	STAFF REPORT		
Address:	10100 Laureate Way, Bethesda	Meeting Date:	10/14/2020
Resource:	Master Plan Site #30/15 Wild Acres	Report Date:	10/7/2020
		Public Notice:	9/30/2020
Applicant:	Mary McCusker Scott Olmsted, Agent	Tax Credit:	Partial
Review:	Preliminary Consultation	Staff:	Dan Bruechert
PROPOSAL:	Parking alterations, tree removal, and other mino	r alterations.	

Preliminary Consultation <u>MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION</u> STAFF REPORT

STAFF RECOMMENDATION

Staff recommends that the applicants make any revisions based upon the HPC's comments and return with a HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:	Master Plan Site #30/15, Wild Acres
STYLE:	Tudor Revival
DATE:	1928

Wild Acres is a large Tudor Revival manor house constructed in 1928 for Gilbert Grosvenor, founder of the National Geographic Society.

From the Amendment to the Master Plan for Historic Preservation:

• The Wild Acres estate was the home of Gilbert H. Grosvenor and Elise Bell Grosvenor. Gilbert Grosvenor, Editor of the National Geographic Magazine and President of the National Geographic Society, was a photojournalism pioneer and influential in the expansion of the National Park System.

• In 1902 the Grosvenors purchased a 104-acre parcel flanked by Rockville Pike on the east and the Rockville streetcar line to the west. Wild Acres is highly representative of the country estates that once lined Rockville Pike in the early 20th century.

• The Tudor Revival style mansion house and coordinating garage, as well as the rustic Craftsman style of the caretaker's cottage possess distinct characteristics of these architectural styles. The three buildings were designed by Arthur Heaton, an accomplished local architect who was prolific in the early 20th century. Heaton designed all three of the resources in this nomination.



Fig. 1: Subject property with adjacent townhouse development.

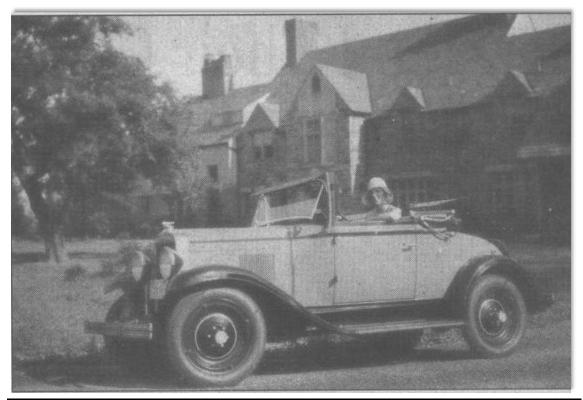


Figure 1: Undated photo of Wild Acres.

PROPOSAL

The applicants proposes work in several areas including:

• Reconfiguration of the parking area and driveway loop;

- Tree removal; and
- Building repairs.

•

APPLICABLE GUIDELINES

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code ("Chapter 24A"), *the Secretary of the Interior's Standards for Rehabilitation* ("*Standards*"), and pertinent guidance in applicable master plans. The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied;
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." Because the property is a Master Plan Site, the Commission's focus in reviewing the proposal should be the *Secretary of the Interior's Standards for Rehabilitation*. The *Standards* are as follows:

- 1. A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION

The subject property is preparing to undergo a whole site rehabilitation. The property's new owner proposes to convert the historic house from its current use as office space to a medical treatment facility. To better serve the needs of the patients, the facility requires additional parking spaces (both ADA and regular parking spaces) immediately adjacent to the building, additional paved walkways at the entrance, as well as interior changes that are not subject to HPC review. Staff finds that this new use is appropriate for *Wild Acres* under Standard 1 as the required changes will not have a significant impact on the historic character of the house.



Figure 2: Birthday celebration for First Lady Helen Taft, wife of President William Howard Taft.

Parking Alterations

The main focus of this preliminary consultation is to solicit input from the HPC regarding the proposed parking and landscape alterations proposed for the front of the building. The property does not currently meet the needs of the new property owner and expanded parking is required. Two options are presented here for the HPC's consideration: 'Option A' and 'Option B.' Currently, there are 22 (twenty-two) parking spaces, plus 2 (two) ADA spaces in the entrance drive off of Laureate Way, some distance from the building's entrance. The applicant proposes to expand the paving around the circle and add more parking spaces and an expanded walkway to the front door, and other minor hardscaping alterations. Option A will introduce more paving to the site and proposes parking spaces on both the north and south side of the circle. This scheme will add 14 (fourteen) parking spaces – mostly parallel parking - and an additional 3 (three) ADA spaces. Option B keeps parking on the south side of the circle closest to the house and will add 10 (ten) perpendicular parking spaces and 3 (three) ADA spaces.

Staff finds that the additional parking spaces are necessary for the operation of *Wild Acres* and approval of the expanded parking can be supported under 24A-8(b)(2) and (3). Additionally, the additional paving will allow for safe access to the site (24A-8(b)(4)) and will place the building back into service which should be supported under 24A-8(b)(6). Having determined that expanded parking is an appropriate modification to the site, Staff does not find that one scheme is preferable over the other. Staff requests the HPC's feedback on the proposed paving and parking alterations.

Building Repairs

The applicant proposes to repair the exterior timbering and repair and/or replace in-kind where needed. The copper roofing, flashing, and gutters will be replaced in-kind, as will the slate roof. Because this work is all repair in-kind, it does not require a HAWP, however, any changes to the work as currently proposed will need to come back before the HPC.

Tree Removal

Several trees on the site are in poor health. Many of those trees are identified and documented in the arborist's letter included with the application materials submitted with the preliminary consultation. Some of these trees may be removed without a HAWP if they are dead or dying; however, the trees in good health that are a threat to the building and hardscape will need an approved HAWP before they can be removed. Staff would support the removal of these trees that threaten the historic house 24A-8(b)(4) and requests the HPC provide guidance regarding tree replanting or landscape modifications to mitigate the loss of these trees.

STAFF RECOMMENDATION

Staff recommends that the applicants make any revisions based upon the HPC's comments and return with a HAWP application.

APPLICATION HISTORIC AREA WO HISTORIC PRESERVATION 301.563.3400	DRK PERMIT
APPLICANT:	
Name: Mary McCusker	E-mail: Mary@hopeconnectionsforcancer.org
Address: 10100 Laureates Way Bethesda	City: Bethesda Zip: 20814
Daytime Phone: 301 634-7500	Tax Account No.:03762754
AGENT/CONTACT (if applicable):	
Name: Scott Olmsted	E-mail: scott@rmjdevelopment.com
Address: _1650 Tysons Blvd., Suite 820	City:McLean Zip:22102
Daytime Phone:	Contractor Registration No.:
-	
LOCATION OF BUILDING/PREMISE: MIHP # of Historic	
Is the Property Located within an Historic District?Y N Is there an Historic Preservation/Land Trust/Environment map of the easement, and documentation from the Ease Are other Planning and/or Hearing Examiner Approvals (Conditional Use, Variance, Record Plat, etc.?) If YES, ind supplemental information. N/A	o/Individual Site Name ntal Easement on the Property? If YES, include a ement Holder supporting this application. /Reviews Required as part of this Application?
Building Number: Street:	
Town/City: Nearest Cross	s Street:
Lot: Block: Subdivision: _	
TYPE OF WORK PROPOSED: See the checklist on Particle for proposed work are submitted with this application be accepted for review. Check all that apply: New Construction Deck/Porch Addition Fence Demolition X Grading/Excavation X I hereby certify that I have the authority to make the for and accurate and that the construction will comply with agencies and hereby acknowledge and accept this to be accepted for review.	age 4 to verify that all supporting items tion. Incomplete Applications will not Shed/Garage/Accessory Structure Solar X Tree removal/planting cape Window/Door X Other: New exterior parking & maintenance regoing application, that the application is correct n plans reviewed and approved by all necessary e a condition for the issuance of this permit. September 18, 2020
Signature of owner or authorized agent	Date 6

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

 Owner's mailing address	Owner's Agent's mailing address
Mary McCusker President and CEO Hope Connections 10100 Laureates Way Bethesda, MD 20814	Scott Olmsted RMJ Development Group 1650 Tysons Boulevard Suite 820 McLean, VA 22102
Adjacent and confronting	Property Owners mailing addresses
Grosvenor Heights HOA Inc. 2120 16th Street NW Suite 205 Washington, DC 20009	
·	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Wild Acres, also known as the Grosvenor Estate, is a large Tudor Revival manor house constructed in 1928 for Gilbert Grosvenor, founder of the National Geographic Society. Wild Acres is an excellent example of a Tudor Revival-style manor house constructed by a significant person during the suburban estate-building era of the early 20th century. The property retains such features as the main house, garage, historic approach to the house, and sweeping rear lawn. The property was originally owned by Dr. Gilbert Grosvenor, founder of the National Geographic Society. Gilbert Grosvenor and his wife Elise purchased the land in 1912 and spent summers on the property in an old farmhouse until the current house was constructed in 1928. The Grosvenors still held large social functions at Wild Acres, including a birthday party for Mrs. William Howard Taft. The property remained in the ownership of Gilbert Grosvenor until his death in 1966. Since 1975 the property has been home to a consortium of earth science organizations. The main house retains such character-defining features as a steeply pitched roof pierced by gables and dormers, bands of multiple-light casement windows, prominent chimneys, and false half-timbering. The stone exterior, wood shingle roof, and scale of the building distinguish this structure from other Tudor Revival-style residences constructed during the early 20th century.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The mansion was last renovated in the 1970s when the property was purchased and occupied by the American Society of Foresters. Hope Connections for Cancer Support, a local nonprofit, purchased the property in 2020. This organization helps people with cancer and their loved ones deal with the emotional and physical impact of cancer through participation in FREE, professionally facilitated programs of emotional support, education, wellness, and hope. Hope Connections is proposing a complete interior renovation to support their mission and program. Exterior work will be limited to the addition of parking spots and maintenance and repair of the building exterior and grounds.

escription of Current Condition:	Proposed Work:
There is currently a main parking field to support both the main house and the carriage house located just as you drive onto the property. There are also parking spaces directly in front of the carriage house but none in front of the main house. The mission of Hope Connections requires additional parking space more proximate to the front entrance to the building.	 New parking areas and ADA ramp to be installed in front of the main house. Twp parking configurations, A & B, are being presented for consideration. Existing paving areas in front of the carriage house to be repaired, resurfaced and re-striped. Attached please see Site and Landscape Plans Options A and B which illustrate scope, materials and work areas. Photos of existing are attached.

Description of Current Condition:	Proposed Work:
The property has suffered from years of deferred maintenance. There are several diseased and or damage trees that are recommended for removal. There are also a number of small trees and shrubs directly adjacent to the main house that need to be pruned back or removed in order to open the area up, improve site lines and allow natural lighting into the building.	Overgrown landscaping will be cut back or removed from areas adjacent to the mansion. Dead or diseased trees will be removed, new plantings installed. See attached arborist report. Attached Site and Landscape Plans Options A and B which illustrate scope, materials and work areas. Attached Arborist report details recommenced tree work. Photos of existing are attached.

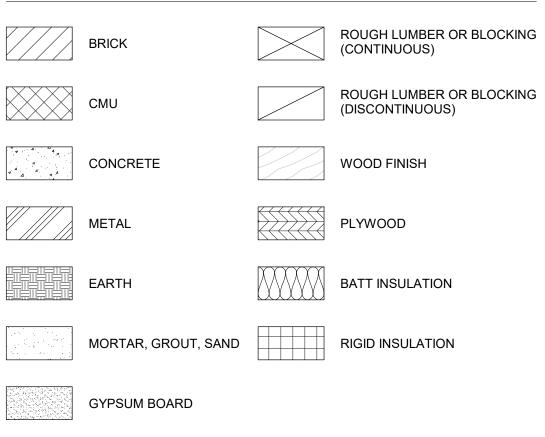
Description of Current Condition:	Proposed Work:
The property has suffered from years of deferred maintenance. The attention to address these conditions represents the new Owner's sustained commitment to the maintaining the historic value and condition of the property.	 The entire exterior of the mansion will be repainted and damaged or decayed wood and trim will be repaired/replaced. Copper roofing, gutters and flashing will be repaired and/or replaced with materials in kind. Slate roofing will be repaired and/or replaced with materials in kind. Materials are specified on architectural plans. Photos of existing are attached.

Site and Landsc been prepared t for consideration Parking Exhibit Parking Exhibit	o present two op n: Opt A.pdf	ve otions	Design Develop attached: 20_09	oment architec 915 ARCH SE	ctural package T.pdf	A limited set of photos in attach Exterior photos.	ed: Arb	orist report attach orist 2020 09 12.p	ed: odf
Included in this application form.				CHEC	EA WORK CKLIST OF REQUIRI			the applic	on page 2 of ation. There e adjacent owner.
	Proposed Work	Required Attachments I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses	
	New Construction	*	*	*	*	*	*	*	
	Additions/ Alterations	*	*	*	*	*	*	*	
	Demolition	*	*	*		*	*	*	
	Deck/Porch	*	*	*	*	*	Ť	*	
	Fence/Wall	*	*	*	*	*	*	*	
	Driveway/ Parking Area	*	*		*	*	*	* *	
	Grading/Exc avation/Land scaing	*	*		*	*	*	* *	
	Tree Removal	*	*		*	*	*	* }	
	Siding/ Roof Changes	*	*	*	*	*		*	
	Window/ Door Changes	*	*	*	*	*		*	
	Masonry Repair/ Repoint	*	*	*	*	*		*	
	Signs	*	*	*	*	*		*	

ABBREVIATIONS

Α	@	AT	G	GA	GAUGE	Q	Q.T.	QU
	ACT	ACOUSTICAL CEILING TILES		GALV.	GALVANIZED			
	ADJ	ADJACENT		GEN.	GENERAL	R	R	RIS
	AFF	ABOVE FINISHED FLOOR		GL.	GLASS	IX	R.A.	RE
	ALUM	ALUMINUM		GWB	GYPSUM WALL BOARD		RAD.	RA
	ALT	ALTERNATE		GYP BD	GYPSUM BOARD		RCP	RE
							R.D.	RO
_	D 4 D 0	DADDIED	Н	HM	HOLLOW METAL		REF	RE
В	BARR. BLDG	BARRIER BUILDING		HB HC	HOSE BIB HANDICAPPED		REINF. RM	RE RO
	BLDG BLK/BLKG	BLOCKING		HORIZ.	HORIZONTAL		R.O.	RO
	BIT.	BITUMINOUS		H.P.	HIGH POINT		RQD.	RE
	BM.	BEAM		HR	HOUR		NQD.	
	BOT.	BOTTOM		HT	HEIGHT	S	SCHED.	
	B.U.	BUILT-UP			-	0	SECT.	SE
			1	INSUL.	INSULATION		SHT	SH
С	С	CHANNEL	•	INT.	INTERIOR		SIM	SIM
C	CAB	CABINET					S.P.	ST/
	CIP	CAST-IN-PLACE		JH	JAMES HARDIE		SPECS	SP
	CL	CENTERLINE	J	J.O.	JAMB OPENING		SQ.	SQ
	CLG	CEILING		JT	JOINT		SS	ST
	CMU	CONCRETE MASONRY UNITS					STL	STI
	COL.	COLUMN	Κ	KIT.	KITCHEN		ST./STOR/	ST
	CONC. CONST.	CONCRETE CONSTRUCTION		1 0 1 4			STRUCT. SUSP.	SU
	CONST. C.J.	CONSTRUCTION CONTROL JOINT	L	LAM. LAV.	LAMINATE LAVATORY		SUSP. SW	ST
	CONT.	CONTINUOUS		LAV. L.F.	LINEAR FEET		300	510
	CORR.	CORRIDOR		L.P.	LOW POINT		Т	TR
	CPT	CARPET		L		Т	TEL.	TEI
	CT	CERAMIC TILE	N 4	М.	MEN'S TOILET		TH	TH
			М	MACH.	MACHINE		THK.	TH
D	Ø, D	DIAMETER		MAINT.	MAINTENANCE		Т.О.	ΤO
D	D.	DEEP		MAS.	MASONRY		T&B	ΤO
	DET.	DETAIL		MANF.	MANUFACTURER		T&G	ТО
	DIA.	DIAMETER		MAX	MAXIMUM		TS	TR
	DISP.	DISPENSER		MECH.	MECHANICAL		TYP	TYI
	DIM.	DIMENSION		M.H.	MANHOLE			1.161
	DN D.S.	DOWN DOWNSPOUT		MIN M.R.	MINIMUM MOISTURE RESISTANT	U	U.L. U.N.O.	UN UN
	D.S. DTLS.	DETAILS		M.O.	MASONRY OPENING	U	U.N.U.	UN
	DWGS	DRAWINGS		MISC.	MISCELLANEOUS		VCT	VIN
	DWGG	Browindee		MTG	MOUNTING	V	V.B.	VA
	EA	EACH		MTL	METAL	-	VERT.	VE
E	E.F.	EXHAUST FAN		MULL.	MULLION		VEST.	VE
	ELEC.	ELECTRICAL					V.R.	VA
	ELEV.	ELEVATOR		N.I.C.	NOT IN CONTRACT			
	EL.	ELEVATION	Ν	NO.	NUMBER		W.	WC
	EQ	EQUAL		NOM.	NOMINAL	W		WC
	EQUIP.	EQUIPMENT		NTS	NOT TO SCALE		W/	WI
	EXIST.	EXISTING					W/O	WI
	EXP.	EXPOSED	0	0.C.	ON CENTER		W.C.	WA
	EXP. JT.	EXPANSION JOINT.	0	O.D.			WRB	WE
	EXT.	EXTERIOR		OPER. OPG.	OPERATING OPENING		WWF WWM	WE WE
	F.D.	FLOOR DRAIN		OPG. OPP.	OPPOSITE			VVL
F	FE	FIRE EXTINGUISHER		011.	OFFOOTE			
	FEC	FIRE EXTINGUISHER CABINET		PART.	PARTITION			
	FEC02	FIRE EXTINGUISHER CARBON DIOXI	D₽	PASS.	PASSAGE			
	FHC	FIRE HOSE CABINET		PERIM.	PERIMETER			
	FIN.	FINISHED		PL	PLATE, PROPERTY LINE			
	FIXT.	FIXTURE		PLAS.	PLASTER			
	FL.	FLOOR		PLAM	PLASTIC LAMINATE			
	FOS	FACE OF STUD		POLY.	POLYETHELYNE			
	FP	FIREPROOFING		PREFAB	PREFABRICATED			
	FTG	FOOTING		PREP.	PREPARATION			
	FURR.	FURRING		P.T. PTD	PRESSURE TREATED PAINTED			
				FID	FAINTED			

MATERIAL FILL PATTERNS



GENERAL NOTES

- Contractor shall verify all dimensions in the field and notify the 1. Architect and Owner promptly of any discrepancy between the Contract Documents and actual field conditions. All conflicts and discrepancies shall be brought to the attention of the architect. The contractor shall not proceed with related work until the conflict is resolved.
- 2. The Contract drawings are diagrammatic and do not indicate all components and accessories required for the complete installation. The contractor shall provide such items to complete the entire system and place in proper operation in accordance with the applicable codes, industry standards, and equipment manufactures' recommendations.
- 3. Structural components shall not be cut, drilled, or modified in any way without the review and approval of the architect or structural engineer.
- 4. Drawings are an instrument of service and are not allowed to be reporduced without expressed premission of the Architect
- All dimensions are to face of stud U.N.O. All doors are assumed to be placed on the center within the length 6.
- of wall or 4" offset from framing U.N.O.
- All interior walls are assumed to be type **0W4A** U.N.O. 7.

SYMBOL LEGEND

SECTION MARKER - CUTS CONSTRUCTION SECTION IDENTIFICATION SHEET WHERE SECTION APPEARS

DETAIL MARKER DETAIL DETAIL IDENTIFICATION SHEET WHERE DETAIL APPEARS

ELEVATION MARKER (A4.2

1-+ A1.1 >

1

A1.1

100

ROOM MARKER ROOM - ROOM NAME ROOM NUMBER

DOOR MARKER (101) - DOOR NUMBER/OPENING MARK

WINDOW, STOREFRONT, LOUVER MARKER W101 - WINDOW/STOREFRONT/LOUVER MARK

PARTITION MARKER A1 - PARTITION TYPE

- HEIGHT/ELEVATION

> **REVISION MARKER** AREA OF REVISION

(0)-

BUILDING LINE BUILDING LINE
 IDENTIFICATION

DEMINSION STRING INTERIOR CLEAR DIMENSION -FACE OF FINISH TO FACE OF FINISH

FRAMING DIMENSION -FACE OF STUD TO FACE OF STUD

FRAMING DIMENSION -FACE OF STUD TO CENTERLINE OF ELEMENT

HOPE CONNECTIONS OFFICE BUILDING

10100 LAUREATE WAY BETHESDA, MD

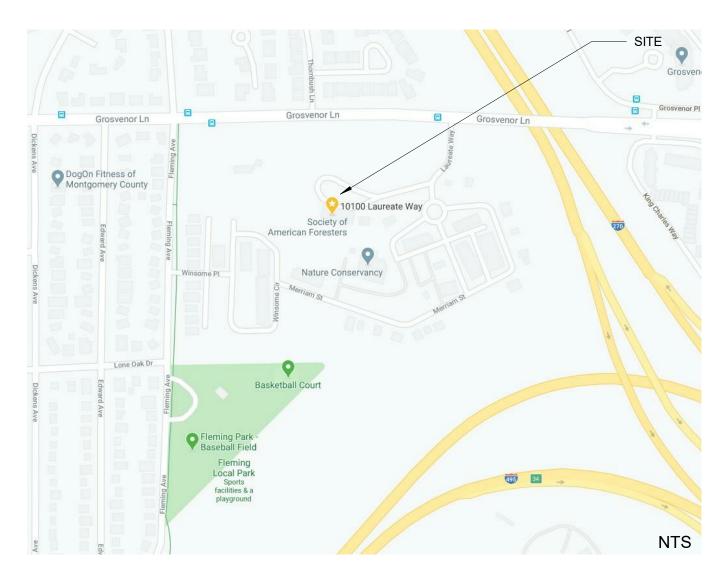
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A601	INTERIOR ELEVATIONS
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A902	FINISH SCHEDULE
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MECHANIC	AL
M001	MECHANICAL COVER SHEET
M002	MECHANICAL FLOOR 1
M003	MECHANICAL FLOOR 2
M004	MECHANICAL FLOOR 3
ELECTRICA	AL
E001	ELECTRICAL COVER PAGE
E002	ELECTRICAL FLOOR 1
E003	ELECTRICAL FLOOR 2
E004	ELECTRICAL FLOOR 3
GB001	ENERGY VERIFICATION SHEET
PLUMBING	
P001	PLUMBING COVER SHEET
P002	PLUMBING FLOOR 1
P003	PLUMBING FLOOR 2
P004	PLUMBING FLOOR 3
SECURITY	
-	SECURITY PLAN - BASEMENT & LEVEL 1
SE102	SECURITY PLAN LEVELS 2 & 3
TELECOM	
T101	TELECOM PLAN - BASEMENT & LEVEL 1
T102	TELECOM PLAN - LEVELS 2 & 3

PROJECT SUMMARY

THIS PROJECT CONSISTS OF THE INTERIOR REMODEL OF THE HISTORIC GROVSNER MANSION THAT CURRENTLY SERVES AS THE HEADQUARTERS FOR A NON-PROFIT ORGANIZATION. HOPE CONNECTIONS FOR CANCER SUPPORT IS RENOVATING THE EXISTING OFFICE SPACE TO SUIT THEIR NEEDS FOR MORE MEETING ROOMS. THERE ARE NO STRUCTURAL CHANGES TO THE HOME, ONLY MINOR PARTITION CHANGES AND VARIOUS COSMECTIC UPGRADES. SELECT MECHANICAL SYSTEMS ARE BEING BROUGHT UP TO CODE AS REQUIRED.

VICINITY MAP





PROJECT TEAM

STRUCTURAL ENGINEER ARCHITECT MEP ENGINEER TBD VECO ENGINEERS PO BOX 1862 FALLS CHURCH, VA 22041 571.758.3262 rafael@vecoeng.com

UARRY TILE

RISER RETURN AIR RADIUS REFLECTED CEILING PLAN ROOF DRAIN EFERENCE, REFRIGERATOR REINFORCING OOM ROUGH OPENING

REQUIRED SCHEDULE

ECTION SHEET SIMILAR STANDPIPE **SPECIFICATIONS** QUARE STAINLESS STEEL

STEEL STORAGE STRUCTURAL USPENDED STORM WATER

READ ELEPHONE HRESHOLD HICKNESS OP OF OP AND BOTTOM ONGUE AND GROOVE RANSITION STRIP

YPICAL **JNDERWRITER'S LABORATORY** JNLESS NOTED OTHERWISE

INYL COMPOSITION TILE APOR BARRIER ERTICAL ESTIBULE APOR RETARDER

VOMEN'S TOILET VOOD VITH VITHOUT

VATER CLOSET VEATHER RESISTIVE BARRIER /ELDED WIRE FABRIC /ELDED WIRE MESH

— SHEET WHERE ELEVATION APPEARS - ELEVATION IDENTIFICATION

HEIGHT, ELEVATION MARKER

REVISION IDENTIFICATION

LEE DESIGN STUDIOS, LLC 6818 JACKSON AVE FALLS CHURCH, VA 22042

404.375.0733 MATT@LEEDESIGN.STUDIO

the ts w	these documents v and shall not be any way without the Studios LLC.		PROJECT # : This drawing is an instrument of service and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the written permission of Lee Design Studios LLC. Professional Certification: I certify that these documents v prepared or approved by me, and that I am a duly license architect under the laws of the State of Maryland, license number 17188 expiration date Jan 13, 2021. No. Description Data Hard Hard Hard Hard Hard Hard Hard Hard	PROFET LITER POPE CONNECTIONS OFFI PROPE CONNECTIONS OFFI PROPE CONNECTIONS OFFI PROPE CONNECTION POPE CONNECTION POPE CONNECTION	SHEET NUMBER
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CIVIL ENGINEER

GREENWAY ENGINEERING

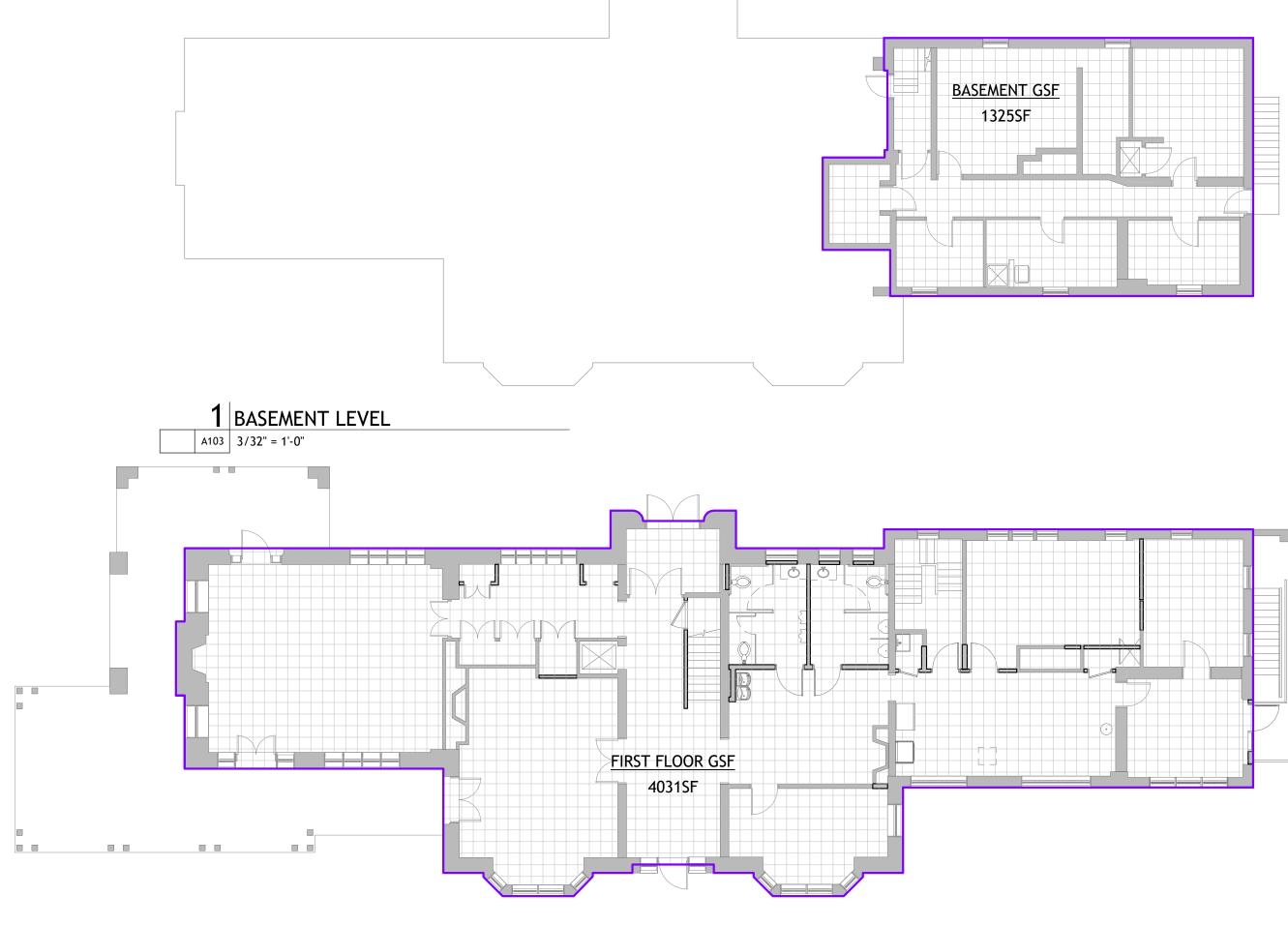
45145 RESEARCH PLACE ASHBURN, VIRGINIA 20147 703.328.0788 WWW.GREENWAYENG.COM OWNER

HOPE CONNECTIONS FOR CANCER SUPPORT

MARY McCUSKER 301.634.7500 Mary@hopeconnectionsforcancer.org

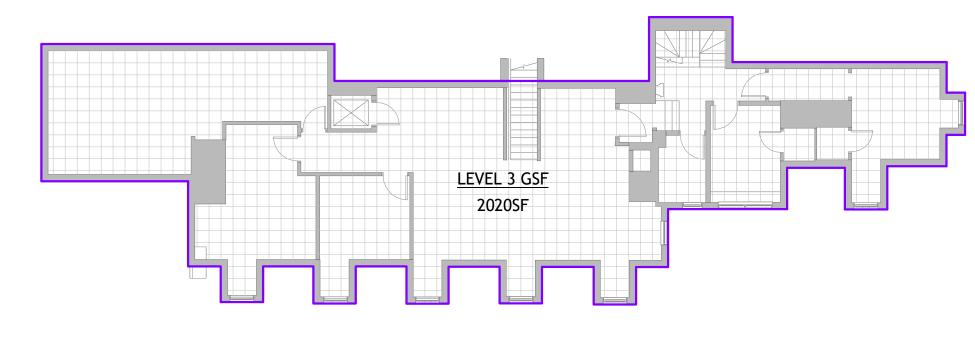
9/15/2020

Area Schedule (GSF)				
Name	Area			
BASEMENT GSF	1324.90 SF			
FIRST FLOOR GSF	4031.30 SF			
LEVEL 2 GSF	4050.54 SF			
LEVEL 3 GSF	2020.12 SF			



2 LEVEL 1 A103 3/32" = 1'-0"

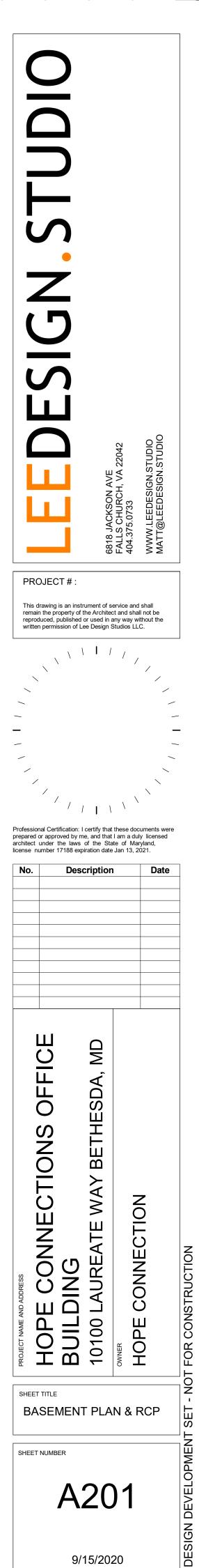




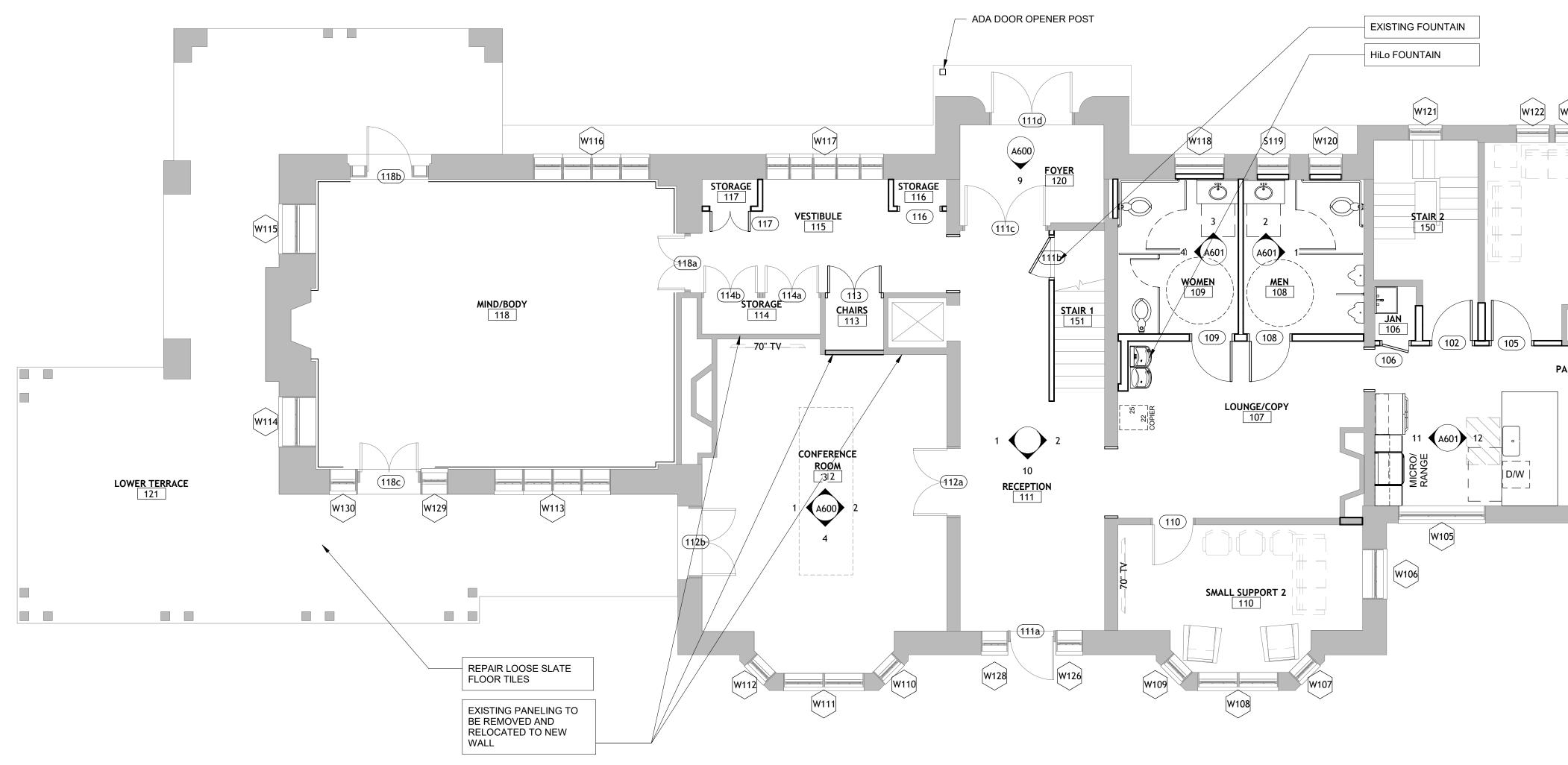
4 LEVEL 3







FOR CONSTRUCTION , O



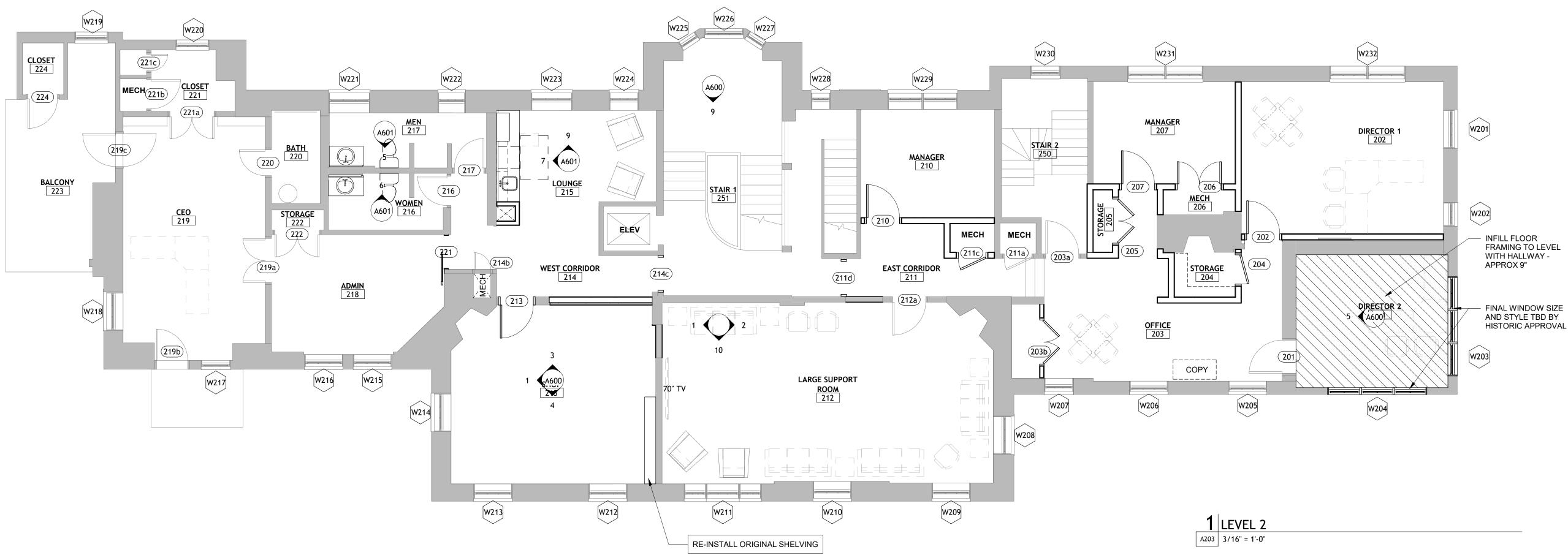


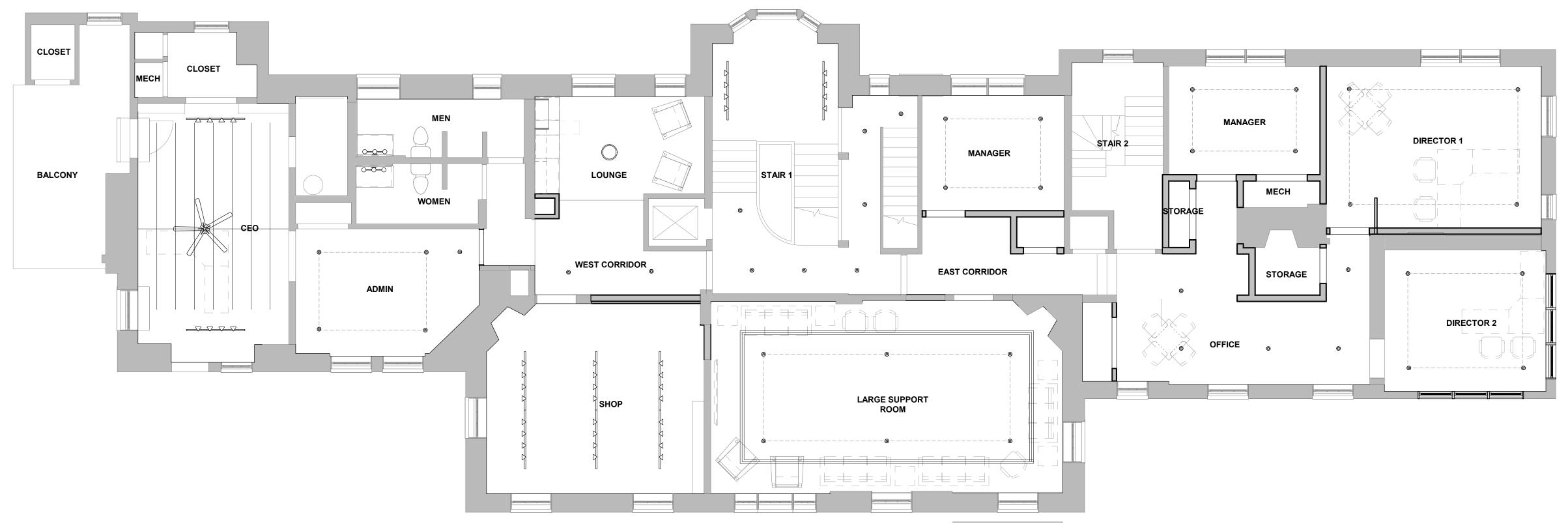
U U N Ш

14

9/15/2020

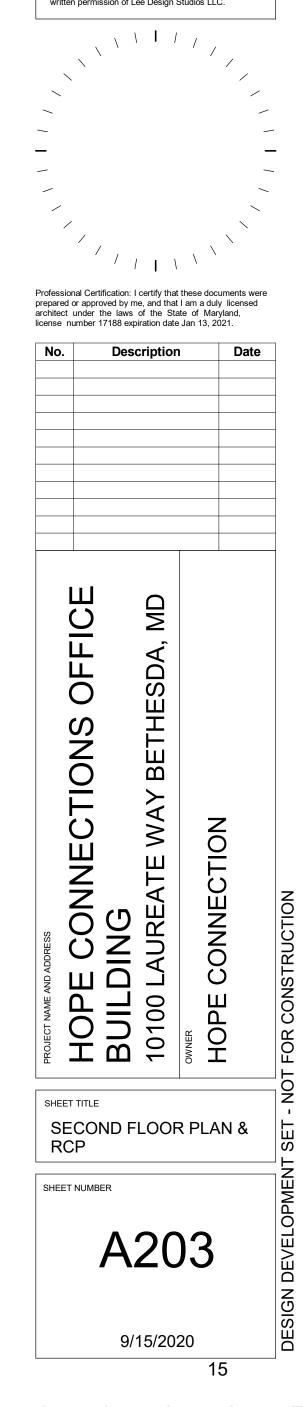










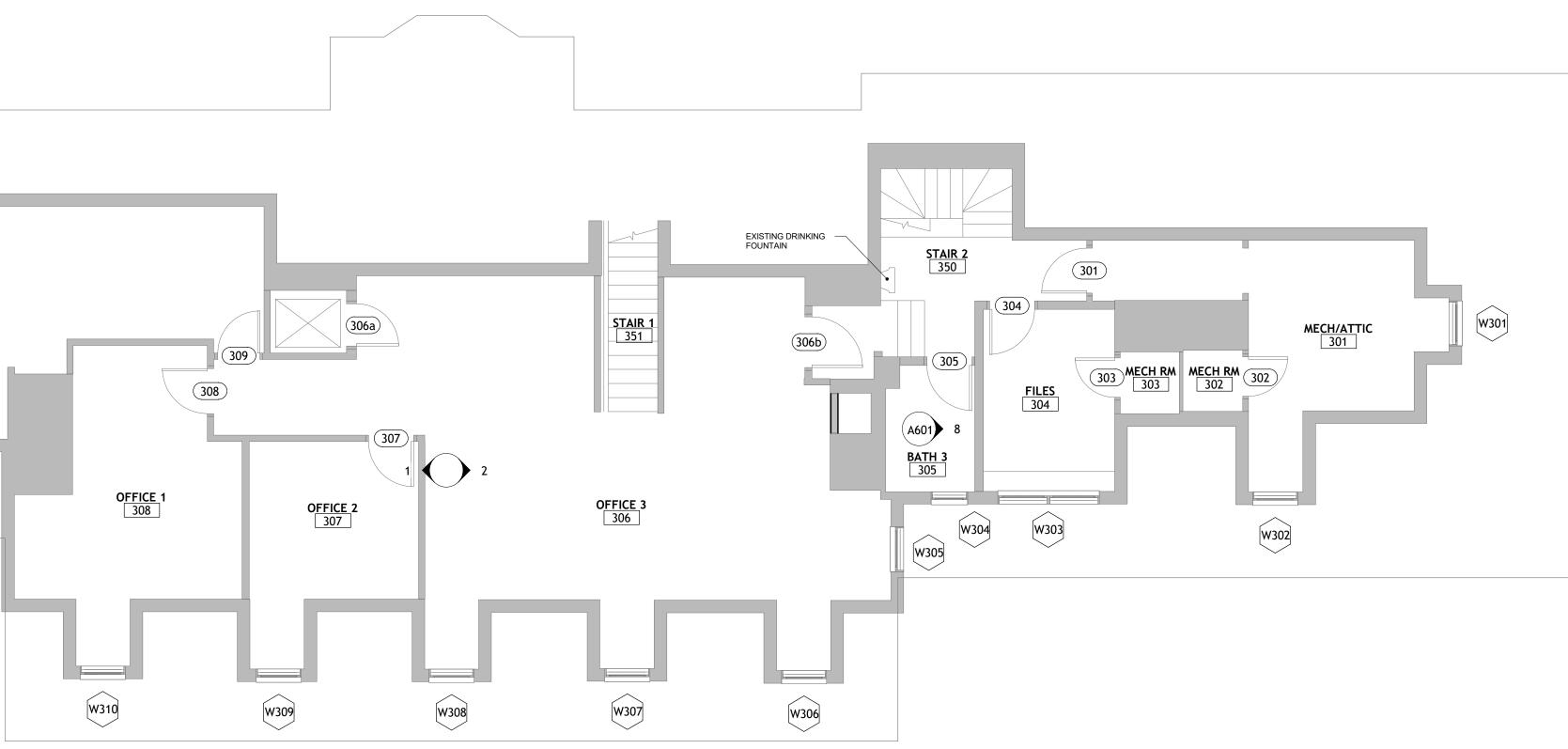


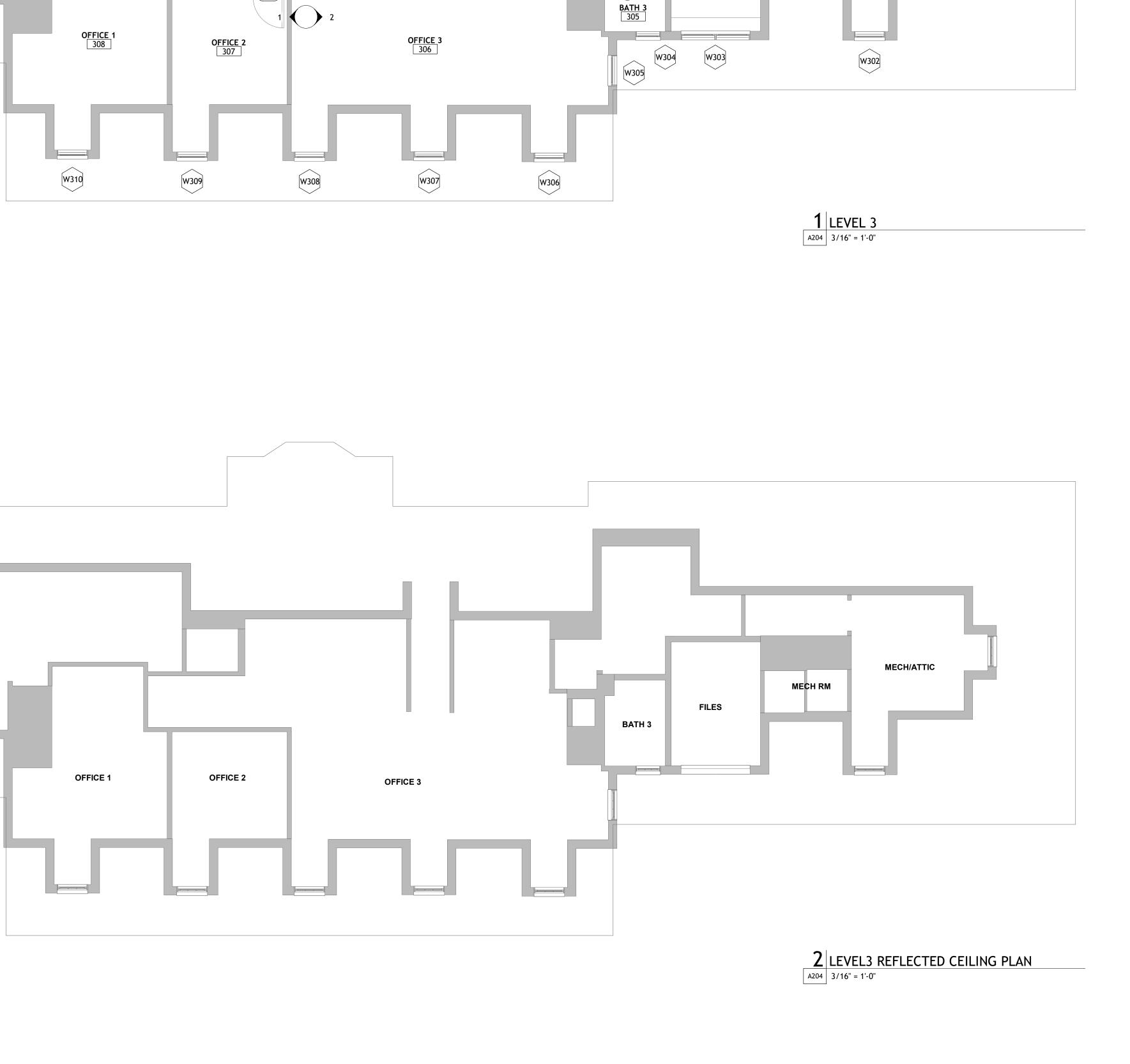


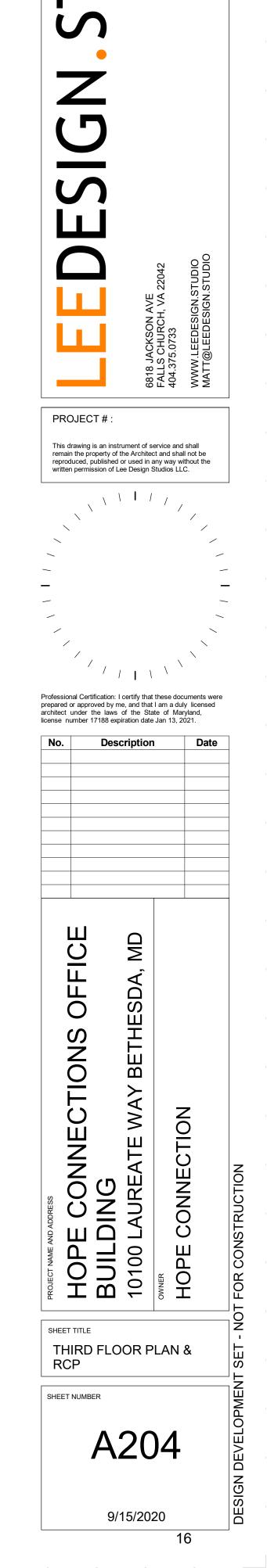
ORIGINAL PAGE SIZE 24X

MECH ROOM / STORAGE/ATTIC 309

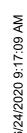
MECH ROOM / STORAGE/ATTIC







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CONSTRUCTION NOT FOR MATIC DI

9/15/20 17



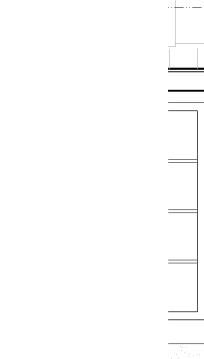






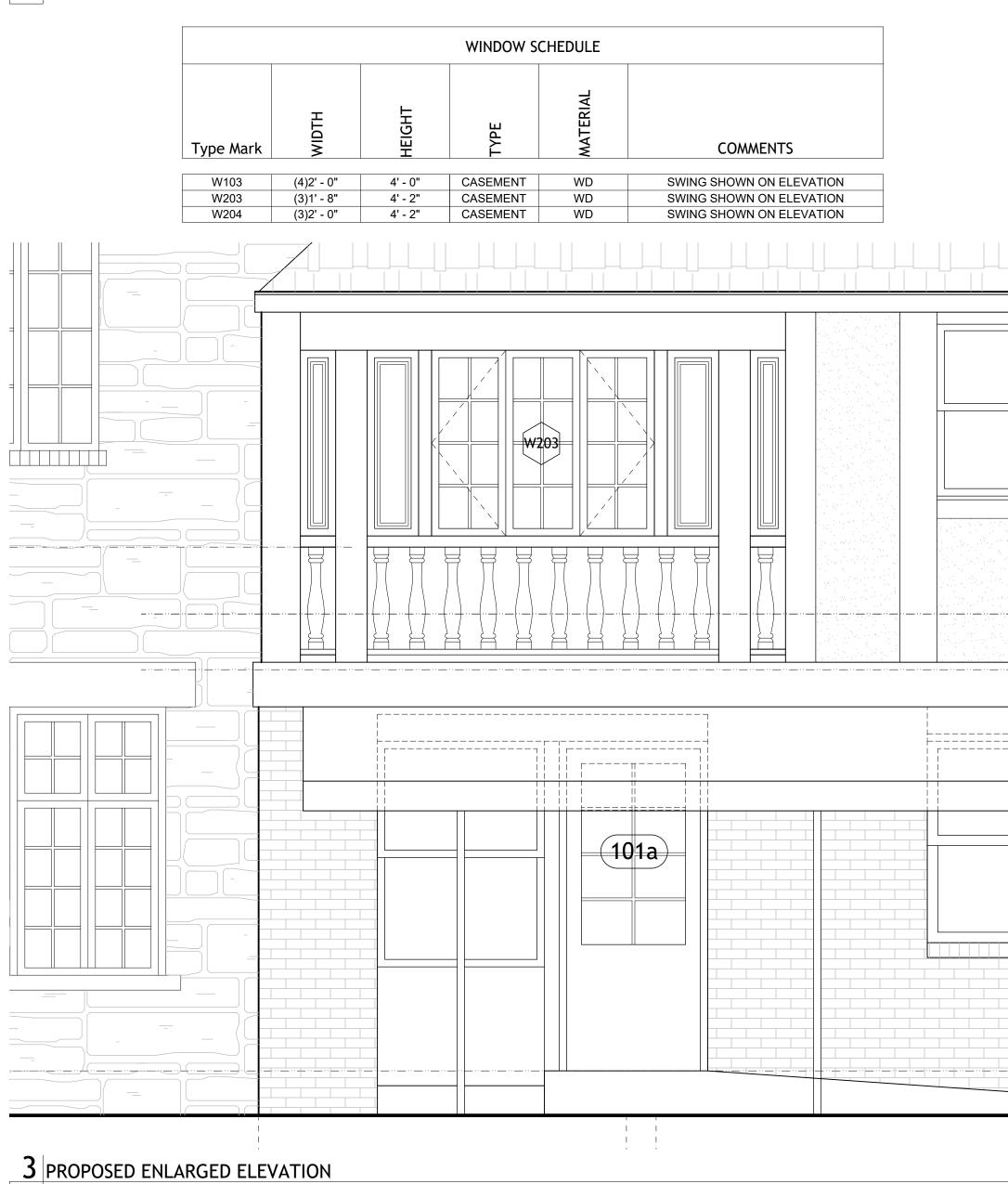
CONSTRUCTION NOT FOR MATIC DI

9/15/20 19

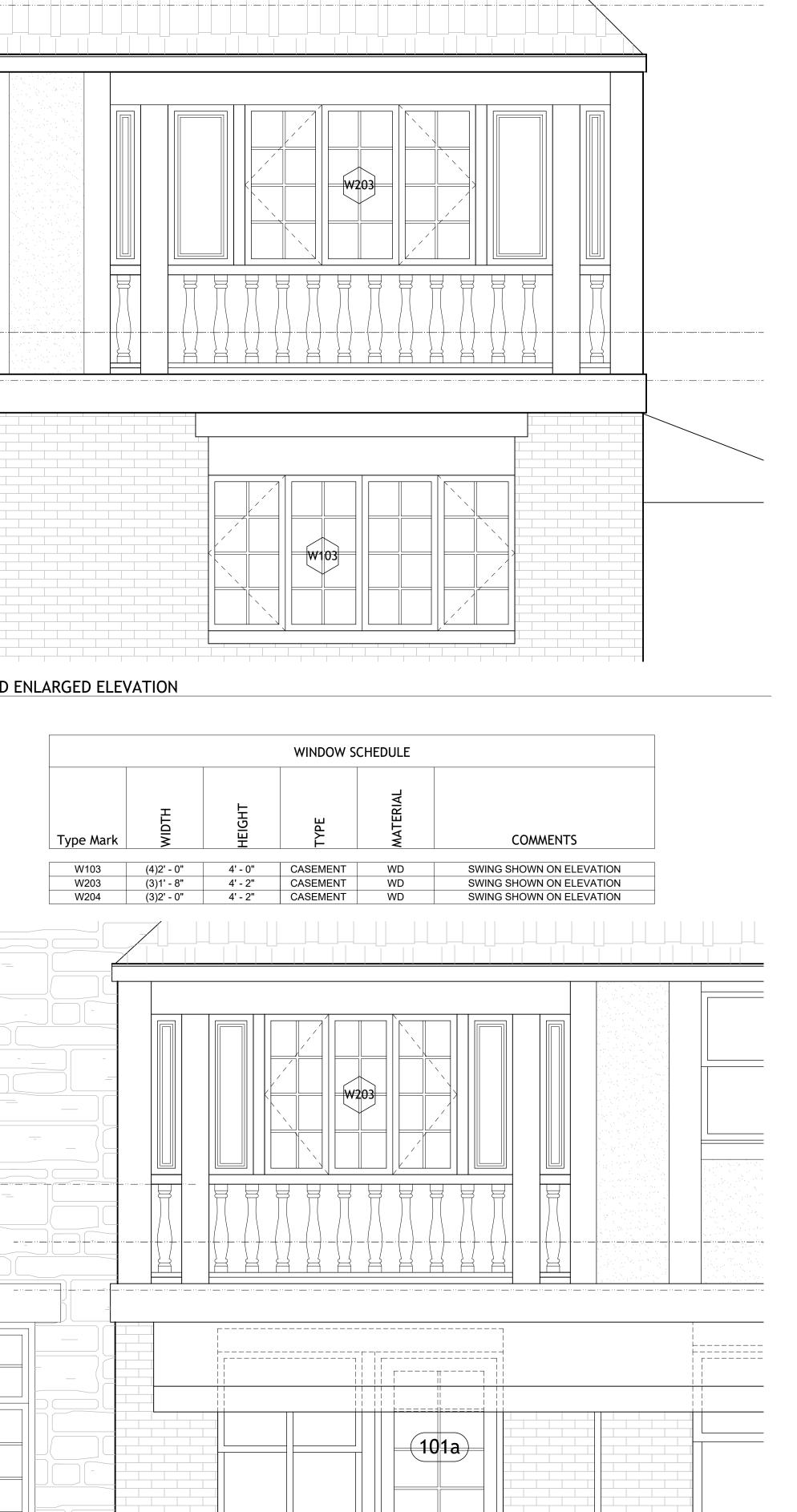




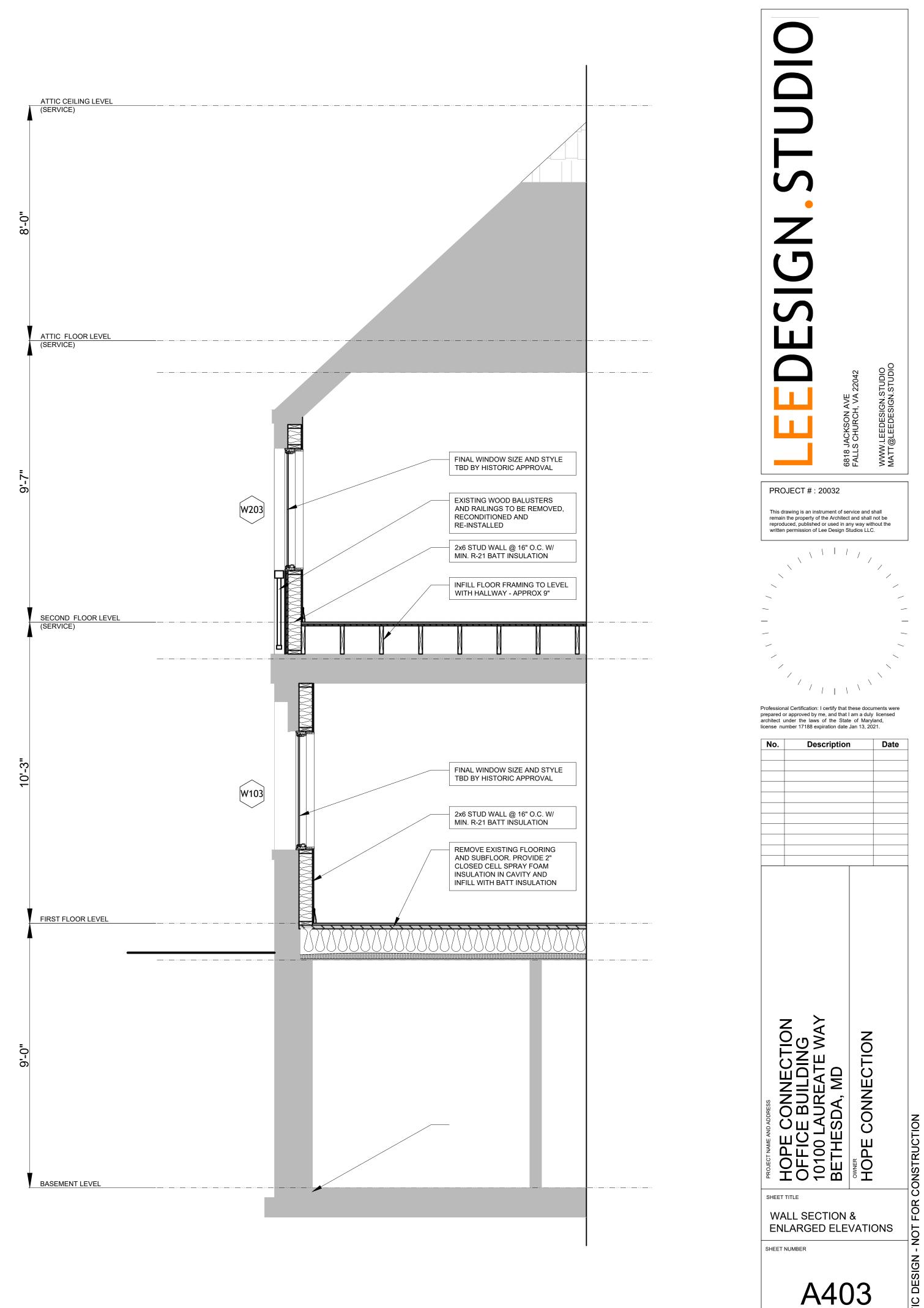




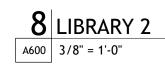
A403 1/2 = 1'-0"

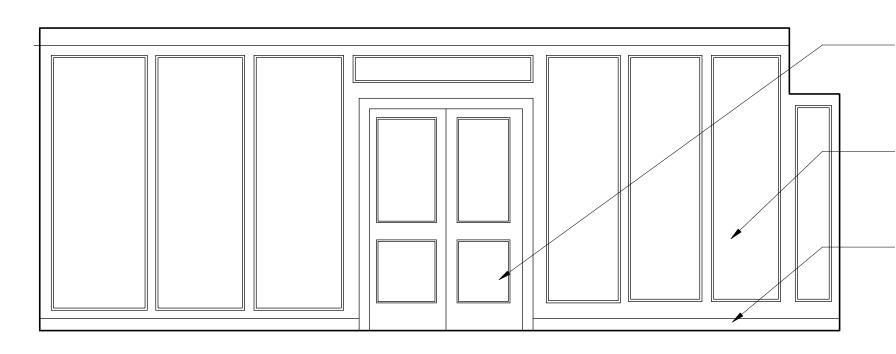


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1	

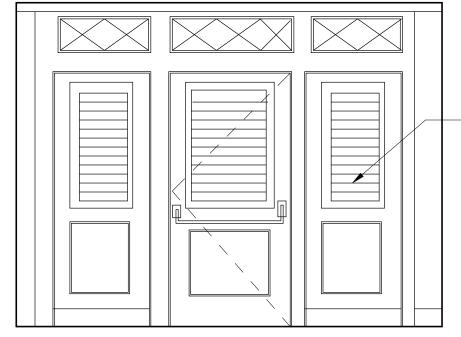


Ũ FOR NOT EMATIC - EXITING WINDOWS, PTD.



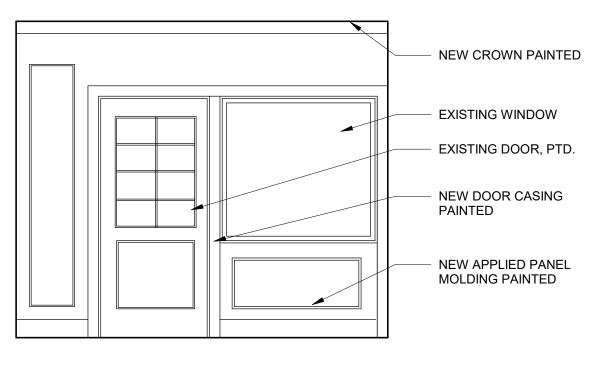


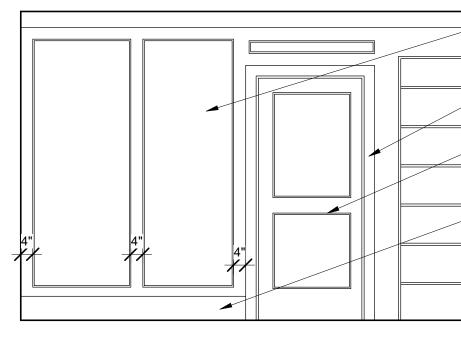
2 CONFERENCE ROOM 2 A600 3/8" = 1'-0"





10 RECEPTION - SOUTH ELEVATION A202 A600 3/8" = 1'-0"



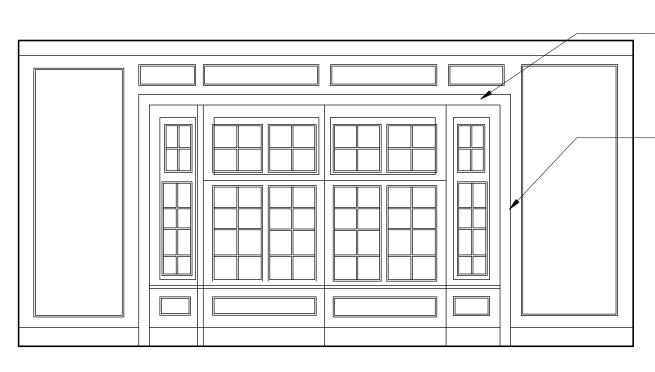


7 LIBRARY 3 A600 3/8" = 1'-0"

4 CONFERENCE ROOM 1

A600 3/8" = 1'-0"





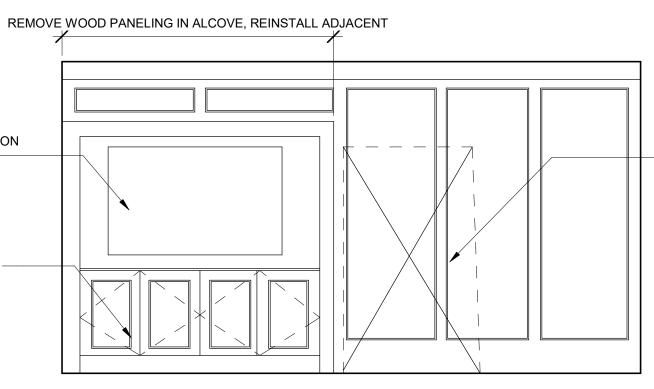
REMOVE EXISTING WOOD PANELING IN ALCOVE AND SOFFIT

6 LIBRARY 4 A600 3/8" = 1'-0"

NEW DR CASING AT ALCOVE. PTD.

T.V. - NEW WALLCOVERING ON GYP BOARD

NEW 36" HIGH BASE CABINETS

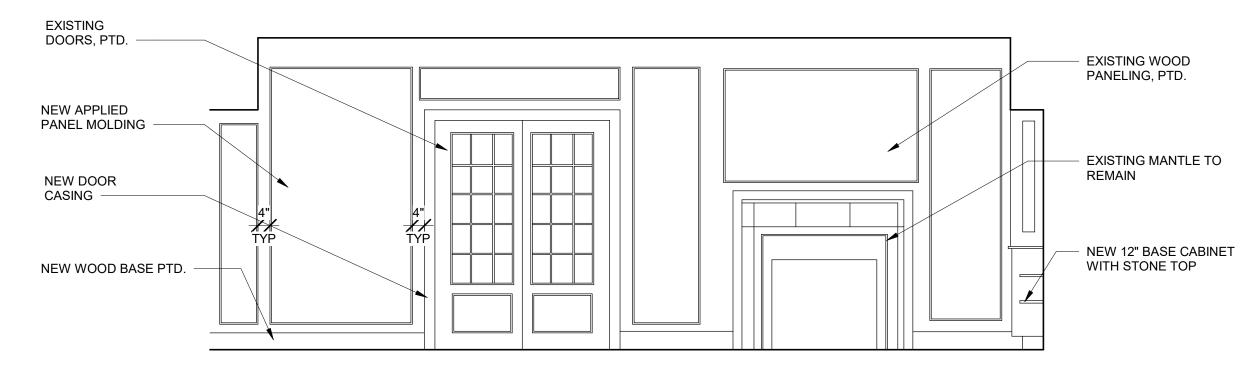


3 CONFERENCE ROOM 4 A600 3/8" = 1'-0"

NEW APPLIED PANEL MOLDING ON EXISTING DOORS

NEW APPLIED PANEL MOLDING ON EXISTING WALL, PTD.

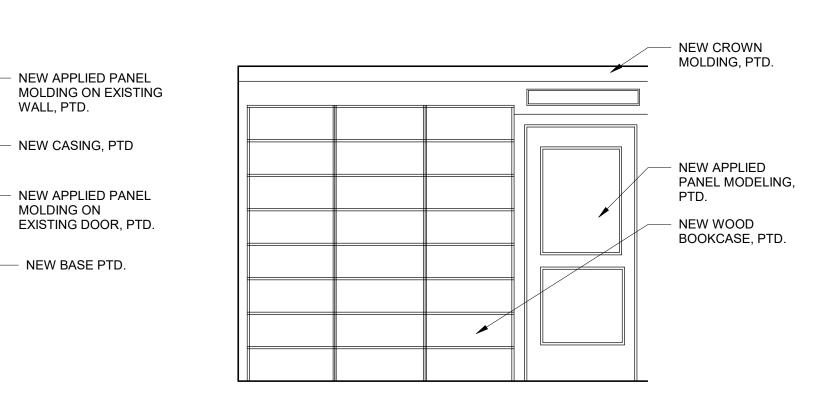
NEW WOOD BASE, PTD.



1 CONFERENCE ROOM A600 3/8" = 1'-0"



9 ENTRY - SOUTH ELEVATION A600 3/8" = 1'-0"



INSTALL WOOD
 PANELING ON NEW

GYP BOARD PARTITION

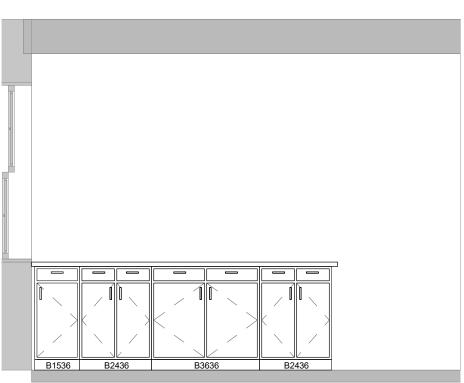
5 LIBRARY 1 A600 3/8" = 1'-0"



STRUCTION FOR CON 2 DESIGN DEVELO

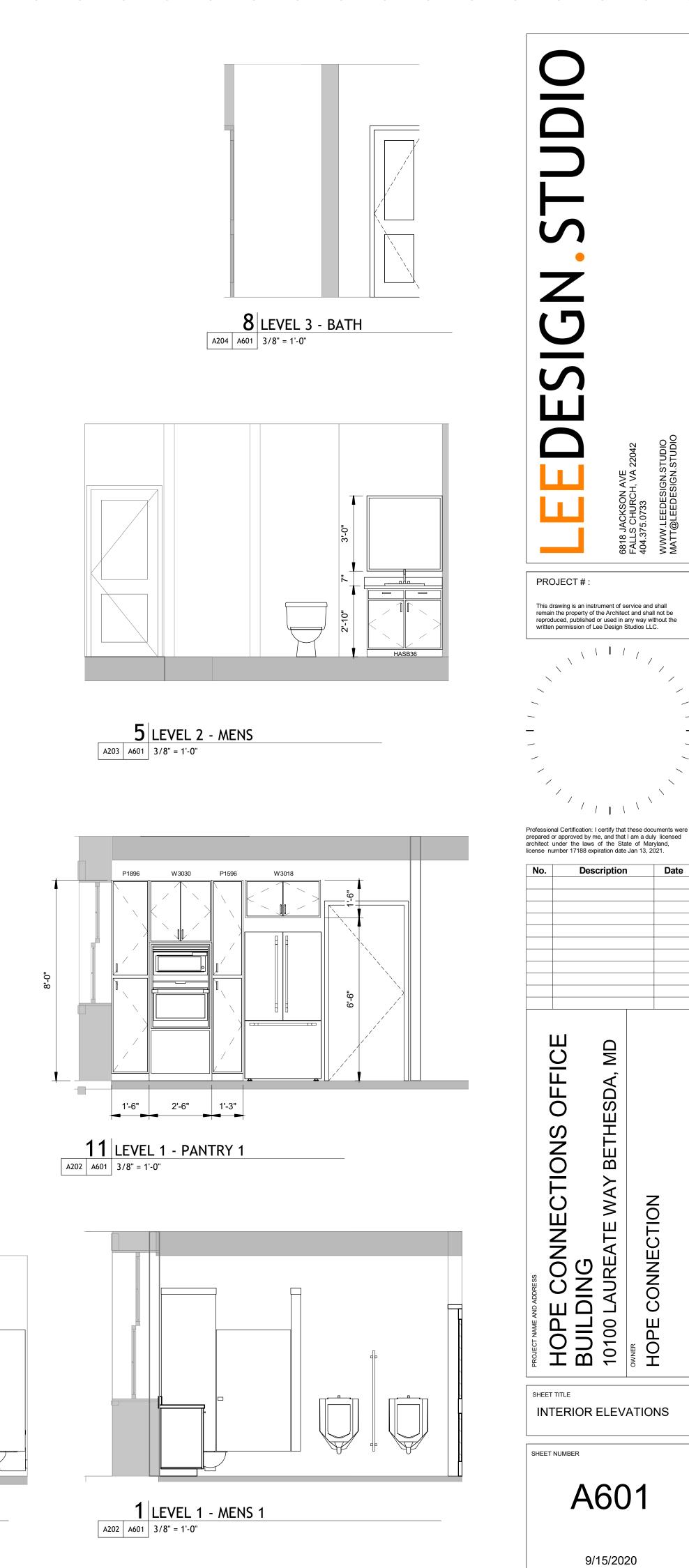
A600





13 LEVEL 1 CAFE 2 A202 A601 3/8" = 1'-0"





FOR CONSTRUCTION N N Ш DESIGN DEVELO

NEW CROWN MOLDING, PTD.

NEW PERIMETER BULKHEAD PTD. –

GWB PTD. -

NEW WOOD BASE PTD.

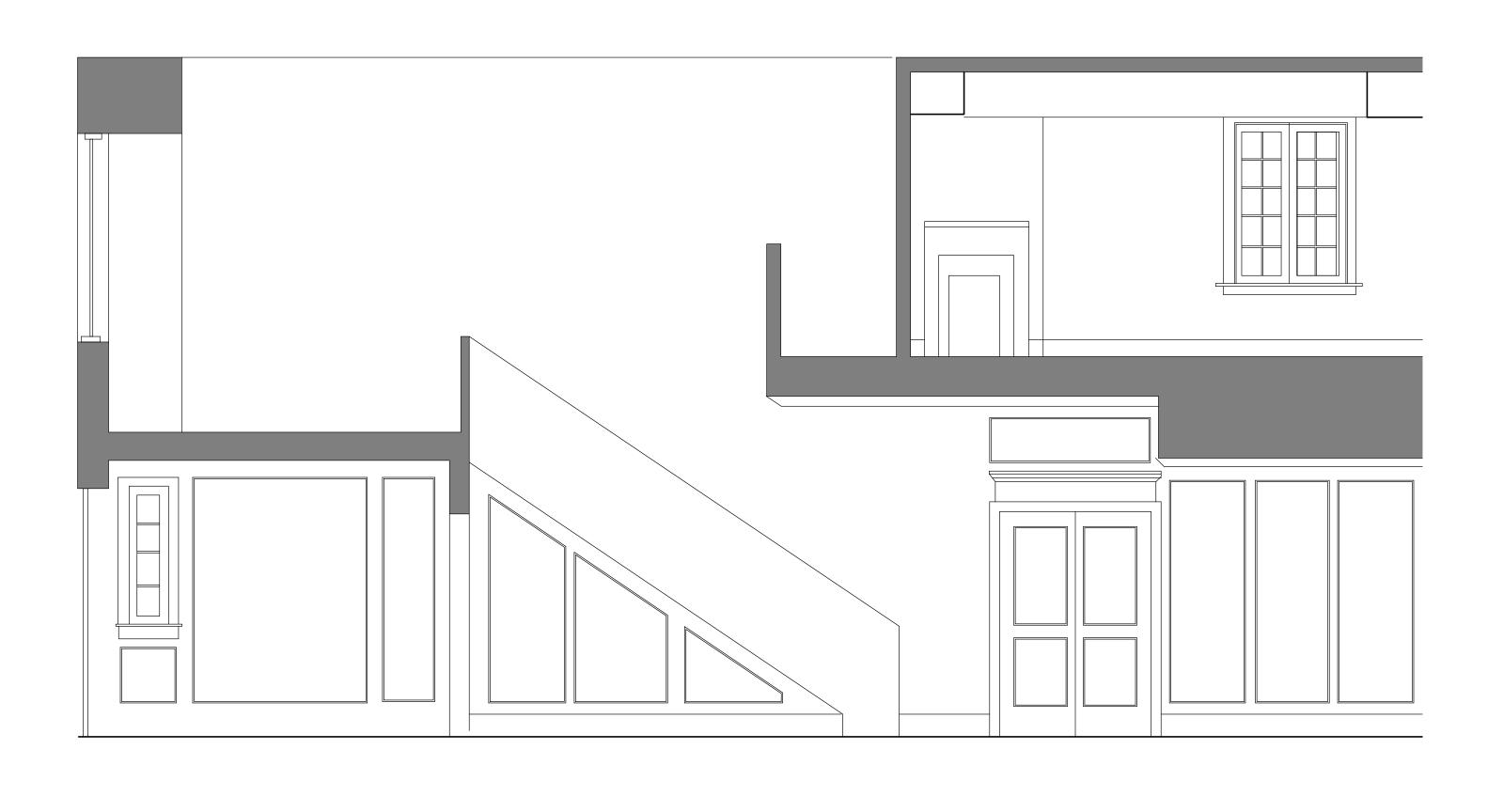
EXISTING WOOD PANELING, PTD. –

NEW APPLIED PANEL MOLDING, PTD.

NEW WOOD BASE, PTD



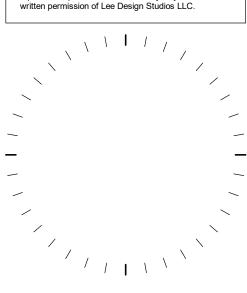
2 RECEPTION 2 A602 3/8" = 1'-0"



\bigcirc S DESIGN

ESIGN.STUDIO DESIGN.STUDIO 6818 JACKSON AVE FALLS CHURCH, VA 220 404.375.0733 WWW.LEEDESIGN.STU MATT@LEEDESIGN.STU

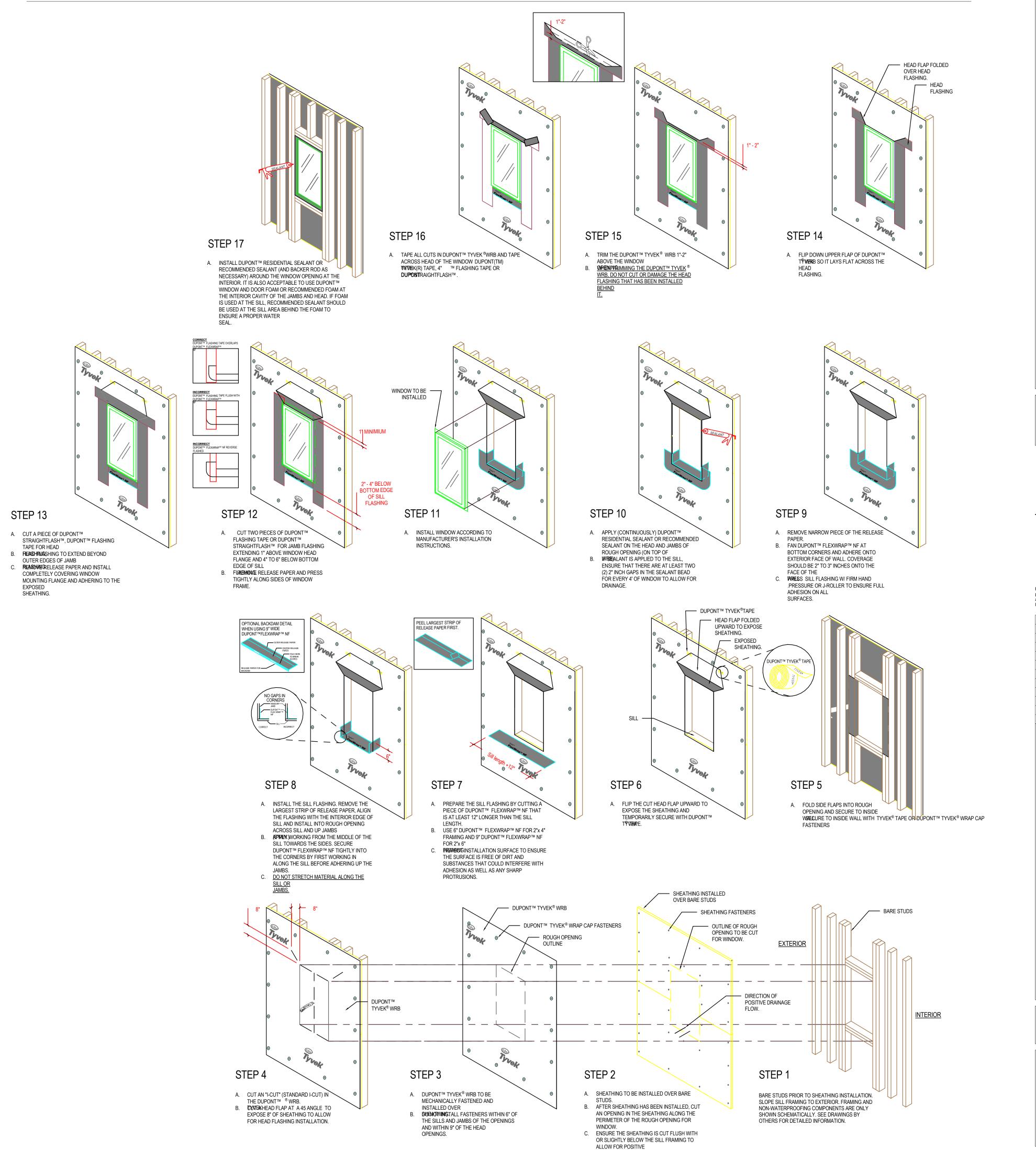
PROJECT # : This drawing is an instrument of service and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the written permission of Lee Design Studios LLC.



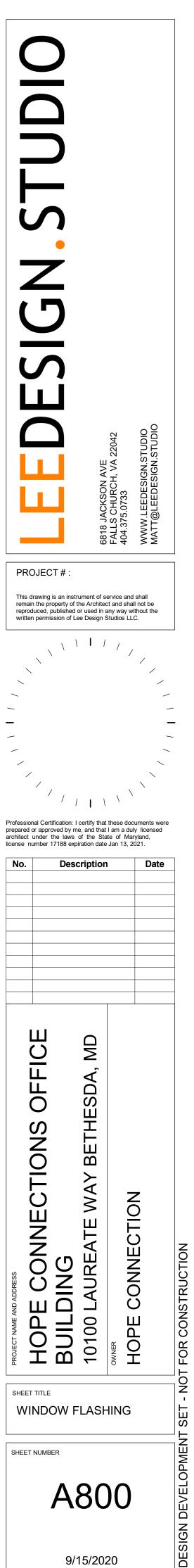
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 17188 expiration date Jan 13, 2021.



WINDOW FLASHING



DRAINAGE.



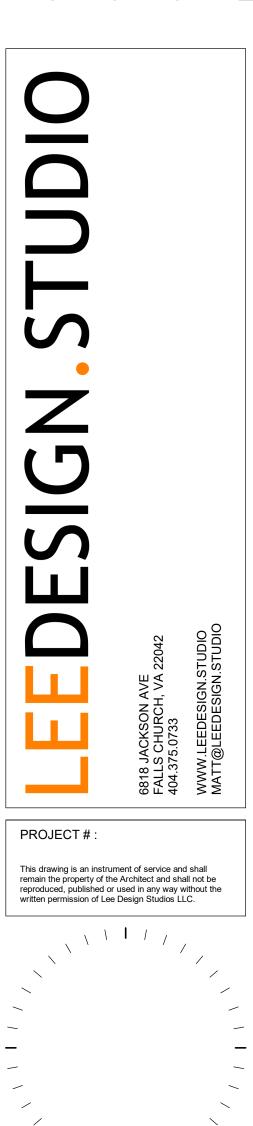
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9/15/2020

		DC	OR SCHE	Edule - Demo
MARK	WIDTH	HEIGHT	SINGLE/PAIR	COMMENTS
LEVEL 1				
D101	3' - 0"	6' - 8"	S	
D102	3' - 0"	6' - 8"	S	
D103	3' - 0"	6' - 8"	S	
D104	2' - 8"	6' - 8"	S	
D105	3' - 0"	6' - 8"	S	
D106	3' - 0"	7' - 0"	S	
D107	2' - 8"	6' - 8"	S	
D108	5' - 0"	6' - 8"	Р	
D109	4' - 0"	6' - 8"	Р	
D110	4' - 0"	6' - 8"	Р	
D111	3' - 0"	6' - 8"	Р	
D112	3' - 0"	6' - 8"	Р	
D113	3' - 0"	6' - 8"	Р	
D114	3' - 0"	6' - 8"	Р	
D115	3' - 6"	6' - 8"	Р	
LEVEL 2				
D201	2' - 0"	8' - 0"	S	
D202	3' - 0"	6' - 8"	S	
D203	3' - 0"	6' - 8"	S	
D204	3' - 0"	6' - 8"	S	
D205	4' - 0"	6' - 8"	Р	
D206	3' - 0"	6' - 8"	S	
D207	3' - 0"	6' - 8"	S	
D208	2' - 8"	6' - 8"	S	
D209	2' - 8"	6' - 8"	S	
D210	3' - 0"	6' - 8"	S	
LEVEL 3				
D301	2' - 0"	6' - 8"	S	
D302	3' - 0"	6' - 8"	S	
D303	2' - 8"	6' - 8"	S	
D304	3' - 0"	6' - 8"	S	
D305	2' - 8"	6' - 8"	S	

		DOO	R SCHEL	DULE - EXISTING
MARK	WIDTH	HEIGHT	SINGLE/PAIR	COMMENTS
BASEMEN 001a	11 LEVEL 2' - 8"	7' - 0"	6	
001a 001b	<u>2 - 0</u> 3' - 0"	7 - 0"	S S	
001b 001c	2' - 6"	7 - 0 6' - 8"	S S	
0010	3' - 0"	6' - 8"	S S	
002	2' - 8"	0 - 8 7' - 0"	S S	
003	3' - 0"	6' - 8"	S	
005	2' - 8"	7' - 0"	s	
006	2' - 8"	7' - 0"	s	
008	2' - 8"	7' - 0"	s	
008a	3' - 0"	6' - 8"	s	
LEVEL 1	5 0	5.0		
101b	2' - 8"	6' - 8"	S	
1015	3' - 0"	6' - 8"	S	CHANGE DOOR SWING
110	3' - 0"	7' - 0"	S	
111a	3' - 3"	9' - 5"	s	
111c	6' - 0"	7' - 0"	P	PROVIDE AUTO DOOR OPENER HARDWARE
111d	6' - 0"	7' - 0"	P	ADD REMOTE HCP OPENER HARDWARE
112a	5' - 0"	6' - 8"	P	
112b	5' - 0"	6' - 8"	P	
114a	4' - 0"	6' - 8"	P	
114b	4' - 0"	6' - 8"	P	
118a	4' - 0"	6' - 8"	P	
118b	3' - 4"	9' - 5"	S	
118c	4' - 4"	9' - 5"		
284	3' - 0"	7' - 0"	S	
285	4' - 0"	7' - 0"	S	
LEVEL 2				
201	3' - 0"	6' - 8"	S	
203a	3' - 0"	6' - 8"	S	
211d	3' - 0"	7' - 0"	S	
212a	3' - 0"	6' - 8"	S	
214b	1' - 6"	6' - 8"	S	
214c	3' - 0"	7' - 0"	S	
216	2' - 8"	6' - 8"	S	
217	2' - 8"	6' - 8"	S	
219a	4' - 0"	6' - 8"	Р	
219b	2' - 10"	7' - 0"	S	
219c	3' - 0"	6' - 8"	S	
220	2' - 4"	6' - 8"	S	
221a	4' - 0"	6' - 8"	Р	
221b	2' - 8"	6' - 8"	S	
221c	1' - 6"	6' - 8"	S	
222	4' - 0"	6' - 8"	P	
224	2' - 8"	6' - 8"	S	
LEVEL 3	01 0"	0' 6"	-	
301	2' - 8"	6' - 8"	S	
302	2' - 4"	6' - 8"	S	
303	2' - 4"	6' - 8"	S	
304	2' - 8"	6' - 8"	S	
	2' - 8"	6' - 8" 6' - 8"	S	
305		6'-8"	S	
305 306a	2' - 6"			
305 306a 306b	3' - 0"	6' - 8"	S	
305 306a				

						DOO	r schedul	E - NEW			
			8		D	OOR		FR	AME		
MARK MARK	HEIGHT	HEIGHT		MATERIAL	FINISH	THICKNESS	MATERIAL	FINISH	HARDWARE	COMMENTS	
LEVEL 1											
102	3' - 0"	6' - 8"	S	2P	MC	PTD	0' - 1 3/4"	MTL	PTD		
104	2' - 6"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
105	3' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
106	2' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
108	3' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
109	3' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
111b	3' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		CUSTOM DOOR WITH SLOPED TOP
113	4' - 0"	6' - 8"	Р	2P	WD	PTD	0' - 1 3/4"	HM	PTD		
116	3' - 0"	7' - 0"	S	CO	-	-	0' - 1 3/4"	HM	PTD		
117	3' - 0"	6' - 8"	Р	2P	WD	PTD	0' - 1 3/4"	HM	PTD		
LEVEL 2									,		
202	3' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
203b	4' - 0"	6' - 8"	Р	2P	WD	PTD	0' - 1 3/4"	HM	PTD		
204	2' - 8"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
205	4' - 0"	6' - 8"	Р	2P	WD	PTD	0' - 1 3/4"	HM	PTD		
206	4' - 0"	6' - 8"	Р	2P	WD	PTD	0' - 1 3/4"	HM	PTD		
207	3' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
210	3' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
211a	2' - 6"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
213	3' - 0"	6' - 8"	S		WD	PTD	0' - 1 3/4"	HM	PTD		
221	3' - 0"	7' - 0"	S	FG	WD	PTD	0' - 1 3/4"	HM	PTD		



Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 17188 expiration date Jan 13, 2021.

PROJECT NAME AND ADDRESS HOPE CONNECTIONS OFFICE BUILDING 10100 LAUREATE WAY BETHESDA, MD OMER OM	$\cap \bigcirc \square$ \square \square	No.		Dese	criptio	ı	Date
\cap () \mathbb{H} z	\cap () \mathbb{Z} z		FICE		A, MD		
	SHEET TITLE DOOR SCHEDULE	PROJECT NAME AND ADDRESS	0	BUILDING	10100 LAUREATE WAY BETHESD		
SHEET NUMBER				A	9()()	
sheet number A900	A900			9/	15/20	20	

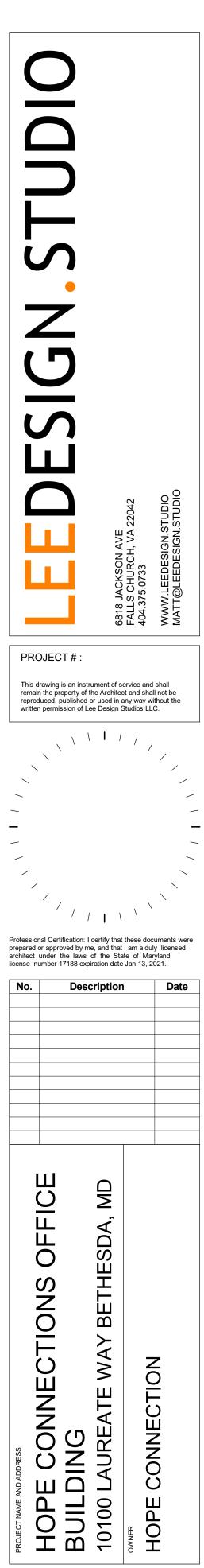
			WINDOW SC	HEDULE -
W310	2' - 8"	EXTERIOR (TRIPLE	TRACK)	
W309	2' - 8"	EXTERIOR (TRIPLE	TRACK)	
N307 N308	2' - 8" 2' - 8"	EXTERIOR (TRIPLE	,	
W306	2' - 8"	EXTERIOR (TRIPLE	TRACK)	
N304 N305	2' - 2" 2' - 8"	EXTERIOR (TRIPLE EXTERIOR (TRIPLE	,	
V303	6' - 0"	EXTERIOR (TRIPLE	,	
V301 V302	2' - 8" 2' - 8"	INTERIOR STORMS EXTERIOR (TRIPLE		
V232 EVEL 3	6' - 10"	EXTERIOR (TRIPLE	- IRACK)	
W231	6' - 10"	EXTERIOR (TRIPLE	,	
V229 V230	6' - 4" 2' - 8"	EXTERIOR (TRIPLE	TRACK)	
V228	1' - 9"	EXTERIOR (TRIPLE	-	
V226 V227	3' - 6" 1' - 9"			
V225	1' - 9"		/	
V223 V224	3' - 9" 2' - 8"	EXTERIOR (TRIPLE EXTERIOR (TRIPLE		
V222	2' - 6"	EXTERIOR (TRIPLE	TRACK)	
V220 V221	3' - 0" 3' - 9"	EXTERIOR (TRIPLE EXTERIOR (TRIPLE	,	
V219	3' - 0"			
V217 V218	2' - 8" 3' - 6"			
W216	3' - 6"			
N214 N215	3' - 6" 3' - 6"		>	
W213	3' - 6"	INTERIOR STORMS	6	
N211 N212	<u>3' - 0"</u> <u>3' - 6"</u>	INTERIOR STORMS		
V210	3' - 6"			
W208 W209	3' - 6"	INTERIOR STORMS	3	
N207 N208	2' - 8" 3' - 6"	EXTERIOR (TRIPLE	TRACK)	
W206	3' - 6"	INTERIOR STORMS		
N202 N205	2' - 2" 3' - 6"	EXTERIOR (TRIPLE	,	
EVEL 2 V201	3' - 6"	EXTERIOR (TRIPLE	TRACK)	
W130	2' - 0"	ORIGINAL WOOD S	STORMS	
W128 W129	2' - 0"	ORIGINAL WOOD S	,	
W126 W128	2' - 0" 2' - 0"	EXTERIOR (TRIPLE		
W124 W125	2' - 6"	EXTERIOR (TRIPLE EXTERIOR (TRIPLE		
W123 W124	2' - 6" 2' - 6"		,	
N122 N123	2' - 6"	EXTERIOR (TRIPLE EXTERIOR (TRIPLE		
W121 W122	2' - 6" 2' - 6"	EXTERIOR (TRIPLE	,	
W120	2' - 6"	WALL OFF ADD BL	INDS	
W117 W118	3' - 0" 3' - 9"	ORIGINAL WOOD S		
W116	3' - 0"	ORIGINAL WOOD S		
W114 W115	3' - 9" 3' - 9"			
W113	3' - 0"	ORIGINAL WOOD S		
W111 W112	6' - 0" 2' - 0"	INTERIOR STORMS		
W110	2' - 0"	INTERIOR STORMS	6	
W108 W109	6' - 0" 2' - 0"	INTERIOR STORMS		
W107	2' - 0"	INTERIOR STORMS	6	
W105 W106	6' - 6" 3' - 9"	INTERIOR STORMS		
W104	8' - 0"	INTERIOR STORMS	3	
W101 W102	2' - 8" 2' - 8"	EXTERIOR (TRIPLE EXTERIOR (TRIPLE	,	
S119	2' - 6"	WALL OFF ADD BL		
W005 LEVEL 1	3' - 0"			
W003 W004	3' - 0" 3' - 0"			
W002	3' - 0"			
W001	3' - 0"			
BASEMENT LEV	′ ⊏ I			
Mark BASEMENT LEV	Width		Comments	

	WIN	DOW SCHEDULE - EXISTING					
Mark	Width	Comme	ents				
BASEMENT LE	/EL						
W001	3' - 0"						
W002 W003	3' - 0" 3' - 0"						
W003	3' - 0"						
W005	3' - 0"						
LEVEL 1							
S119 W101	2' - 6" 2' - 8"	WALL OFF ADD BLINDS	<u>\</u>				
W101 W102	2 - 8	EXTERIOR (TRIPLE TRACK EXTERIOR (TRIPLE TRACK					
W104	8' - 0"	INTERIOR STORMS	1				
W105	6' - 6"	INTERIOR STORMS					
W106	3' - 9"	INTERIOR STORMS					
W107 W108	2' - 0" 6' - 0"	INTERIOR STORMS					
W108	2' - 0"	INTERIOR STORMS					
W110	2' - 0"	INTERIOR STORMS					
W111	6' - 0"	INTERIOR STORMS					
W112	2' - 0"	INTERIOR STORMS					
W113	3' - 0"	ORIGINAL WOOD STORMS					
W114 W115	3' - 9" 3' - 9"						
W115 W116	3' - 9" 3' - 0"	ORIGINAL WOOD STORMS					
W110 W117	3' - 0"	ORIGINAL WOOD STORMS					
W118	3' - 9"	WALL OFF ADD BLINDS					
W120	2' - 6"	WALL OFF ADD BLINDS					
W121	2' - 6"	EXTERIOR (TRIPLE TRACK	/				
W122 W123	2' - 6" 2' - 6"	EXTERIOR (TRIPLE TRACK EXTERIOR (TRIPLE TRACK					
W123 W123	2' - 6" 2' - 6"	EXTERIOR (TRIPLE TRACK	,				
W123	2' - 6"	EXTERIOR (TRIPLE TRACK	,				
W125	2' - 6"	EXTERIOR (TRIPLE TRACK)				
W126	2' - 0"	EXTERIOR (TRIPLE TRACK	,				
W128	2' - 0"	EXTERIOR (TRIPLE TRACK	,				
W129 W130	2' - 0" 2' - 0"	ORIGINAL WOOD STORMS ORIGINAL WOOD STORMS					
LEVEL 2	<u> </u>						
W201	3' - 6"	EXTERIOR (TRIPLE TRACK)				
W202	2' - 2"	EXTERIOR (TRIPLE TRACK)				
W205	3' - 6"	INTERIOR STORMS					
W206	3' - 6" 2' - 8"		<u>\</u>				
W207 W208	2 - 8	EXTERIOR (TRIPLE TRACK)				
W209	3' - 6"	INTERIOR STORMS					
W210	3' - 6"	INTERIOR STORMS					
W211	3' - 0"	INTERIOR STORMS					
W212	3' - 6"	INTERIOR STORMS					
W213	3' - 6" 3' - 6"						
W214 W215	3 - 6	INTERIOR STORMS					
W216	3' - 6"						
W217	2' - 8"						
W218	3' - 6"						
W219	3' - 0"		<u>\</u>				
W220 W221	3' - 0" 3' - 9"	EXTERIOR (TRIPLE TRACK EXTERIOR (TRIPLE TRACK	,				
W221 W222	2' - 6"	EXTERIOR (TRIPLE TRACK	,				
W223	3' - 9"	EXTERIOR (TRIPLE TRACK	,				
W224	2' - 8"	EXTERIOR (TRIPLE TRACK	1				
W225	1' - 9"						
W226 W227	3' - 6" 1' - 9"						
W227 W228	1' - 9" 1' - 9"	EXTERIOR (TRIPLE TRACK)				
W228	6' - 4"	EXTERIOR (TRIPLE TRACK					
W230	2' - 8"						
W231	6' - 10"	EXTERIOR (TRIPLE TRACK	,				
N232	6' - 10"	EXTERIOR (TRIPLE TRACK)				
LEVEL 3	2' - 8"]			
W301 W302	2' - 8" 2' - 8"	INTERIOR STORMS EXTERIOR (TRIPLE TRACK)				
W302	6' - 0"	EXTERIOR (TRIPLE TRACK	,				
W304	2' - 2"	EXTERIOR (TRIPLE TRACK	,				
W305	2' - 8"	EXTERIOR (TRIPLE TRACK)				
W306	2' - 8"	EXTERIOR (TRIPLE TRACK					
W307	2' - 8"	EXTERIOR (TRIPLE TRACK	/				
W308	2' - 8" 2' - 8"	EXTERIOR (TRIPLE TRACK EXTERIOR (TRIPLE TRACK	,				
W309 W310	2' - 8" 2' - 8"	EXTERIOR (TRIPLE TRACK	,				
	U		1				
		١	WINDOW SCHE	DUI F - NFW			
N.4. 1	147.14					^	t
Mark	Width	Height	COLOR	OPERATOIN		Commen	ts
LEVEL 1							
W103	9' - 0"	6' - 0"					
LEVEL 2		e . e .					
W204 W203	9' - 0" 9' - 0"	6' - 0" 6' - 0"					

WINDOW NOTES: -WINDOW TREATMENTS N.I.C. -5.7SF FOR EGRESS WINDOWS 20"X24" MIN

-CONTRACTOR TO VERIFY ALL REPLACEMENT WINDOW SIZES PRIOR TO ORDERING

-PROVIDE SAFETY GLAZING IN ALL HAZARDOUS LOCATIONS PER IBC 2406.4 AND LABEL AS REQUIRED



ISTRUCTION FOR CON Γ N Ш 0 DESIGN DEVELOI

HOPE

SHEET TITLE

SHEET NUMBER

WINDOW SCHEDULE

A901

9/15/2020

HOPE Connections July 28, 2020

SCOPE OF W	ORK					
ROOM	FLOOR	WALLS	TRIM	DOOR	CEILING	OTHER
1st Floor						
Entry	Remove exist/New porcelain tile	Install new panel mldg., prep, paint	Install crown, base & casing	ADA compliant?	Apply new gyp.bd. over exist., prep paint	Install new recessed & dec. It. fixtures
Stair Hall	Refinish exist. wd. flooring;	Install new panel midg., prep, paint	Install crown, base & casing	Install new panel mldg., prep, paint		Install new recessed & dec. It. fixtures:
	carpet on stair only		niotan orown, saco a caomg		Install gyp bd clg., prep, paint	remove all wd. at stair, new railings? Pre
Reception	Refinish exist. wd. flooring	Install new panel mldg., prep, paint	Install crown, base & casing	Prep & paint exist.	Remove wd. paneling/repair. Install gyp bd clg., prep, paint	Install new recessed It. fixtures; install ne locking base cabs. & custom recept. des
Vestibule	Refinish exist. wd. flooring	Install new panel mldg., prep, paint	Install crown, base & casing	Remove drs. from Stair Hall? Re-install drs from Conf. Rm.; install panel mldg., prep, paint	Gyp bd over wd clg, prep & paint. Add crown mldg.	Install new recessed It. fixtures; re- configure HVAC ducts in base; build new closets (2), custom built-in bench &
Mind/Body	Refinish exist. wd. flooring	Remove wd. paneling/repair, prep paint	Install crown, base & casing		Gyp bd over wd clg, prep & paint. Add crown mldg.	Reconfigure It. fixture locations, replace fixtures
Conference Room	Refinish exist. wd. flooring	Install new panel mldg., prep, paint	Install crown, base & casing	Install new panel mldg., prep, paint	Gyp bd over wd clg, prep & paint. Add crown mldg.	Install new recessed remodeler fixtures Install new bookcases/storage cabs. und TV; install infill partition at Closet, clad v paneling from TV recess, prep & paint.
Elevator	Evaluate existing	Evaluate existing			Evaluate existing	Install new lighting & controls.
Copy/Lounge	Remove carpet; refinish exist. wd. flooring?	Remove wd. paneling/repair, prep, paint	Install crown, base & casing	Remove drs. from Stair Hall? Remove door to kitchen	Add new gyp bd dropped ceiling, prep, paint	Install new recessed remodeler It. fixture
Men's	Remove exist. tile; install new tile flooring	Install new tile and painted wall finishes	Install new casings & base		Add new gyp bd dropped ceiling, prep, paint	Install new recessed remodeler It. fixture Install new toilet stalls, plumbing fixtures lighting, accessories.
Women's	Remove exist. tile; install new tile flooring	Install new tile and painted wall finishes	Install new casings & base	Install new door	Add new gyp bd dropped ceiling, prep, paint	Install new recessed remodeler It. fixture Install new toilet stalls, plumbing fixtures lighting, accessories.
ADA Unisex WC	Install new tile flooring	Install new tile and painted wall finishes	Install new casings & base	Install new door	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler It. fixture Install new toilet stalls, plumbing fixtures
Small Support Group	Remove carpet; refinish exist. wd. flooring?	Remove exist. paneling at window bay only, repair; prep, paint	Install crown, base & casing	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep, paint	lighting, accessories. Install new recessed remodeler It. fixture
Kitchen/Pantry	Remove carpet; refinish exist. wd. flooring/install new LVT?	Remove existing partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing		Repair drywall clg., prep & paint	Install new recessed remodeler It. fixture
Café	Remove carpet; refinish exist. wd. flooring/install new LVT?	Remove existing partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing		Repair drywall clg., prep & paint	Install new recessed remodeler It. fixture
Stair	твр	Prep & paint	Prep & paint existing	Prep & paint exist.	Prep & paint exist.	Install new It. fixtures
Medium Support Group	Remove carpet; refinish exist. wd. flooring?	Reconfigure some partitions. Repair, prep & paint drywall. Install new partitions.	Install crown, base & casing	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler It. fixture
Library	Remove carpet; refinish exist. wd. flooring/install new LVT?	Prep & paint	Install crown, base & casing	Prep & paint exist. Add emergency exit alarm device.	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler It. fixtures Install new wd. bookcases. Add muntins
Small Support Group II	Install new carpet	Reconfigure some partitions. Repair, prep & paint drywall. Install new partitions.	Install crown, base & casing	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler It. fixture Replace awning fabric w more transluce material (or remove)?

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HOPE Connections
July 28, 2020

ROOM	FLOOR	WALLS	TRIM	DOOR	CEILING	OTHER
2nd Floor						
Stair Hall	Install new carpet	Install new panel mldg., prep, paint	Install crown, base & casing	Install new panel mldg., prep, paint	Remove wd. paneling/repair. Install gyp bd clg., prep, paint	Install new recessed remodeler It. fixtures Reconfigure HVAC to remove landing ductwork & enclosure.
Shop		Reconfigure some partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing	Install new panel mldg., prep, paint	Repair drywall clg., prep & paint	Install new recessed remodeler It. fixtures
Corridor West		Remove wd paneling/repair, prep & paint. Reconfigure some partitions. Install new partitions.	Install crown, base & casing	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler It. fixture
Lounge/Coffee Bar	Install new carpet	Install new panel mldg., prep, paint	Install crown, base & casing		Remove wd. paneling/repair. Install gyp bd clg., prep, paint	Install new recessed remodeler It. fixtures Install new cabs., countertop, sink, fridge,
Huddle Area	Install new carpet	Reconfigure some partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler It. fixture
Men's	tile flooring	Install new tile and painted wall finishes	Install new casings & base	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep, paint	Install new recessed remodeler It. fixtures Install new toilet stalls, plumbing fixtures lighting, accessories.
Women's	Remove exist. tile; install new tile flooring	Install new tile and painted wall finishes	Install new casings & base	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler It. fixtures Install new toilet stalls, plumbing fixtures lighting, accessories.
CEO Office	Refinish exist. wd. flooring	Prep & pt exist wd paneling	Install crown, base & casing	Install new panel mldg., prep, paint	Prep & paint exist.	Relamp exist. fixtures. Replace pendant fixture w clg. fan
CEO WC	Remove exist. tile; install new tile flooring	Install new tile and painted wall finishes	Install new casings & base	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler fixtures. Install new toilet, plumbing fixtures, lighting, accessories.
CEO Nook	Refinish exist. wd. flooring	Prep & paint	Install crown, base & casing	Install new panel mldg., prep, paint	Prep & paint exist.	Install new recessed remodeler It. fixtures
Large Support Group		Reconfigure some partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing	Install new flush doors. Install new panel mldg., prep, paint	Repair drywall clg., prep & paint	Install new recessed remodeler It. fixtures Install new perimeter bulkhead for HVAC
Corridor East		Remove wd paneling/repair, prep & paint. Reconfigure some partitions.	Install crown, base & casing	Install new panel mldg., prep, paint	Add new gyp bd dropped ceiling, prep & paint.	Install new recessed remodeler It. fixture
Mgr. Office I	Install new carpet	Reconfigure some partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing	Install new flush door. Install new panel mldg., prep, paint	Repair drywall clg., prep & paint	Install new light fixtures.
Copy Area		Reconfigure some partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing	Install new flush door. Install new panel mldg., prep, paint	Repair drywall clg., prep & paint	Install new light fixtures.
Mgr. Office II	Install new carpet	Reconfigure some partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing	Install new flush door. Install new panel mldg., prep, paint	Repair drywall clg., prep & paint	Install new light fixtures.
Director I	Install new carpet	Reconfigure some partitions. Repair, prep & paint drywall. Install new	Install crown, base & casing	Install new flush door. Install new panel mldg., prep, paint	Repair drywall clg., prep & paint	Install new light fixtures.
Director II	Install new carpet over new floor		Install crown, base & casing		Skim-coat, prep & paint drywall. Scrape exist timber; prep & paint.	Install new light fixtures.

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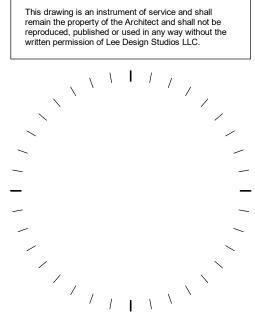
HOPE Connections

July 28, 2020

SCOPE OF WORK

ROOM	FLOOR	WALLS	TRIM	DOOR	CEILING	OTHER				
Brd Floor										
Central Stair	Install new carpet	Prep & paint	Install new casings & trim?	Prep & paint exist.	Repair drywall clg., prep & paint	Install new light fixtures				
Vork Area	Install new carpet	Reconfigure some partitions. Repair, prep & paint drywall.	Install new casings & trim	Prep & paint exist.	Repair drywall clg., prep & paint	Install new light fixtures				
Shop Storage	Exist. to remain	Prep & paint	Exist. to remain	Prep & paint exist.	Prep & paint					
Vest Corridor	Exist. to remain	Prep & paint	Exist. to remain	Prep & paint exist.	Prep & paint					
Storage	Exist. to remain	Prep & paint	Exist. to remain	Prep & paint exist.	Prep & paint					
IVAC/Files	Exist. to remain	Prep & paint	Exist. to remain	Exist. to remain	Prep & paint					
Stair	Exist. to remain	Prep & paint	Exist. to remain	Exist. to remain	Prep & paint					
V.C.	Exist. to remain	Prep & paint	Exist. to remain	Exist. to remain	Prep & paint					
iles	Exist. to remain	Prep & paint	Exist. to remain	Exist. to remain	Prep & paint					
East Corridor	Exist. to remain	Prep & paint	Exist. to remain	Exist. to remain	Prep & paint					
Office	Exist. to remain	Prep & paint	Exist. to remain	Exist. to remain	Prep & paint					
General										
VAC	Replace multiple systems as per	Mech. Eng. report								
lectrical	General upgrades, new lighting 8	controls; new HVAC								
communications	Provide for owner's communications systems, wiring, WiFi, phones, ethernet, Video conferencing in support rooms(?), etc.									
ecurity	Provide for security system.									
levator	Refurbish elevator, controls, upgrade cab finishes and lighting.									
Roof	Selectively repair roof to maintain waterproof envelope and water drainage.									
Grounds	Install ADA compliant ramps/grading and paving finishes at front entry. Provide ADA handicapped parking spaces near entry.									
andscaping	Selectively remove and/or prune existing shrubbery and trees adjacent to structure.									
exterior lighting	Install safety grounds lighting near entries/exits. Install welcoming lighting at entries and porch ceilings, sconces, etc.									
ife safety	Install hardwired smoke detectors. Install magnetic hold-opens at doors enclosing central stair? Exit lights and emerg ltg. upgrades									
Vindows	Evaluate existing. Repair screens and storm windows as necessary. Repair window wells and fiberglass coverings as needed									
Vindow treatments	Install new blinds/shades at all windows? Evaluate existing to remain									
Exterior Finishes										
intels & Timbers	Scrape, prep, repair wood substr	ate, exist, rough texture to remain.								
tucco	Repair, prep to paint.									
/indow framing	Prep to paint. Caulk around all w	indows, caulk to match window.								
oors	Prep to paint. Evaluate hardware	•								
offits & Ceilings	Repair, prep to paint.									
Siding	Repair, prep to paint.									
nung										

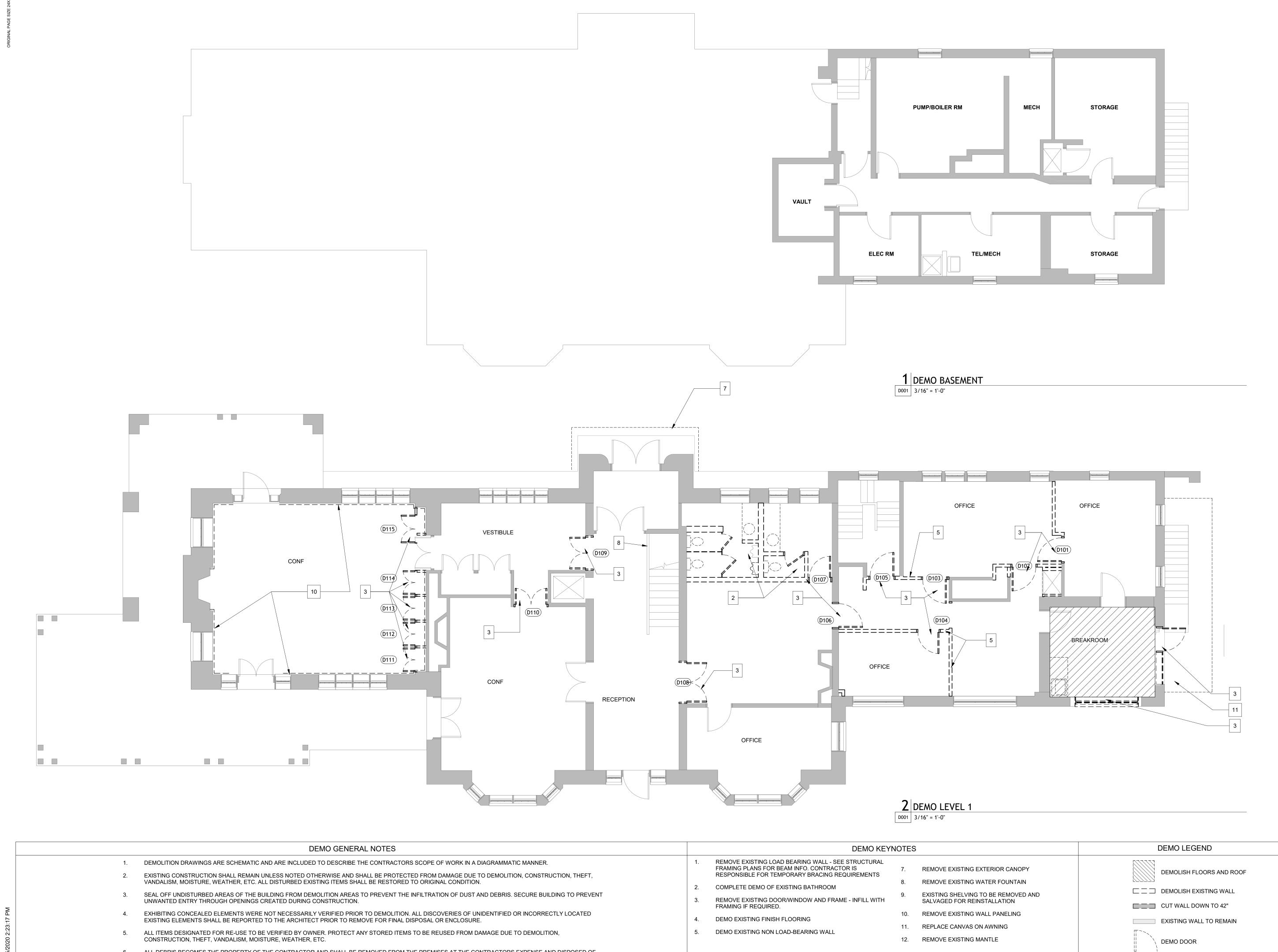
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		6818 JACKSON AVE FALLS CHURCH, VA 22042 404.375.0733	WWW.LEEDESIGN.STUDIO MATT@LEEDESIGN.STUDIO



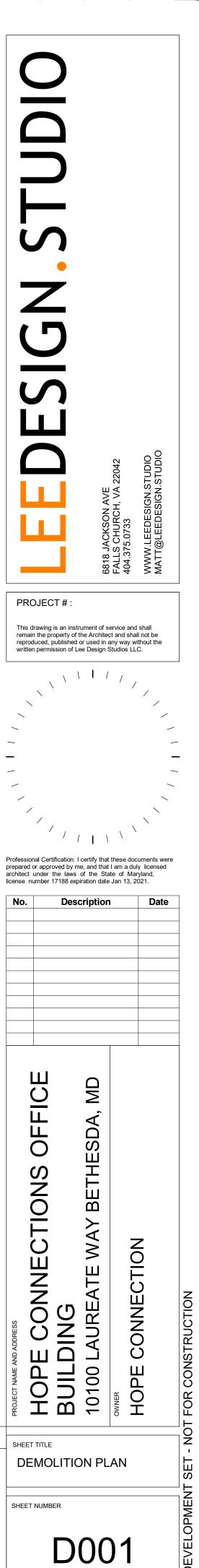
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 17188 expiration date Jan 13, 2021.

No.	Des	cription		Date
2	BUILDING	10100 LAUREATE WAY BETHESDA, MD		
SHEET FIN	TITLE ISH SC	HEDU	LE	
SHEET	NUMBER			
	Λ	90	2	

DESI



	DEMO GENERAL NOTES	DEMO KEYNOTES
	1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE CONTRACTORS SCOPE OF WORK IN A DIAGRAMMATIC MANNER.	1. REMOVE EXISTING LOAD BEARING WALL - SEE STRUCTURAL FRAMING PLANS FOR BEAM INFO. CONTRACTOR IS 7. REMOVE EXI
	2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT,	RESPONSIBLE FOR TEMPORARY BRACING REQUIREMENTS
	VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.	2. COMPLETE DEMO OF EXISTING BATHROOM 8. REMOVE EXI
~	3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.	9. EXISTING SH 3. REMOVE EXISTING DOOR/WINDOW AND FRAME - INFILL WITH SALVAGED F FRAMING IF REQUIRED.
17 PN	4. EXHIBITING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO REMOVE FOR FINAL DISPOSAL OR ENCLOSURE.	4. DEMO EXISTING FINISH FLOORING 10. REMOVE EXI
) 2:23:	5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE REUSED FROM DAMAGE DUE TO DEMOLITION,	5. DEMO EXISTING NON LOAD-BEARING WALL 11. REPLACE CA
9/15/2020	CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. 6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTORS EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.	12. REMOVE EXI



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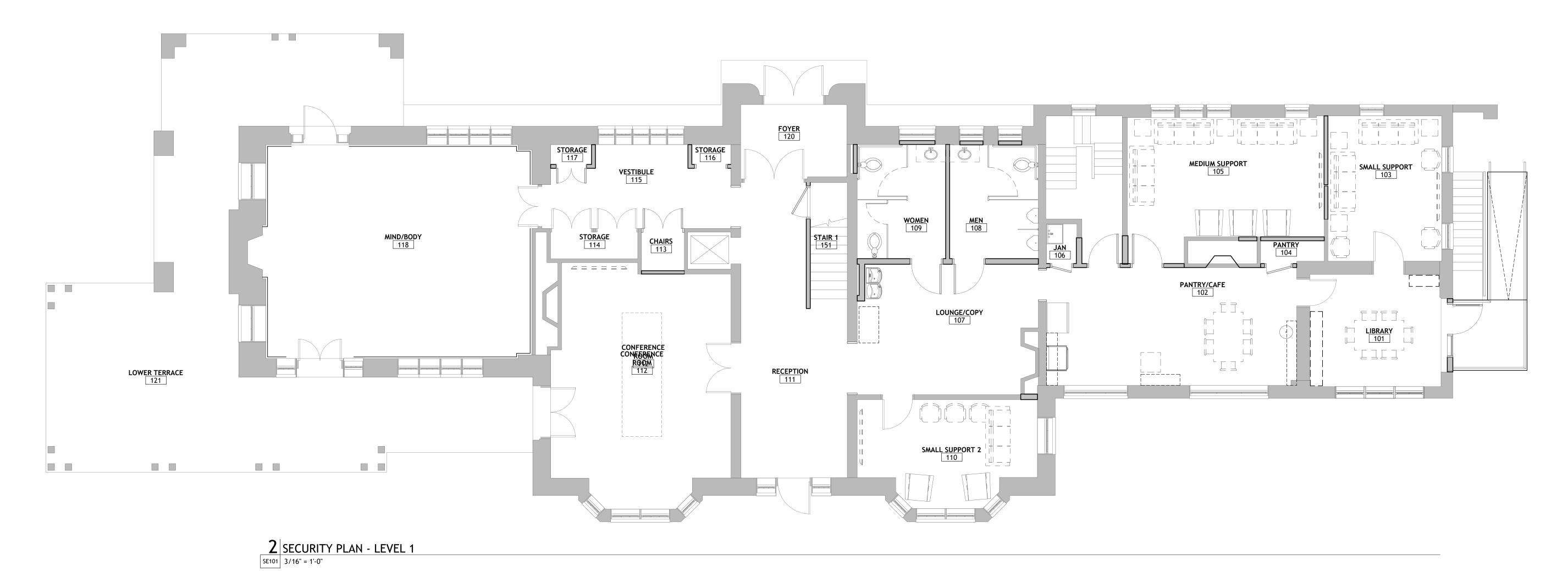
	DEMO GENERAL NOTES		DEMO KEYNOTES		
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	2.	EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT,	RESPONSIBLE FOR TEMPORARY BRACING REQUIREMENTS		-
		VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.	2. COMPLETE DEMO OF EXISTING BATHROOM	8.	REMOVE EXIS
_	3.	SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.	3. REMOVE EXISTING DOOR/WINDOW AND FRAME - INFILL WITH FRAMING IF REQUIRED.	9.	EXISTING SHI SALVAGED FO
18 PN	4.	EXHIBITING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO REMOVE FOR FINAL DISPOSAL OR ENCLOSURE.	4. DEMO EXISTING FINISH FLOORING	10.	REMOVE EXIS
2:23:	5.	ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE REUSED FROM DAMAGE DUE TO DEMOLITION.	5. DEMO EXISTING NON LOAD-BEARING WALL	11.	REPLACE CAI
020		CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.		12.	REMOVE EXIS
9/15/2	6.	ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTORS EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.			

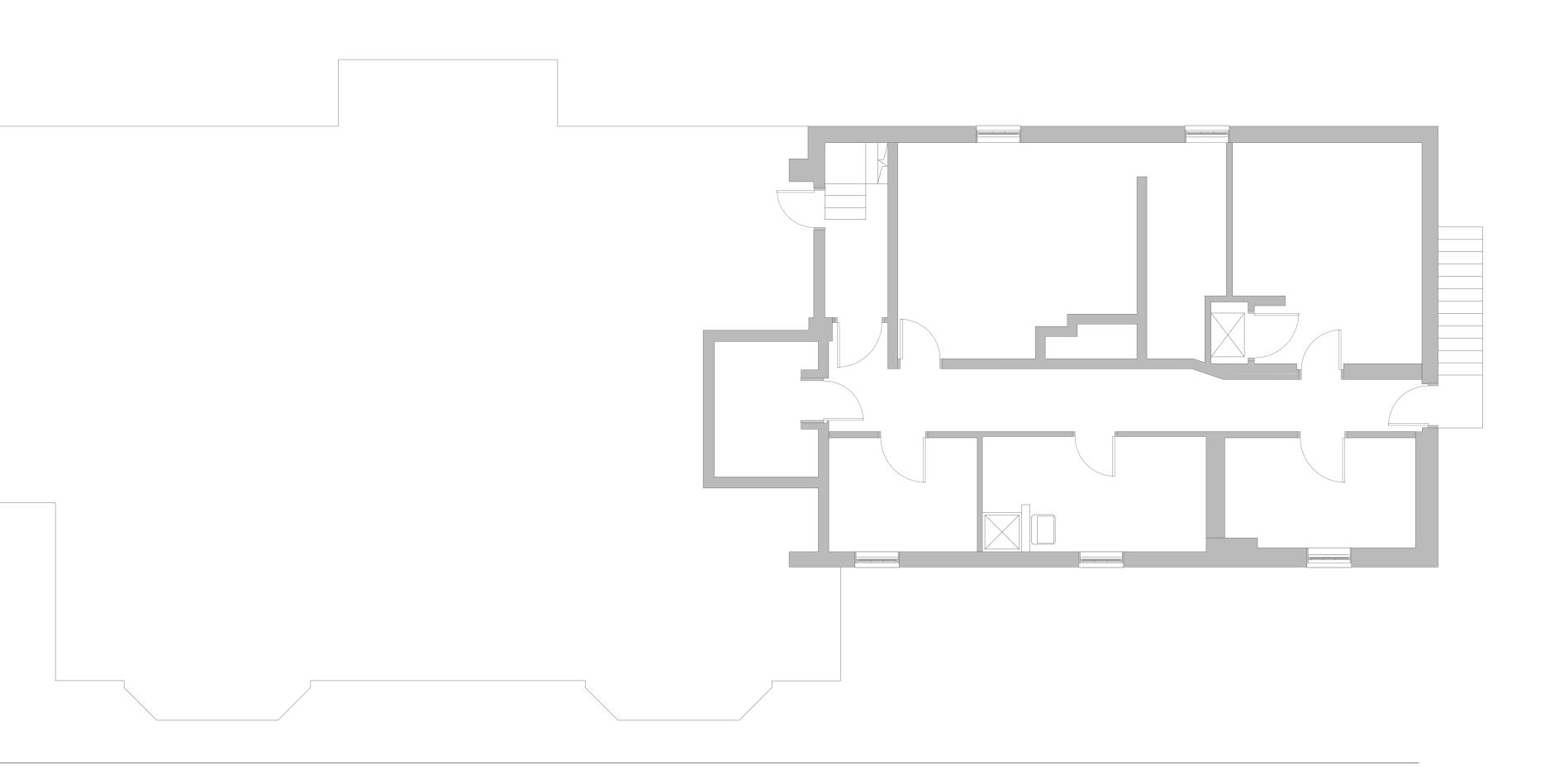
2 DEMO LE D002 3/16" = 1'-0"

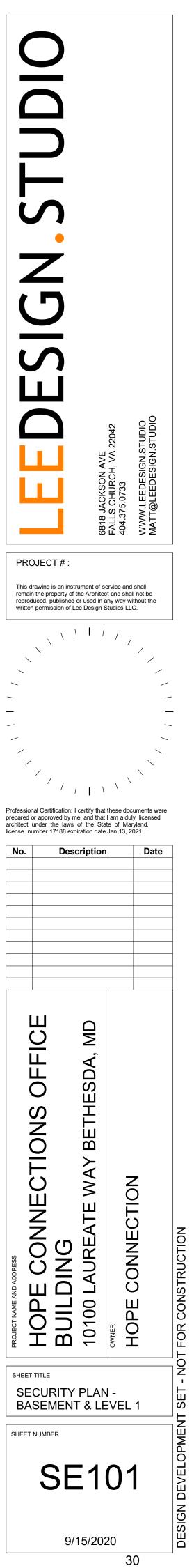
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	PROJECT # : MMM.TEEDESIGN.STUDIO WITT@LEEDESIGN.STUDIO MATT@LEEDE	
UEVEL 2 o"	Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 17188 expiration date Jan 13, 2021.	
	No. Description Date	
LEVEL 3		NUL FOR CONSTRUCTION
EXISTING EXTERIOR CANOPY DEMOLIEGEND EXISTING WATER FOUNTAIN DEMOLISH FLOORS AND ROOF SHELVING TO BE REMOVED AND DEMOLISH EXISTING WALL ED FOR REINSTALLATION CUT WALL DOWN TO 42" EXISTING WALL PANELING EXISTING WALL TO REMAIN EXISTING MANTLE DEMO DOOR		UESIGN DEVELOPMENT SET - NOT
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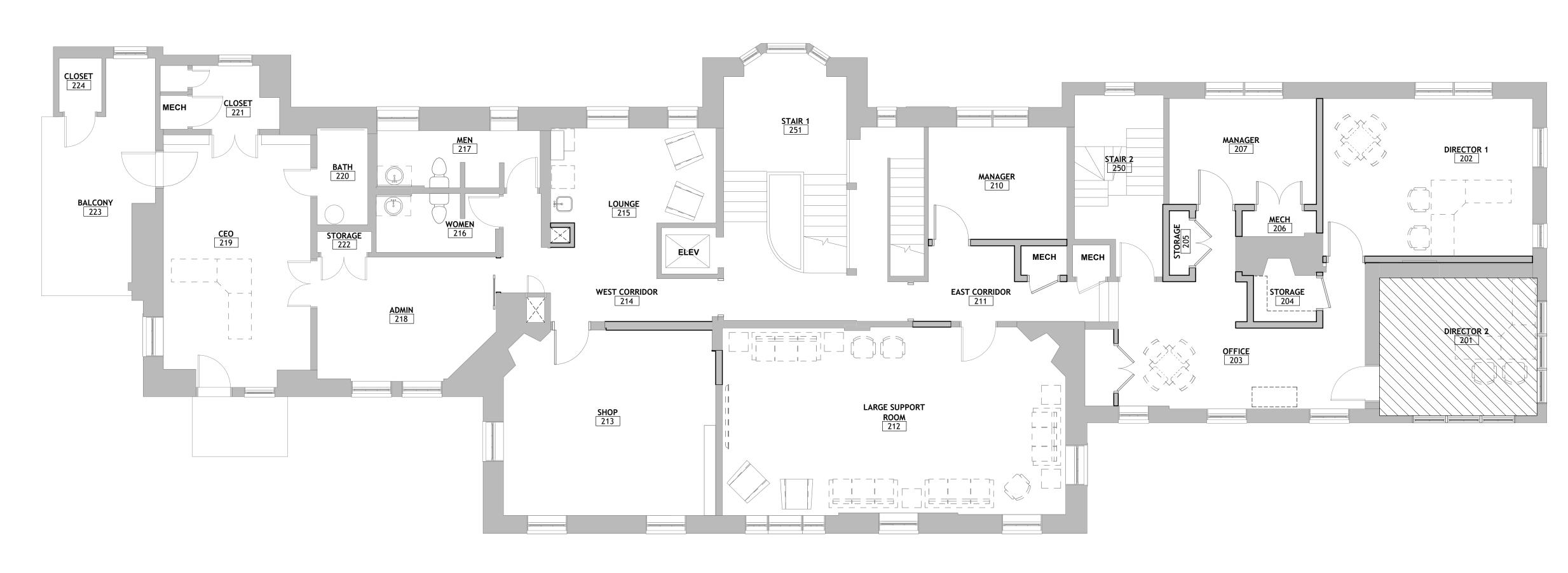




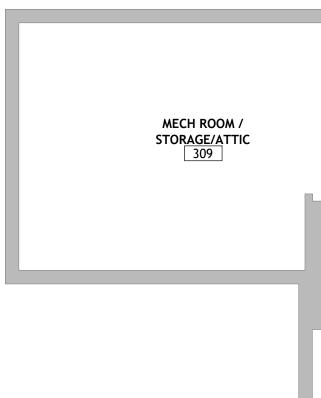


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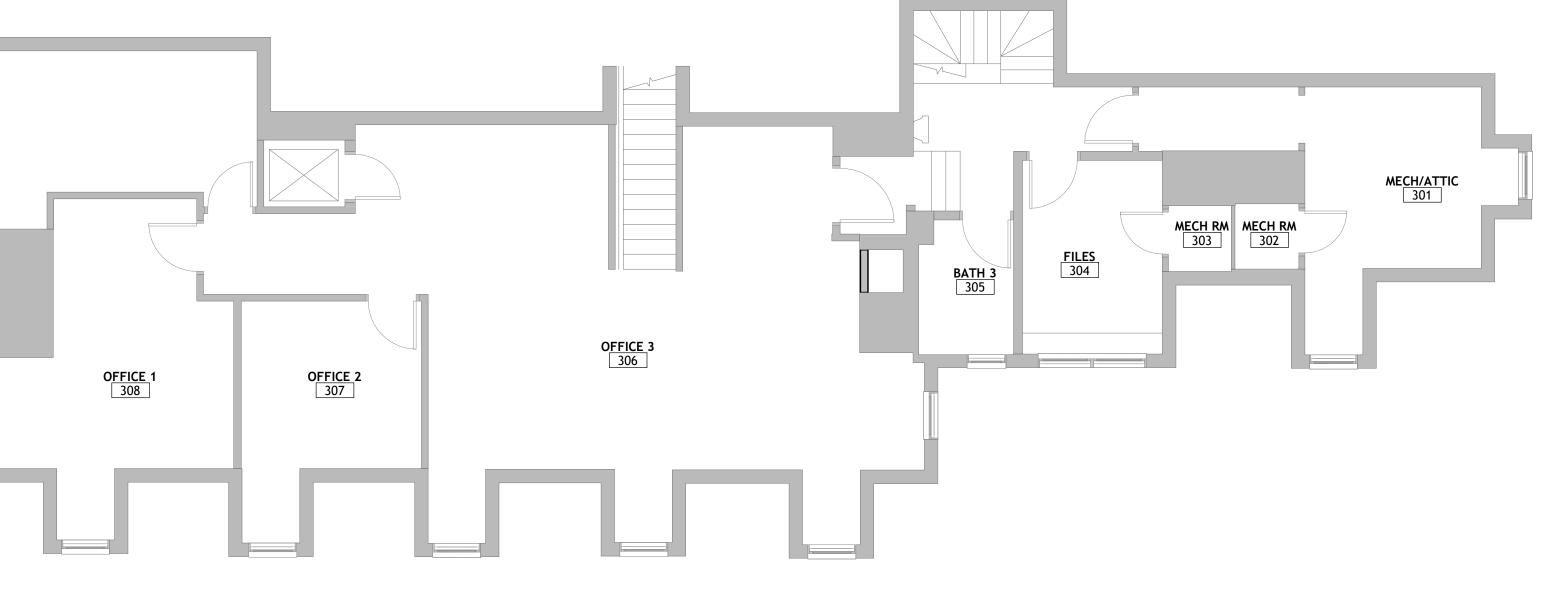


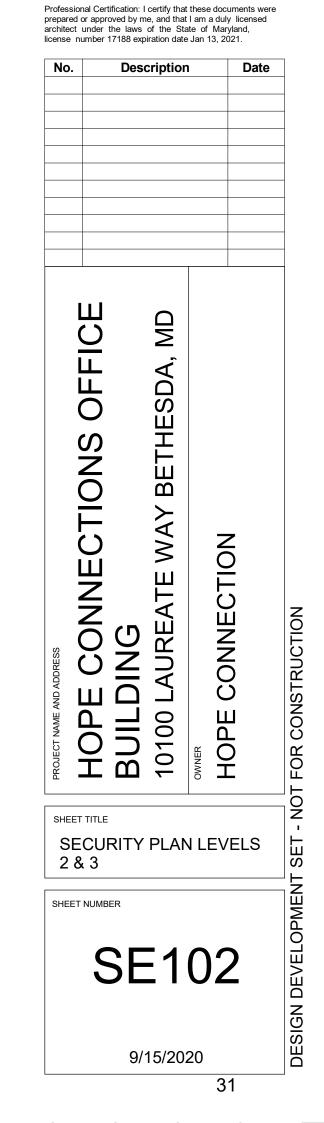


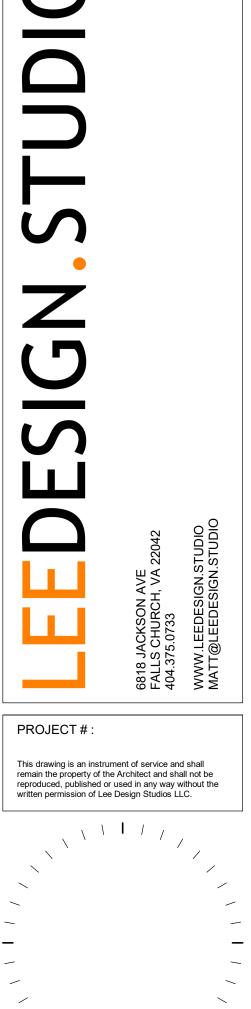
1 SECURITY PLAN - LEVEL 2 SE102 3/16" = 1'-0"



2 SECURITY PLAN - LEVEL 3 SE102 3/16" = 1'-0"



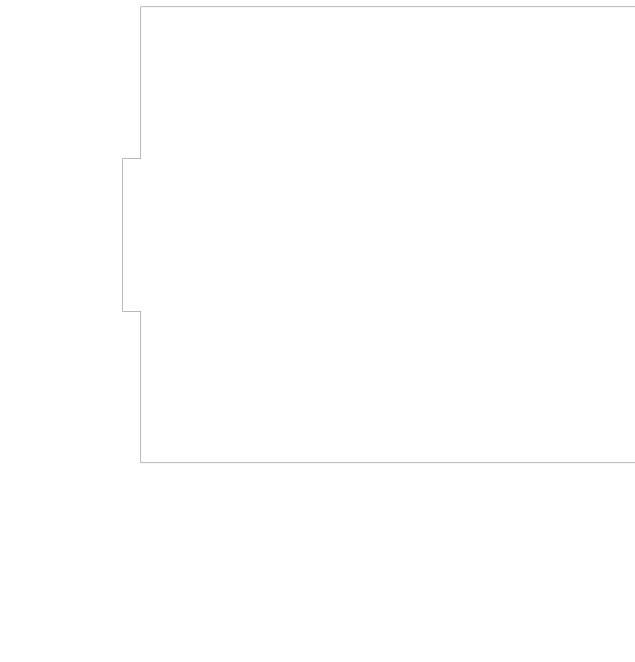




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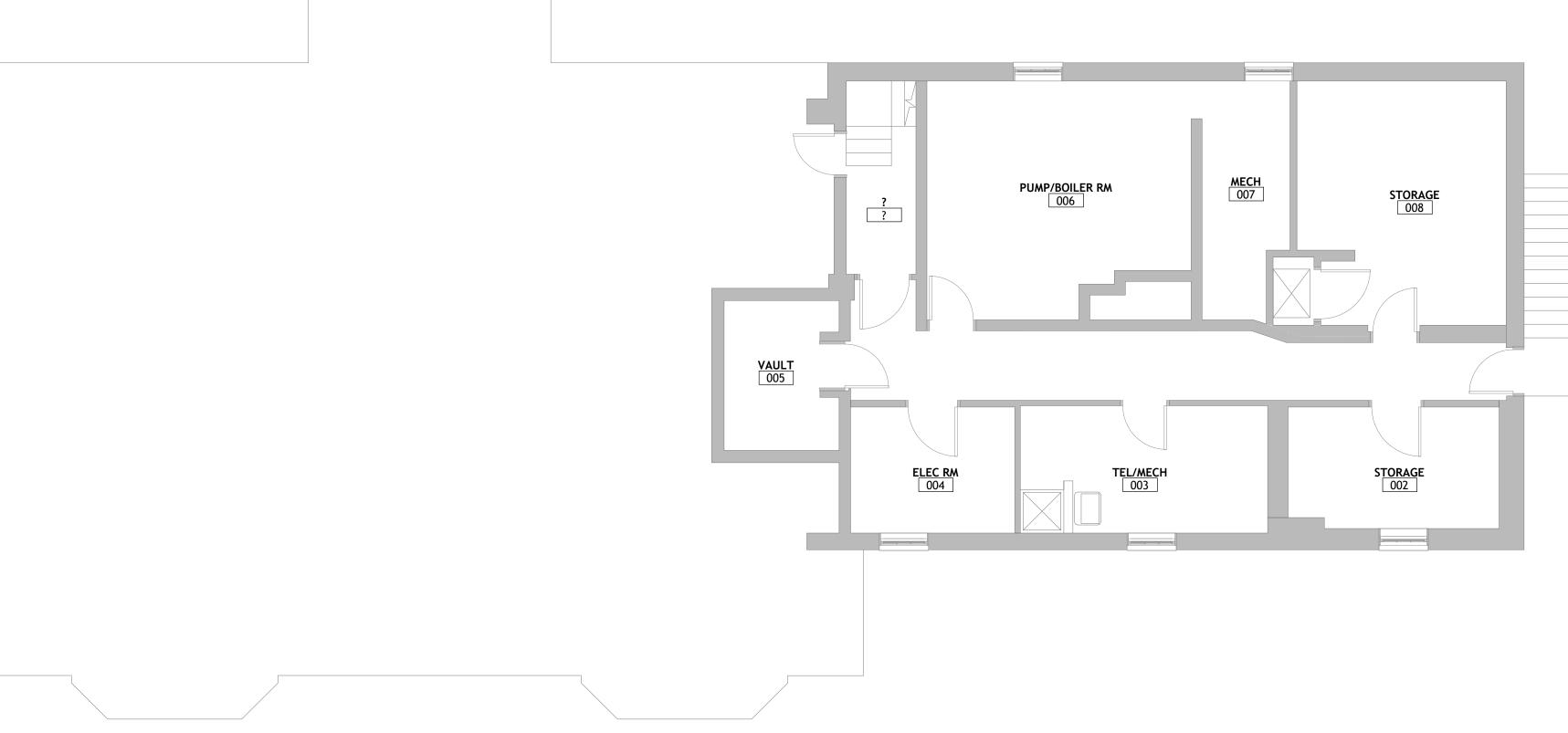
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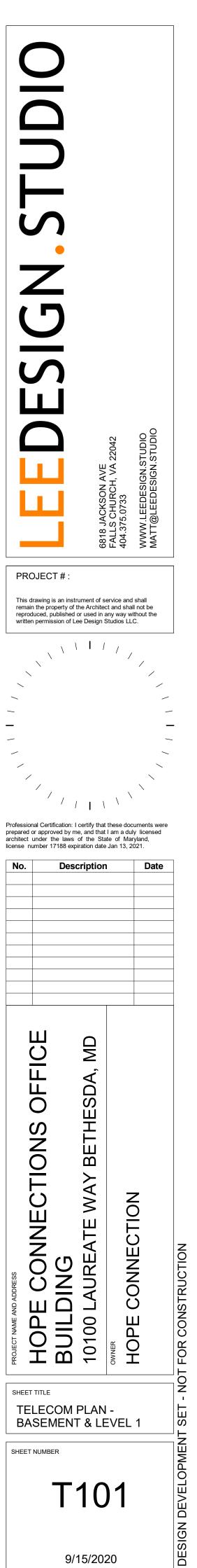






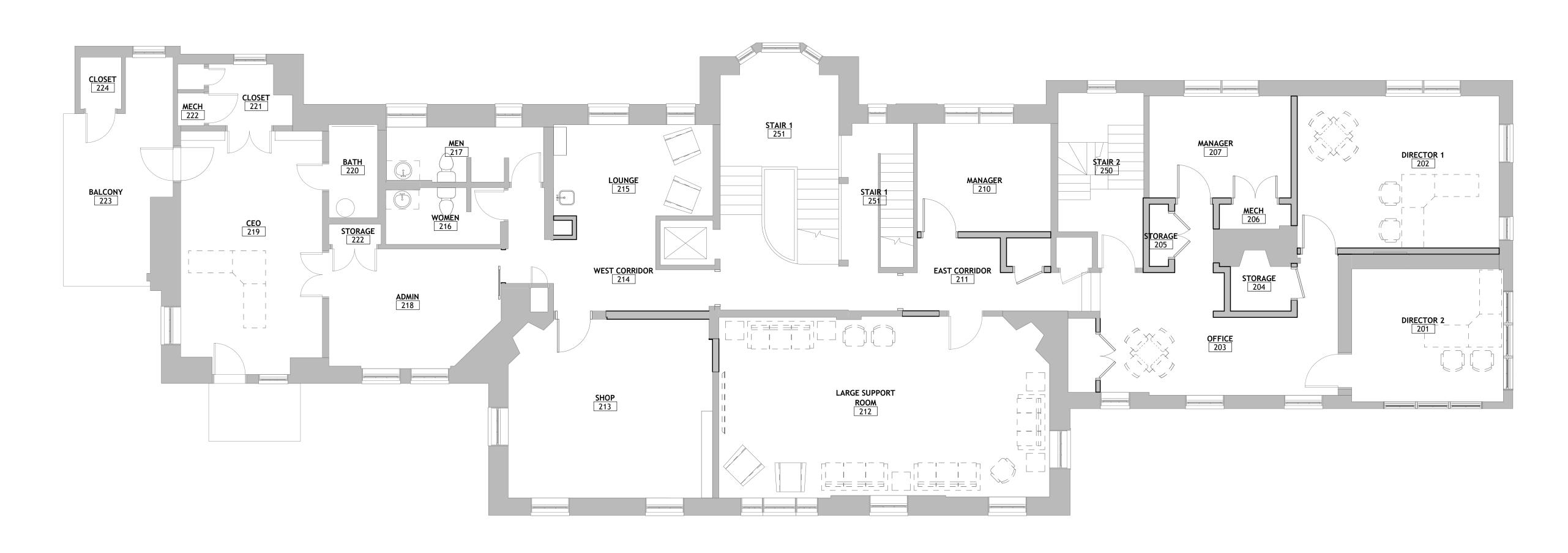






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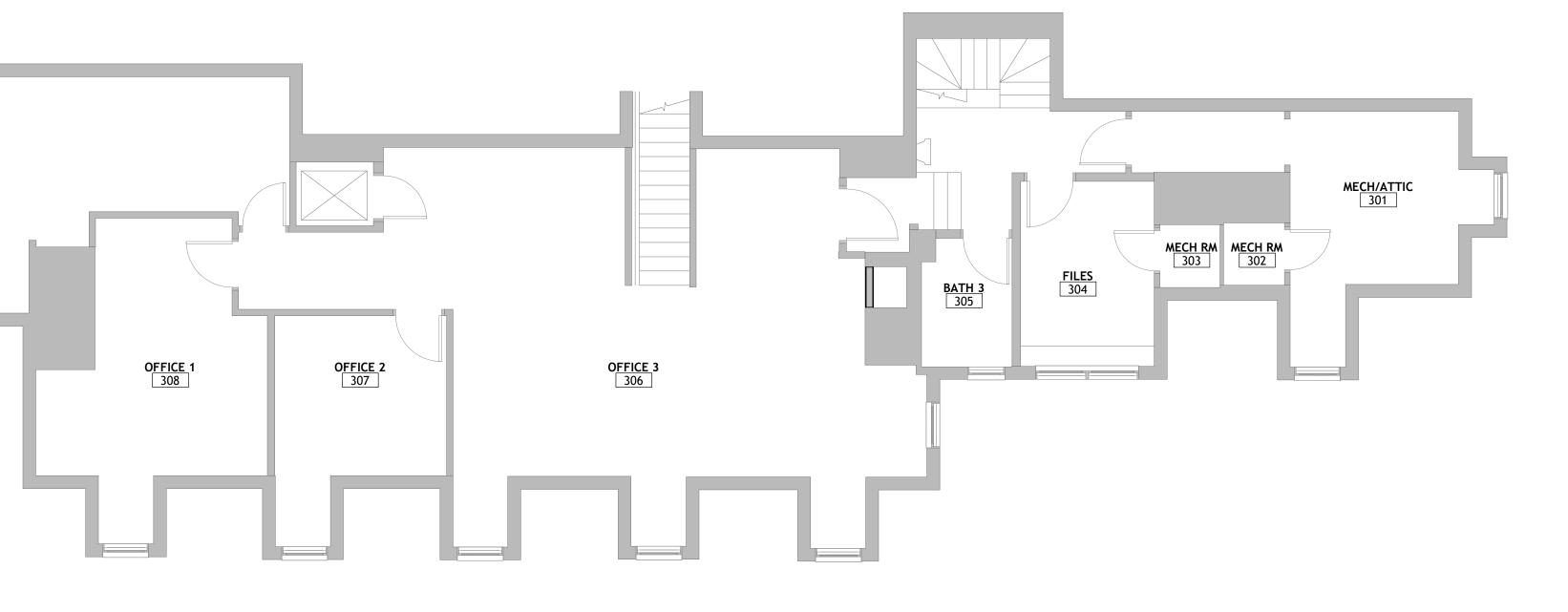


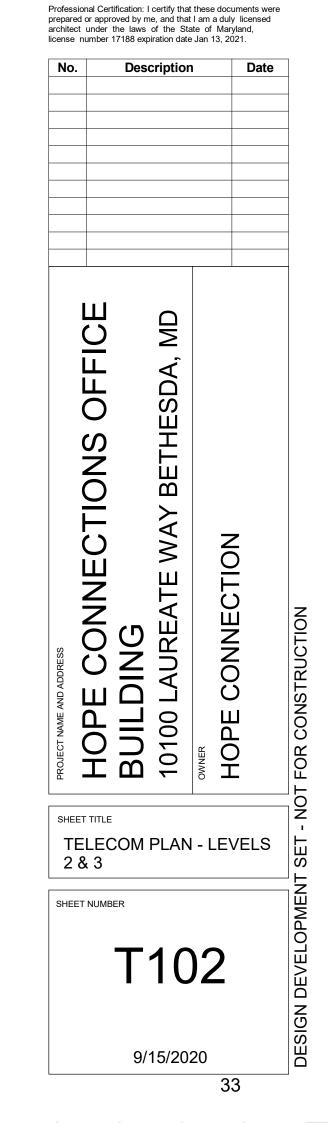
1 TELECOM PLAN - LEVEL 2 T102 3/16" = 1'-0"

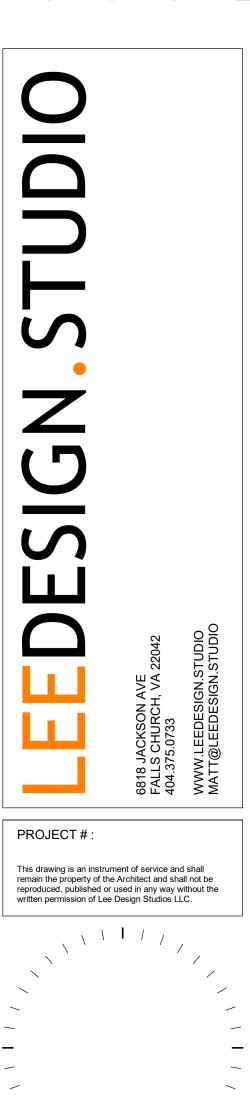
> MECH ROOM / STORAGE/ATTIC 309

2 TELECOM PLAN - LEVEL 3 T102 3/16" = 1'-0"

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/ /

Discount Tree Service, Inc.

dba DTS

8415 Old Marlboro Pike • Upper Marlboro, MD 20774 Phone 301-735-5620 • Fax 301-735-5624 (866) 682-TREE (8733) www.DiscountTreeServiceInc.com

September 13, 2020

Ms. Mary MuCusker, President Scott Olmsted, PM Hope Connections 10100 Laureate Way Bethesda, MD 20814

Dear Ms. McCusker and Mr. Olmsted,

Below is a documented review related to tree conditions located on the Mansion grounds at 10100 Laureate Way, Bethesda, Maryland 20814. This tree & woody plant evaluation was conducted in order to assist the property owners to make informed decisions related to tree pruning, tree removal, stump removal, and overall Plant Health Care (PHC) decisions:

FIRST IMPRESSION

Many of the trees and woody plants within the property are in fair to poor condition. This is somewhat surprising as the Society of American Foresters were the former owners. There are variety of deciduous & evergreen trees that are in need of pruning, as well as, several dead standing trees or trees with multiple defects that pose a potential hazard. If they were to fail they could impact the carriage house, mansion, or cars parked on the parking lot as potential targets. There are also many stumps varying in sizes throughout that pose trip hazards and currently serve as nesting areas for termites and bees.

IMMEDIATE CONCERNS / MITIGATION

<u>Evergreen</u> - approximate 60ft. w/codominant leader & included bark located East of Mansion between Mansion & Carriage House (Removal recommended)

<u>Sugar Maple</u> – approximately 70ft. w/LP Installed, in relatively good health & condition but too close to West side of Mansion, buckling patio & growing into structure foundation (Removal recommended)

<u>Variety</u> – multiple dead standing poplar & evergreens, approximately 8-10, located at far East Parking Area (Removal recommended)





GENERAL CONCERNS

<u>Stumps</u> – approximately 9-13 stumps near Mansion, Carriage house & throughout property (Removal recommended)

<u>Ivy, Invasive, & Woody Plants</u> – surrounding structures, gables, foundation, and growing on trees adjacent to South side of parking (Removal recommended)

SUMMARY

The historic mansion & carriage house where Gilbert Grosvenor and his family lived during the Summer months in the early 1900's once hosted a variety of trees, shrubs, and woody plants throughout the almost nine acre property. As the property exchanged hands and structures were repurposed over the years, it is obvious that the care of the trees within the landscape began to diminish.

It is very encouraging that the present owners are interested in working to beautify the landscape and to restoring it more to its original form. Many local homeowners, sightseers, dog walkers, and nature lovers continue to frequent the property on a daily basis. And, although it may take some time and effort, removal of hazard trees, proper pruning and Plant Health Care mitigation will help to create a much more pleasing and overall safer environment for visitors and wildlife.

I have also included pictures as examples that may be used as needed. Please let me know if I may further assist you in any way.

Thank you,

Norman J. King, III CA & MDLTE Vice President, Owner DTS Maryland Licensed Tree Expert #1246 ISA Certified Arborist #MA-3197A <u>NKing@DTSTree.com</u> <u>Normanjkingii@gmail.com</u>





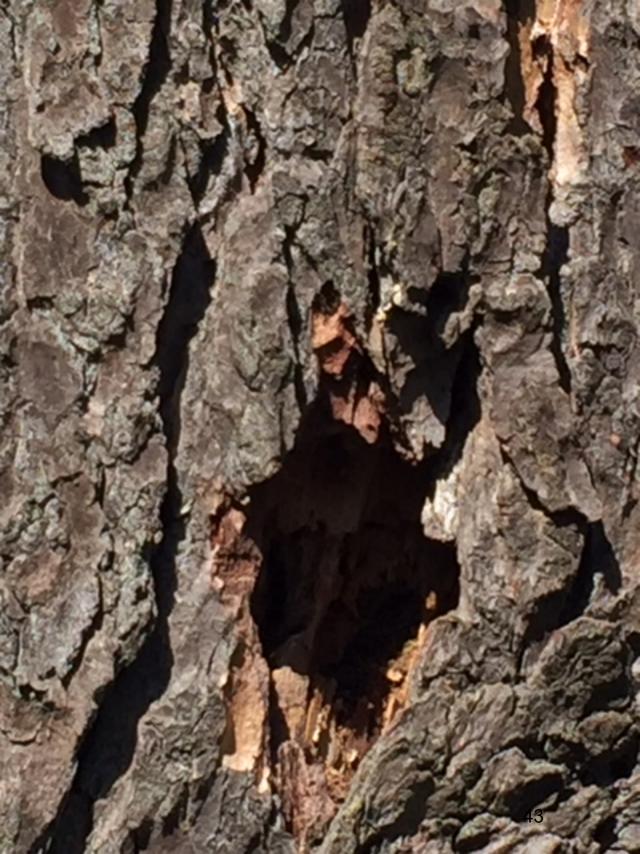
































DEPARTMENT OF PERMITTING SERVICES

Mitra Pedoeem Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 9/16/2020

Application No: 926837 AP Type: HISTORIC Customer No: 1378210

Comments

Marc Elrich

County Executive

Wild Acres, also known as the Grosvenor Estate, is a large Tudor Revival manor house constructed in 1928 for Gilbert Grosvenor, founder of the National Geographic Society. Wild Acres is an excellent example of a Tudor Revival-style manor house constructed by a significant person during the suburban estatebuilding era of the early 20th century. The property retains such features as the main house, garage, historic approach to the house, and sweeping rear lawn. The property was originally owned by Dr. Gilbert Grosvenor, founder of the National Geographic Society. Gilbert Grosvenor and his wife Elise purchased the land in 1912 and spent summers on the property in an old farmhouse until the current house was constructed in 1928. The Grosvenor still held large social functions at Wild Acres, including a birthday party for Mrs. William Howard Taft. The property remained in the ownership of Gilbert Grosvenor until his death in 1966. Since 1975 the property has been home to a consortium of earth science organizations. The main house retains such character-defining features as a steeply pitched roof pierced by gables and dormers, bands of multiple-light casement windows, prominent chimneys, and false half-timbering. The stone exterior, wood shingle roof, and scale of the building distinguish this structure from other Tudor Revival-style residences constructed during the early 20th century.

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 10100 LAUREATE WAY BETHESDA, MD 20814 Othercontact Olmsted (Primary)

Historic Area Work Permit Details

Work Type RESREP Scope of The proper

The property has suffered from years of deferred maintenance. Hope Connections is proposing a complete interior renovation to support their mission and program. Exterior work will be limited to the addition of parking spots and maintenance and repair of the building exterior and grounds.

