

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7417 Baltimore Ave., Takoma Park	Meeting Date:	10/14/2020
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	10/7/2020
Applicant:	Brock Merwin	Public Notice:	9/30/2020
Review:	Preliminary Consultation	Staff:	Dan Bruechert
Proposal:	Porch Alterations		

STAFF RECOMMENDATION

Staff recommends that the applicant make any design alterations based on the HPC feedback and return for a second preliminary consultation or a HAWP, as directed.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Prairie Style
DATE: c.1910



Fig. 1: 7417 Baltimore Ave. is at the northeast corner of Baltimore and Cleveland Ave.

PROPOSAL

The applicant proposes to reconstruct the existing front porch.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a modified two-story Prairie-style house with stucco siding on the first floor and fiber cement siding on the second floor. The first porch has a hipped roof with broad overhangs. The house was constructed as a one-story house that was expanded in 1995 when it received an approved HAWP for a second-floor addition. The second-floor pop up was setback two bays from the historic house form. Recently, a tree fell and damaged the porch rafters and exterior stucco (see below).



Figure 2: Undated photo of the subject property prior to the 1995 addition.



Figure 3: The subject property showing tarps over the damaged roof and exterior stucco.



Figure 4: 1954 Sanborn showing the subject property as a one-story house.

The applicant proposes to remove the existing hipped roof and install a new front gable roof with fiber cement siding in the gable, new battered stone and wood columns, and replace the concrete side loading stairs with front-loading wood stairs. Additionally, the applicant proposes to remove a damaged window and repair the wall and install a larger window to match a historic window.

The Prairie style is characterized by a horizontal orientation with broad roof overhangs (the roofs are generally hipped, but may also be low-sloped gables). The *Field Guide to American Houses* finds that a two-story house with a one-story porch is a common form, though the front porch is usually smaller than one found on the subject property. Where a gable roof is utilized in Prairie buildings, the gable projects beyond the wall plane, consistent with the overhangs at the roof eaves (see below).



Figure 5: Historic Prairie-style house with a gable projection.

Staff finds that the form of the front porch is one of the few remaining historic elements remaining on the house. Staff finds that installing a gable roof on the front porch could be “generally consistent with the predominant architectural style and period of the resource” however, it would not “preserve the predominant architectural features of the resource” per the *Design Guidelines*. The proposal appears to be detailed more like a Craftsman-style modification, typically found throughout the neighborhood. Should the HPC determine that the front porch may be altered as proposed, Staff recommends that the design of the front gable be altered to be more compatible with the building style; namely that the gable project beyond the new wall plane, matching the overhang found throughout the house, and that the fiber cement siding is replaced by stucco to match the first floor of the house.

The second change proposed is to “open up” the front porch and remove all of the stucco above the floor surface and install new battered columns to support the porch corners. This includes the knee wall and the front arch under the eave. The columns will have stone veneer bases and wrapped battered columns. Columns similar to the one proposed are occasionally found in Prairie-style architecture, but Staff is concerned that introducing another material to the house would create an incongruous appearance. The house has a painted brick and concrete foundation and stucco siding and fiber cement siding. Staff finds that, should the HPC determine the new columns are appropriate, the HPC should require the column bases to use a material already found on the house; Staff’s recommendation is either painted brick or stucco.



Figure 6: Detail of the front porch showing the extensive stucco.

The third proposed change is to remove the existing side-loading concrete stairs and install a set of wood, front-loading stairs. The *Design Guidelines* emphasize the importance of the resource to the surrounding streetscape and in this case, virtually every other house has front-loading stairs. The information submitted does not provide much more detail than the stairs will have a concrete footing to support the stringer tails and that there will be a railing, per County Code, but does not include detailed specifications. Staff requests the HPC provide feedback on the appropriateness of relocating the entry stairs and design/material specifications to make the design more compatible.

On the right side of the house, the applicant proposes removing one window, repairing the damaged wall, and installing a new window matching the dimensions of the taller front windows. Window specifications were not included with the submission. Staff finds that the damage to the wall needs to be replaced and much of that work is repair in-kind. The *Design Guidelines* state that “Original size and shape of window and door openings should be maintained, where feasible.” Staff finds that changing the window size is incompatible with the *Design Guidelines* and recommends the HPC require the replacement window be installed in dimensions matching the existing. Window specifications need to be submitted with the HAWP application.

Finally, in evaluating the proposal, Staff identified some features where more information is needed in a HAWP submission. Staff notes these items both for the applicant’s benefit when returning for a HAWP and for the HPC to have an opportunity to indicate their preference before the next submission.

Specifically:

- Railing specification were not included with the submission, including areas where the existing knee wall are proposed for removal. Because of the style and materials of the subject property, a typical open wood railing would likely be inappropriate.
- The proposal to install front-loading stairs did not include any information about a new walkway. How will this feature be treated with regards to walkway placement and dimensions, material(s),

re-grading, etc.? Additionally, what is proposed for the existing sidewalk and stairs?

STAFF RECOMMENDATION

Staff recommends that the applicant make any design alterations based on the HPC feedback and return for a second preliminary consultation or a HAWP, as directed.



FOR STAFF ONLY:
HAWP# 925081
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____

No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

BREGMAN REPAIRS

7417 BALTIMORE AVENUE, TAKOMA PARK, MD 20912



MACKAY
CONSTRUCTION
SERVICES, INC.

ENGINEER

ROBERT MACKAY

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED
OR APPROVED BY ME, AND THAT I
AM A DULY LICENSED
PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE
OF MARYLAND.

LICENSE NUMBER 46366
EXPIRATION DATE: 1/1/2021

SPECIFICATIONS	SCOPE OF WORK	MONTGOMERY COUNTY RESIDENTIAL CONSTR. PARAMETERS	RESIDENTIAL CONSERVATION ENERGY CODE THERMAL ENVELOPE	EXTERIOR SPECS	INT. SPECS	GENERAL NOTES																								
<div>GENERAL NOTES:<ul style="list-style-type: none">WORK SHOWN HEREIN IS NOT DIRECTION FROM DESIGNER TO DO WORK. SCOPE OF WORK AND QUANTITIES MUST BE APPROVED BY OWNER AND / OR INSURANCE COMPANY PAYING FOR EFFORT.ALL FRAMING TO BE SPF #1 / #2 UNLESS NOTED OTHERWISE.LVL BEAMS TO BE TRUS-JOIST MACMILLAN MICROLLAM 1.9E LVL OR APPROVED EQUAL.HARDWARE CALLED OUT IS ASSUMED TO BE SIMPSON STRONG TIE (OR APPROVED EQUAL). INDIVIDUAL PRODUCT SELECTIONS SHALL BE COMPATIBLE WITH PRESSURE TREATMENT WHERE APPLICABLE.MANUFACTURER-RECOMMENDED WOOD TREATMENT SHALL BE RE-APPLIED TO PRESSURE-TREATED MATERIALS ON ALL CUT SURFACES.MUDSILL MATERIALS SHALL BE WOOD PRESSURE-TREATED PER CODE AND 2X4 MINIMUM, UNLESS NOTED OTHERWISE. 1/2" DIA. ANCHOR BOLTS HAVING 6" MIN. EMBED. INTO CONCRETE OR MASONRY GROUT ARE REQUIRED AND MUST BE PLACED AT 48" O.C. UNLESS MORE STRINGENT CALLOUTS ARE NOTED HEREIN. THEY SHALL ALSO BE INSTALLED BETWEEN 3.5" AND 7" FROM THE END OF EACH MUDSILL MEMBER.GLAZING WITHIN 60" (HORIZ. AND VERT.) OF WET SURFACES (FROM TUB, SHOWER, SINK, ETC.) SHALL BE FULLY TEMPERED, OR STRENGTHENED BY OTHER CODE-APPROVED MEANS (PER IRC R308.4.5).ROOF SHEATHING TO BE RATED FOR SPAN AND CONNECTED WITH H-CLIPS, TYP.TYPICAL ROOF, UNBALANCED SNOW LOAD = 34 PSF, USE APA-RATED EXTERIOR SHEATHING WITH 24 / 16 SPAN RATING AND 7/16" MIN. THICKNESS (24" O.C. SUPPORTS MAX).ALL TRUSS HANGERS, CONNECTORS, AND BRACING PER TRUSS MANUFACTURER.UNLESS NOTED OTHERWISE, POINT LOADS DUE TO WINDOW TRIMMERS (TWO OR MORE), INTERNAL</div>	<div>REPLACE DAMAGED FRAMING & ROOFING OVER LOWER (FRONT) PORTION OF ROOF. REPAIR APPROX. 4' LF DAMAGED EXTERIOR WALL SAME AREA.</div> <div>MECHANICAL, ELECTRICAL, AND PLUMBING BY OTHER PROFESSIONALS UNDER SEPARATE PERMIT.</div>	<div>(SEE ADDITIONAL NOTES FROM MC PERMITTING SERVICES.)</div> <div>GROUND SNOW LOAD: 30 PSF WIND SPEED: 115 MPH SEISMIC DESIGN CATEGORY: B SUBJECT TO DAMAGE FROM: WEATHERING: SEVERE FROST LINE DEPTH: 30" TERMITE: MODERATE TO HEAVY DECAY: SLIGHT TO MODERATE</div> <div><table><tr><th>DESIGN LOADS</th><th>LIVE LOADS (PSF)</th></tr><tr><td>ATTIC WITH STORAGE</td><td>20</td></tr><tr><td>ATTIC WITHOUT STORAGE</td><td>10</td></tr><tr><td>ATTIC STUDIO</td><td>30</td></tr><tr><td>DECKS</td><td>40</td></tr><tr><td>FIRE ESCAPES</td><td>40</td></tr><tr><td>GUARDRAILS AND HANDRAILS</td><td>200 LB</td></tr><tr><td>GUARDRAILS IN-FILL COMPONENTS</td><td>50</td></tr><tr><td>PASSENGER VEHICLE GARAGES</td><td>50</td></tr><tr><td>ROOMS OTHER THAN SLEEPING ROOMS</td><td>40</td></tr><tr><td>SLEEPING ROOMS</td><td>30</td></tr><tr><td>STAIRS</td><td>40</td></tr></table></div> <div>M.E.P. MECHANICAL: GC AND GC SUBCONTRACTOR(S) SHALL PROVIDE AND BE RESPONSIBLE FOR COMPLETE DESIGN BUILD MECHANICAL SYSTEMS, SERVICE AND MAINTENANCE AS REQUIRED PER SCOPE OF PROJECT, AND MUST COMPLY WITH 2018 IRC, IMC AND IFGC AS AMENDED BY MONTGOMERY COUNTY.</div> <div>ASSUMING NOT ON STATE CULTURAL / HISTORICAL REGISTER NOR ELIGIBLE FOR LISTING</div>	DESIGN LOADS	LIVE LOADS (PSF)	ATTIC WITH STORAGE	20	ATTIC WITHOUT STORAGE	10	ATTIC STUDIO	30	DECKS	40	FIRE ESCAPES	40	GUARDRAILS AND HANDRAILS	200 LB	GUARDRAILS IN-FILL COMPONENTS	50	PASSENGER VEHICLE GARAGES	50	ROOMS OTHER THAN SLEEPING ROOMS	40	SLEEPING ROOMS	30	STAIRS	40	<div>BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.</div> <div><ol style="list-style-type: none">ALL JOINTS, SEAMS AND PENETRATIONSSITE-BUILT WINDOWS, DOORS AND SKYLIGHTSOPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.UTILITY PENETRATIONS.DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.KNEE WALLS.WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.COMMON WALLS BETWEEN DWELLING UNITS.ATTIC ACCESS OPENINGS.RIM JOIST JUNCTION.OTHER SOURCES OF INFILTRATION.</div> <div>NOTE: AIR PERMEABLE INSULATION (FIBERGLASS/ROCKWOOL/ETC.) SHALL NOT BE USED AS A SEALING MATERIAL. DUCT INSULATION VALUES, MIN. R-6, R-8 IN ATTICS. INSULATION IS NOT REQUIRED IF DUCTWORK IS COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE. DUCT SEALING METHOD IRC M1601.4.1.</div>	<div>WINDOWS: ALL WINDOW GLAZING TO BE LOW E, ARGON FILLED PER IRC TABLE R602.1.2. (WINDOWS WITH U-FACTOR OF 0.32, AND SHGC OF 0.40 OR BETTER. SEE EXCEPTIONS SKYLIGHTS, ETC.) PROVIDE TEMPERED GLASS AT WINDOWS THAT MEET THE IRC 2018 CODE FOR HAZARDOUS GLAZING. PROVIDE WINDOW OPENING LIMITING DEVICES PER CODE. ALIGN TOP OF WINDOWS, BULKHEADS, AND CASED OPENINGS TO ROUGH OPENING OF INTERIOR DOOR U.N.O.</div>	<div>WALLS AND CEILINGS 3" GWB ALL FINISHED WALLS AND CEILING UNLESS NOTED OTHERWISE.</div>	<div>PRIOR TO STARTING CONSTRUCTION, ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN THE FIELD.</div> <div>WRITTEN DIMENSIONS ON THESE PLANS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY CONDITIONS IN THE FIELD AND NOTIFY ARCHITECT OF VARIATIONS IN DIMENSIONS PRIOR TO START OF CONSTRUCTION.</div> <div>IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW ALL PLANS FOR ACCURACY AND COMPLETENESS PRIOR TO THE START OF CONSTRUCTION AND TO REPORT ANY INCONSISTENCIES OR ERROR TO THE OWNER AND/OR ARCHITECT FOR CLARIFICATION OR CORRECTION.</div> <div>ALL APPLICABLE CODES TO BE VERIFIED AND USED ACCORDINGLY.</div> <div>2018 INTERNATIONAL RESIDENTIAL CODE - IRC (AS AMENDED BY MONTGOMERY COUNTY, MD.) AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE - IECC.</div> <div>COORDINATE INSTALLATION OF NEW SMOKE DETECTORS/CARBON MONOXIDE DETECTORS AT EXISTING ROOMS PER IRC 2018 AS IT PERTAINS TO ADDITIONS AND ALTERATIONS TO EXISTING CONSTRUCTION. COORDINATE LOCATIONS WITH OWNER.</div> <div>MEMBERS WILL NOT BE OVERSTRESSED MORE THAN 5%.</div>
DESIGN LOADS	LIVE LOADS (PSF)																													
ATTIC WITH STORAGE	20																													
ATTIC WITHOUT STORAGE	10																													
ATTIC STUDIO	30																													
DECKS	40																													
FIRE ESCAPES	40																													
GUARDRAILS AND HANDRAILS	200 LB																													
GUARDRAILS IN-FILL COMPONENTS	50																													
PASSENGER VEHICLE GARAGES	50																													
ROOMS OTHER THAN SLEEPING ROOMS	40																													
SLEEPING ROOMS	30																													
STAIRS	40																													

MISSING DATA, SPECS, ETC.

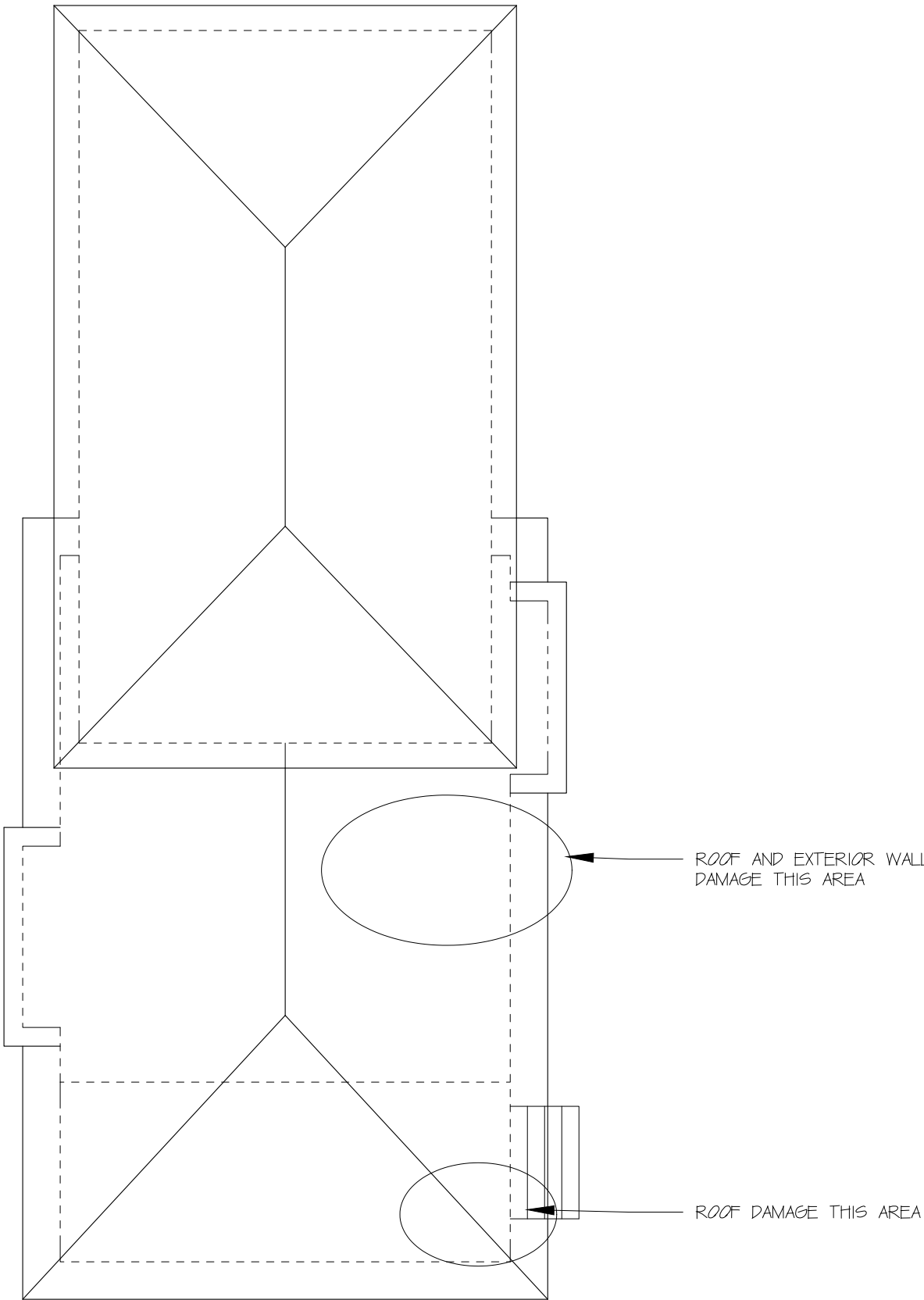
BALTIMORE AVENUE
WYOMING PARK, MD 20912



1 FRONT "ELEVATION"
SCALE: NA



2 RIGHT "ELEVATION"
SCALE: NA



3 ROOF PLAN
SCALE: 1/8" = 1'-0"

PERMITTING DATA, SPECS,
ELEVATIONS.

7417 BAL TIMORE AVENUE
TAKOMA PARK, MD 20912

BREGMAN REPAIRS

REVISIONS:

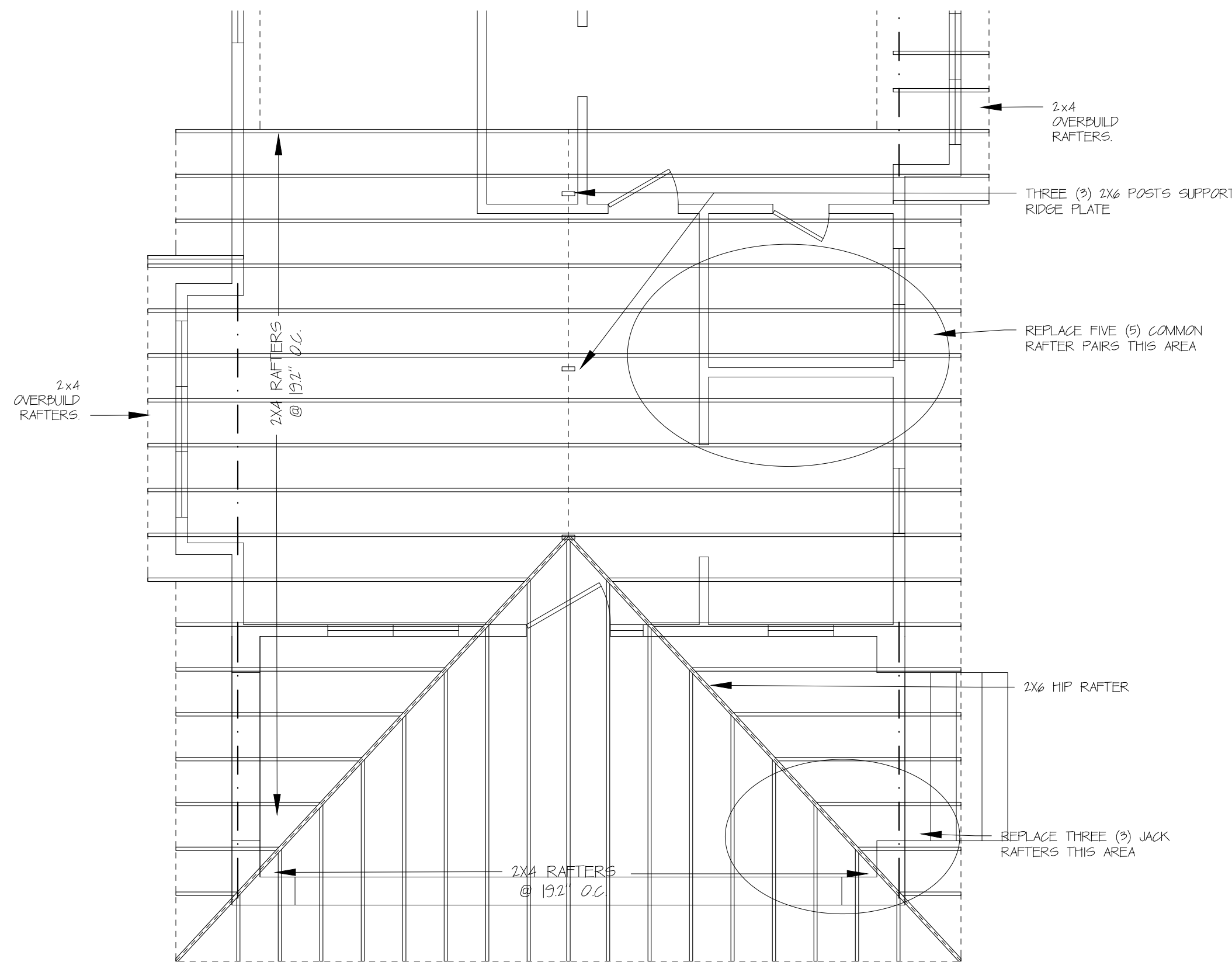
Permit: 08-24-2020

Rev A: 09-15-2020

SHEET NUMBER:

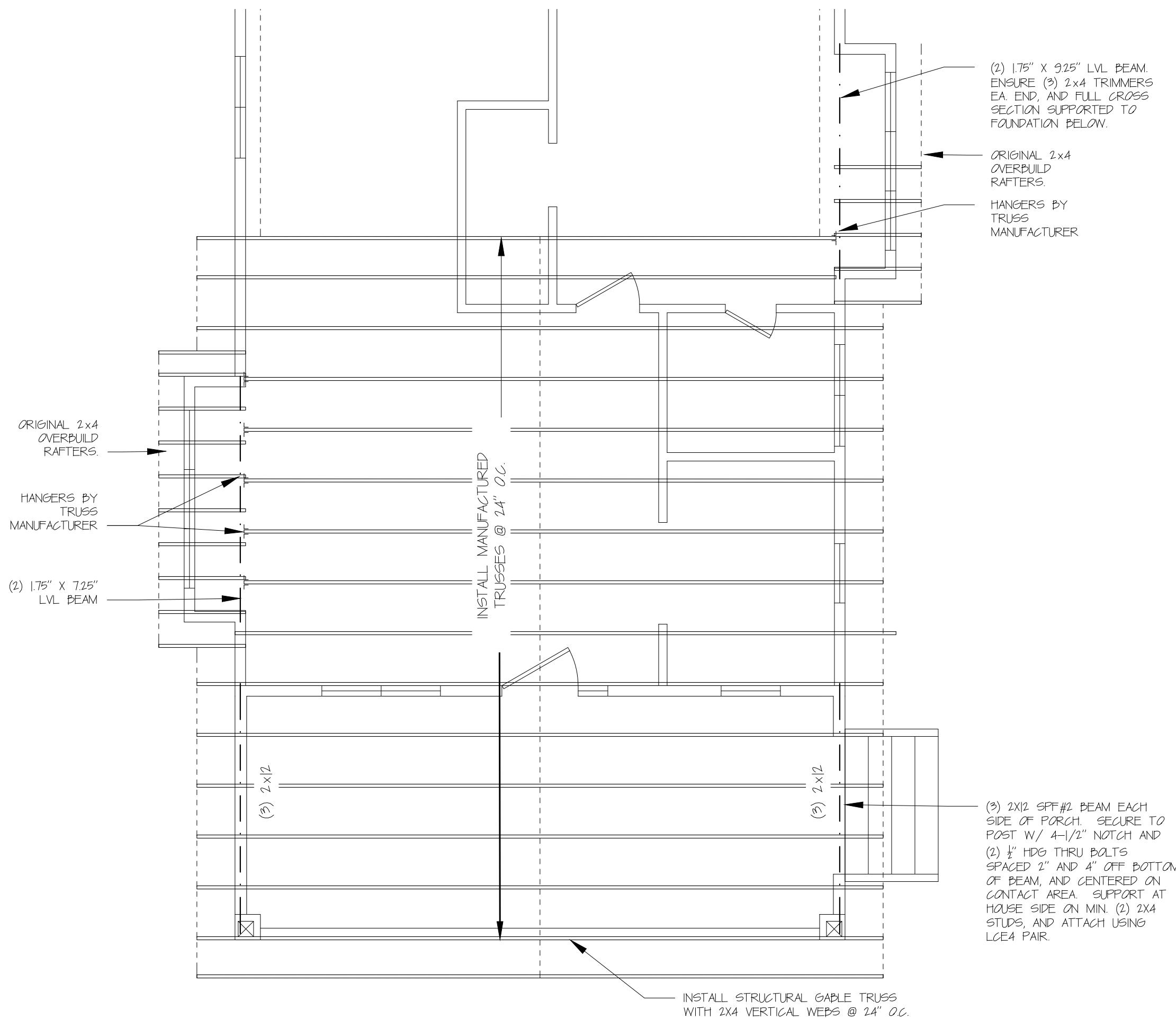
A1.1

MONTGOMERY COUNTY RESERVED SPACE

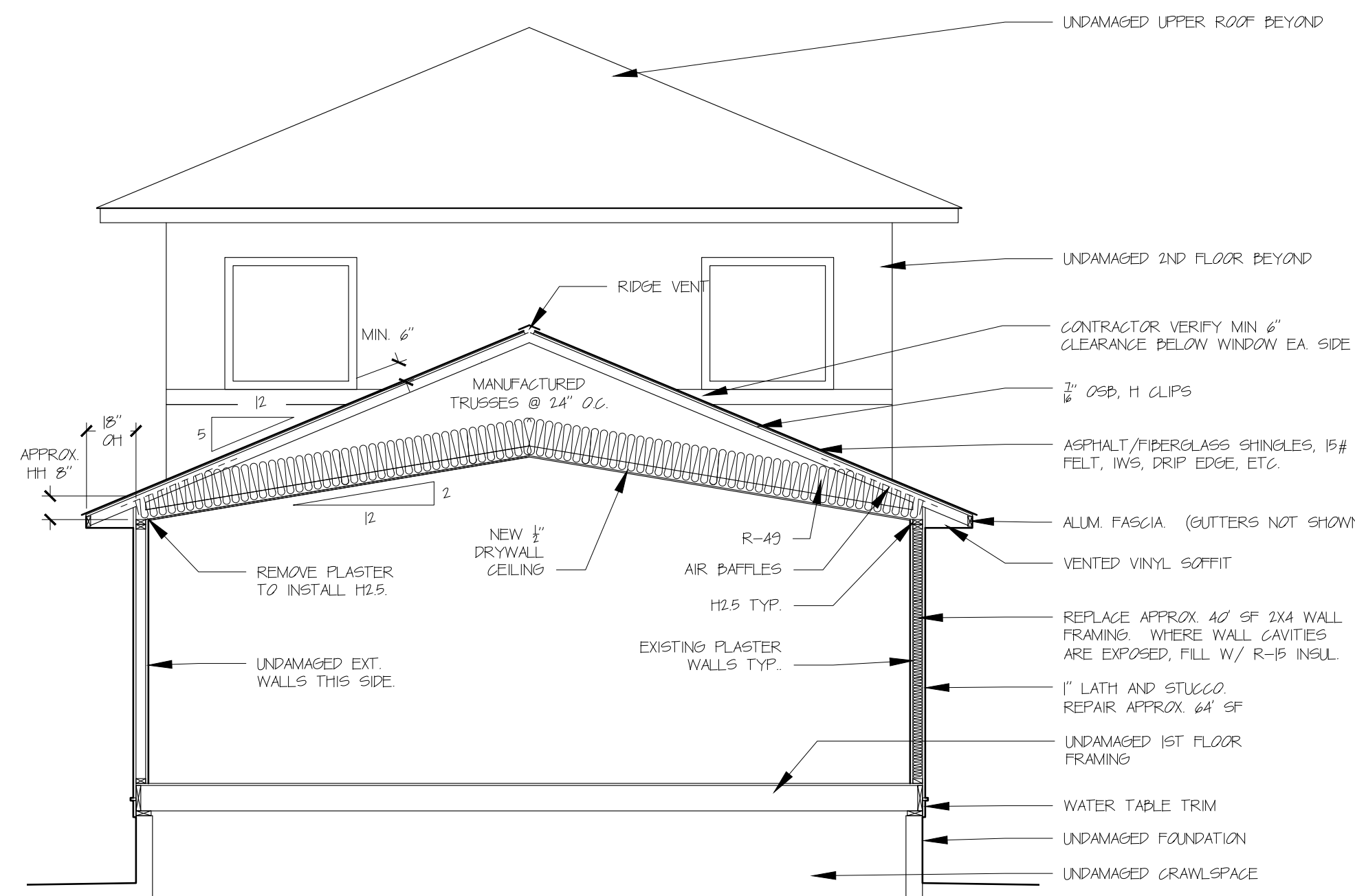


1 EXISTING ROOF FRAMING PLAN
A1.2 SCALE: $\frac{1}{4}" = 1'-0"$ DAMAGE LOCATION REFERENCE, ONLY

NOTE: TRUSSES SHOWN FOR PICTORIAL/ARCHITECTURAL PURPOSES. CONTRACTOR SHALL MEASURE AND VERIFY DIMENSIONS PRIOR TO ORDERING.



2 NEW ROOF FRAMING PLAN
A1.2 SCALE: $\frac{1}{4}" = 1'-0"$

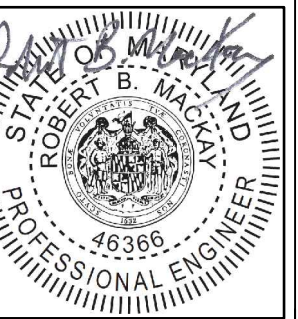


3 SECTION
A1.2 SCALE: $\frac{1}{4}" = 1'-0"$

MACKAY
CONSTRUCTION
SERVICES, INC.

ENGINEER

ROBERT MACKAY



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER 46366
EXPIRATION DATE: 1/11/2021

EXISTING ROOF FRAMING, NEW
ROOF FRAMING PLAN, SECTION

7417 BALTIMORE AVENUE
TAKOMA PARK, MD 20912

BREGMAN REPAIRS

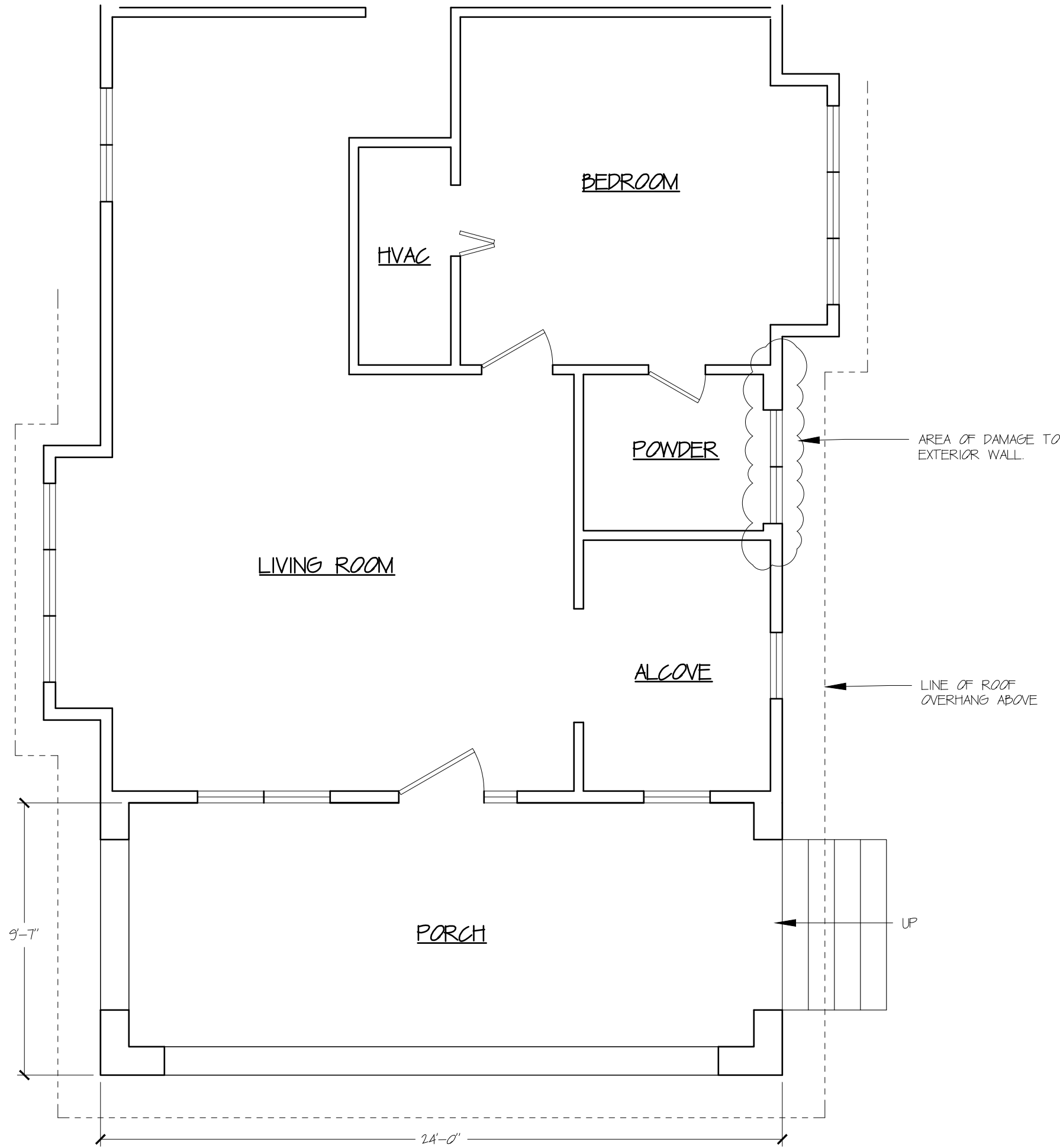
REVISIONS:

Permit: 08-24-2020

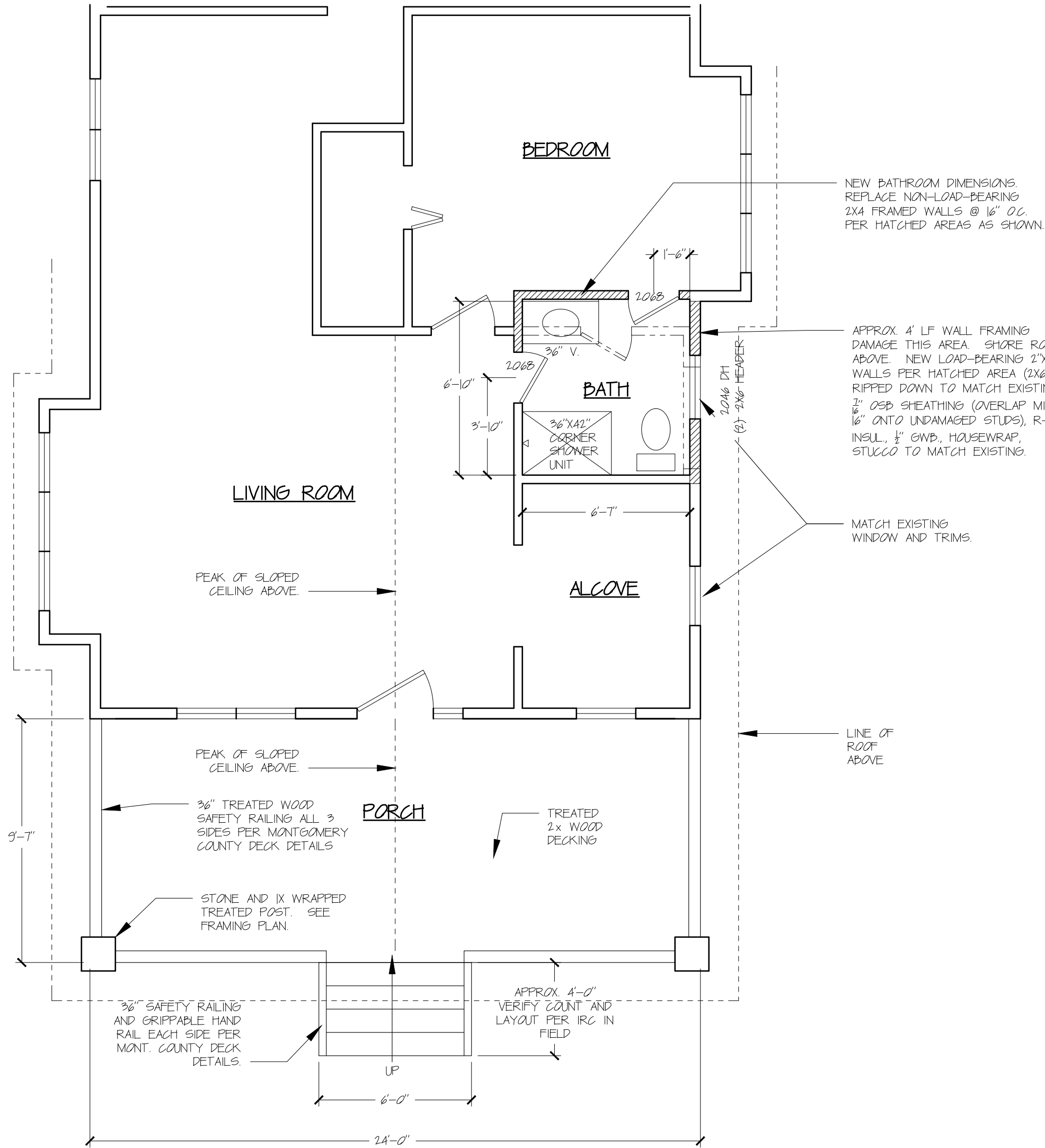
SHEET NUMBER:

A1.2

MONTGOMERY COUNTY RESERVED SPACE



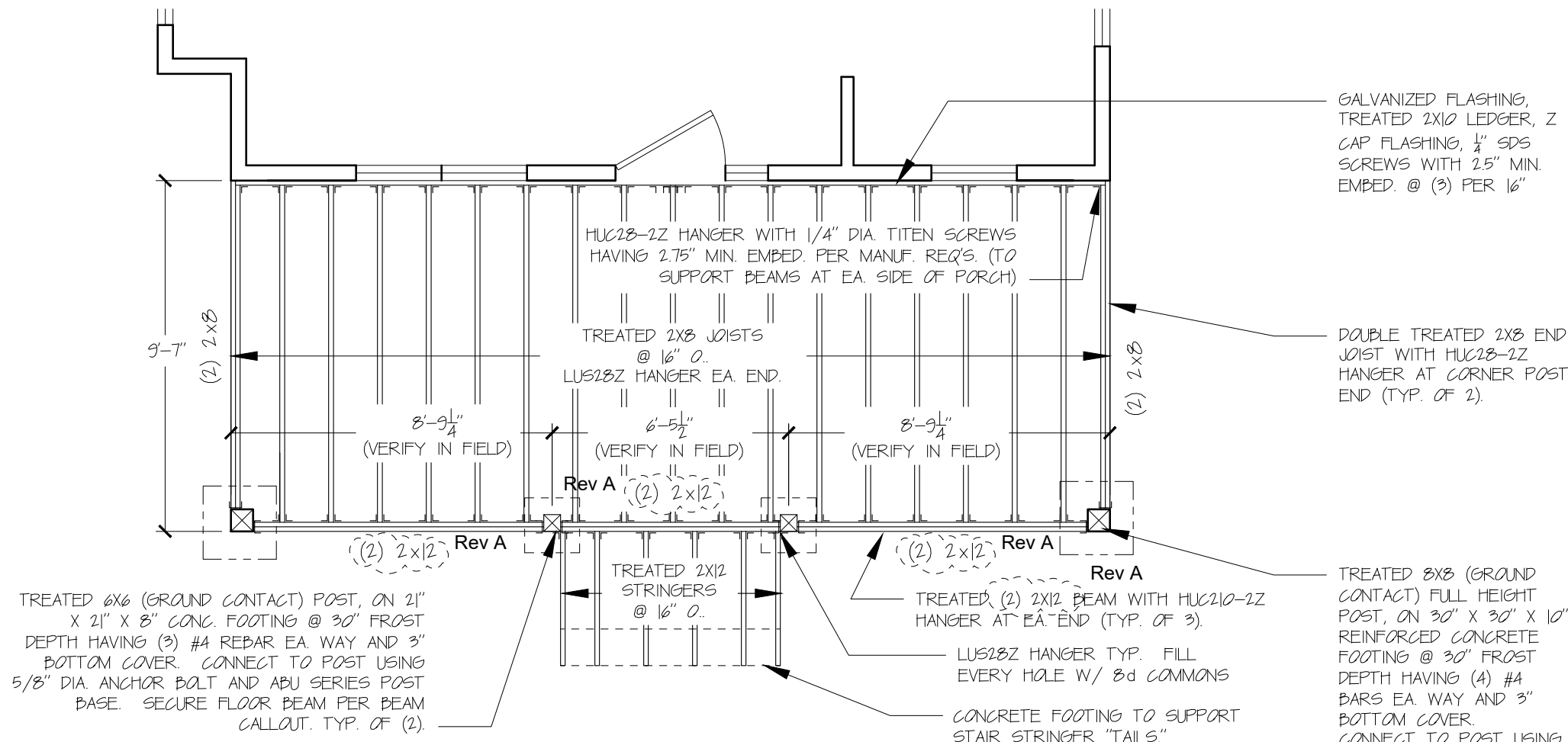
1 EXISTING MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED NEW PORCH ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED NEW PORCH FRAMING PLAN
SCALE: 1/4" = 1'-0"

MACKAY
CONSTRUCTION
SERVICES, INC.

ENGINEER

ROBERT MACKAY

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED
OR APPROVED BY ME AND THAT I
AM A DULY LICENSED
PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE
OF MARYLAND.
LICENSE NUMBER 46366
EXPIRATION DATE: 1/1/2021

FLOOR PLANS, PORCH FRAMING
PLAN, ELEVATION
7417 BALTIMORE AVENUE
TAKOMA PARK, MD 20912

BREGMAN REPAIRS

REVISIONS:

Permit: 08-24-2020

SHEET NUMBER:

A1.3

3 OF 3



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 8/28/2020

Application No: 925081
AP Type: HISTORIC
Customer No: 1219481

Comments

Applied for building permit, application # 925075. Will upload plans and plat through E-plans. Have damage inspection report and Takoma Park municipality letter already.

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 7417 BALTIMORE AVE
TAKOMA PARK, MD 20912
Othercontact Paul Davis Restoration (Primary)

Historic Area Work Permit Details

Work Type ADD
Scope of Work Replace lower roof and change from hip to gable, replace porch, remodel one bathroom

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

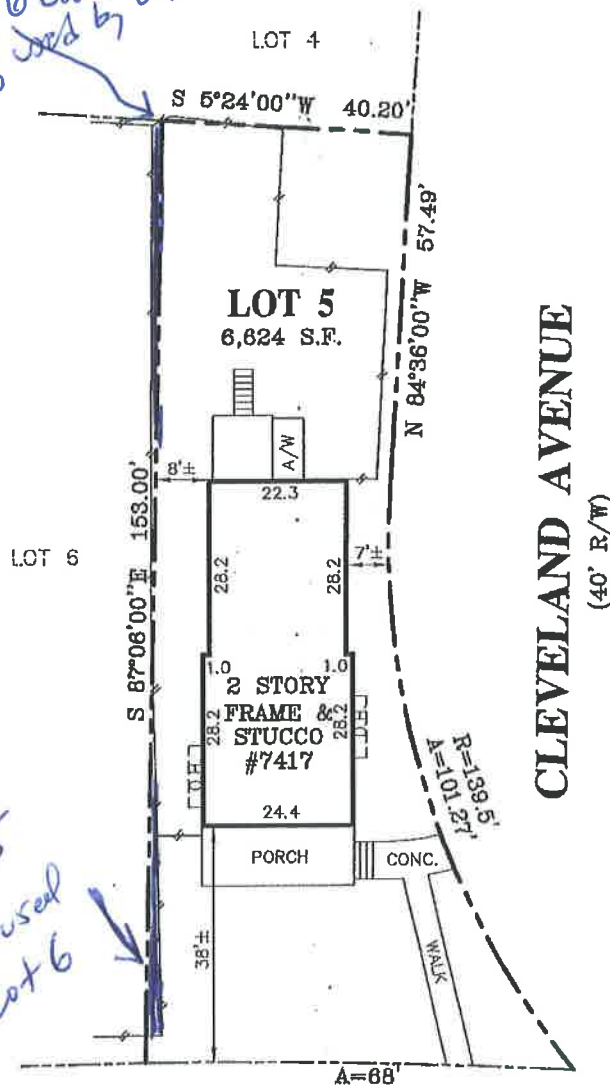
Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1 foot.
2. Fences have been located by approximate methods.



*Lot 6 Land
Being used by Lot 5*

*Lot 5
Land used
by Lot 6*



LOCATION DRAWING
LOT 5, BLOCK 80
T.P.L. & T. CO'S ADDITION TO
TAKOMA PARK
MONTGOMERY COUNTY, MARYLAND

BALTIMORE AVENUE
(40' R/W)

SURVEYOR'S CERTIFICATE

"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

Jeffrey A. Foster
MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587
Expires: 04-02-2019

REFERENCES

PLAT BK. 2
PLAT NO. 142

LIBER
FOLIO



SNIDER & ASSOCIATES
LAND SURVEYORS

20270 Goldenrod Lane, Suite 110
Germantown, Maryland 20878
301/948-5100, Fax 301/948-1286

DATE OF LOCATIONS

SCALE: 1" = 30'

WALL CHECK:

DRAWN BY: K.W.L.

HSE. LOC.: 10-05-17

JOB NO.: 11-02830

2017-3318