MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19 Grafton Street, Chevy Chase Meeting Date: 11/18/2020

Resource: Outstanding Resource Report Date: 11/11/2020

Chevy Chase Village Historic District

Applicant: Joshua Bonnie **Public Notice:** 11/04/2020

(Jenn Heller, Architect)

Review: HAWP Tax Credit: NA

Case Number: 35/13-20HH Staff: Michael Kyne

PROPOSAL: Building alterations

STAFF RECOMMENDATION

Staff recommends that the HPC <u>approve</u> the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource

STYLE: Shingle DATE: c. 1892-1916



Fig. 1: Subject property.

PROPOSAL

The applicant proposes the following alterations at the subject property:

- Construction of a second story addition/expansion at the rear (north side) of the historic house.
- Alteration/extension of an existing dormer at the rear (north side) of the historic house.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Sec. 24A-8. Same-Criteria for issuance.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; [emphasis added] or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

"Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"Strict Scrutiny" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The Guidelines that pertain to this project are as follows:

<u>Dormers</u> should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources they should be subject to strict scrutiny if they are visible from the public right-of-way.

<u>Major additions</u> should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not

permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.

<u>Second or third story additions</u> or expansions which do not exceed the footprint of the first story should be subject to moderate scrutiny, in view of the predominance of large scale houses in the Village. For outstanding resources, however, such additions or expansions should be subject to strict scrutiny if they are visible from the public right-of-way.

STAFF DISCUSSION

The applicant proposes to construct a second story addition/expansion at the rear (north side) of the historic house. The proposed second story addition/expansion will be entirely within the footprint of the existing first floor structure at the rear. The proposed design includes a gambrel roof form and dormers with roof slopes to match the existing. The proposed materials include wood double-hung windows, painted cedar shake siding, and asphalt shingle roofing to match the existing.

The applicant also proposes to alter the leftmost (as viewed from the public right-of-way of Grafton Street) existing dormer at the rear (north side) of the historic house. As proposed, the dormer will be extended to connect to the proposed second story addition/expansion. The proposed new materials will match the existing (painted cedar shake siding and asphalt shingle roofing).

Staff notes that, while the existing one story structure at the rear (north side) of the historic house has experienced previous HAWP-approved alterations, including fenestration alterations (approved at the February 7, 2018 HPC meeting) and alterations to the attached rear porch (railing replacement, conversion to a screened porch, and removal of the rearmost cantilevered section of porch, which was subject to a preliminary consultation at the November 18, 2015 HPC meeting and approved via a HAWP at the February 10, 2016 HPC meeting), the 1927 Sanborn Fire Insurance Map indicates that it is original to the historic house (see *Fig. 2* below).

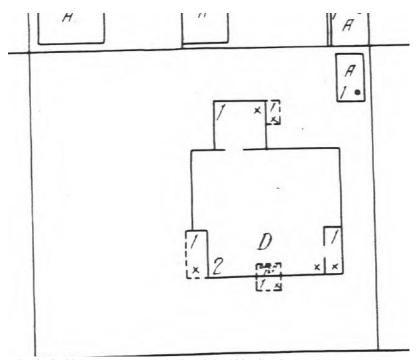


Fig. 2: Subject property, as depicted on 1927 Sanborn Fire Insurance Map.

The previous alterations were approved, in part, because of their general lack of visibility from the public right-of-way, due to their location at the rear, as well as the grading of the relatively steeply sloped lot. Likewise, staff finds that the proposed second story addition/expansion and dormer alteration/extension at the rear (north side) of the historic house will be negligibly visible, at best, from the public right-of-way. Accordingly, staff finds that, although the subject property is classified an Outstanding Resource, the proposed work items should be reviewed with moderate scrutiny rather than strict scrutiny (see the *Guidelines* regarding dormers and second or third story additions above).

In accordance with the *Guidelines*, the design and materials of the proposed second story addition/expansion and dormer alteration/extension are compatible with the historic house. Furthermore, the proposed second story addition/expansion is in the preferred location at the rear of the historic house. Staff also finds that, because the proposed second story addition/expansion does not exceed the footprint of the existing first floor structure, and its roofline is below that of the historic house, there is no potential for the proposal to overwhelm or detract from the historic house.

In accordance with *Standards* #2 and #9, the proposal will not remove or alter character-defining features of the historic house or surrounding streetscape. Per *Standard* #10, the proposed additions and alterations can be removed in the future without impairing the essential form and integrity of the historic property and its environment.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10, and the Chevy Chase Village Historic District Guidelines outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission <u>approve</u> the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10;

and with the general condition that the applicant shall present the 3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit

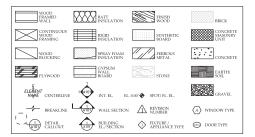




APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

look Donnie	
Name: Josh Bonnie	E-mail: jheller@musearchitects.com
19 Grafton Stree	
Daytime Phone: 301 718 811	
AGENT/CONTACT (if applicable):	
Name: Jenn Heller	jheller@musearchitects.com
Address: 7401 Wisconsin A	
Daytime Phone: 301 718 811	
LOCATION OF BUILDING/PREMIS	E: MIHP # of Historic Property
map of the easement, and docume Are other Planning and/or Hearing	nd Trust/Environmental Easement on the Property? If YES, include a ntation from the Easement Holder supporting this application. Examiner Approvals / Reviews Required as part of this Application? Plat, etc.?) If YES, include information on these reviews as Street: Grafton Street
Building Number:	_ Street:
Charry Chara	
	Nearest Cross Street: Cedar Parkway Subdivision: 009 Parcel:

KEY TO MATERIALS & DRAWING SYMBOLS



LIST OF ABBREVIATIONS

Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
1X	One-inch nominal thickness	F.B.O.	Furnished ByOwner	PART.	Partition
		F.D.	Floor Drain	PLMB.	Plambing
2X	Two-inch nominal thickness	F.F.	Finish Floor	PLYWD	Plywood
@	At				
AC	Air Conditioning	FDIN.	Foundation	PMVT.	Pavement
AFF.	Above Finish Floor	FGLAS.	Fiberglass	PREFAB.	Prefabricated
ABV.	Above	FIN.	Finish	PREFIN.	Prefrished
ADJ.	Adjustable	FIXT.	Findure	PSF	Pound Per Square Foot
ALN.	Alian	FLASH'G.	Flashing	PSI	Pound Per Square Inch
ALT.	Alternate	FL.	Floor	P.T.	Pressure Treated
ALUM.	Aluminum	FLRG. FLUOR.	Flooring	PTD. PVC	Painted
ANCH.	Anchor		Fluorescent		Polyvinyl Cliloride
APPROX.	Approximate	F.O.	Face of	QTY.	Quantity
ARCH.	Architect (or Architectural)	F.O.S.	Face of Structure (or Stud)	R.	Riser(s)
AVG	Average	F.O.M.	Face of Masonry	RAD.	Radius
B.O.F.	Base of Footing	FRMG.	Framing	RCP	Reflected Colling Plan
BD. BEDRM	Board or Bead	F.P. FT.	Fireplace	RECPT.	Receptacle
	Bedroom		Feet		Refrigerator
BETW.	Between	FTG.	Footing	REINF.	Reinforcing
BLDG.	Building	FURG	Furring	REPL.	Replace
BLKG.	Blocking	FURN.	Furnoce	REQ'D.	Required
BM.	Beam	GA.	Gauge	REV.	Revision
BLT.	Bolt	GALV.	Galvanized	RH	Right Hand
BOT.	Bottom	G.C.	General Contactor	RM.	Room
BRG.	Bearing	GFI	Ground Fault Interrupter	R.O.	Rough Opening
BRK.	Brick	GL.	Glass	SCHED.	Schedule
BSMT.	Basement	GWB	Gypsum Wall Board	S.CONC.	Scaled Conrete
BYD.	Besond	GYP.	Gypsum	SCR.	Scroen
C.	Course	H.B.	Hose Bibb	SDG.	Siding
CAB.	Cabinet; Cabinetry	HD.	Head	SDL	Simulated Divided Lite
CEM.	Cement	HDR.	Header	SGL.	Single
CER.	Ceramic	HDW.	Hardware	SHT.	Sheet
C.J.	Control Joint	HDWD.	Hardwood	SHTG.	Sheathing
C.L.	Centerline	HORIZ.	Horizonal	SHWR.	Shower
CLADIG	Cladding	HT.	Height	SIM.	Simlar
CLG	Celling	HTR.	Heater	SPDC.	Specifications
CLOS	Closet	HVAC	Heating/Ventlation/Air-	SO.	Square
	Caraci		Conditioning	34.	inquire
CLR.	Clear	H.W.	Hot Water	S.S.	Stainless Steel
CMU	Concrete Masonry Unit	LB.C.	International Building Code	STD.	Standard
C.O.	Cased Opening	LG.	Insulated Glass	STL	Steel
COL.	Colum	IN.	Inch	STOR.	Storage
COORD	Coordinate; Coordination	INCL	Include(d)	STRUC.	Structure(-a)
CONC.	Concrete	INSUL.	Insulation	SUBFL.	Subfloor
CONST.	Construction	INT	Interior	SURF.	Surface
CONT.	Continuous	IRC	International Residential Code	SW.	Switch
CPT	Carnet	IST	loist	SWM	Storm Water Management
CPR.	Copper	л.	Joint	SYM.	Symbol
CRIT.	Critical	KIT	Kitchen	SYN.	Synthetic
CRS	Course	LAM.	Laminote	T	Trend(s)
CSK.	Countersink	LAV.	Lavoratory	TAG	Tongue and Groove
CSMT.	Casement	LEV.	Level	T.B.S.	To Be Specified
CT.	Ceramic Tile	DH.	Left Hand	TDL.	True Divided Lite
CTOP.	Counterton	LT.	Light	TEMP.	Temperature
CTR.	Conter	LTG.	Lighting	THK.	Thick
CTRD.	Centered	LVL	Laminated Vencer Lumber	TJL	Truss Joints
C.W.	Cold Water	M	Master	TO	Top of
C.W.	Cold Water Dryer	M. MAS.	Master	T.O.F.	Top of Footing
D DBL	Dryer Double	MAS. MAT.	Masoury	T.O.F.	
DBL		MAT. MAX	Material Maximum	T.O.S.	Top of Slab
	Demolish; Demolition	MAX. MDO			Top of Struture
DET.; DETL.	Detail		Medium Denzity Overlay	T.O.W.	Top of Wall
DIA.	Dismeter Dispersion	MDF	Medium Denity Fiberboard Mechanical	TOIL.	Toilet Themoplesic Polyolefin
DISP.	Disposal	MED. CAB.	Medicine Cabinet	TRTD.	Treated
DN.	Down	MEM.	Membrane	TYP.	Typical
DR.	Door	MFR.	Manufacturer(s)	U.C.	Under-couner
D.S.	Downspout	M.O.	Masonry Opening	UNFIN.	Unfinished
D.W.	Dishwasher	MIN.	Minimum	U.N.O.	Unless Noted Otherwise
DWG.	Drawing	MISC.	Miscellineous	UIIL.	Utility
EA.	Each	MLDG.	Molding.	V.B.	Vapor Barrier
EJ	Expansion Joint	MIL.	Metal	VENT.	Ventlate(-or)
EL.	Elevation	MTD.	Mounted	VEST.	Vestibule
ELEC.	Electrical	M.W.	Microwave	V.I.F.	Verify in Field
ELEV.	Elevator	N.E.C.	National Electric Code	W.	Washer
EPS	Expanded Polystyrene	N.I.C.	Not In Contract	W/	With
EPXY	Epoxy	NO.	Number	W/O	Without
EQ.	Equal	N.T.S.	Not To Scale	W.C.	Water Closet
EQUIP.	Equipment	O.A.	Overall	WD.	Wood
EST.	Established	O.C.	On Center	WDW.	Window
E.T.R.	Existing to Remain	OFF.	Office	W.H.	Water Heater
EX., EXIST.	Existing	O.H.	Overhang	W.P.	Waterproof
	Educst	OPNG.	Opening	WPFG	Waterproofing
EXH.			Opposite	W.S.	
	Exterior	OPP.			Weather Stripping
EXIL EXI.	Exterior	OPP.	Opposite	W.S.	Weather Stepping Weight

VICINITY MAP



PROJECT NARRATIVE

This project is for the renovation of and addition to an existing single family dwelling.
 This project scope includes a one story addition over the existing one story kitchen, and interior renovations to the existing principal state.

GENERAL NOTES

	 following notes shall apply to alldrawings made as part of the Contract for construction for this oject, including those drawings listed in the INDEX OF DRAWINGS on this sheet:
1.	The Contractor shall field verify all dimensions
2.	DO NOT SCALE THE DRAVINGS to obtain dimensions.
3.	Dimensions shown are to face of structure (i.e face of stud, masonry, concrete) unless roted otherwise on the drawings.
4.	All construction resulting from the execution of this work shall conform to the current 2015 International Residential Code (RC) with ammendments, and the Maryland Building Performance Standards (MBPs); and with any other requirements established by Montgomery County and the state of Maryland.
5.	All work represented in the drawings for this project shall be considered part of the work required by the Contract Documents for the poject and shall be executed in a manner consiste with the provisions described in the Specificators and General Notes.
6.	The construction work described in these drawings is applicable only to this project. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract.
7.	The Contractor shall comply with current requirements for Montgomery County & the state of Maryland for radon mitigation.

DESIGN PARAMETERS

MONTGOMERY COUNTY

ICE SHIELD UNDERLAYMENT REQD: Yes
FLOOD HAZARDS: July 2, 1979

AIR FREEZING INDEX: 300

MEAN ANNUAL TEMP:: 55 deg. Farenheit

ZONING SUMMARY

Zone R-60

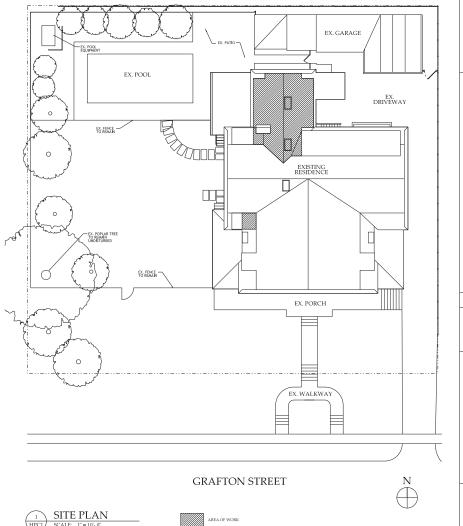
Lot 4
Plate: 106
Plate: 209
Plate: 107
Plate Assessed Area: 17,500 sq ft.
Esisting Lot Coverage: No change to existing.
Proposed Lot Coverage: No change to existing.
Maximum Building Height: No change to existing.
Building Setbackes. No change to existing.
Structure built in 1908.

INDEX OF DRAWINGS

Sheet	Drawing Title
HPC1	COVER SHEET
HPC2	FLOOR PLANS
HPC3	ROOF PLANS
HPC4	SOUTH ELEVATIONS
HPC5	WEST ELEVATIONS
HPC6	NORTH ELEVATIONS
HPC7	WINDOW SCHEDULE & WINDOW DETAILS
HPC8	PHOTOGRAPHS AND DETAILS
HPC9	PHOTOGRAPHS AND DETAILS

THE BONNIE RESIDENCE

19 GRAFTON STREET CHEVY CHASE, MD 20815



MUSE ARCHITECTS,
Architecture and Interior Design

BONNIE RESIDENCE

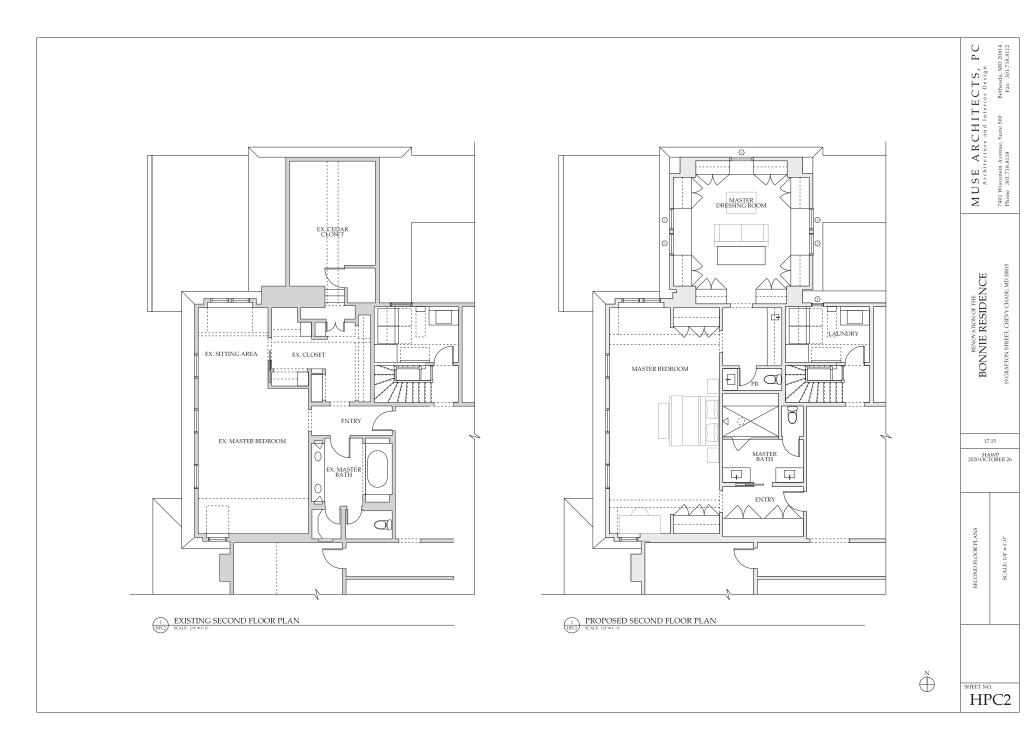
17.15 HAWP 2020 OCTOBER 26

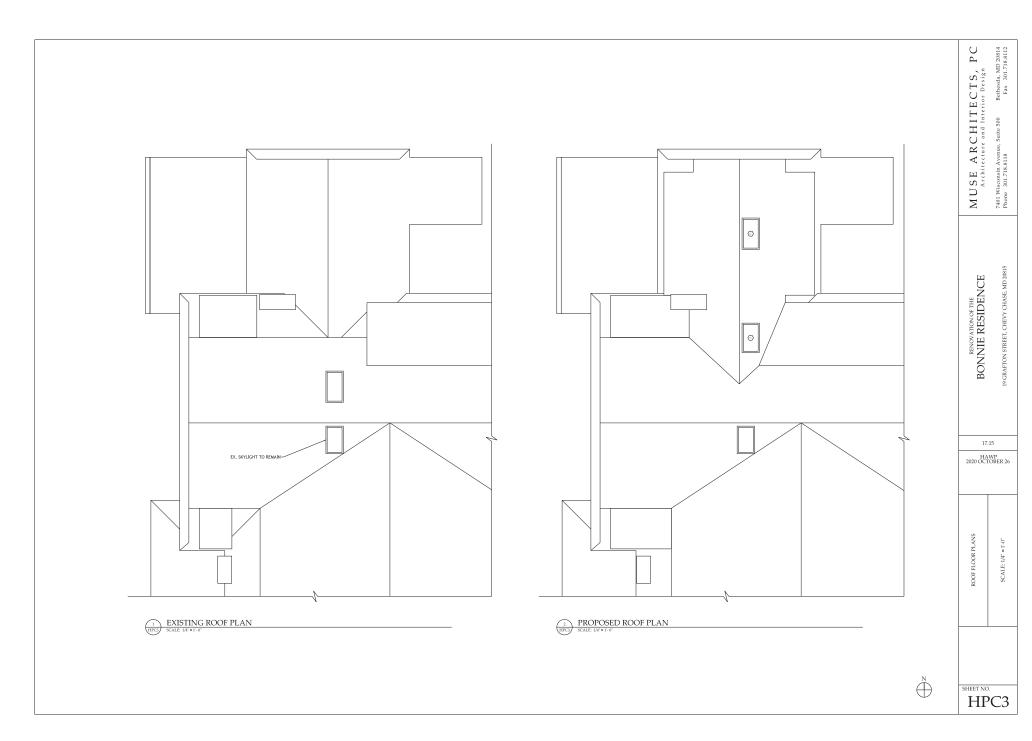
HAWP 2020 OCTOBER 26

COVER SHEET
SCALE: AS NOTED

SHEET NO.

HPC1











WINDOW SCHEDULE

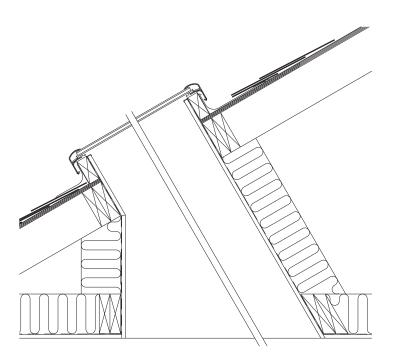
Mark	Description	R.O.	Light Cut	Remarks
A	Marvin Ultimate Wood Operable Doublehung	3'-2" x 5'-3"	T.M.E	Window to comply with egress requirements. 7/8" sim. div. lite with spacer bar. Factory primed exterior. Primed white interior cobr. Low-E2 argon insulated glazing.
В	Marvin Ultimate Wood Operable Casement	1'-8" x 3'-6", V.I.F	1W x 1H	Factory primed exterior T.M.E. window paint. Primed white interior cobr. Low-E2 argon insulated glazing.
C	Velux Fixed Curb Mounted Skylight	2'-4" x 4'-0" outside curb	n/a	Align per plans. Provide similar laylight detail @ each skylight shaft per HPC2

NOTES:

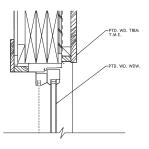
- Contractor to verify all dimensions in field prior to placing order, typical.
- Contractor shall provde shop drawings for architect's review prior to placing order.
- All windows to have simulated divided lites 7/8" muntin bar with internal spacer bar
- Window swings are indicated on plans & elevations.
- Provide safety/tempered glass per IRC/ local code.

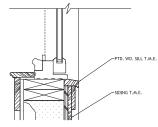
 Provide screens at all operable windows to match exterior finish.

- Contractor shall coordinate window & door rough openings to achieve trim alignments reflected on interior elevations.
 Exterior facing hardware shall be oil rubbed bronze finish, typical. Interior facing hardware & hinges shall be white, typical.

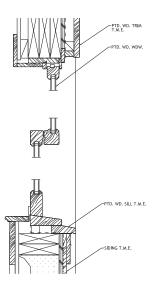












3 TYP. DOUBLE HUNG WINDOW DETAILS

HPCS SCALE: 3'-1'-0'



SOUTH ELEVATION FROM SIDEWALK SCALE: NTS





SOUTHWEST FROM STREET

HPC9 SCALE: NTS









WEST FACADE DORMER DETAIL
SCALE: NTS



NORTH FACADE FROM PATIO SCALE: NTS







