

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

Address:	7220 Spruce Avenue, Takoma Park	Meeting Date:	12/2/2020
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	11/25/2020
Applicant:	Andrew Saindon	Public Notice:	11/18/2020
Review:	HAWP	Tax Credit:	n/a
Case No.:	37/03-20JJJ	Staff:	Dan Bruechert
Proposal:	Deck Construction		

RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application with **one (1) condition:**

1. The deck and stair railing needs to be constructed out of wood, not vinyl, with the pickets installed between the top and bottom rail. Verification that this condition has been met and final approval authority is delegated to Staff.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
 STYLE: Craftsman
 DATE: 1923



Figure 1: 7220 Spruce Ave.

PROPOSAL

The applicant proposes to remove the existing rear deck and construct a larger deck.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- Alterations to features that are not visible from the public right-of-way should be allowed

as a matter of course

- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Chapter 24A

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

STAFF DISCUSSION

The subject property is a one-and-a-half story side-gable Craftsman. There is a small, non-historic, wood deck at the rear of the house that is not visible from the public right-of-way. The applicant proposes to demolish this rear deck and install a new deck with a portion screened-in.

The existing rear deck is not historic and its removal will not impact the historic character of the house or the surrounding district. Staff recommends the HPC approve the deck demolition.

In place of the existing deck, the applicant proposes installing a new deck measuring approximately 19' ×

20' (nineteen feet by twenty feet). The deck aligns with the side wall planes of the historic house. A section of the deck, measuring approximately 10' × 20' (ten feet by twenty feet) will have a shed roof covered in architectural shingles and will be screened-in. The structure and decking for the proposed porch will be pressure treated wood. The applicant proposes Azek trim boards and a vinyl railing for the deck and stairs.

Staff finds the size and placement of the deck are compatible with the historic house and surrounding district. Because the proposed deck will be directly behind the house, it will not be visible from the public right-of-way. The *Design Guidelines* state that alterations to features not visible from the right-of-way should be approved as a matter of course. The *Design Guidelines* also state that non-original building materials may be approved on a case by case basis. Staff finds that the use of Azek is appropriate because they mimic the appearance of wood to a sufficient degree when used as trim boards, particularly at the rear. Staff finds, however, that the proposed vinyl railing is not an appropriate substitute material. Vinyl is generally not appropriate because its visual and physical properties are not compatible with wood. Vinyl's shiny appearance will not develop a patina with age and when touched feels different than wood. Staff recommends the HPC add a condition for approval that the railing is constructed out of wood, with the pickets installed between the top and bottom rails (see the image below for an example that satisfies this condition). Staff finds that with the identified condition, the proposal satisfies 24A-8(b)(2) and (d); Standards 2, 9, and 10; and the *Design Guidelines* and recommends the HPC approve the proposal. Verification that this condition has been met and final approval authority should be delegated to Staff.



Figure 2: Example of a railing where the pickets are installed between the top and bottom rails.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve** the HAWP application with one condition:

1. The deck and stair railing needs to be constructed out of wood, not vinyl, with the pickets installed between the top and bottom rail. Verification that this condition has been met and final

approval authority is delegated to Staff.

under the Criteria for Issuance in Chapter 24A-8(b)(2), (d), having found that the proposal, is consistent with and compatible in character with the purposes of Chapter 24A; The Takoma Park Historic District Design Guidelines;

and with the Secretary of the Interior's Standards for Rehabilitation #2, 9, and 10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 927570
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Andrew Saindon
Address: 7220 Spruce Avenue
Daytime Phone: (202) 904-5250

E-mail: asaindon@yahoo.com
City: Takoma Park Zip: 20912
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Takoma Park
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Andrew J. Saindon

September 24, 2020

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Our house is a Sears Craftsman bungalow on a 1/4-acre lot, with a separate two-car garage.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We plan to expand our back deck and screen it in.

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

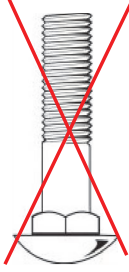
Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:



Typical Requirements for Deck Construction

1. Footings within 5 feet of an existing structure foundation shall be dug to the depth of the existing footing.
2. Approved corrosion-resistive flashing shall be provided where exterior porches, decks or stairs attach to a wall or floor assembly or wood frame construction.
3. Stairways shall be illuminated in accordance with section R303.7 of the 2018 IRC
4. Stairways with 4 or more risers shall have a handrail with a minimum and maximum height of 34" and 38" respectively, measured vertically from the nosing of the tread. The handgrip portion of the handrail shall have a circular cross section of 1 1/4" minimum to 2" maximum.
5. Guardrails are required on raised floor surfaces located more than 30" above the floor or grade below. Minimum guard height shall be 36". Spaces or openings in guards shall not allow passage of a sphere 4" in diameter.
6. Where supported by attachment to an exterior wall, decks shall be positively anchored to the primary structure and designed for both vertical and lateral loads as applicable. As per Montgomery County Executive Regulation 31-19 when a ledger connection is used, the ledger should be fastened by through bolts with washers with spacing in accordance with Table 5 of the Montgomery County Typical Deck Details. **Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self-supporting (2018 IRC R507.8).**
7. Carriage bolts, below left, are not acceptable. All through bolts to be hex head, below right, with washers and hex nuts. **Counter sinking of bolts is not permitted.**



NOT APPROVED



APPROVED

DECK/ SCREEN PORCH

These plans for permit # 923305 have been conditionally approved in accordance with any corrections noted on plans. The building permit is a license to construct in accordance with adopted codes and does not waive any code requirements not noted during plan review.

Issuance of permit does not prevent field inspectors from ordering corrections to meet codes when issues are noted during inspections.

MONTGOMERY COUNTY
Department of Permitting Services

Approved M.STUP

Date 9/10/20

GENERAL STRUCTURAL ARRANGEMENT APPROVED
SUBJECT TO FURTHER APPROVAL BY FIELD INSPECTOR

***SEE MONTGOMERY COUNTY DECK DETAILS FOR ADDITIONAL TYPICAL INFORMATION**

*Compliance with the 2017 NEC, section 210.52 (E) (3); which requires a receptacle to serve each deck and balcony is required.





APPROVED
Department of Permitting Services
Permit # **BUILDING-923305**
Date **09/11/20**
Stamped By: Gail Lucas



Montgomery County Department of Permitting Services

255 Rockville Pike, 2nd Floor
Rockville, MD 20850-4166
Phone: 311 in Montgomery County or (240)777-0311
Fax: (240)777-6262
<http://www.montgomerycountymd.gov/permittingservices>

NOTICE OF REQUIRED RESIDENTIAL BUILDING INSPECTIONS

BUILDING INSPECTION(S) must be performed for all issued building permits

You must arrange for the inspection(s) according to the procedures specified below. If you have questions regarding this procedure, please call 311 between the hours of 7:30 A.M. – 4:00 P.M. Monday to Friday. If you have job specific questions during construction, please call the inspector assigned to the area in which the project is located.

You should request your inspection at least 24 hours prior to the date the inspection is needed. To schedule inspections, except partial inspections, call 311. Inspection requests must include the street address, permit number, and the type of inspection needed. Inspection requests made before 12 noon will be scheduled for the next working day, requests made after 12:00 noon will be scheduled within two working days. A specific time for an inspection cannot be given at the time that the inspection is scheduled.

The permit shall be kept on the site during the entire time the work is in progress and until its completion. If house numbers are not shown on the house or structure, the address must be posted in a visible location from the main road or entrance and must be displayed in large four-inch letters on a temporary card. FOR ALL INSPECTIONS, A SET OF APPROVED PLANS STAMPED BY MONTGOMERY COUNTY MUST BE ON THE JOB SITE FOR INSPECTOR'S REVIEW.

BEFORE YOU DIG call MISS UTILITY 1-800-257-7777 (2-day notice is required). Please note that the Maryland High Voltage Line Act prohibits any person or object from getting closer than 10 feet from high voltage power lines.

The following INSPECTIONS are required for your building permit number 923305

- ☒ 555 SIGN – The sign must be posted on the property within 3 days after the permit issuance date and must remain posted on the property for 30 days. The sign must be located on the side of the lot/parcel, which provides principal access to the street or right-of-the-way. It must be conspicuously posted not more than 5 feet from the front property line and mounted at least 30 inches, but not more than 60 inches, above the ground. NO BUILDING INSPECTION WILL BE PERFORMED PRIOR TO THE APPROVAL OF THIS INSPECTION.
- ☒ 001⁽¹⁾ FOOTINGS – Conducted prior to concrete placement and after excavation for wall footings, retaining wall footing (sometimes), column/pier footings, or thickened slabs have been completed; after grade stakes, reinforcing steel, concrete-encased electrode (for new dwellings) are in place; and after sediment control measures are installed according to the approved sediment control plans.
- ☐ 402 REBAR, DEADMAN, GEOGRID PLACEMENT – Conducted prior to pouring/backfilling retaining walls.
- ☐ 002⁽¹⁾ WATERPROOFING/FOUNDATION DRAINAGE – Conducted after walls have been waterproofed and exterior foundation drainage system have been installed. Insulation, if used, shall be in place and protected as required. If interior drain tiles are to be used, weep holes (2 in. minimum diameter, 6 feet on center) must be installed. A second inspection may be required prior to backfilling the interior drainage system.
- ☐ 011⁽¹⁾ CONCRETE SLAB-ON-GROUND FLOOR – After the installation of the slab base, vapor retarder, slab edge insulation, and a minimum 3 in. schedule 40 PVC, or equivalent gas tight pipe inserted into a 3 in. tee embedded into the slab base for the venting of RADON GAS and labeled adequately. Where the sump crock is to be used for the venting of RADON GAS, it must be in place at the time of the inspection.
- ☐ 003⁽²⁾ WALL CHECK (HOUSE LOCATION SURVEY) – The owner must have a house location survey prepared and certified by a Maryland Registered Land Surveyor and must submit a copy to the building official for approval prior to erecting the framing. A wall check not identifies by a premise address and permit number will not be accepted. No wall shall be constructed on the foundation without an approved wall check.
- ☐ 006 MASONRY FIREPLACE/CHIMNEY – Conducted after the chimney/fireplace and the first flue liner section are completed.
- ☐ 042 WALL BRACING – Conducted prior to installation of weather-resistive barrier (house wrap).



- ☒ 004 FRAMING (CLOSE-IN) – Conducted after the completion of all framing, air sealing, rough wiring, fire sprinkler system installation and testing, plumbing and mechanical distribution systems (as required) but prior to installing exterior finish, insulation and drywall. Roof is to be completed and weatherproof. The exterior finish is not to be installed until framing (close-in) has been approved. When plumbing work is part of the construction, a Washington Suburban Sanitary Commission (WSSC) plumbing inspection must be approved before requesting a framing inspection. The building, electrical and mechanical inspections must be requested at the same time. When floor framing is less than 48 in. above the surface below, a framing inspection must be requested prior to installation of any floor materials.
- ☐ 041⁽³⁾
- ☐ 043 INSULATION – Conducted after the FRAMING (close-in) inspection has been approved to verify that the installed insulation R-values matches the approved plans or specifications for the building.
- ☐ 012 SWIMMING POOL BONDING – Conducted when the pool has been formed with the rebar installed and bonded prior to placement of concrete or backfill. During construction pool excavations must be completely enclosed by a 42 in. high safety fence AT ALL TIMES when work is not being performed in the pool.
- ☒ 251 FINAL – Final: Conducted after the building is completed and ready for occupancy, but prior to settlement on the house. For new construction, final electrical and mechanical inspections must be requested with the final building inspection. Note: A final approval from WSSC shall be obtained for all plumbing/gas installations prior to requesting final building inspections from the County. The final approval for sprinkler final inspection, duct blaster and blower door tests certifications, if required, shall be obtained prior to the request for a final inspection. Where a building is served by an on-site water system or an on-site sewage disposal system, any condition of the permits issued for those systems shall be satisfied prior to the final inspection. If an owner refuses access within a reasonable time after a house is completed, the building official may close the permit file, but this action will not relieve the owner from any obligation to comply with applicable codes. The final inspection must be requested and approved before a building (or portion thereof) is used or occupied.
- ☐ Partial Inspection – A \$97 inspection fee plus 5% automation fee the must be paid when scheduling this inspection ([Executive Regulation 9-15AMIII](#)).

Reinspection Fee – A fee, as established in the Schedule of Fees for Permits, Licenses and Certifications, must be paid before any further inspections will be performed at the building site, after a building, electrical or mechanical inspection has been disapproved twice for the same violation. To alert you of the re-inspection fee the inspector will leave a disapproval sticker indicating a fee is due and outlining the payment procedure. This fee must be paid prior to requesting any future inspections. Inspections which cannot be performed because the inspector cannot gain access to the construction site, or where work is incomplete, will be considered disapproved, counting toward the two allowed disapprovals. To avoid re-inspection fees, footing, waterproofing/foundation drainage and slab inspections not ready due to weather conditions, may be cancelled by phone or upon the inspector's arrival up to 8:30 a.m. on the scheduled day. All other inspections must be cancelled prior to inspector's arrival on the job site. To cancel an inspection call 311 and provide the permit number, address and type of inspection.

Framing (CLOSE-IN) and FINAL building inspections must be requested at the same time with the electrical and mechanical inspections for the relevant Electrical and Mechanical Permits, if any of these permits is required. If all inspections are not properly requested, the inspector will disapprove the scheduled inspections.

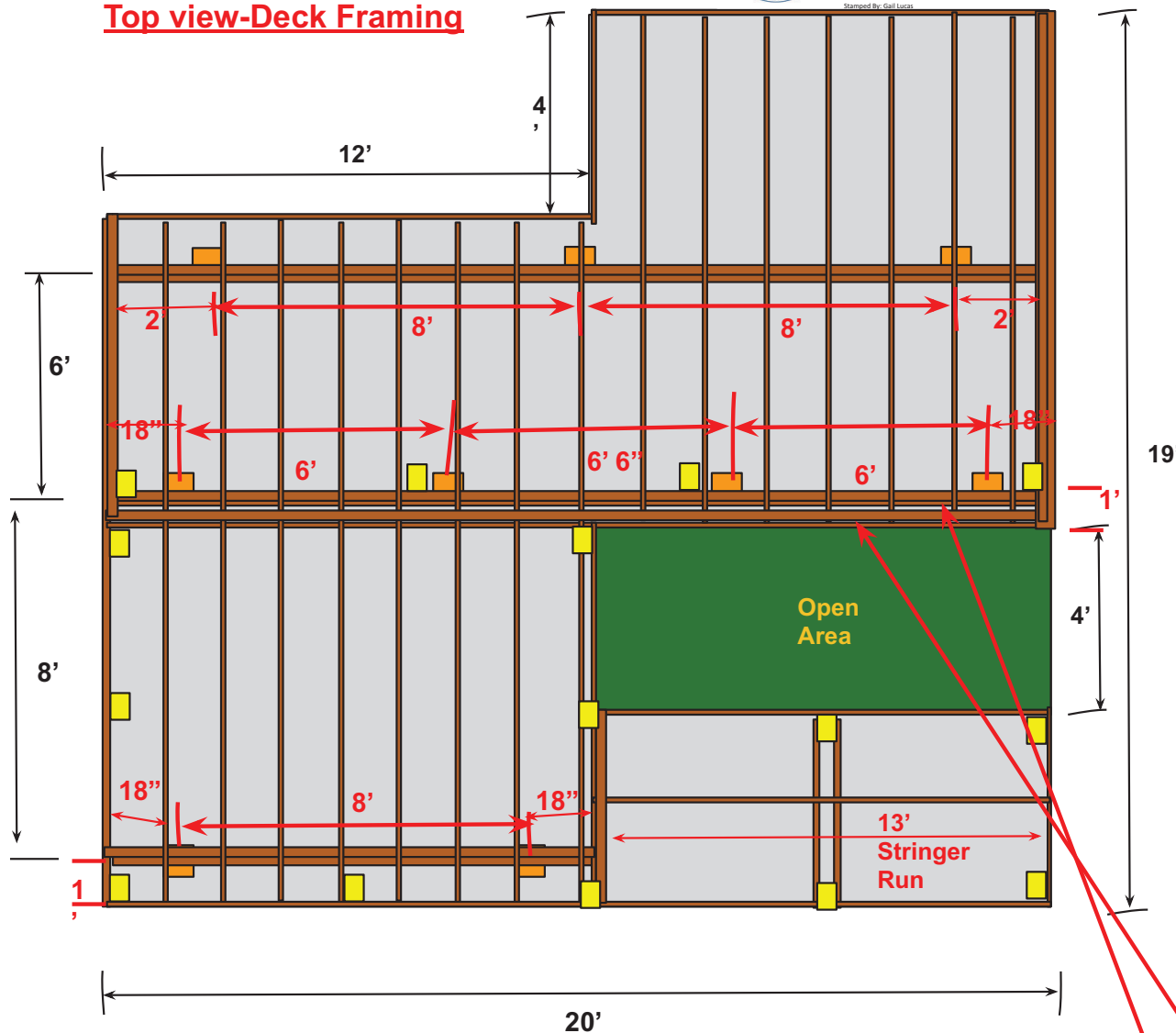
For more information on scheduling inspections, please review the Residential Inspections Timing Checklist.

- (1) A [residential special inspector](#) may carry out the inspection.
- (2) Owner must have a house location survey prepared and certified by a Maryland Registered Land Surveyor or a Registered Professional Engineer (where the property lines and corners are already existing and determined on the ground) and must furnish a copy to the Zoning Enforcement Section for approval before any further inspections may be scheduled. For questions about wall checks please call 311.
- (3) For construction of new single-family dwellings and townhouses only.



APPROVED
Department of Permitting Services
Permit # BUILDING-923305
Date 09/11/20
Stamped By: Gail Lucas

Top view-Deck Framing



Scale: $\frac{1}{4}"=1'$

Ledger=2x8 P-Treated: $\frac{1}{2}$ x 7" Galv. Thru bolted into home band board. (2) at ends, 16" on center along run, staggered, up/down.

Joists=2x8 P-Treated, *16" on center. Hung at ledger, simpson strong ties, over spans to rim joist/band board.

Double 2x8 P-Treated rim joists =porch perimeter.

Piers=6x6 P-Treated-16" in from bands and <8' on center, to inside piers. Tops notched to receive load beams.

Load beams=(2) 2x10 P-Treated. Band to band, inside notched pier pockets. (2) $\frac{1}{2}$ x 7, Galv. Hex Bolted fastened thru piers.

Hurricane clips at each joist to load beam junction.

Stair Stringers=(3) 2x12" P-Treated. Hung on stringer ledger with (2) PT 4x4 posts at center of stringer run with (2) 2x8 PT Stringer support load beams $\frac{1}{2}$ x 7 hex bolted thru fastened.

Pressure Treated 2 x 6" deck boards both porch and deck

Veranda, white vinyl railings and balusters on deck and porch

Vinyl post sleeves both porch and deck with skirts/boots Azek trim boards over rim joists and stringer sides

FOOTINGS WITHIN 5' OF THE EXISTING HOUSE MUST GO TO THE EXISTING HOUSE FOOTING DEPTH

GUARD RAILS AND HAND RAILS TO BE 5' MAX

Half of the structure is a porch.

That double line above the green field is a double rim joist cap.

The second double line above it, is the load beams over the pier tops:

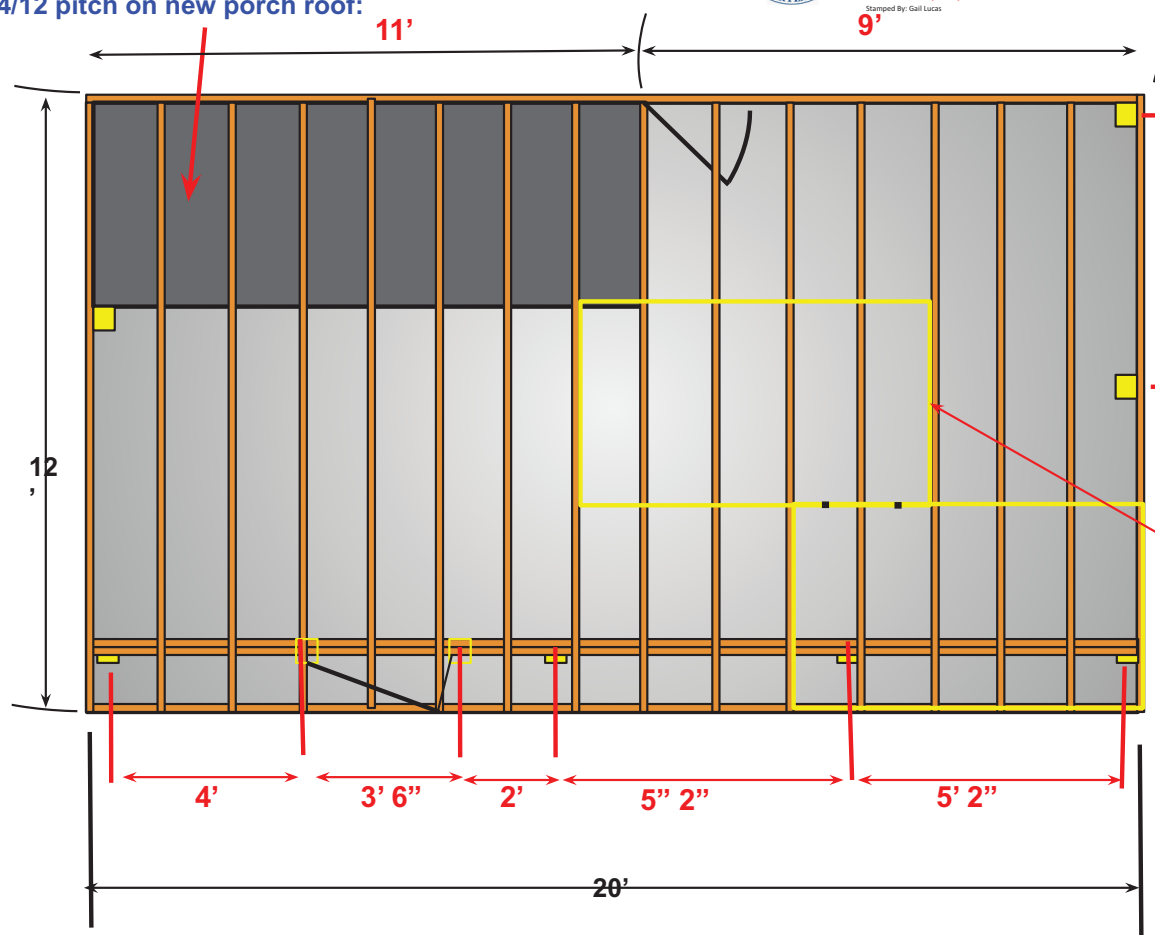
Existing roof line: New roof line of porch goes over:
 Old roof stays and will be Azek clad along the fascia & rake
 4/12 pitch on new porch roof:

Top View



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Scale -1/4" = 1'



Ledger=2x8 SPF: 1/2 x 6 Lag Bolted into second story wall studs, 16" on/c, (2) at ends and staggered along the ledger run, up and down.

Continual polymer flashing between ledger and removed siding.

Rafters=2x8 SPF, hung on simpson rafter hangers at ledger, 16" on center, span out to header=1' eave/soffit beyond header.

Header=(2) 2x8 SPF: (2) 1/2 x 7 hex bolted into posts

Posts=4x4 P-Treated: 4 rafter bearing points inside header and 2 flush with rakes.

Hurricane clips at each rafter and header junction

Roof Sheathing=7/16 x 4 x 8 OSB, staggered at 4' with sheet joining clips between each rafter. Synthetic paper over OSB, Drip edge on eave and rakes with laminate shingles to match home: Continual apron flashing behind siding at ledger and over shingles-face nails along flashing sealed.

1-3.0 screen door access to deck area.

Existing 3.0 home door access to porch.

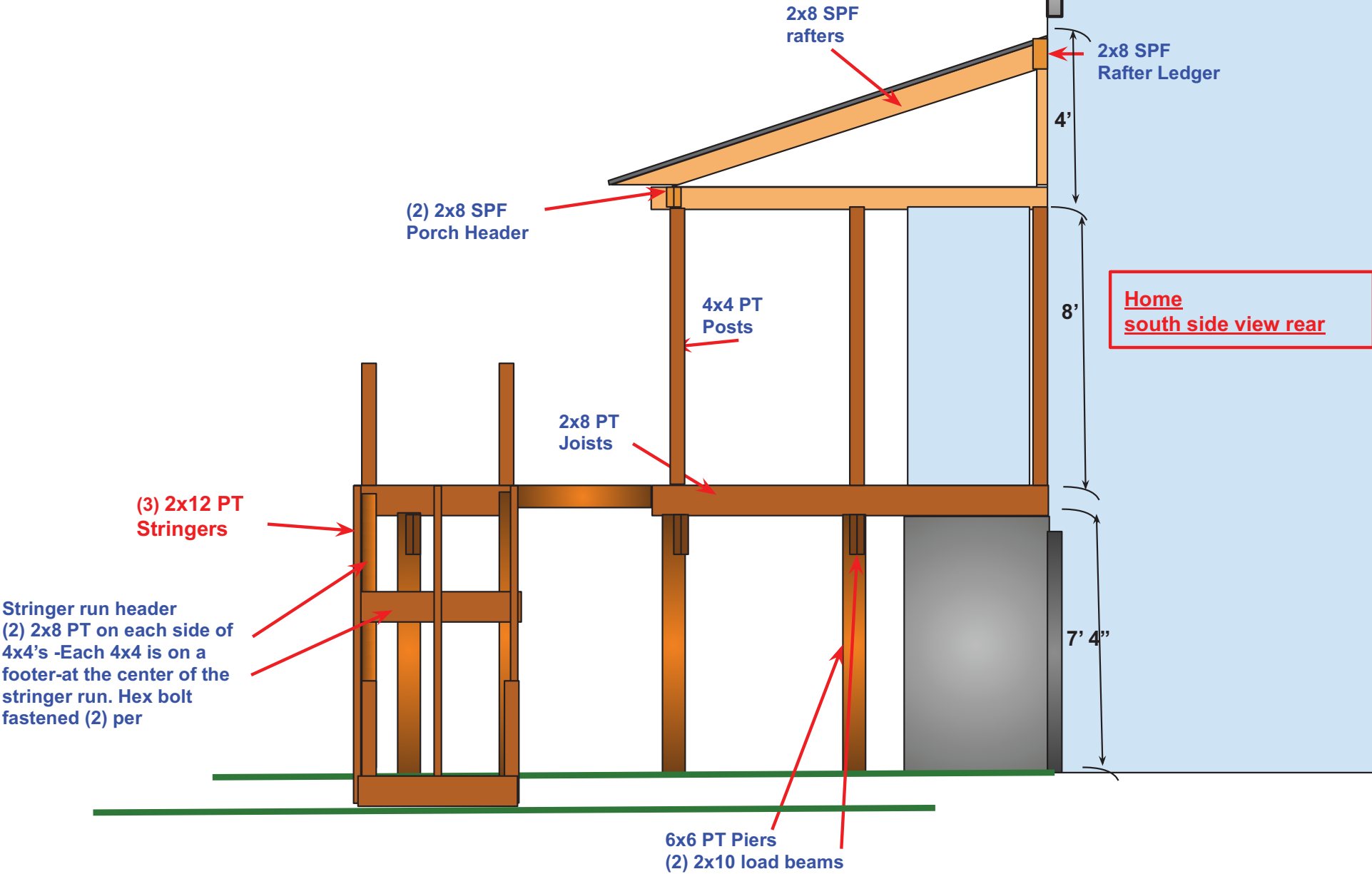
Screened porch, all sides, including shed roof rake openings: All trim Azek PVC boards over all exposed SPF excluding under roof rafters: White vinyl sleeves over 4x4 posts: Veranda, white Vinyl railings between posts

Deck Boards 2x6" Pressure Treated

5" seamless white gutter eave length: 2, 2x3 downspouts each side of gutter ends to ground level.

**The new roof will be at a ledger 4' higher than the existing roof.
 It will not come in contact with the existing roof**

Side View
Framing/Deck & Porch

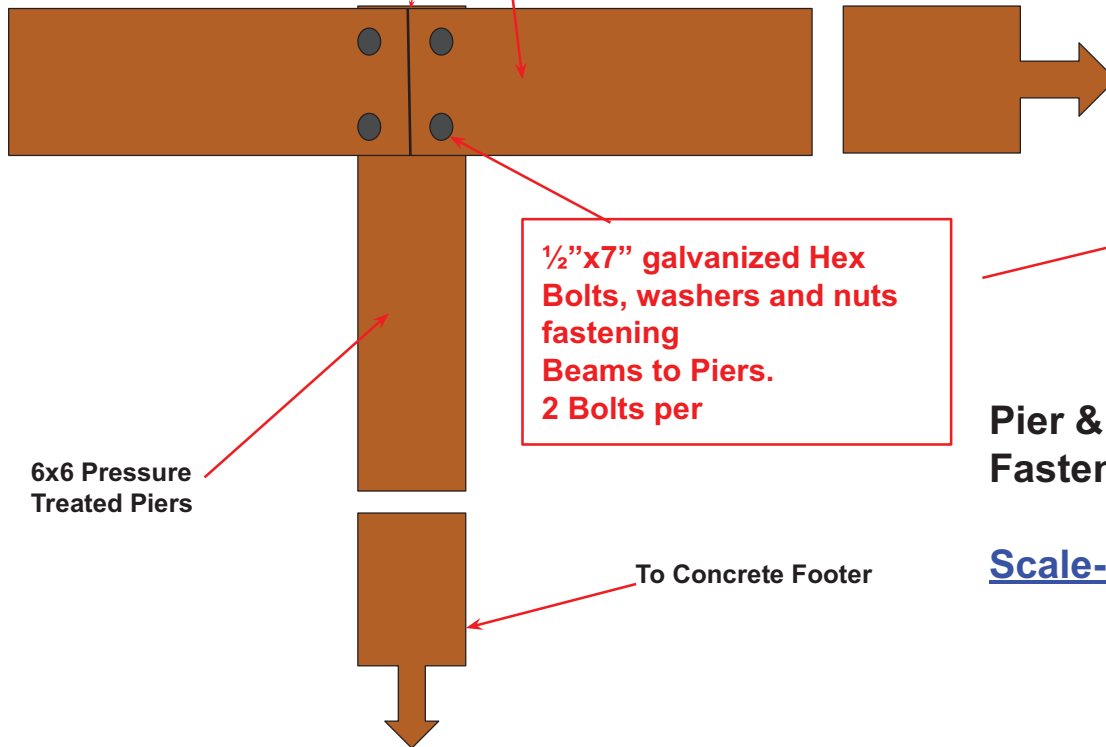




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2x10 Load Beam (2)
Butt seams will break over
Pier Center, where this may
occur:

(2) 2x10 Pressure Treated Load Beams
inside/on, notched saddle

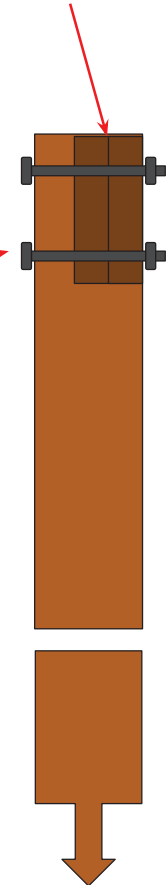


**1/2" x 7" galvanized Hex
Bolts, washers and nuts
fastening
Beams to Piers.
2 Bolts per**

**Pier & Bearing Beams
Fasten Detail**

Scale- 1/2" = 1'

Front View



Side View

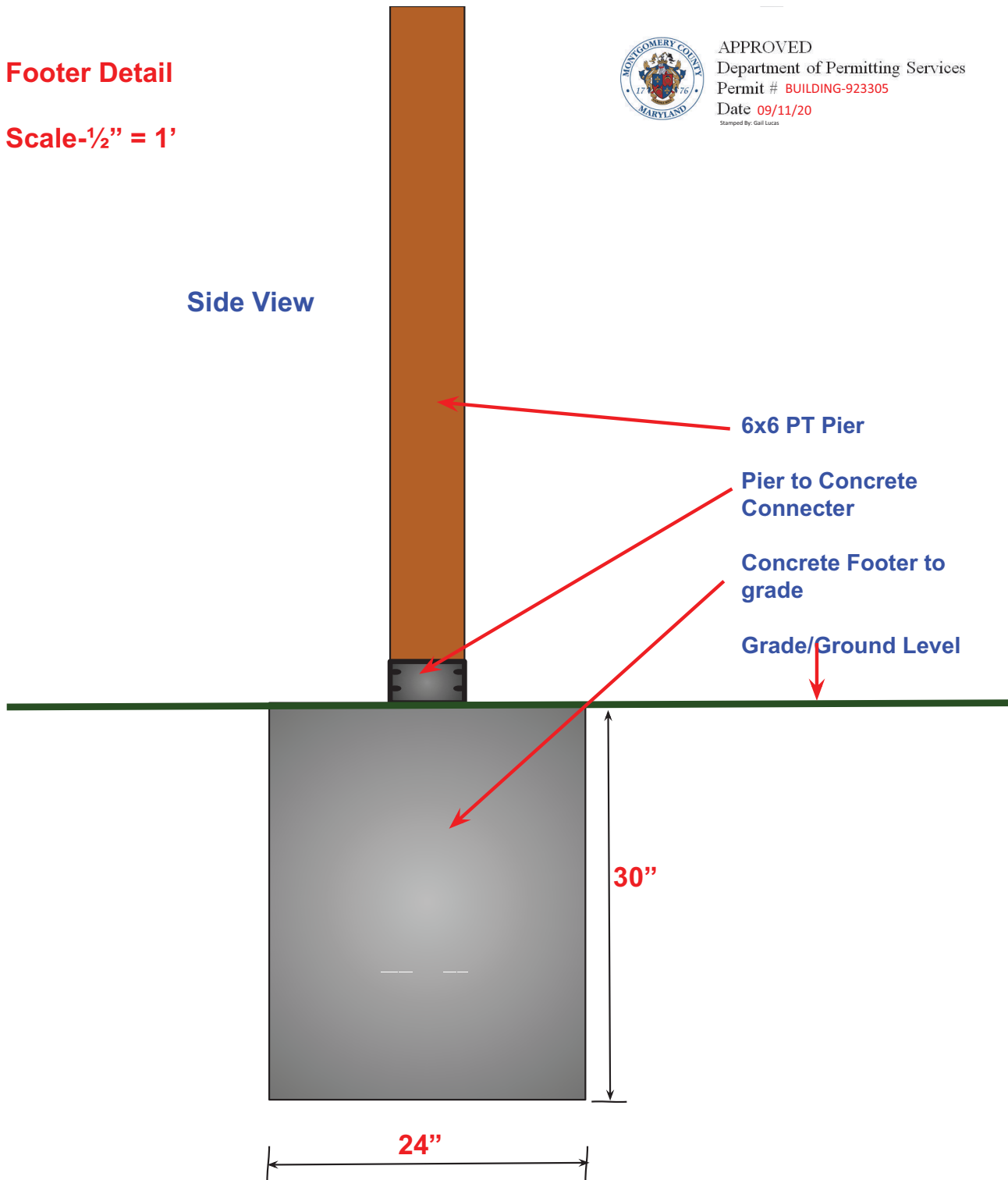
Footer Detail

Scale- $\frac{1}{2}" = 1'$

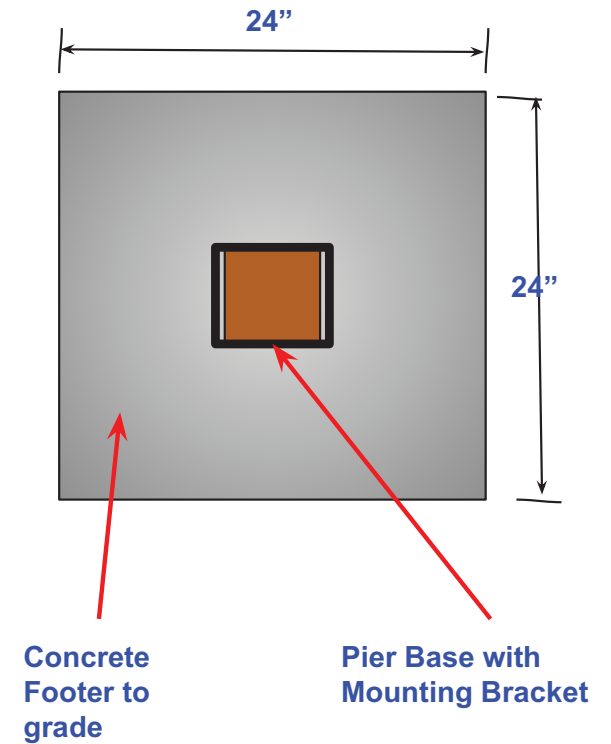


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Side View



Top View



Scale, 1/2"=1'

Porch Roo
Attachment Detail

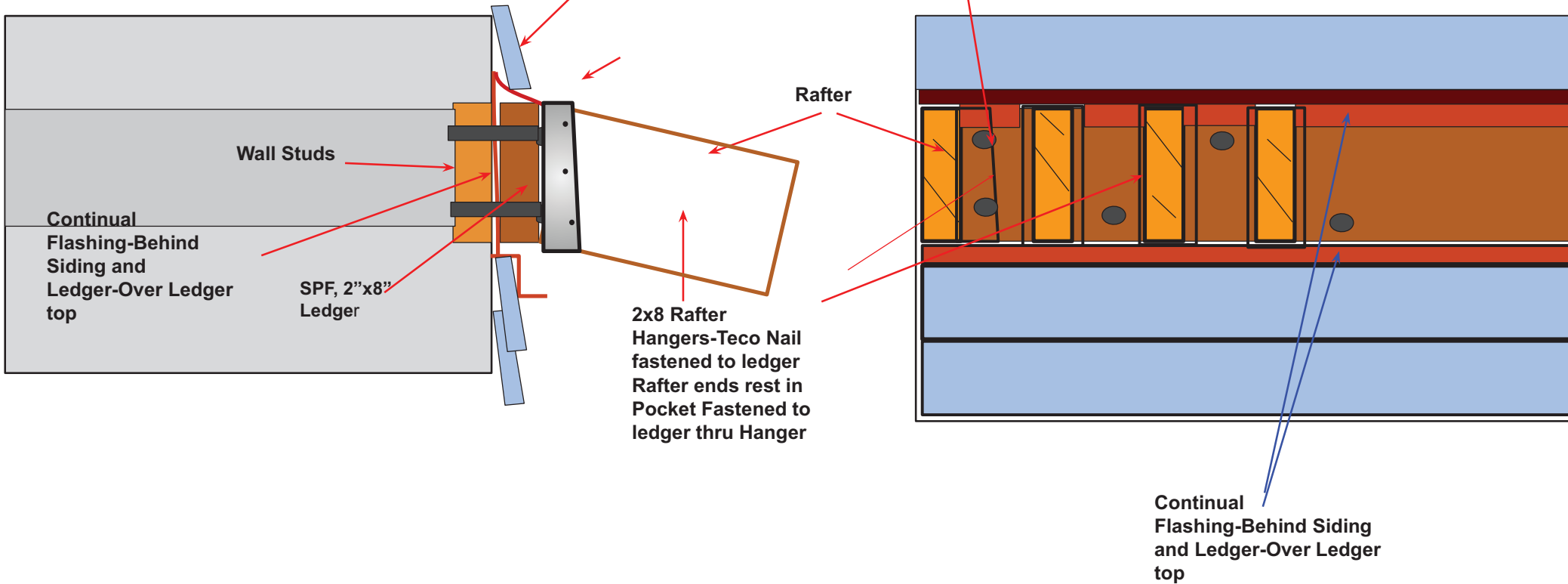


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1/2"x7" Galvanized Lag Bolts and washers
(2) Up and down at ledger ends: 16" on center,
staggered up and down
Pattern along the length

Side View

Front View





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Date 09/11/20



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

BUILDING RESIDENTIAL PERMIT APPLICATION

Application Date: 8/12/2020

Application No: 923305
AP Type: BUILDING
Customer No: 1382100

Affidavit Acknowledgement

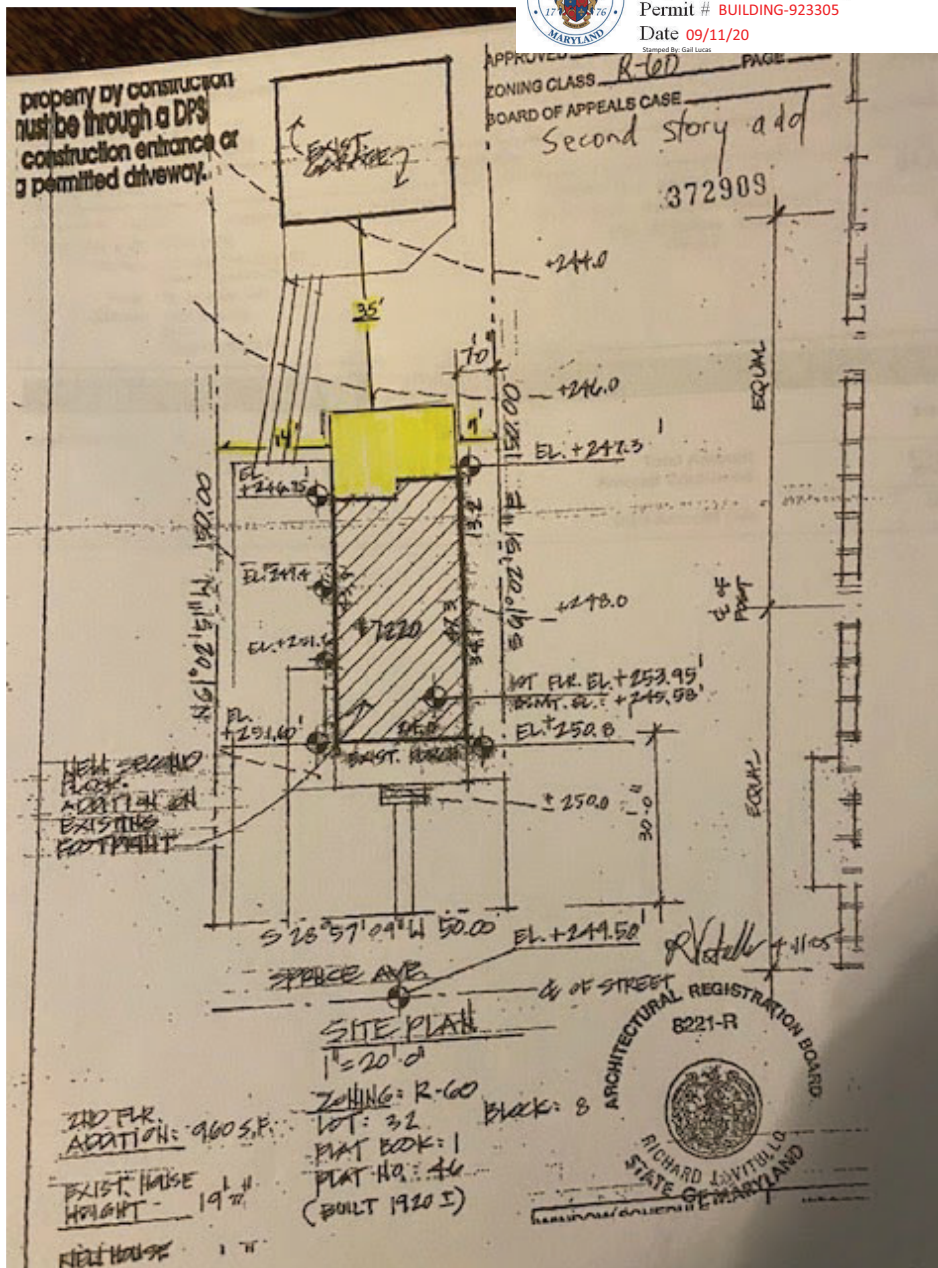
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Location 7220 Spruce AVE Tacoma Park, MD 20912
MHICContractor LIZMI
MHICContractor LIZMI (Primary)

Building Residential Permit Details

Fast Track Y
Fast Track Type Single level decks
Use Code DECK
Work Type CONST
Disturbed Area 344
Work Area 344
Estimated Cost \$ 20000
Scope of Work 184 SF Screened porch leading to a same level open deck which is 160 SF. The deck has stairs to the ground with a 13' stringer run. All railings, deck and porch will be vinyl. Deck and porch boards are Composite
Type of Water Supply WSSC
Sewage Disposal WSSC
MHIC License # 128888
MHIC License Expiration Date 07/01/2021





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

BUILDING PERMIT

Issue Date: 09/11/2020

Permit No: 923305
AP Type: BUILDING
Expires: 09/11/2021
X Ref.:
Rev. No:
ID: 1382100

THIS IS TO CERTIFY THAT: JACK LIZMI
4919 BARTHOLOWS RD
MOUNT AIRY, MD 21771

HAS PERMISSION TO: CONSTRUCT DECK

PERMIT CONDITIONS: Customer Wants To Use ePlans, 184 SF Screened porch leading to a same level open deck which is 160 SF. The deck has stairs to the ground with a 13' stringer run. All railings, deck and porch will be vinyl. Deck and porch boards are Composite

MODEL NAME:

PREMISE ADDRESS: 7220 SPRUCE AVE □ TAKOMA PARK, MD 20912

LOT - BLOCK: 32 - 8

ZONE: R-60

ELECTION DISTRICT: 13

BOND NO.:

BOND TYPE:

PS NUMBER:

PERMIT FEE: \$ 481.27

SUBDIVISION: TAKOMA PARK

The permit fee is calculated based on the approved Executive Regulations multiplied by the Enterprise Fund Stabilization Factor for the current fiscal year.

TRANSPORTATION IMPACT TAX DUE:

SCHOOLS IMPACT TAX DUE:

SCHOOLS FACILITY PAYMENT DUE:

MUST BE KEPT AT JOB SITE

AN APPROVED FINAL INSPECTION IS REQUIRED PRIOR TO USE OR OCCUPANCY

Every new one- or two-family dwelling, **every** townhouse and any **attached accessory structure** must be equipped with a **fire sprinkler system**. A separate sprinkler permit is required for the installation of the fire sprinkler system.

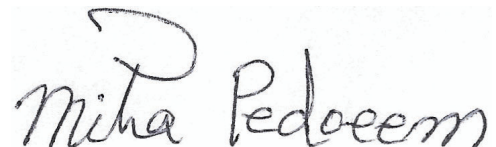
Many subdivisions and neighborhoods within Montgomery County have private deed restrictions and covenants regulating building construction. Obtaining a building permit does not relieve the property owner of responsibility for complying with applicable covenants.

NOTICE

THIS APPROVAL DOES NOT
INCLUDE PLUMBING, GAS PIPING
OR ELECTRICAL OR
CONSTRUCTION IN ANY
DEDICATED RIGHT-OF-WAY.

NOTE

THIS PERMIT DOES NOT INCLUDE
APPROVAL FOR ANY ELECTRICAL
WORK. YOU MUST HAVE A SEPARATE
ELECTRICAL PERMIT TO DO ANY
ELECTRICAL WORK.


Director, Department of Permitting Services

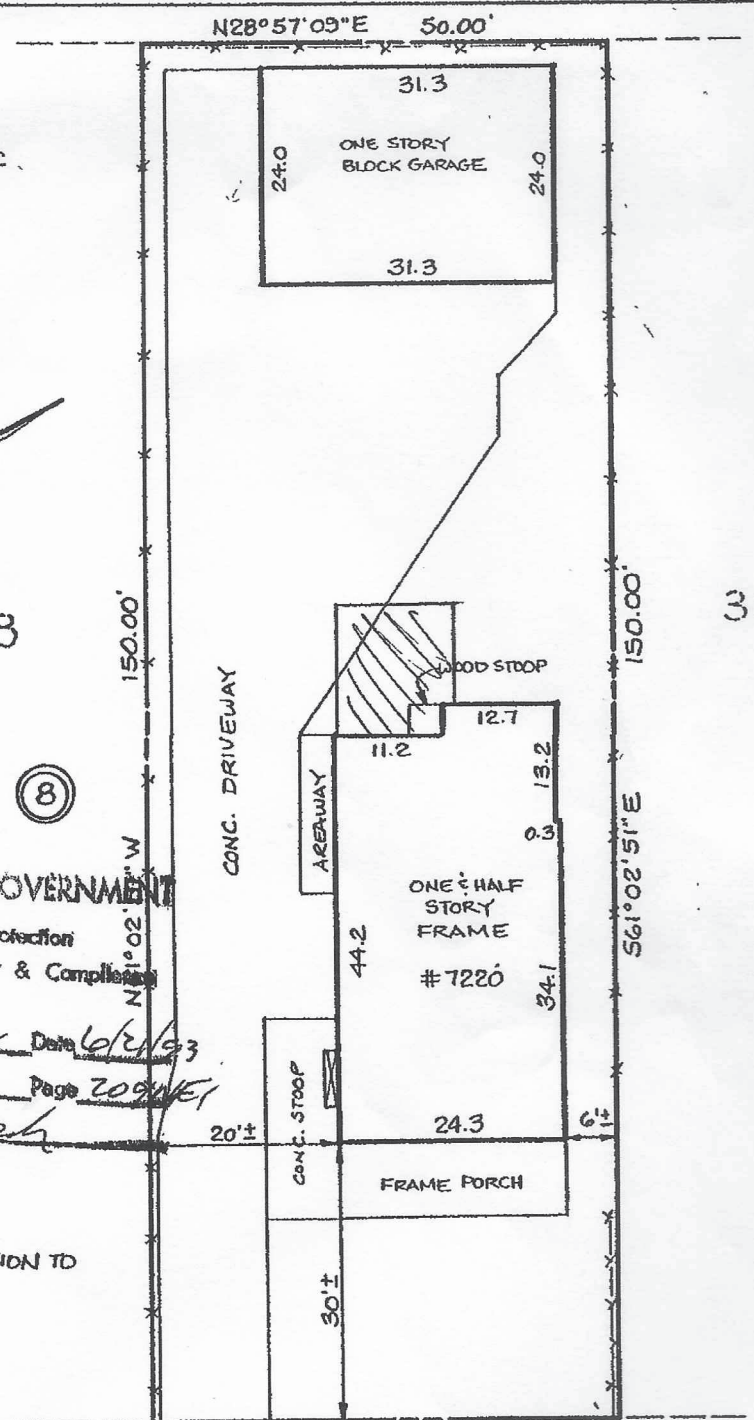
NOTES

- THIS LOT FALLS WITHIN ZONE C (AREA OF MINIMAL FLOODING) PER HUD PANEL # 0200C.




Approved [Signature] Date 6/2/93
 Zoning Class R-60 Page 209/211
 Board of Appeals Case Deh

HOUSE LOCATION SURVEY
 LOT 32 BLOCK 8
 LIPSCOMB AND EARNEST TRUSTEES ADDITION TO
 TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND



7220 SPRUCE AVENUE
 (PLAT SHOWS POPLAR AVENUE)
 (50' R/W)

BUILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR

SURVEYOR'S CERTIFICATE	REFERENCES	SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Dr., Suite 216 Gaithersburg, MD 20879 (301) 948 5100	
"I HEREBY CERTIFY THAT THIS INSPECTION WAS PERFORMED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR REGISTERED SURVEYORS IN THE STATE AS ADOPTED BY THE MARYLAND SOCIETY OF SURVEYORS."	PLAT BK. 1		SCALE: 1" = 20'
	PLAT NO. 46		
<u>Jeffrey A. Foster</u> PLS. REGISTERED SURVEYOR MARYLAND NO. <u>567</u>	LIBER	DATE OF LOCATIONS	DRAWN BY: SFT
	FOLIO	WALL CHECK: USE LOC.: 4-3-92 BOUNDARY:	JOB NO.: 92-1496

Access to property by construction vehicles must be through a DPS permitted construction entrance or an existing permitted driveway.

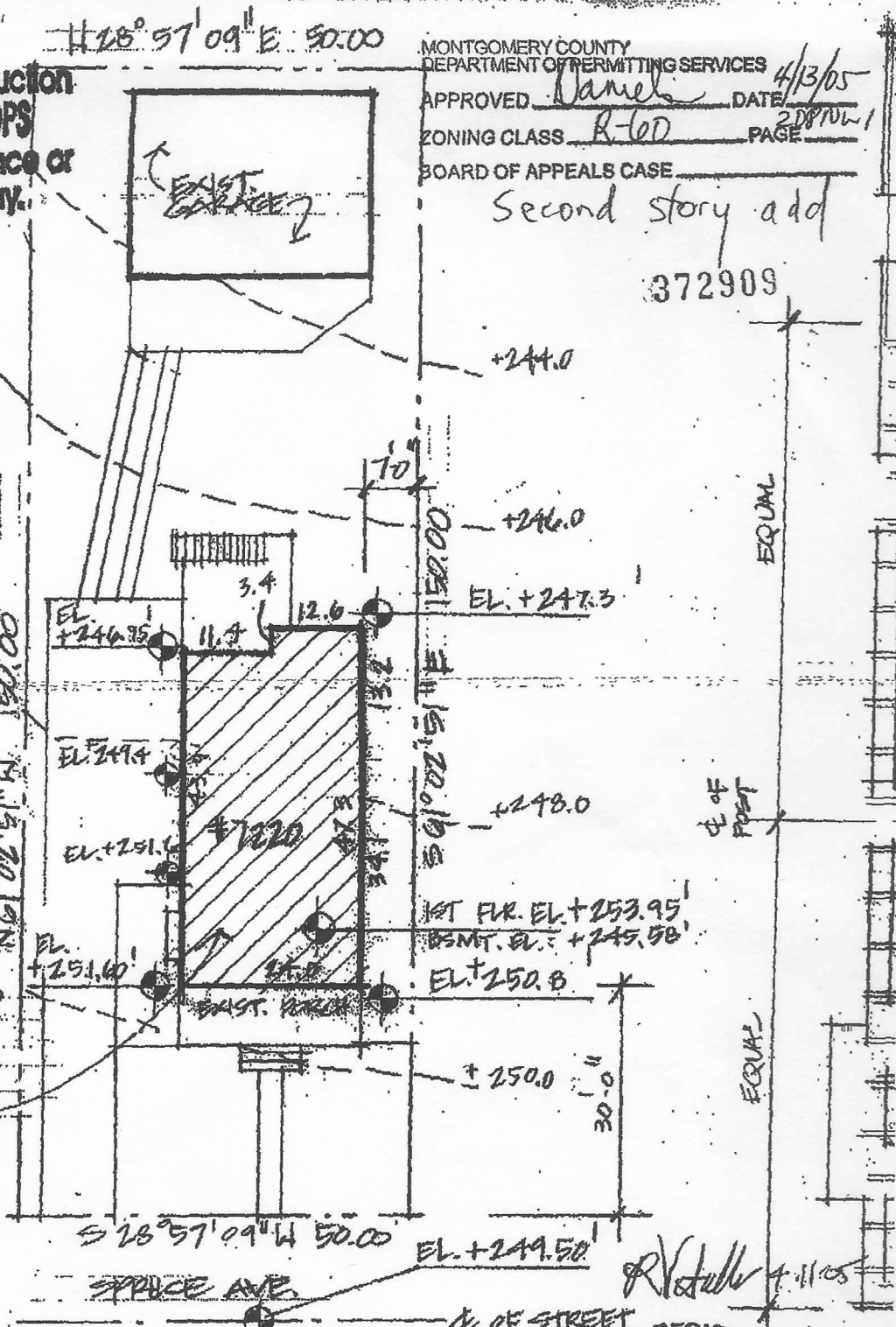
MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
APPROVED: *James* DATE: 4/13/05
ZONING CLASS: R-60 PAGE: 208700-1
BOARD OF APPEALS CASE

Second story add

372909

372909

NEW SECOND FLOOR ADDITION ON EXISTING FOOTPRINT



SITE PLAN
1" = 20'-0"

2ND FLR. ADDITION: 960 S.F.

EXIST. HOUSE HEIGHT: 19'-0"

NEW HOUSE

ZONING: R-60
LOT: 32 BLOCK: 8
PLAT BOOK: 1
PLAT NO.: 46
(BUILT 1920 S)

