the rear of the house. The tile floor will be replaced with tongue and groove Cumaru decking. The ceiling will be the same stained tongue & groove pine planks proposed for the porch ceiling, and the interior pocket doors to the living room will be replaced with full light, exterior sliding doors. A new window opening is proposed between the sunroom space and the dining room.
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

8012 WESTOVER RD

8008 WESTOVER RD

8004 WESTOVER RD



VIEW FROM NORTHWEST CORNER OF LOT LOOKING EAST & SOUTH
TOWARDS REAR OF EXISTING HOUSE AND MASONRY PORCH

8008 Westover Rd EXISTING CONDITIONS

1



FOUR BROTHERS
DESIGN + BUILD



VIEW FROM EXISTING REAR MASONRY PORCH LOOKING OUT OVER REAR YARD

8008 Westover Rd EXISTING CONDITIONS



EXISTING MASONRY DECK AND SUNROOM EXTERIOR DOORS AS VIEWED FROM REAR YARD



EXISTING MASONRY DECK SPACE AND SUNROOM EXTERIOR DOORS AS VIEWED FROM TOP OF DECK STEPS

8008 Westover Rd EXISTING CONDITIONS



PANORAMIC VIEW OF SUNROOM FROM NORTH WEST CORNER OF SPACE



INTERIOR POCKET DOOR TO LIVING ROOM

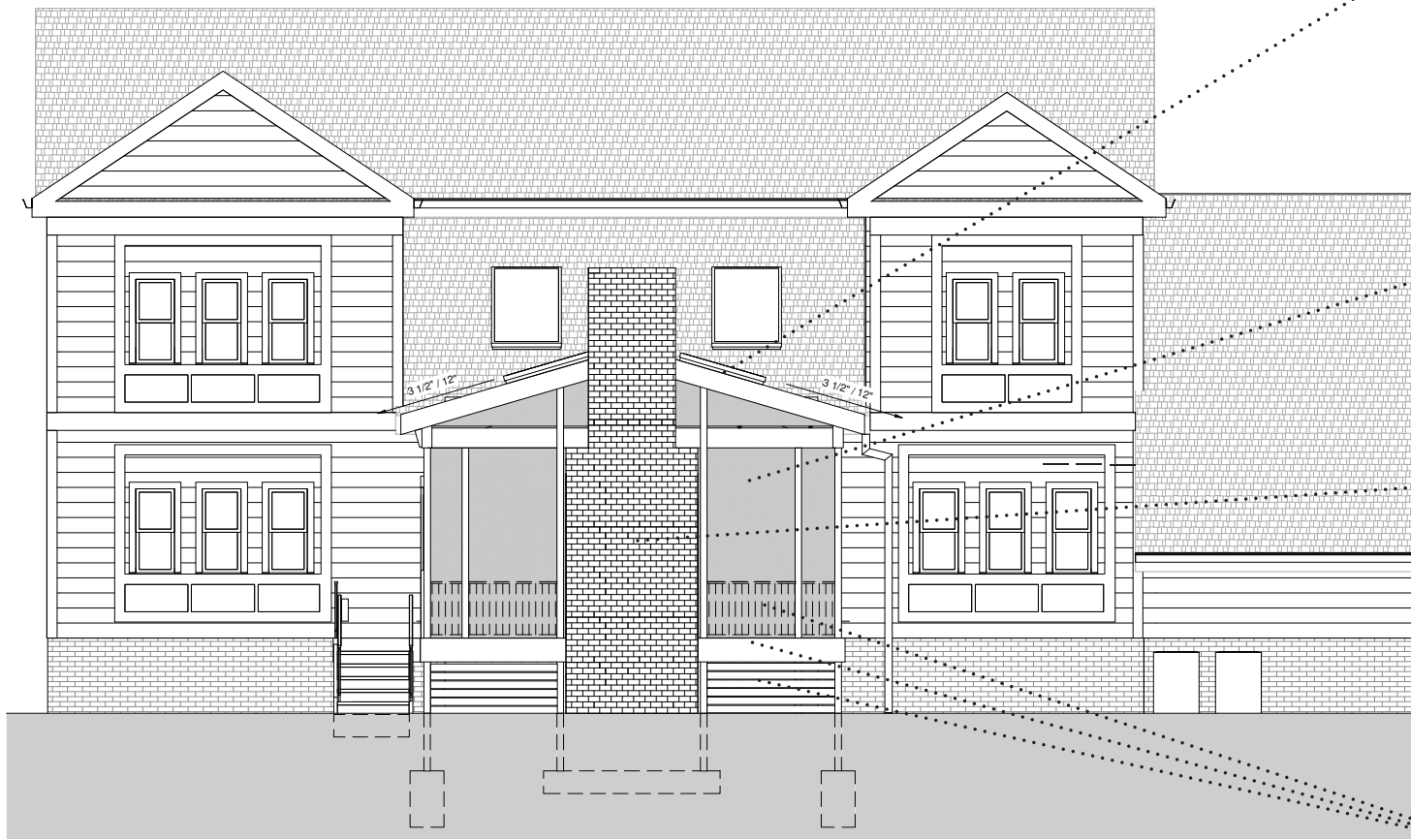


INTERIOR VIEW OF SUNROOM LOOKING NORTH



EXTERIOR DOORS BETWEEN SUNROOM AND MASONRY DECK

8008 Westover Rd EXISTING CONDITIONS



PROPOSED REAR / WEST ELEVATION



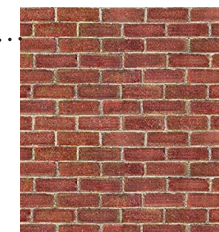
ARCHITECTURAL
ASPHALT SHINGLES,
COLOR TO MATCH
EXISTING



VELUX SKYLIGHTS



SCREEN SYSTEM;
ALUMINUM FRAME
TO BE WHITE



BRICK BOND AND
COLOR



CUMARU WOOD TO
BE USED FOR DECK
FLOOR, RAILING, DECK
APRON, AND DECK
SKIRTING

8008 Westover Rd PROPOSED EXTERIOR MATERIALS

5



FOUR BROTHERS
DESIGN + BUILD

PROJECT DATA

SCOPE OF WORK: NEW SCREENED IN PORCH ADDITION AT REAR OF HOUSE TO INCLUDE EXISTING SUNROOM RENOVATION

BUILDING AND SITE INFORMATION:

ZONING: R-90
NEIGHBORHOOD/OVERLAY DISTRICT: GREENWICH FOREST HISTORIC DISTRICT NON CONTRIBUTING STRUCTURE
BLOCK: K
LOT: 9
CURRENT USE: Single-Family Residence
PROPOSED USE: Single-Family Residence
LOT SIZE: 10,477 SF
EXISTING LOT COVERAGE: 2937 SF or 28%
PROPOSED LOT COVERAGE: 3136 SF or 30%

APPLICABLE CODES:

IRC 2015, NFPA NEC 2011, IFGC 2012, IPC 2012, IFPC 2012, IECC 2012, ALL AS SPECIFIED BY DCMR12 2013.

BUILDER:

FOUR BROTHERS LLC
4009 Georgia Av NW
WASHINGTON, DC 20011
202.423.8703
www.fourbrotherscarpentry.com

ENGINEER:

RATHGEBER/GOSS ASSOCIATES, P.C.
15871 CRABBS BRANCH WAY
ROCKVILLE, MD 20855
301.590.0071
www.rath-goss.com
ATTN: BILL DUVALL

ARCHITECT:

FOUR BROTHERS LLC
4009 Georgia Av NW
WASHINGTON, DC 20011
202.423.8703
www.fourbrotherscarpentry.com
ATTN: KATE DONAHUE

DRAWING SYMBOLS

	EXISTING WALL TO REMAIN
	DEMOLITION
	NEW MASONRY WALL
	NEW STUD WALL
	PLAN DETAIL REFERENCE
	ELEVATION REFERENCE
	SECTION REFERENCE
	INTERIOR ELEVATION DESIGNATION
	DOOR DESIGNATION
	WINDOW DESIGNATION
	PARTITION TYPE
	FIXTURE TYPE
	ELEVATION MARKER

DRAWING INDEX

Sheet Number	Sheet Name
CS01	COVER SHEET
C101	SITE PLAN
A101	DEMOLITION AND PROPOSED PLANS
A201	EXTERIOR ELEVATIONS
A301	SECTIONS
A601	DOOR AND WINDOW SCHEDULE
S101	STRUCTURAL NOTES
S102	STRUCTURAL PLANS
S603	STRUCTURAL DETAILS
E101	ELECTRICAL PLANS

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH APPLICABLE BUILDING CODES AND REGULATIONS.
- ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED IN THE FIELD.
- DIMENSIONS GOVERN OVER DRAWING SCALE. LARGE - SCALE DETAILS GOVERN OVER SMALL - SCALE UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE PERFORMED IN GOOD WORKMANLIKE MANNER AND SHALL BE EXECUTED TO COMPLETION WITH ALL DUE DILIGENCE.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT, PROFESSIONAL MANNER.
- ALL ADJACENT WORK AND AREAS OR ITEMS NOT IN CONSTRUCTION SHALL BE PROTECTED FROM ANY DAMAGE CAUSE FROM THIS WORK, AS SHALL ANY EXISTING FINISHES THAT ARE TO REMAIN.

DC WASA NOTES

A. NOTIFY DCWASA ONE-WEEK PRIOR TO START OF CONSTRUCTION, UTILITY INSPECTION SECTION AT 202-787-2377, WATER SERVICES 202-612-3400 OR 3460 AND SEWER SERVICES 202-264-3824 OR 3829.

B. DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWASA INSPECTOR(S) FOR REVIEW AND APPROVAL, UPON COMPLETION OF NEW AND EXISTING UTILITIES TO BE ABANDON IN PUBLIC SPACE, APPLICANT MUST SUBMIT THESE DRAWINGS. AS-BUILT DRAWINGS MUST SHOW DIMENSIONS, ELEVATION, RELOCATION OF ANY WASA UTILITIES AND PERTINENT INFORMATION.

C. ONCE THE WASA INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE AT ROOM 203 AND THE WATER AND SEWER DESIGN SECTION AT 5000 OVERLOOK AVE., S.W., 5TH FLOOR.

D. UNDER DCWASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS ARE RESPONSIBLE FOR EXCAVATION, BACK FILLING REPAVING AND RESTORATION OF PUBLIC SPACE FOR STREET AND SIDEWALKS CUTS, FOR NEW UTILITIES, CONNECTIONS, TAPS AND ABANDONMENT OF SERVICES WITHIN PUBLIC SPACE UNDER DC WASA INSPECTION. DC WASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED BY THESE DEVELOPERS.

ABBREVIATIONS

ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
B/O	BOTTOM OF
BLDG	BUILDING
BLK(G)	BLOCK(ING)
BM	BEAM
BSMT	BASEMENT
CFM	CUBIC FEET / METER
CLNG	CEILING
CLR	CLEAR/CLEARANCE
COL	COLUMN
CONC	CONCRETE
CR	CEILING REGISTER
DBL	DOUBLE
DIR	DIRECTION
DIM(S)	DIMENSION(S)
DN	DOWN
EQ	EQUAL
EXH	EXHAUST
EXT	EXTERIOR
EXIST	EXISTING
FLR	FLOOR
GYP BD	GYP SUM BOARD
HDR	HEADER
HDWR	HARDWARE
HT	HEIGHT
HWH	HOT WATER HEATER
INT	INTERIOR
IS	IN JOIST SPACE
MTL	METAL
NIC	NOT IN CONTRACT
OC	ON CENTER
P1	PLUMBING STACK (1)
PAN	PANTRY
R/A	RETURN-AIR
RAG	RETURN-AIR GRILL
REG	REGISTER
ROOM	ROOM
SAM	SELF-ADHESIVE MEMBRANE
S/A	SUPPLY-AIR
SF	SQUARE FEET
SIM	SIMILAR
ST	STEEL
T/O	TOP OF
TBD	TO BE DETERMINED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
VOF	VERTICAL OUTSIDE FACE
VTR	VENT TO ROOF
WD	WOOD

ZONING REPORT MAP



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202.423.8703 | www.fourbrothersdc.com

WALKER RESIDENCE

8008 WESTOVER RD
BETHESDA, MD 20814

No.	Description	Date

COVER SHEET

Drawing Set PERMIT SET
Date 12.15.2020

CS01

WALKER RESIDENCE

8008 WESTOVER RD
BETHESDA, MD 20814



No.	Description	Date

SITE PLAN

Drawing Set
Date

PERMIT SET
12.15.2020

C101

WALKER RESIDENCE

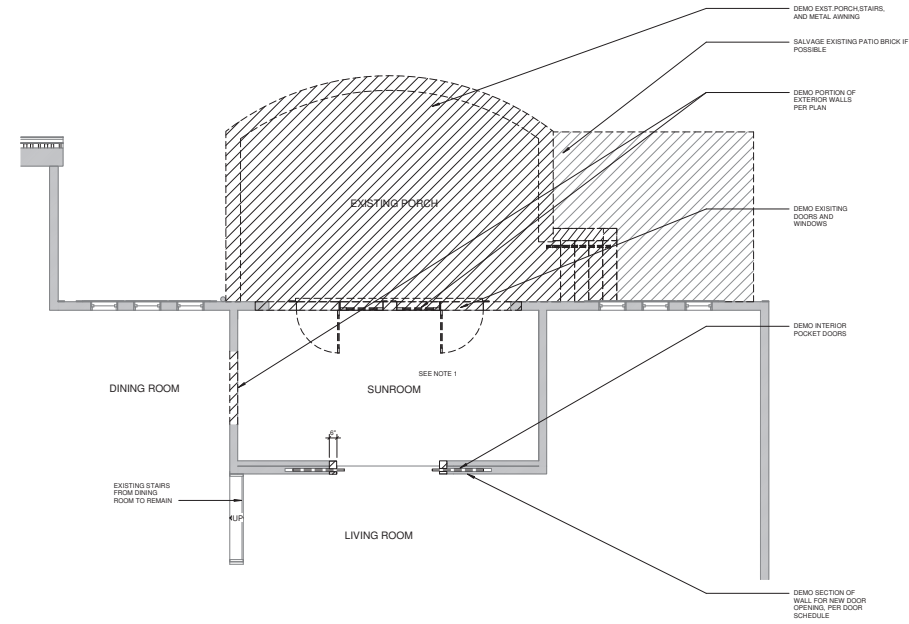
8008 WESTOVER RD
BETHESDA, MD 20814

No.	Description	Date

**DEMOLITION
AND PROPOSED
PLANS**

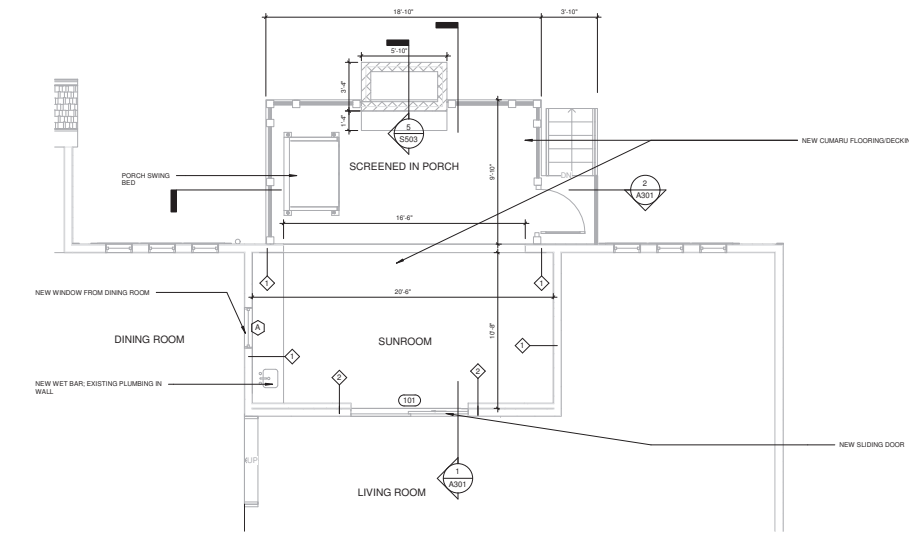
Drawing Set PERMIT SET
Date 12.15.2020

A101



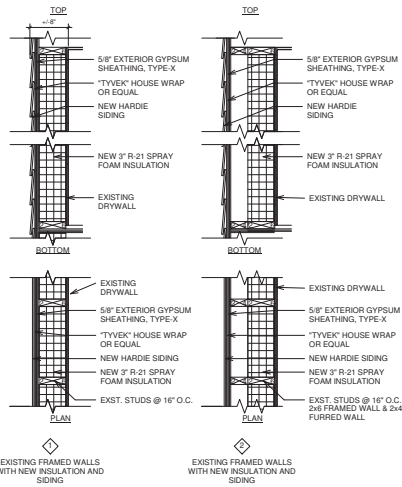
1 DEMO - FIRST FLOOR PLAN
1/4" = 1'-0"

DEMO NOTE:
1. DEMO SUNROOM TO EXPOSE CEILING WALL AND FLOOR FRAMING



2 PROPOSED - FIRST FLOOR PLAN
1/4" = 1'-0"

TYPICAL PARTITIONS:



WALKER RESIDENCE

8008 WESTOVER RD
BETHESDA, MD 20814

No.	Description	Date

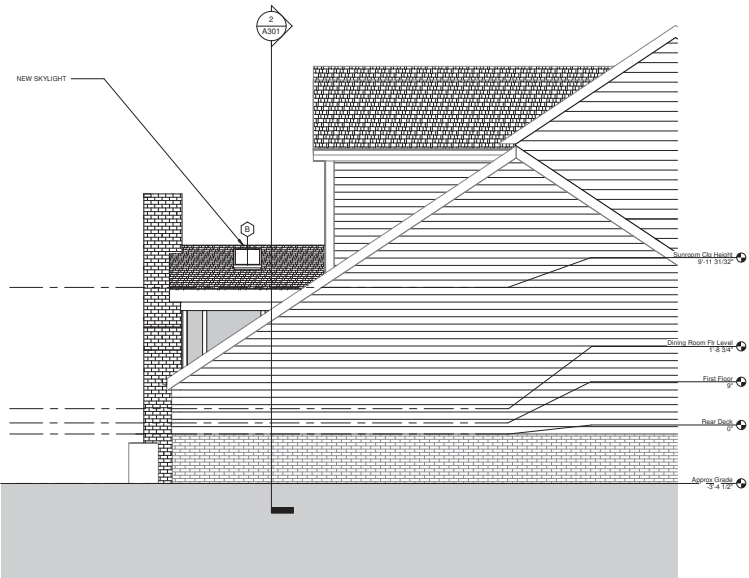
EXTERIOR ELEVATIONS

Drawing Set PERMIT SET
Date 12.15.2020

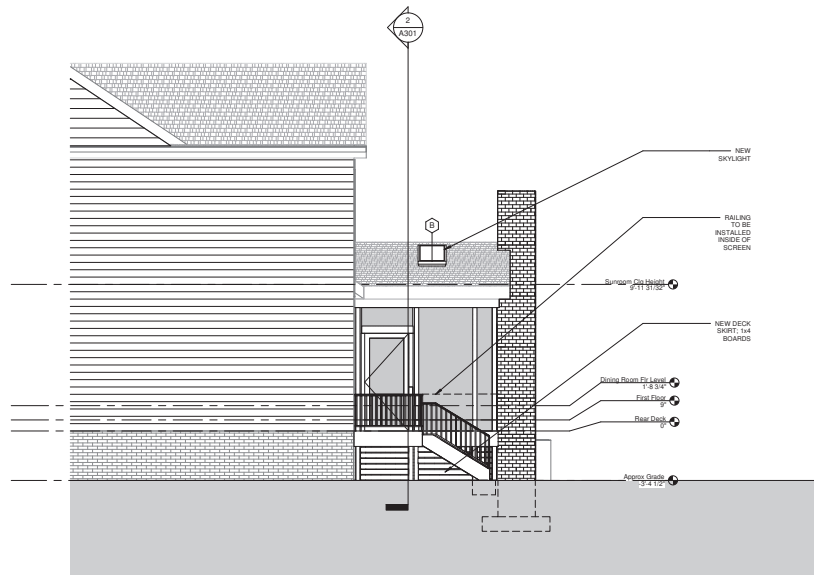
A201



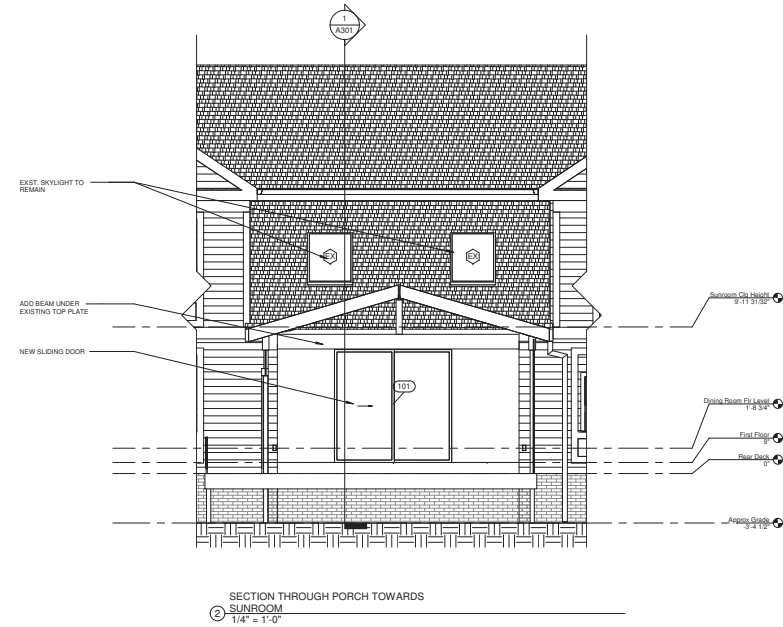
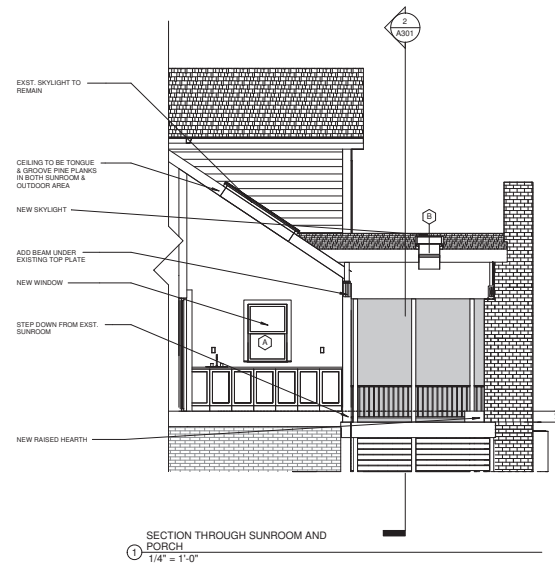
PROPOSED EXTERIOR WEST ELEVATION
①
1/4" = 1'-0"



PROPOSED EXTERIOR SOUTH ELEVATION
③
1/4" = 1'-0"



PROPOSED EXTERIOR NORTH ELEVATION
②
1/4" = 1'-0"



WALKER RESIDENCE

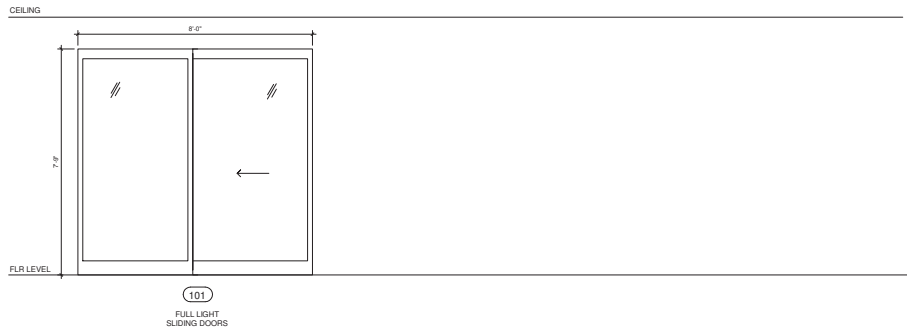
8008 WESTOVER RD
BETHESDA, MD 20814

No.	Description	Date

SECTIONS

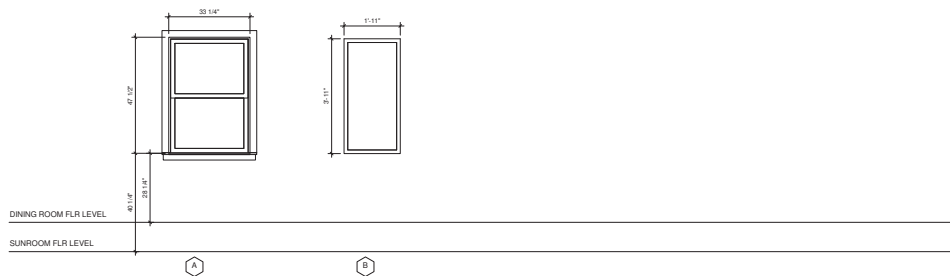
Drawing Set PERMIT SET
Date 12.15.2020

A301



Door Types
1/2" = 1'-0"

Door Schedule								
Mark	Single/Pair	Type	Width	Height	Level	U-Value	SHGC	Comments
101	SINGLE	SLIDING DOOR	8'-0"	7'-8 1/2"	First Floor	0.3	0.26	EXTERIOR SUNROOM SLIDING DOOR



Window Types
1/2" = 1'-0"

Window Schedule													
Window Type	Model	Manufacturer	Type	Width	Height	Rough Width	Rough Height	Max U-Value	Max SHGC	Comments	Tempered	Count	Comment
A	ULTIMATE DOUBLE HUNG G2	MARVIN	EXTERIOR DOUBLE HUNG	2'-9 1/4"	4'-0"	2'-10 1/4"	4'-0"	0.3	0.30	NEW SUNROOM WINDOW		1	
B	FCM 2246	VELUX	CURB MOUNTED SKYLIGHT	1'-10"	3'-10"	2'-1 1/2"	4'-1 1/2"	0.52				1	
B	FCM 2246	VELUX	CURB MOUNTED SKYLIGHT	1'-10"	3'-10"			0.52	0.24	NEW SCREENED PORCH SKYLIGHTS	Yes	2	Rough Opening dimensions are outside curb dimensions
EX				3'-0"	6'-0"	3'-0 1/2"	6'-0 1/2"					2	

WALKER RESIDENCE

8008 WESTOVER RD
BETHESDA, MD 20814

No.	Description	Date

DOOR AND WINDOW
SCHEDULE

Drawing Set
Date

PERMIT SET
12.15.2020

A601

A. APPLICABLE CODES:

1. GENERAL DESIGN CODE: 2018 IRC W/ MONTGOMERY COUNTY SUPPLEMENTS
2. CONCRETE WORK SHALL FOLLOW ACI 318, ACI 301 AND ACI 308
3. MASONRY WORK SHALL BE IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (TMS 402/ACI308/ASCE) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (TMS 602/ACI 530.1/ ASCE 6)
4. WOOD FRAMING SHALL FOLLOW THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" 2018, PROVIDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
5. ALL CONSTRUCTIONS AND MATERIALS SHALL MEET THE APPLICABLE PROVISIONS OF THE FOLLOWING STANDARDS AND CODES:
-AMERICAN CONCRETE INSTITUTE (ACI)
-AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
-NATIONAL CONCRETE MASONRY ASSOCIATION(NCMA)
-AMERICAN FOREST AND PAPER ASSOCIATION
-NATIONAL FOREST PRODUCTS ASSOCIATION (NFA&PA)

B. DESIGN LOADS:

1. GRAVITY LOADS:
1.1 ROOFS
a. GROUND SNOW LOAD 30 PSF (LIVE LOAD)
b. FLAT ROOF SNOW LOAD 21 PSF (LIVE LOAD)
c. ROOF RAFTERS 15 PSF (DEAD LOAD)
ROOF DESIGN LIVE LOAD SHALL BE LARGER OF IRC/ASCE COMPUTED LOAD AND 30 PSF EQUIVALENT UNIFORM SNOW LOAD PLUS DRIFTING AND SLIDING SNOW

- 1.2 FLOORS
a. ROOMS OTHER THAN
SLEEPING ROOMS 40 PSF (LIVE LOAD)
b. SLEEPING ROOMS 30 PSF (LIVE LOAD)
c. FLOOR ASSEMBLY LOAD 10 PSF (DEAD LOAD)

2. LATERAL LOADS:
2.1 WIND LOADS
a. BASIC WIND SPEED 90 MPH (3 SEC GUST)
b. WIND IMPORTANCE FACTOR 1.0
c. WIND EXPOSURE B
d. DESIGN WIND LOAD IS LARGER OF IRC/ASCE COMPUTED LOADS AND 16 PSF FOR MAIN WIND FORCE RESISTING SYSTEM AND COMPONENTS AND CLADDING
2.2 SEISMIC DESIGN CATEGORY B

3. FOUNDATION
3.1 FOUNDATION DESIGN ASSUMED SOIL BEARING VALUE OF 1,500 PSF.

4. DEFLECTION LIMITS
4.1 FLOOR JOISTS (LIVE LOAD) SPAN/480
4.2 FLOOR JOISTS (TOTAL LOAD) SPAN/240
4.3 ROOF RAFTERS (LIVE LOAD) SPAN/240
4.4 ROOF RAFTERS (TOTAL LOAD) SPAN/180

C. GENERAL :

1. THE METHOD OF CONSTRUCTION AND THE SEQUENCE OF OPERATIONS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SHORING AND LATERAL STABILITY OF THE BUILDING AND PORTION THEREOF DURING CONSTRUCTION.
3. CONTRACTOR TO FOLLOW OSHA REGULATIONS DURING CONSTRUCTION.
3. UNBRACED EXCAVATIONS SHALL BE NO GREATER THAN 2 HORIZONTAL PER 1 VERTICAL OR PER OSHA STANDARDS.

D. CONCRETE:

1. ALL REINFORCEMENT TO BE BILLET STEEL CONFORMING TO ASTM A615 GRADE 60 AND DETAILED, FABRICATED AND PLACED IN CONFORMANCE WITH ACI 315.
2. ALL WELDED WIRE FABRIC SHALL CONFORM WITH ASTM A185. ALL MESH EDGES SHALL OVERLAP 2 SQUARES MINIMUM.
3. CONCRETE COMPRESSIVE STRENGTH F_c AT 28 DAYS SHALL BE 3,000 PSI (FOR FOOTINGS, FOUNDATION WALLS, PIERS ETC.)
4. CONCRETE COVER UP TO THE FACE OF REINFORCING BAR:
4.1 CONCRETE CAST PERMANENTLY EXPOSED TO EARTH: 3"
4.2 FORMED CONCRETE EXPOSED TO WEATHER OR EARTH: 2"
4.3 FORMED CONCRETE NOT EXPOSED TO WEATHER OR EARTH:
a. FOR SLABS, WALLS WITH #11 AND SMALLER REBARS 3/4"
b. FOR BEAMS AND COLUMNS (DISTANCE TO TIES OR PRIMARY REINFORCEMENT WITHOUT TIES) 1.5"
5. TOTAL AIR CONTENT FOR CONCRETE EXPOSED TO WEATHER TO BE 6% PER TABLE 4.4.1 OF ACI 318.
6. PROVIDE CHAIRS, BOLSTERS, TIES ETC. AT THE APPROPRIATE SPACES TO ENSURE THE CORRECT PLACE AND SUPPORT OF THE REINFORCEMENT.
7. REINFORCEMENT SPLICES SHALL BE LAP SPLICES PER CHAPTER 12 OF ACI 318 WITH A MINIMUM LAP OF 36 DIAMETERS.
8. PROVIDE CORNER BARS AT ALL WALL, FOOTINGS AND BEAM INTERSECTIONS TO MATCH CONTINUOUS REINFORCEMENT UNLESS NOTED OTHERWISE.
9. ALL CONCRETE TO BE CONSOLIDATED IN PLACE USING INTERNAL VIBRATORS.
10. ALL KEYWAYS SHALL BE MINIMUM 1.5" X 3.5".

E. MASONRY:

1. HOLLOW LOAD BEARING UNITS SHALL CONFORM WITH ASTM C90 WITH A NET AREA COMPRESSIVE MASONRY STRENGTH OF F_m OF 1,500 PSI.
2. MORTAR SHALL BE PER ASTM C270 TYPE S.
3. USE CACI308/ASCE) AND "SPECIFICATIONS FOR MASONRY CELLS WITH 2,500 PSI COMPRESSION STRENGTH AT 28 DAYS.
4. VERTICAL REINFORCEMENT BARS SHALL HAVE MINIMUM 1/2" CLEARANCE FROM MASONRY. THE MINIMUM DISTANCE BETWEEN BARS TO BE 1" OR ONE BAR DIAMETER (WHICHEVER IS BIGGER OF THE TWO)
5. MINIMUM BAR SPICE SHALL BE 36 DIAMETERS.
6. HORIZONTAL WALL REINFORCING SHALL BE DUR-O-WALL OR EQUIVALENT AND SPACED AT MAXIMUM 16" ON CENTER.
7. GROUT POUR HEIGHT SHALL NOT EXCEED 24". CONSOLIDATE GROUT POUR MECHANICALLY AND RECONSOLIDATE AFTER THE INITIAL WATER LOSS AND SETTLEMENT.
8. MASONRY TO BE PLACED IN RUNNING BOND WITH 3/8" MORTAR JOINTS.

F. WOOD:

1. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESERVATIVE TREATED.
2. HEADERS SHALL BE MINIMUM HEM FIR #2 WITH THE FOLLOWING DESIGN VALUES:
F_b = 850 PSI
F_c perpendicular = 405 PSI
F_v = 150 PSI
E = 1,300,000 PSI
3. ALL BEARING WALLS TO BE SPRUCE PINE FIR #2 WITH THE FOLLOWING DESIGN VALUES:
F_b = 875 PSI
F_c parallel = 1,150 PSI
F_v = 400,000 PSI
4. WALL TOP AND BOTTOM PLATES TO BE SOUTHERN PINE #2 WITH THE FOLLOWING DESIGN VALUES:
F_b = 1,250 PSI
F_v = 175 PSI
F_c perpendicular = 565 PSI
E = 1,600,000 PSI
5. ALL 6X6 PRESERVATIVE TREATED POSTS TO BE SOUTHERN PINE #2 WITH THE FOLLOWING DESIGN VALUES FOR WET SERVICE CONDITION:
F_b = 850 PSI
F_c parallel = 825 PSI
F_c perpendicular = 375 PSI
E = 1,200,000 PSI
6. THE MULTIPLE PLIES OF LVL BEAMS TO BE CONNECTED TOGETHER PER MANUFACTURER'S RECOMMENDATIONS AND HAVE THE FOLLOWING DESIGN VALUES FOR 100% LOAD DURATION:
F_b = 2,600 PSI (12" DEPTH)
F_c perpendicular = 750 PSI
F_v = 285 PSI
E = 1,900,000 PSI
7. PARALLAM PSL COLUMNS 1.8E TO HAVE THE FOLLOWING DESIGN VALUES FOR 100% LOAD DURATION:
F_b = 2,400 PSI (12" DEPTH)
F_c parallel = 2,500 PSI
E = 1,800,000 PSI
8. PRESERVATIVE TREATED LUMBER REQUIREMENTS:
a. ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH EXTERIOR WALL TO BE ACO (ALKALINE COPPER QUATERNARY) OR MCA (MICRONIZED COPPER AZOLE) TREATED.
b. ALL STEEL FASTENERS, HANGERS, ETC.) IN CONTACT WITH PRESERVATIVE TREATED WOOD TO BE HOT DIP GALVANIZED WITH MINIMUM 185 COATING OR STAINLESS STEEL.
c. ALL INTERIOR WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY TO BE SODIUM BORATE TREATED WOOD.

G. CARPENTRY:

1. PROVIDE SOLID BLOCK UNDER ALL BEARING WALLS AND POSTS CONTINUOUSLY TO HE FOUNDATIONS.
2. PROVIDE SOLID BLOCKING BETWEEN THE JOISTS AND RAFTERS AT ALL BEARING POINTS.
3. PROVIDE SOLID BLOCKING AT MAXIMUM 8'-0" O.C. ALONG THE JOISTS AND RAFTERS SPANS.
4. LUMBER SHALL BEAR THE STAMP OF THE MANUFACTURER'S ASSOCIATION AND BE FULLY SURFACED ON ALL FOUR SIDES (S4S).
5. LUMBER TO BE SOUND, SEASONED AND FREE OF WARP.
6. ALL WOOD MEMBERS SHALL COMPLY WITH THE AMERICAN SOFT WOOD LUMBER STANDARD PS20 LATEST EDITION.
7. THE MAXIMUM MOISTURE CONTENT OF WOOD MEMBERS SHALL BE 19%.
8. ROOF SHEATHING TO BE 5/8" APA RATED SHEATHING EXPOSURE I OR EXTERIOR, NAILED TO ROOF MEMBERS WITH 8d COMMON NAILS AT 6" ON CENTER AND 12" ON CENTER IN FIELD. USE PLYWOOD CLIPS IF EDGES OF THE PANELS ARE BETWEEN THE FRAMING MEMBERS UNLESS NOTED OTHERWISE.
9. PLYWOOD OR OSB SUBFLOOR SHALL BE 3/4" THICK TONGUE AND GROOVE APA RATED 4824 NAIL PLYWOOD/OSB TO FRAMING MEMBERS WITH 8d COMMON NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER IN FIELD UNLESS NOTED OTHERWISE ON PLANS. INSTALL 100% GLUE LINE OF PANELS TO FRAMING MEMBERS.
10. EXTERIOR STUD WALL SHEATHING TO BE 7/16" APA RATED EXPOSURE 1 NAILED AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER IN FIELD UNLESS NOTED OTHERWISE ON PLANS.
11. ALL WOOD TOP PLATE SPLICES SHALL BE MINIMUM 4'-0" STAGGERED.
12. ALL WALL SHEATHING TO BE CONTINUOUS BETWEEN THE TOP PLATES AND THE BOTTOM PLATE OF THE WALL ABOVE.

13. FASTEN ALL MULTIPLE PLY MEMBERS TOGETHER WITH MINIMUM 2 ROWS OF 10d NAILS AT 12" ON CENTER (FOR BEAMS UP TO 12" DEEP) AND 3 ROWS FOR DEEPER BEAMS. NAILS TO BE STAGGERED.
14. DOUBLE STUDS TO BE NAILED TOGETHER WITH 12d NAILS AT 8" ON CENTER.
15. STUDS TO BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS WITH TRIPLE STUDS AT CORNERS.
16. PROVIDE MID HEIGHT BLOCKING WHERE WALL SHEATHING IS REQUIRED TO HAVE PANEL EDGE NAILING.
17. EXTERIOR WALL SILL PLATES ANCHORAGE SHALL BE DONE WITH 1/2" DIAMETER ANCHOR BOLTS PLACED AT 4'-0" ON CENTER WITH MINIMUM 7" EMBEDMENT IN CONCRETE AND 12" MAXIMUM FROM THE SILL PLATE END.
18. 1/2" DIAMETER EXPANSION ANCHOR BOLTS WITH MINIMUM 3 1/2" EMBEDMENT IN CONCRETE AT 30" ON CENTER AND 12" MAXIMUM FROM THE SILL PLATE END SHALL BE USED AT THE INTERIOR BEARING OR SHEAR WALLS.
19. ENGINEERED WOOD LUMBER SHALL CONFORM WITH THE PRODUCT SPECIFICATIONS AND INSTALLATION REQUIREMENTS OF WEYERHAEUSER/LEVEL MANUFACTURED PRODUCTS.

H. STEEL:

- W-SHAPES & WT-SHAPES.....ASTM A992
S-SHAPES, M-SHAPES, HP-SHAPES.....ASTM A36
ST-SHAPES & MT-SHAPES.....ASTM A36
C-SHAPES & MC-SHAPES.....ASTM A36
ANGLES & PLATES.....ASTM A36
HSS SHAPES.....ASTM A500, GRADE B
STEEL PIPE.....ASTM A53 (TYPE E OR S), GRADE B
HIGH STRENGTH BOLTS.....ASTM A325
MACHINE BOLTS.....ASTM A307
ANCHOR RODS.....ASTM F1554, GRADE 55 TYPE S1(UNC)
WELDED HEADED STUDS.....ASTM A108
DEFORMED BAR ANCHORS.....ASTM A496
WELDING ELECTRODES.....AWS D1.1, E70 SERIES

1. NON-SHRINK GROUT TO BE NON-METALLIC, SHRINKAGE RESISTANT GROUT, PRE-MIXED, NON-CORROSIVE, NONSTAINING PRODUCT CONTAINING SILICA SANDS, PORTLAND CEMENT, SHRINKING COMPENSATING AGENTS, PLASTICIZING AND WATER REDUCING AGENTS, COMPLYING WITH CE-CRD-621
2. ENGINEER SHALL BE CONTACTED FOR APPROVAL OF ANY FIELD MODIFICATIONS OF ANCHOR BOLTS OR RODS AND COLUMN BASE PLATES.
3. TEMPORARY BRACING OF STRUCTURAL STEEL ELEMENTS SHALL BE INSTALLED, AND STRUCTURAL STABILITY SHALL BE MAINTAINED AT ALL TIMES DURING THE ERECTION PROCESS.
4. PROVIDE ONE SHOP COAT OF RUST-INHIBITIVE PRIMER ON ALL STEEL EXCEPT FOR ITEMS TO BE HOT DIPPED GALVANIZED OR SPRAY FIREPROOFED. DO NOT PAINT PORTIONS EMBEDDED IN CONCRETE.
5. ALL WELD OPERATORS SHALL BE CURRENTLY AWS QUALIFIED.
6. SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED. USE 3/16" FILLET WELD MINIMUM.
7. FIELD CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED AS DETAILED. NO FIELD WELDING OF HOT DIPPED GALVANIZED MEMBERS WILL BE ALLOWED. USE 3/16" FILLET WELD MINIMUM.
8. DURING THE ERECTION OF STEEL BEAMS AND DIAGONAL BRACING, ALL BOLTING AND FIELD WELDING SHALL BE COMPLETE BEFORE RELEASING HOISTING CABLES.
9. SUBMIT FOR REVIEW SHOP DRAWINGS OF STEEL DETAILS PRIOR TO FABRICATING STRUCTURAL STEEL.
10. ALL EXTERIOR ELEMENTS AND THOSE ELEMENTS NOTED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER SANDBLAST CLEANING PER SSPC-SP10. USE ASTM A325 BOLTS HOT DIPPED GALVANIZED WITH GALVANIZED HARDENED WASHERS AND GALVANIZED HEAVY HEX NUTS FOR BOLTING OF GALVANIZED ITEMS.
11. STEEL COLUMNS, BASE PLATES AND ALL STEEL BELOW GRADE SHALL HAVE A MINIMUM 3" CONCRETE COVER PROTECTION.
12. MEMBERS NOTED AS "CONTINUOUS" SHALL BE FULLY WELDED AT ALL BUTT SPLICES OR CONNECTIONS SHALL BE DETAILED TO PROVIDE CONTINUITY.



WALKER RESIDENCE

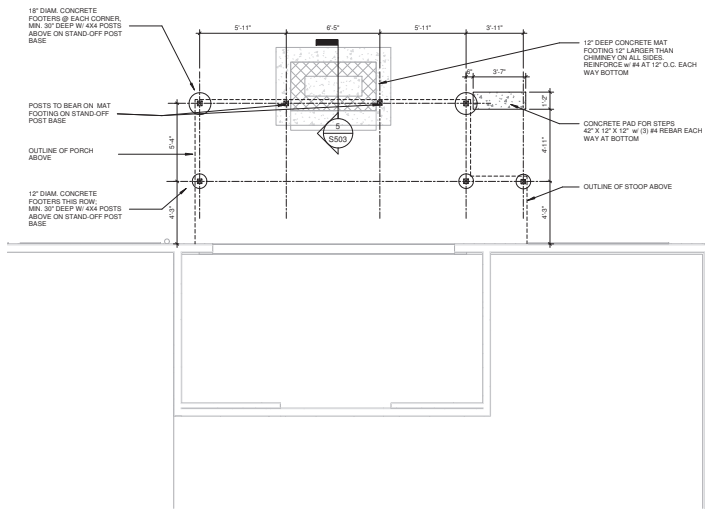
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BETHESDA, MD 20814

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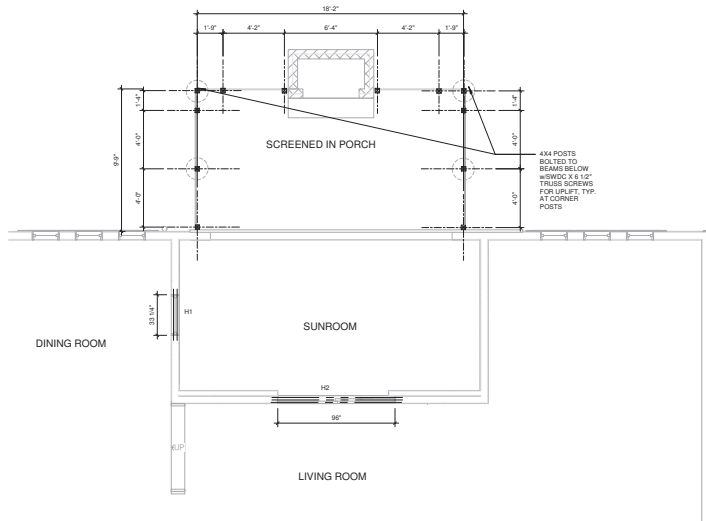
STRUCTURAL
NOTES

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Date 12.15.2020

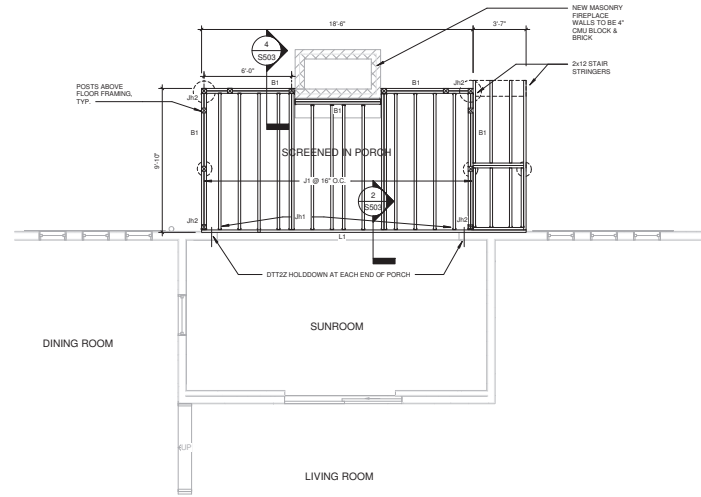
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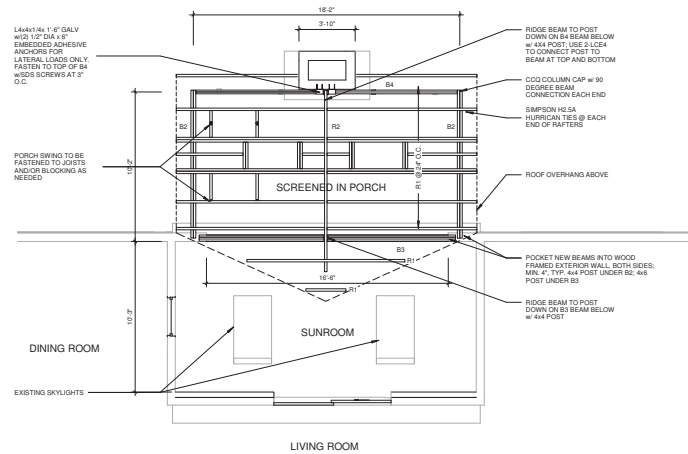
① PROPOSED FOOTING PLAN
1/4" = 1'-0"



③ PROPOSED PORCH POST PLAN
1/4" = 1'-0"



② PROPOSED DECK FRAMING PLAN
1/4" = 1'-0"



④ PROPOSED ROOF FRAMING PLAN
1/4" = 1'-0"

STRUCTURAL MEMBER SCHEDULE	
MARK	SIZE
B1	(2) P.T. 2 X 8s
B2	(2) P.T. 2 X 10s
B3	(3) 1-3/4" X 11-1/4" LVLs
B4	(2) P.T. 2 X 8s
J1	P.T. 2 x 8s @ 16" O.C.
JH1	LUGS
JH2	HOLDERS
H1	(2) 2 x 8s
H2	2-2x8 LVL w/ DOUBLE TRIMMER STUDS
L1	P.T. 2 X 12 LEDGER BD.
R1	2 X 10 @ 24" O.C.
R2	(2) 2 X 12 RIDGE BEAM

FOUR BROTHERS
DESIGN + BUILD

4008 GEORGIA AVE, NW | WASHINGTON DC 20011
202.426.8762 | www.fourbrothersdc.com

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S102



WALKER RESIDENCE

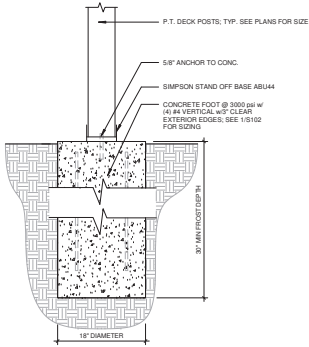
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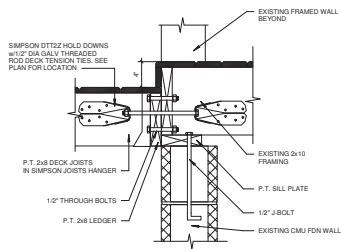
**STRUCTURAL
DETAILS**

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Date 12.15.2020

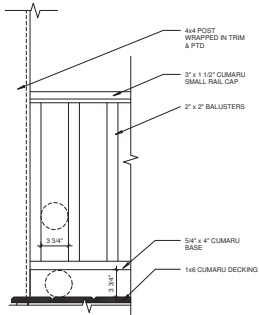
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① TYP. DECK POST DETAIL
1\"/>

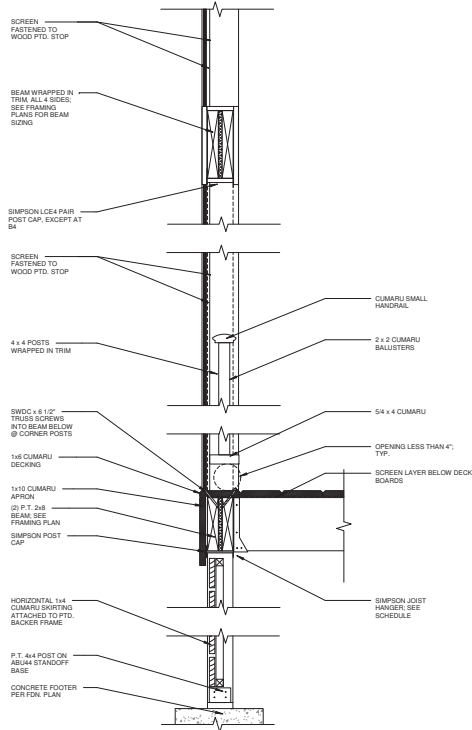


② LEDGER BOARD DETAIL
1 1/2\"/>

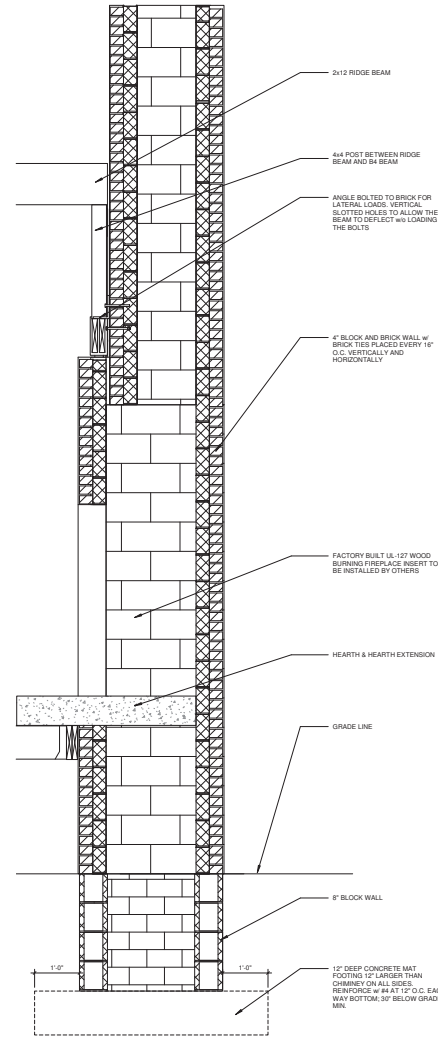


③ RAILING ELEVATION DETAIL
1 1/2\"/>

NOTE: RAILING TO BE INSTALLED ON INSIDE OF SCREEN SYSTEM



④ FOOTING TO ROOFING DETAIL
1 1/2\"/>

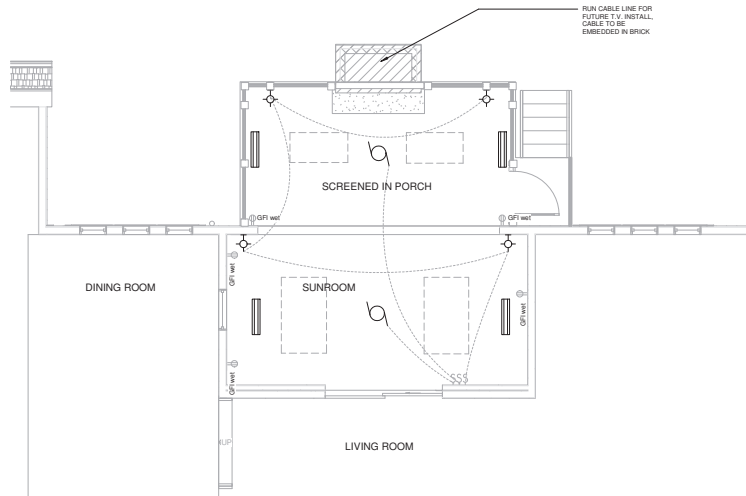


⑤ DETAIL AT FIREPLACE MANSIONRY
3/4\"/>

ELECTRICAL NOTES:

1. ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND DISTRICT OF COLUMBIA CODE. WHERE ANY PORTION OF THE WORK IS NOT SHOWN IN ACCORDANCE WITH APPLICABLE REGULATIONS AND CODES, MAKE CHANGES AS REQUIRED IN A MANNER APPROVED BY THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER. RESOLVE ANY CONFLICTS BEFORE INSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
2. ELECTRICAL EQUIPMENT SHALL BE NEW, UNDAMAGED, AND BEAR THE 'UL' LABEL. INSTALL EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS OR ANY HIGHER STANDARD REQUIRED BY CONSTRUCTION DOCUMENTS OR RELEVANT CODE.
3. THE PROVISIONS OF THE GENERAL REQUIREMENTS, THE GENERAL PROVISIONS, AND THE BIDDING AND CONTRACT REQUIREMENTS APPLY TO ALL ELECTRICAL WORK.
4. OBTAIN REQUIRED PERMITS AND PAY ANY FEES REQUIRED FOR THE ELECTRICAL WORK, AS INCLUDED IN BID PRICE.
5. TEST ALL SYSTEMS, DEVICES, AND RELATED EQUIPMENT ON-SITE WITH EQUIPMENT IN PLACE AS WORK IS COMPLETED. REPLACE ANY DEFECTIVE WORK AND RETEST UNTIL SATISFACTORY AT NO ADDITIONAL COST TO THE OWNER.
6. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND ARE FOR CIRCUIT ALLOCATION ONLY. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF STRUCTURE.
7. PROVIDE HARDWIRED, INTERLINKED SMOKE DETECTORS W/ BATTERY BACKUP PER CODE.
8. ALL OUTLETS LOCATED IN KITCHENS, BATHROOMS, LAUNDRY ROOMS, GARAGES, OUTSIDE, AND IN OTHER WET LOCATIONS, ARE TO BE GFI RATED.
9. ALL RECESSED LIGHT FIXTURES SHALL BE SEALED HOUSINGS AND LABELED ACCORDINGLY TO MEET <2.0 CFM LEAKAGE AT 75 Pa
10. ALL RECESSED LIGHT FIXTURES SHALL BE LED AND 75% OF ALL OTHER FIXED LIGHTING SHALL HAVE HIGH EFFICIENCY BULBS INSTALLED
11. ALL INTERIOR LIGHTS TO BE ON DIMMER SWITCHES

ELECTRICAL LEGEND	
D	DIMMER
	200 AMP ELECTRICAL PANEL
	120V DUPLEX RECEPTACLE MTD 14" AFF
	120V DUPLEX RECEPTACLE w/ GROUND FAULT INTERRUPTER, MTD 14" AFF
	120V DUPLEX RECEPTACLE w/ ARC FAULT INTERRUPTER, MTD 14" AFF
	DEDICATED APPLIANCE OUTLET
	WALL SWITCH, MTD 48" AFF
	3 WAY WALL SWITCH, MTD 48" AFF
	DISPOSAL SWITCH
	CHANDIEIER
	WALL MTD LIGHT FIXTURE
	CEILING MTD LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	4" DIAMETER RECESSED CEILING LIGHT FIXTURE
	4" DIAMETER RECESSED CEILING LIGHT FIXTURE, WET LOCATION
	EXHAUST FAN
	CEILING FAN w/ LIGHT
	SMOKE/CARBON MONOXIDE DETECTOR/HARDWIRED & INTERLINKED
	CLOSET LIGHTING



① Proposed First Floor Electrical Plan
1/4" = 1'-0"

NOTE:
1. EXISTING 200A ELECTRICAL PANEL IN BASEMENT; NEW 100A SUBPANEL TO BE INSTALLED

WALKER RESIDENCE

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No.	Description	Date

**ELECTRICAL
PLANS**

Drawing Set PERMIT SET
Date 12.15.2020

E101

