

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

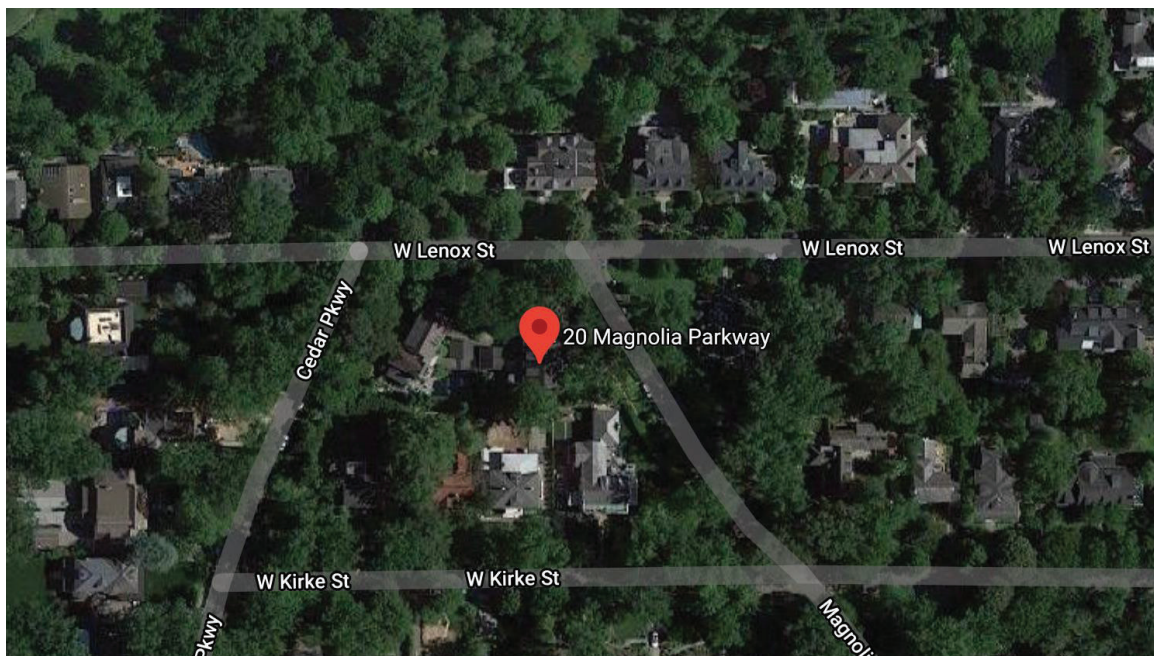
<b>Address:</b>	20 Magnolia Parkway, Chevy Chase	<b>Meeting Date:</b>	11/18/2020
<b>Resource:</b>	Contributing Resource (Chevy Chase Village Historic District)	<b>Report Date:</b>	11/11/2020
<b>Applicant:</b>	Susan Keisler (Adele O'Dowd, Agent)	<b>Public Notice:</b>	11/4/2020
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	35/13-20GG	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Hardscape alterations		

**STAFF RECOMMENDATION:**

☒ Approve  
☐ Approve with conditions

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** c. 1916-27



***Fig. 1: Subject property.***

**PROPOSAL:**

The applicant proposes the following work items at the subject property:

- Minimal regrading (6" fill within an approximately 175 sf area) and landscaping at the north (right, as viewed from the public right-of-way of Magnolia Parkway) side of the subject property.
- Construct a low (12" high max) semi-circular stacked stone retaining wall/informal seat at the north (right) side of the subject property.
- Installation of three 6' L x 1' W x 3" H bluestone steps into grade in the existing slope at the north (right) side of the subject property. Each of the proposed steps will be separated by approximately 5' of turf.

**APPLICABLE GUIDELINES:**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.

**Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design

significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

***Secretary of Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:  
HAWP# 931436  
DATE ASSIGNED \_\_\_\_\_

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

**APPLICANT:**

Name: Susan Keisler

E-mail: suekeisler@gmail.com

Address: 20 Magnolia Pkwy

City: Chevy Chase Zip: 20815

Daytime Phone: 301-320-4490

Tax Account No.: 07-00457826

**AGENT/CONTACT (if applicable):**

Name: Adele O'Dowd

E-mail: adele.odowd@gmail.com

Address: 4702 Derussey Pkwy

City: Chevy Chase Zip: 20815

Daytime Phone: 202-255-0728

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property 20 Magnolia Pkwy, Chevy Chase, MD

Is the Property Located within an Historic District? XYes/District Name Chevy Chase Village Historic District  
\_\_\_\_No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.  
Unknown

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 20 Street: Magnolia Parkway

Town/City: Chevy Chase Nearest Cross Street: West Lenox St.

Lot: 6 Block: 39 Subdivision: 0009 Parcel: 0000 Section 2

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch                     | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence                          | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                           | <input type="checkbox"/> Window/Door                     |
|   |   | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

October 27, 2020

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>  20 Magnolia Pkwy Chevy Chase, MD 20815	<b>Owner's Agent's mailing address</b>  4702 Derussey Pkwy Chevy Chase, MD 20815
<b>Adjacent and confronting Property Owners mailing addresses</b>	
<b>Elissa Leonard and Jerome Powell</b> 37 W. Lenox St. Chevy Chase, MD 20815	<b>Dan and Kristy Coughlan</b> 20 W. Lenox St. Chevy Chase, MD 20815
<b>Erin Graefe and Patrick Dorton</b> 5921 Cedar Parkway Chevy Chase, MD 20815	

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

2.5 story Center Hall Colonial, circa 1920 on a corner lot with West Lenox

Center of the north side yard within existing lawn area, where a dangerous tree has already been removed (by separate CCV permit)

**Please note: Tree Survey is included on project plan**

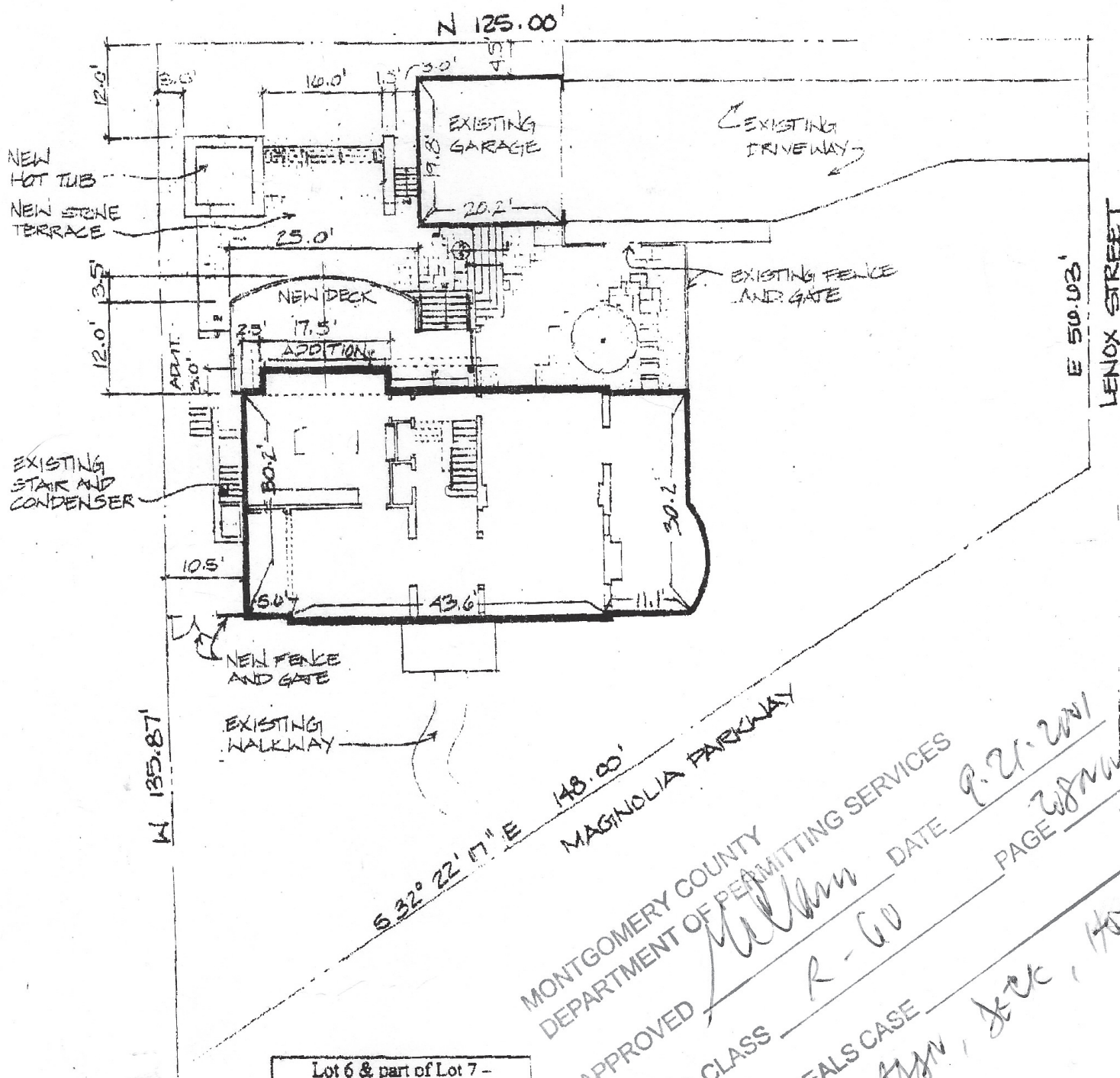
**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Improve look and usefulness of side yard's central area, build low wall that can be used as informal seat, slightly reduce lawn on NW corner to make better lawn shape, add lawn "steps" (individual 6' x 1' x 3" pavers separated by 5' turf between) to promote "sense of place".

# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*





Lot 6 & part of Lot 7 -  
Section 2 Block 39  
Chevy Chase  
Montgomery County, MD

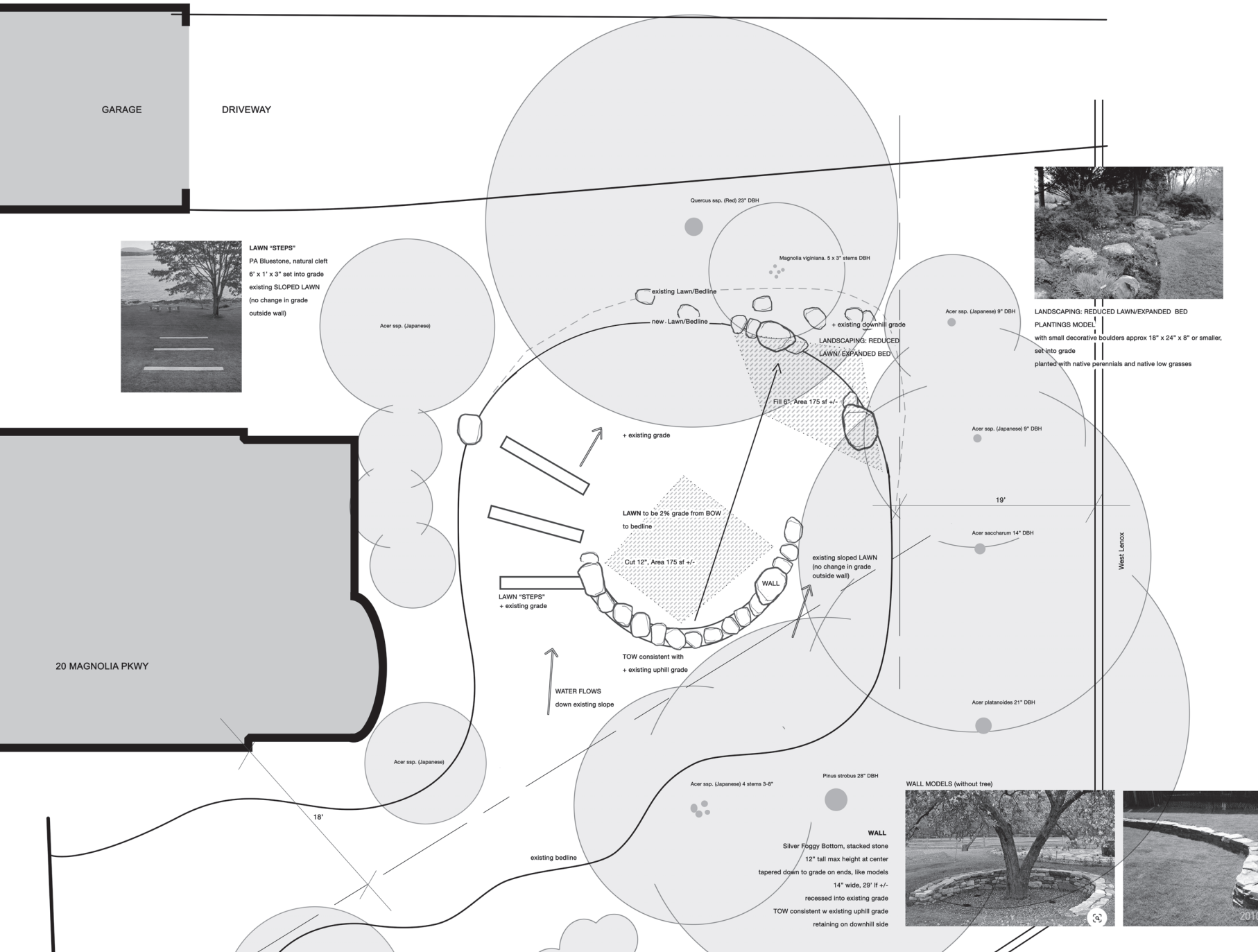


SITE PLAN

1/20" = 1'-0"

MONTGOMERY COUNTY  
DEPARTMENT OF PERMITTING SERVICES  
APPROVED *[Signature]* DATE *9-21-2001*  
ZONING CLASS *R-60* PAGE *28/29*  
BOARD OF APPEALS CASE *2000-0000, DEC, 1407*





Pruning by Design  
4702 DeRussey Parkway  
Chevy Chase MD 20815  
Adele O'Dowd, landscape designer  
Annika Hakkar, principal  
202.255.0728  
pruningbydesign@gmail.com  
www.pruningbydesign.com

# KEISLER RESIDENCE 20 MAGNOLIA PARKWAY, CHEVY CHASE, MD 20815



Date	SIGN OFF
06/13/2020	
09/28/2020	
10/01/2020	
10/15/2020	

## Work Item 1: Low Wall

### Description of Current Condition:

Current Condition: long, gentle-sloped and lumpy lawn area where a dangerous, diseased large white oak was removed and stump ground, which used to be a central feature of the yard (previously permitted through CCV)



**Proposed Work:** Add a semi-circular, low retaining wall (informal seat) 12" at its center and tapering down to existing grade on the ends, Top of Wall on retaining uphill (east) side to be consistent with existing grade, and on downhill (west) side, the area below wall will be cut within semi-circle to meet existing central lawn grade.

MODEL (but without tree)

Materials:  
**Foggy Bottom, stacked stone**



## Work Item 2: Landscaping: reduce lawn / expand bed

### Description of Current Condition:

NW corner



Unused, awkwardly shaped lawn corner that dips



↑  
NW corner

### Proposed Work:

Total lawn size to be reduced (see plan), existing lawn area at lower NW corner to be filled to raise 6". Existing planting bed on that corner to be expanded, planted with native shrubs, perennials and grass

## Work Item 3: Lawn "Steps"

### Description of Current Condition:

lawn near foundation bed



### Proposed Work:

Add three 6' x 1' x 3" set into grade in existing slope, separated by approximately 5' turf between

Materials: PA Bluestone, natural cleft,

