

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5904 Cedar Parkway, Chevy Chase	Meeting Date:	10/28/2020
Resource:	Outstanding Resource Chevy Chase Village Historic District	Report Date:	10/14/2020
Applicant:	David O'Neil & Laura Billings (David Jones, Architect)	Public Notice:	10/7/2020
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-18Z (REVISION)	Staff:	Dan Bruechert
Proposal:	Front Terrace Alteration		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
 STYLE: Eclectic
 DATE: c. 1918

The house is placed on the right side of a double-width lot. The stucco-clad house is set on a stone foundation and is two stories tall with a slate roof. The house form is complex and is best described as a variant of an L-shaped plan. The left side of the house has a two-story sun porch with a hipped slate roof. To the right of the sun porch is the front facing gable of the L, with a two-story hipped projection to the right. The house has metal casement windows throughout in a variety of configurations, with large timber lintels over the larger window openings. There are non-historic additions to the rear of the house. To the left of the house is a stone and wood arbor/ pergola that terminates in a large stone folly. There are formal terraced grounds to the rear of the arbor. To the right of the house is a very narrow asphalt driveway that leads to a detached, 3-bay garage.

The Chevy Chase Village Historic District Master Plan Amendment identifies the subject property as an 'Outstanding' resource as a "A. Morrill, H. Hathaway. Early Reinfor[ced] Concrete" construction.



Figure 1: Subject property shown with the surrounding district.

BACKGROUND

A first preliminary consultation was held on this proposal on June 13, 2018. The HPC was generally supportive of the proposal and requested more details regarding the proposal, especially with regards to the proposed drive, parking pad, and landscape features.

A second preliminary consultation was held on this proposal on July 11, 2018. The design had been refined based on the HPC's comments and the applicant provided more information regarding the proposed window replacements. The HPC indicated at the hearing that the applicant had provided the requisite information to remove the non-historic windows.

The HPC approved a HAWP at the October 24, 2018, HPC Meeting.* The HPC added a condition to the approval that the proposal to reorient the front terrace stairs not be carried out as proposed.

Since that hearing and while the property has been under construction, the applicants have uncovered additional information and request the HPC reconsider that condition.

PROPOSAL

The applicant proposes to reorient the stairs on the front terrace.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision.

* The Staff Report for the HAWP can be found here: <https://montgomeryplanning.org/wp-content/uploads/2018/10/LA-5904-Cedar-Parkway-Chevy-Chase.pdf> with audio of the hearing available here: http://mncppc.granicus.com/MediaPlayer.php?publish_id=ec4eae7f-d92e-11e8-9302-0050569183fa.

These documents include *Montgomery County Code Chapter 24A* (Chapter 24A), the *Chevy Chase Historic District Design Guidelines* (Guidelines), and the *Secretary of the Interior's Standards for Rehabilitation* (Standards). The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Balconies should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
 - Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not
 - Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- The *Guidelines* state five basic policies that should be adhered to, including:
- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
 - Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
 - Maintaining the variety of architectural styles and the tradition of architectural excellence.
 - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
 - Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal is necessary in order that unsafe conditions or health hazards be remedied;
- (c) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Secretary of Interior's Standards for Rehabilitation

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicant proposes to carry out the reorientation to the front terrace as originally proposed in the 2018 HAWP submission. Staff was supportive of this work at the 2018 HAWP.

Front Porch/Terrace Modifications

The existing terrace is constructed out of stone that matches the foundation of the house and has a stone cap around it.* It has stairs from both the left and right sides in single runs with significant landscaping in front of it. Prior to the current rehabilitation, the front wall of the terrace was completely covered in ivy. Staff examined the condition of the masonry and found some minor spalling on select portions of the masonry, but it appeared to be in good condition. The applicant proposes to change the steps on the left

* Staff has identified the stone construction in front of the front door as a terrace. This was previously described as a 'porch,' though a search of significant architectural history literature has indicated porches are covered. This construction has no cover, so Staff has collectively resolved to call this area the front terrace. Staff would also like to note that both porches and decks receive *moderate scrutiny* when they are visible from the public right of way under the Chevy Chase Village Historic District Guidelines.

(south) side of the terrace from a single run set of steps by shortening the terrace and reorienting the steps to front-loading. A new metal railing will be installed to the left of the new stairs. The width of the front terrace will be shortened by approximately 30" (thirty inches). The replacement steps will be constructed to match the existing. The applicant has indicated to Staff that they will re-use the historic fabric to the maximum extent possible in the reconfigured stairs.

The front terrace should be evaluated under moderate scrutiny, meaning that in addition to considerations of massing, scale, and compatibility, alterations must not be undertaken in a manner that the resource no longer contributes to the district. The overall impression created by the front terrace is a wall plane in front of the house, which steps down from the house to the terrace, terminating in the landscape. The massive stone wall plane of the terrace will not be altered. Staff finds that in reorienting the front stairs, the hard edge of the wall plane will be slightly softened, but will retain consistent building materials as the applicant will re-use the existing stone, and match where necessary with new stone.

In the HAWP Staff Report, Staff finds that overall the reorientation of the front stairs is not a significant alteration that will impair the historic resource's contribution to the surrounding district (per the *Guidelines* and 24A-8(b)(1)) and recommended the HPC approve the work. The HPC disagreed with Staff's findings and the terrace work was eliminated from the scope of work.

The applicant has returned with additional information regarding the condition of the house and asks the HPC to reconsider their position on reorientating the terrace stairs, constructing the new stairs using recovered historic stones.

The applicant proposes three justifications for reconfiguring the front terrace stairs. The first justification is that the information in the District Master Plan Amendment is incorrect. The house is designated as an 'Outstanding' resource to the district and the notes identify that the house was designed by "A. Morrill" and was constructed out of reinforced concrete. Staff has been unable to determine if the house was designed by Milton Dana Morrill or his studio. However, Staff examined the house while rehabilitation work was ongoing and can state unequivocally that it was built using traditional frame construction with a stucco exterior. The file for the Chevy Chase Village Historic District does not provide any additional information to justify the 'Outstanding' designation for the subject property. Staff finds that the information the HPC and County Council relied on to make their determination for the subject property was erroneous.

Staff reviewed all of the other properties along Cedar Parkway, and while many of the neighboring buildings are substantial, they are all designated as 'Contributing' to the district. While it would take a formal act of the County Council to change the level of designation, Staff finds that the HPC can consider the proposal in light of the documentation presented.

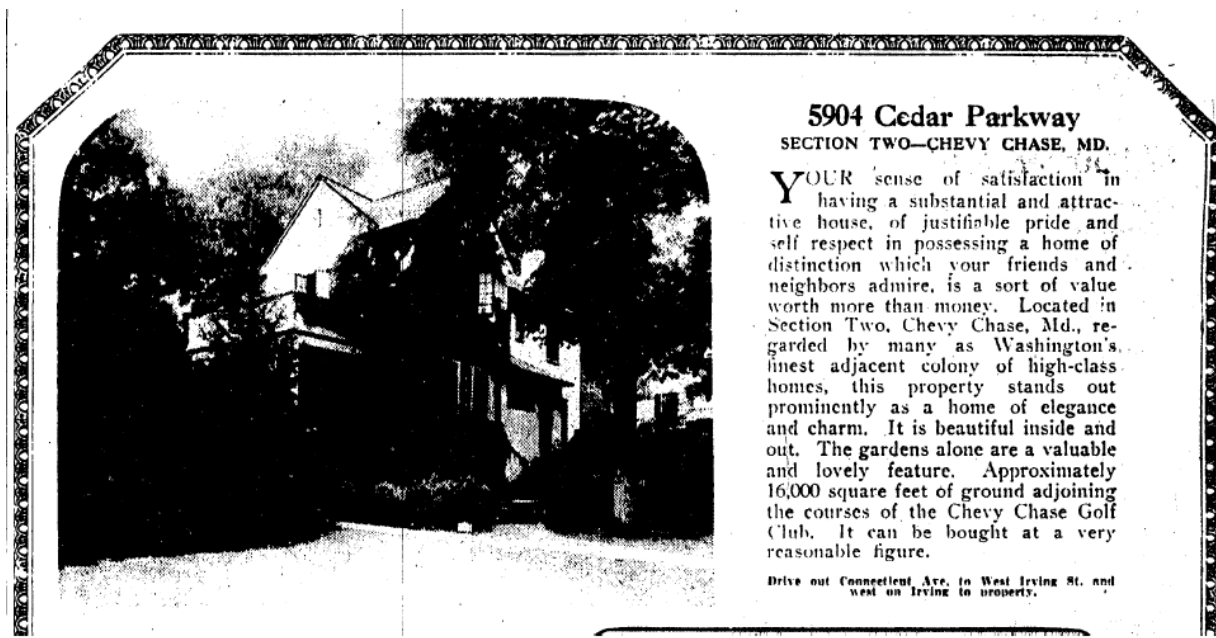


Figure 2: 1927 sales advertisement for the subject property.

The second consideration presented by the applicant is that ivy and root damage to the stairs will require significant amounts of reconstruction. Because of the necessary reconstruction, the front stairs will lose their integrity of materials. The applicant provided a photograph of the condition of the stairs in their submission. Staff finds that work on the stairs is supported under 24A-8(b)(4). The *Design Guidelines* for decks, porches, and balconies all require the HPC to apply “Moderate Scrutiny” to proposed changes.

Third, the applicant has demonstrated that there is enough recovered historic stone that the terrace modifications can be constructed in stone that matches the historic appearance.

As in the prior Staff Report, Staff finds that the porch reconfiguration is not a significant design alteration that will impair the historic resource's contribution to the surrounding district. Additionally, Staff identified that the primary character of the front terrace was the massive front stone wall plane which will not be altered by the proposed work. Staff supports the approval of the front stair reorientation under 24A-8(b)(1), (2), (4, and (d); Standards 2, 9, and 10; and the *Design Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), (4), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

Laura Billings & David O'Neil
5904 Cedar Parkway
Chevy Chase, MD 20815

Re: HAWP Case No. 35/13-18Z

October 2, 2020

To the Commissioners of the Montgomery County Historic Preservation Commission:

We write regarding the renovation at our home at 5904 Cedar Parkway in Chevy Chase Village. In 2018, we were before the Commission several times discussing and fine-tuning aspects of our major renovation, which we finally commenced in July 2019. Thus far, the renovation looks beautiful, and we hope to be substantially finished by January 2021.

Background

At the HPC meeting on October 24, 2018, our third and final time before the Commission, our project was generally approved except for one proposed modification about which we now seek reconsideration for the reasons set forth below. As evident in the many pictures and descriptions of our home in the HAWP record, the two staircases that lead up to our front terrace and front door are side-loading, and one cannot actually see the staircases from the street. The photograph below shows both side-loading staircases circled in red. The primary staircase – the one which we seek to modify – is on the left side of the photograph.



As part of our HAWP, we sought to turn the primary set of side-loading stairs to: a) face outward toward the sidewalk and street; and b) provide a direct approach to our front door. Back on September 13, 2018, we wrote a letter to the Commission setting forth the many reasons why we wished to turn the front stairs and many supporting rationales thereto (See **Exhibit A**). The staff supported this modification in their September 12, 2018, Staff Report (See **Exhibit B** at pages 12-13).¹ Two Commissioners agreed with the Staff Report and voted to approve. Three, however, expressed concern about removing and/or damaging original material and voted against the proposal.

We respectfully submit that all of the reasons and rationales we previously cited for turning the staircase are still valid, and we hope the Commission will examine them anew. However, in this letter, we wish to apprise the Commission of new facts we have learned through the renovation process that we believe support our proposal to turn the side-loading stairs, and we would ask the Commissioners to please reconsider our proposed modification in light of these new circumstances.

Description of Proposed Modification

Our proposal to modify the primary side-loading staircase to our front terrace is identical to that which we submitted to the Commission in October of 2018. For easy reference, we have attached:

- The existing east elevation of our house depicting the staircase in its current location (See **Exhibit C**);
- The proposed east elevation of our house showing our proposed modification to the staircase (See **Exhibit D**);
- A rendering of our home's east elevation showing the proposed modification (See **Exhibit E**); and
- A site plan showing the proposed change to the staircase (See **Exhibit F**).

New Fact for Consideration: Proven Ability to Use 100% of the Original Material

Prior to construction starting, we had multiple old (potentially original) terracing walls on the side and rear of our property that separated various gardens at different elevations. The rocks comprising these walls looked to be the same rocks as those used for: a) the original rock veneers

¹ In pertinent part, the Staff Report concluded: "The front terrace should be evaluated under moderate scrutiny, meaning that in addition to considerations of massing, scale, and compatibility, alterations must not be undertaken in a manner that the resource no longer contributes to the district. The overall impression created by the front terrace is a wall plane in front of the house, which steps down from the house, to the terrace, terminating in the landscape. The massive stone wall plane of the terrace will not be altered. Staff finds that in reorienting the front stairs, the hard edge of the wall plane will be slightly softened, but will retain consistent building materials as the applicant will re-use the existing stone, and match where necessary with new stone. At the second preliminary consultation, the HPC expressed mixed opinion as to the retention of the front stairs in their existing configuration. Staff finds that overall the reorientation of the front stairs is not a significant alteration that will impair the historic resource's contribution to the surrounding district (per the Guidelines and 24A-8(b)(1)). Staff supports the approval of the reorientation of the front stairs."

on the front and southern side of our house; and b) our front terrace wall and side-loading staircases. Our talented stone mason saved all the material from the old terracing walls after they were torn down. He carefully separated the rocks from their surrounding concrete and used these original rocks to form the new rock veneers that were applied to the new additions and new exterior staircases. In effect, the new rock veneers on the additions and exterior staircases: a) are comprised of original material harvested from our property; and b) match the original rock veneers, the front terrace wall, and the front side-loading staircases.

The following picture demonstrates the stone mason's work. One can see: 1) the original rock veneer in the near foreground (the right side of which has been power washed so that we could determine grout color); 2) the new rock veneer in the background circled in red (it has not yet been grouted, but when it is, it will be in the original style); and 3) in the immediate foreground, a pile of original rocks that the stone mason salvaged from the old terracing walls, separated from concrete, and used in constructing the new rock veneers and new exterior staircases. Around our property, one can currently see several piles of the old rocks that the stone mason has carefully set aside for reuse.



The stone mason's work on our property addresses the principal concerns that led three commissioners to deny this aspect of our HAWP proposal in 2018. If we are permitted to turn our front stairs to face the sidewalk and street, we can now be certain that we would be able to

reuse all the original material in rebuilding the staircase. To the extent any additional material were needed, we have amassed more original material from the terracing walls than we need to finish the new rock veneers and exterior staircases. In other words, the proposed turned front staircase would be fully comprised of original material and would be consistent with the rest of the house with respect to material, style, and appearance.

New Fact for Consideration: Hazardous Current Condition of the Stairs

Furthermore, the removal of much of the ivy and overgrown plantings surrounding the staircase in question has revealed that the foot of the stairs, at the very least, must be rebuilt regardless. As evident in the picture below, the bottom of the staircase is crumbling.



In its current condition, the lower staircase is unsafe for: a) us as the homeowners who use this egress multiple times a day; b) the mailman, delivery people, and neighbors who frequent our house; and c) especially our older family members who live in town and often visit.

New Fact for Consideration: the House is Constructed of Conventional Wood Framing

There is a third additional new fact that we would respectfully ask the Commissioners to consider. As you know, our house is designated an “outstanding” resource in the Chevy Chase

Village Historic District. It was designed by “A. Morrill,” who was known around the turn of the century for designing “early reinfor[ced] concrete” houses (See *Chevy Chase Village Historic District - Expansion*, Maryland-National Capital Park and Planning Commission, April 1998). To the extent that our house was designated “outstanding” because it was believed that it was an example of Alilton Dana Morrill’s reinforced concrete designs, we have learned through our renovation process that the house was actually constructed of conventional wood framing. The basis for our home’s “outstanding” designation, thus, appears to be unfounded.

Conclusion

The renovation work that has already taken place on our property demonstrates that we would be able to seamlessly reuse all original material should we be permitted to turn the primary side-loading staircase that approaches our front terrace. Moreover, the stairs must be rebuilt to some degree regardless because of the unsafe condition of the bottom of the staircase.

We believe our proposed modification reflects one of the defining characteristics of nearly all houses in historic Chevy Chase Village – that of front steps facing outward toward the neighborhood – and it would not detract from the historic qualities of our house or the neighborhood. Given that our proposal to turn the stairs of our front terrace should be evaluated under a moderate degree of scrutiny, we believe that the proposed modification is within reasonable limits for the several reasons set forth above and for those enumerated in our September 13, 2018, letter to the Commission. Thank you in advance for reexamining our request to modify the staircase. We very much appreciate your time and consideration.

Sincerely,

Laura Billings & David O’Neil

Laura Billings & David O’Neil

Enc.

Laura Billings & David O'Neil
5904 Cedar Parkway
Chevy Chase, MD 20815

RE: HAWP Case No. 35/13-18Z

September 13, 2018

To the Commissioners of the Montgomery County Historical Preservation Commission:

We write regarding our proposed renovations to 5904 Cedar Parkway in Chevy Chase, about which we've consulted with the Commission twice before. At the outset, we'd like to thank you and your staff for all of the time and effort the Commission has spent considering our proposed renovations. On September 19, we will come before you regarding our HAWP application, and we would ask that the Commission please take this letter into consideration in its deliberations.

In particular, we write to provide additional information and context in support of our proposal to make the front stairs front-facing.¹ At our most recent consultation with the Commission, several Commissioners expressed a willingness to approve that central feature of the overall proposal. The staff report recommends approval of this aspect of the plan, and for the following reasons, we now respectfully request that the Commission adopt the staff recommendation.

We'd first like to explain why reorienting the front stairs is so important to the overall proposal. There are three reasons. First, at present, the focal point and the most prominent feature of the house in situ is the front gable, which is forebodingly large and stark, resembling a white tower. (See Photo 1). This is primarily because the house sits up very high, and much of the basement level is above grade. The tower-like appearance also results from the absence of any greenery to soften the large expanse of cream-colored stucco. Turning the stairs is the lynchpin to addressing this issue. If the stairs remain side loading, there is no way to soften the large gable and integrate it into the natural surroundings. Very simply, we cannot plant any greenery because of the large impermeable stair landing that sits directly in front of the gable. If we reorient the stairs to face front, we can green the front gable, better incorporate it into the surroundings, and improve the aesthetic for the Village.

Second, the front terrace is not very functional in its current state. Visitors to the house have difficulty figuring out how to approach the front door. They often walk back and forth across the front lawn before figuring out that both stairways approach the terrace from the side, and there is no way to access the terrace from the front. If we turn the side-loading stairway, this problem is neatly solved. More generally, our family's use of the front terrace would be greatly improved if we turned the stairs. This modification would, in short, enhance the functionality of the front door as the home's main entrance.

¹ As you may recall, we originally sought to alter the front terrace by opening up the stone wall with balustrades. While we continue to believe that this change would enhance the openness and visual accessibility of the façade, we understand that the sense of the Commission was opposed to this proposed alteration. We have therefore abandoned that aspect of the proposal.

Third, as decade-long residents of Chevy Chase Village (we previously lived on Kirkside Drive), we believe that turning the stairs would further the historic and cultural qualities embraced by the Village. Softening the gable with flowers, bushes, and trees would contribute to the Village's park-like environment and better integrate our house into its natural surroundings. Further, turning the stair would present a much more welcoming approach to our house. There are many houses throughout the Village with front porches or terraces, but we've identified none that lacks any front approach at all.

In the most recent consultation, concern was raised about removing original material. Turning the stairs would not result in a reduction of the front wall's expanse across the terrace. It is only where the wall descends along the staircase that we would seek to move material. Even then, we pledge to use as much of the staircase's original material as possible in reorienting the stairs. If any new material needed to be used, we would use identical-looking stones, as we have endeavored to do in all aspects of the house's redesign. And any removal of material from the stair portion of the wall will be counterbalanced by other aspects of the proposed design. In particular, we are proposing to add on the south side of the house a new screened porch, the foundation of which will be of the same stone material as the terrace wall, so the overall result will be an increase in the use of that material.

Finally, the terrace wall and stairs are currently covered in ivy. The portion of the stairs that would be relocated under our proposal is, in its current state, invisible behind both ivy and shrubbery. (See Photo 2). We presume that this vegetation was originally planted to soften the large expanse of rock across the front of the terrace. If we could turn the stairs, and thus plant greenery in front of the gable, we could remove the ivy from the wall. The wall would once again be a visible part of the front façade, which would showcase its role in the overall design of the house.

In sum, we agree with the staff report that turning the stairs would not impede the architect's aim to evoke romance and grandeur. To the contrary, for the reasons explained above, that modification would enhance the distinctive qualities of the house and its history, and we therefore ask that the Commission adopt the staff recommendation to approve this critical component of the project.

Thank you for considering our letter, and we look forward to discussing our proposal with you on September 19.

Best regards,

Laura Billings and Dave O'Neil

Photo 1



Photo 2



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5904 Cedar Parkway, Chevy Chase	Meeting Date:	10/24/2018
Resource:	Outstanding Resource Chevy Chase Village Historic District	Report Date:	10/17/2018
Applicant:	David O'Neil & Laura Billings (David Jones, Architect)	Public Notice:	10/10/2018
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-18Z	Staff:	Dan Bruechert
Proposal:	Garage demolition, non-historic addition removal, new construction, hardscape, and landscape alterations.		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with three conditions** the HAWP application.

1. Details for the species and placement for the replacement trees must be submitted for review and approval with a letter from Chevy Chase Village stating the that applicant has satisfied the requirements of the Urban Forest Ordinance.
2. Approval of this HAWP does not extend to the building shown as "Future Outbuilding/New Garage" on the submitted drawings. Drawings submitted for stamping should remove this feature. A separate HAWP is required for this construction.
3. A sample board of the stone and mortar for the new pergola columns needs to be created for review and approval with final approval authority delegated to Staff.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
STYLE: Eclectic
DATE: c. 1918

The house is placed on the right side of a double-width lot. The stucco-clad house is set on a stone foundation and is two stories tall with a slate roof. The house form is complex and is best described as a variant of an L-shaped plan. The left side of the house has a two-story sun porch with a hipped slate roof. To the right of the sun porch is the front facing gable of the L, with a two-story hipped projection to the right. The house has metal casement windows throughout in a variety of configurations, with large timber lintels over the larger window openings. There are non-historic additions to the rear of the house. To the left of the house is a stone and wood arbor/pergola that terminates in a large stone folly. There are formal terraced grounds to the rear

of the arbor. To the right of the house is a very narrow asphalt driveway that leads to a detached, 3-bay garage.



Figure 1: Stone tower with arbor/pergola.



Figure 2: Subject property shown with surrounding district.

BACKGROUND

A first preliminary consultation was held on this proposal on June 13, 2018. The HPC was generally supportive of the proposal and requested more details regarding the proposal, especially with regards to the proposed drive, parking pad, and landscape features. The applicant has made revisions to the proposal based on feedback from the HPC and request further guidance on this proposal.

A second preliminary consultation was held on this proposal on July 11, 2018. The design had been refined based on the HPC's comments and the applicant provided more information regarding the proposed window replacements. The HPC indicated at the hearing that the applicant had provided the requisite information to remove the non-historic windows.

PROPOSAL

The applicant proposes work on the following items:

- Demolition of the three-car garage;
- Landscaping and hardscape modification;
- Tree Removal;
- Pergola Alterations;
- Swimming Pool Construction and Associated Fencing;
- Partial Demolition & Removal of Non-Historic Additions;
- Modifications to the Front Terrace;
- Additions and Modifications to the Historic House; and
- Window Replacement

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A* (Chapter 24A), the *Chevy Chase Historic District Design Guidelines* (Guidelines), and the *Secretary of the Interior's Standards for Rehabilitation* (Standards). The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised.

However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Balconies should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not
- Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not. Exterior trim on Outstanding resources should be subject to strict scrutiny if it is visible from the public right-of-way.
- Fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building. If an existing garage or accessory building has any common walls with, or attachment to, the main residence, then any addition to the garage or accessory building should be subject to review in accordance with the Guidelines applicable to “major additions.” Any proposed garage or accessory building which is to have a common wall with or major attachment to the main residence should also be reviewed in accordance with the Guidelines applicable to “major additions.”
- Gazebos and other garden structures should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources. These guidelines recognize that for outstanding resources replacement in kind is always advocated
- Swimming pools should be subject to lenient scrutiny. However, tree removal should be subject to strict scrutiny as noted below.

- Tree removal should be subject to strict scrutiny and consistent with the Chevy Chase Village Urban Forest Ordinance.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.
- The *Guidelines* state five basic policies that should be adhered to, including:
 - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
 - Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
 - Maintaining the variety of architectural styles and the tradition of architectural excellence.
 - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
 - Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship;

Secretary of Interior's Standards for Rehabilitation

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old

and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicant proposes to undertake alterations, demolition, and new construction on the entirety of the property, including work to the main house, outbuildings, and formal landscape.

- Demolition of the three-car garage;
- Landscaping and hardscape modification;
- Tree Removal;
- Pergola Alterations;
- Swimming Pool Construction and Associated Fencing;
- Partial Demolition & Removal of Non-Historic Additions;
- Modifications to the Front Porch;
- Additions and Modifications to the Historic House; and
- Window Replacement

Demolition of the Three-Car Garage

The existing garage is a wood framed building on a brick foundation with an asphalt-shingled hipped roof with a hipped dormer. The doors are all wood carriage style doors with lites in the upper section. The construction date of the garage has not been conclusively shown, however, Staff's research into Sanborn Maps and County Atlas, demonstrate that the garage was constructed sometime after 1948. Due to the placement of the garage at the rear of the yard and the slope of the lot and the terracing of the side yard the garage is only minimally visible from the public right-of-way. The applicant proposes to demolish this building.

The *Guidelines* relating to detached garages states that alterations should be reviewed under lenient scrutiny, meaning the review should focus on general massing and scale and impact on the streetscape. As it is only minimally visible from the surrounding streetscape and not a historic feature, Staff finds that the removal of the garage would not have an impact on the surrounding district. Additionally, the Guidelines adhere to the principle that: "Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course." Even though 24A-8(b)(1) states that changes should not be undertaken that result in significantly altering a feature of an historic resource within a historic district, Staff finds support for demolishing the existing garage.

Landscape and Hardscape Modifications

The applicant proposes several alterations to the landscape. The alteration with the largest impact to the streetscape of the building is the proposal to remove the existing asphalt driveway and install landscaping in its place and construct a new drive with a lay-by to the immediate left

of the historic house. From a practical use, Staff finds that the existing driveway is not sufficient for modern automobiles. It is too narrow. Staff did find a number of instances where owners have abandoned rear yard access to their cars and maintain parking in front of their houses.

The applicant proposes to construct a new drive and formal lawn approximately 10' (ten feet) wide to the left of the historic house. The lawn is roughly elliptical-shaped and is located between the new driveway and the steps to the front door. The applicant has included the proposed drive on its site plan and in a rendering comparing an existing view of the house with the new feature. Staff finds that this alteration will alter the historic character, but will do so in a manner that the house will still contribute to the historic character of the surrounding district, per the *Guidelines*. Several materials were discussed at the Preliminary Consultation; however, the HPC's comments could generally be summed up as a new drive should have a varied texture and color. The applicant proposes to use an exposed aggregate for this feature, which satisfies both the varied color and texture requirements. While Staff was unable to locate any other front parking pads in the Chevy Chase Village Historic District, Staff remains supportive of this feature. It is offset from the front of the house, so parked cars will not have a significant visual impact on the historic house from the right-of-way. Staff finds that the applicants' proposal to construct a new drive and lay-by will have not have an adverse effect on the house and is appropriate under the guidelines. Staff supports approval of this element.

Staff was initially concerned that the new drive would create a large section of impervious surface and significantly increase lot coverage. The landscape architect for the project included calculations of existing and proposed lot coverage with the application materials. The existing lot coverage (which consists of paved, built-on, and impervious surfaces in the right of way) is 8,025 ft². This is 49.1% of the 16,317 ft² lot. If all of the proposed new construction is built, including the accessory structure not under consideration under this HAWP, the lot coverage will be 7,533 ft². This is a lot coverage of 46.1% of the total lot. Because the proposal calls for the removal of a large amount of asphalt paving to the rear, there will be more space available for planting and reinforcing the park-like setting promoted by the historic district.



Figure 3: Perspective from the southeast of the house in the location of the proposed drive and parking pad.

Tree Removal

In order to accommodate some of the landscape and hardscape changes proposed, the applicant proposes to remove a total of twenty (20) trees. Fourteen (14) of the trees are larger than 6" (six inches) d.b.h. and subject to HPC review. In front of the house near the proposed driveway and lay-by there are:

- 20" d.b.h Norway Spruce;
- 22" d.b.h. Norway Spruce;
- 24" d.b.h Balsam fir; and a
- 9" d.b.h. Black Walnut

The two Norway Spruce trees and the Balsam fir are in poor health and leaning. The removal of these four trees will have the largest impact on the character of the house.

There are an additional five trees proposed for removal along the left (south) property line. Most of these are flowering trees that are between 6" – 10" (six to ten inches) and are set far enough away from the house so as not to have a significant impact to the on house. They are:

- 6" d.b.h. Cherry tree;
- 6" d.b.h. Foster's Holly;
- 10" d.b.h. Red Oak;
- 6" d.b.h. Foster's Holly; and a
- 6" d.b.h. Foster's Holly;

In the southwest corner of the yard the applicant proposes to remove:

- 9" d.b.h. Flowering Cherry and a
- 7" d.b.h. Flowering Dogwood

These trees are not visible from the public right-of-way and their removal will not have a significant impact on the character of the lot.

Lastly, the applicant proposes to remove three trees from behind the house. These trees are not at all visible from the public right-of-way:

- 6" d.b.h. Japanese Maple;
- 6" d.b.h. Foster's Holly; and
- 7" d.b.h. Flowering Cherry

With the exception of the two large pine trees in the front of the yard, the trees proposed for removal are all relatively young and don't add to the mature tree canopy found throughout the district. To comply with the Chevy Chase Village Urban Forest Ordinance, the applicant will be required to plant a new tree for each one removed. The landscape site plan submitted with the application is only a concept drawing and has not identified the placement and species to be planted on the site. Staff recommends the HPC condition approval of the tree removal on the applicants' submission to Staff of a letter from Chevy Chase Village indicating that the applicant has satisfied the requirements of the Urban Forest Ordinance.

Pergola Alterations

In the south end of the property there is a folly/gazebo that is connected to the house by a pergola. These elements are constructed from masonry that matches the construction of the house foundation. The pergola is largely overgrown with vines and ivy, with the remnants of deteriorated wood fencing between the columns (see the image below). The applicant proposes to add a second row of columns to the pergola, behind the existing historic columns and construct a new pergola structure. Aligned with these new columns the applicant proposes to install a 5' (five foot) iron fence enclosure with a gate (discussed below). Based on the input from the HPC at the two preliminary consultations, Staff finds the proposal to add a new row of stone columns is appropriate. The applicant proposes to match the column design and materials. Staff finds that alterations to this feature is most analogous to gazebos, which should be subject to moderate scrutiny. Staff further finds that expanding this feature in a matting design is an appropriate treatment within the Chevy Chase Village Historic District, per the *Guidelines*.



Figure 4: Columns supporting the pergola with fencing and vines between the columns.

Swimming Pool Construction and Associated Fencing

The applicant proposes to construct a swimming pool in the lower terrace to the left of the historic house. As this is inset in the formal gardens and below street grade, it will not be visible from the public right-of-way. The *Guidelines* state that lot coverage should be subject to strict scrutiny where the change will impact the park-like setting of the district. A pool and the paving around it will significantly add to the lot coverage; however, Staff finds that the pool is proposed for what is currently an open section of lawn and will not impact the setting of the surrounding district. Surrounding the swimming pool, the applicant proposes to install fieldstone pavers in a running pattern. These pavers are light in color, but because of the grade of the site, will not be visible from the public right of way. The *Guidelines* state that swimming pools are subject to lenient scrutiny, as this is proposed for an open space that is not visible from the public right-of-way, Staff supports approval of the swimming pool.

To enclose the rear yard and swimming pool area, the applicant proposes to install a 5' (five foot) tall iron gate. This height is required, by code, to enclose the area around swimming pools. The gate will be installed at the rear of the new pergola columns (see below). To the right there will a 5' (five foot) tall gate that matches the design of the fence. The fence has a double width gate to the left front corner, then encircles the rear yard, terminating at the northwest corner of the house. The fence will have 1 ½" (one-and-a-half-inch post) with ½" (half inch) pickets. This fence design will allow for a high level of transparency through to the yard. Staff finds that the design and materials are consistent with the architecture of the house and appropriate under the

moderate scrutiny review required in the *Guidelines*. The portion of the fence at the pergola and along a portion of the south (left) property boundary will be taller than the 48” (forty-eight inches) the HPC typically requires. In this instance, Staff supports the design of this fence for two reasons. First, this fence is being installed to the rear of the new pergola columns and will appear integrated with that new built feature. Second, the design and materials of the fence allow for maximum transparency and will not significantly obscure the historic features of the house.

Staff finds that overall the proposed fencing will not significantly impact the historic character of the house and grounds. The new fence in the pergola will align with the proposed new columns and their distance from the public right-of-way will make them less visible. The proposed fixed panel at the front opening of the gazebo will replace a piece of wood lattice that has been proposed to provide a small measure of privacy. The proposed panel will create a more open appearance for the gazebo than the existing appearance. Staff finds that the slender proportions of the fencing will not detract from the heavy masonry used to construct the gazebo and pergola columns. Due to the orientation of the gazebo, the gate proposed for the north opening will not be visible from the public right-of-way and should be approved as a matter of course.



Figure 5: View of the gazebo looking through the north and east openings.

The gate proposed to the left of the gazebo matches the details of the proposed fencing throughout the project. The fence height, 5’ (five feet), exceeds typical HPC guidance; however, Staff supports its approval for a number of reasons. First, the lot slopes down to the south, as seen in the figure below. The top of the gate is several feet below the fencing in the pergola. Second, because this portion of the fence is so far away from the house, it will have less of a visual impact than fencing that is closer to the house. Staff finds that this gate is not a substantial

alteration to the historic house (Chapter 24A-8(b)(1) and will not detract from the historic character of the site (per Standard 2). Staff supports approval of the proposed fencing.

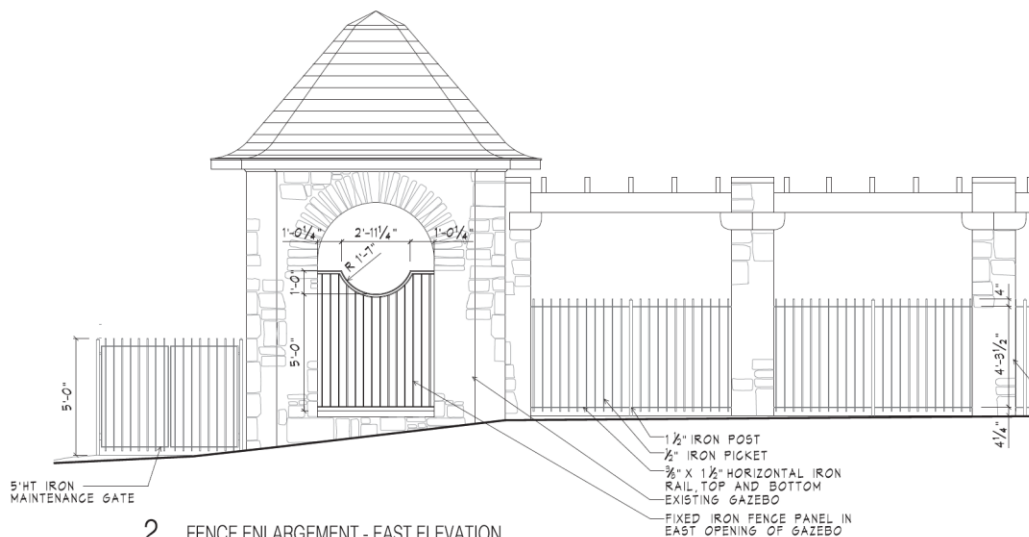


Figure 6: Detail image showing proposed fencing and change in grade.

Adjacent to the proposed pool, the applicant's site and landscape drawings show a building that is labeled either "garage" or "future outbuilding." This construction is not under consideration at this time, but was included as part of a fully developed landscape plan. The HPC indicated in a preliminary consultation that they could be supportive of a building in this location but lacked sufficient details to make a determination on the appropriateness of the proposal. As plans are developed for this building, Staff recommends the applicant return for a preliminary consultation for review by the HPC.

Partial Demolition & Removal of Non-Historic Additions

There are three non-historic additions to the historic house: two are on the west elevation, the other is on the southwest corner. The additions were designed to be compatible with the appearance with the application of the stucco siding and slate roof found on the historic house; the additions do not appear on our historic atlases or Sanborn Maps. The two additions on the west (rear) elevation of the house are not visible from the public right-of-way and the addition in the southwest corner is only partially visible. The removal of these three non-historic additions will not detract from the historic character of the house or the surrounding district and Staff supports their removal.

Front Porch/Terrace Modifications

The existing terrace is constructed out of stone that matches the foundation of the house and has a stone cap around it.* It has stairs from both the left and right sides in single runs with

* Staff has identified the stone construction in front of the front door as a terrace. This was previously described as a 'porch,' though a search of significant architectural history literature has indicated porches are covered. This construction has no cover, so Staff has collectively resolved to call this area the front terrace. Staff would also like to note that both porches and decks receive *moderate scrutiny* when they are visible from the public right of way under the Chevy Chase Village Historic District Guidelines.

significant landscaping in front of it. The front wall of the terrace is completely covered in ivy. Staff examined the condition of the masonry and found some minor spalling on select portions of the masonry, but it appeared to be in good condition. The applicant proposes to change the steps on the left (south) side of the terrace from a single run set of steps by shortening the terrace and reorienting the steps to front loading. A new metal railing will be installed to the left of the new stairs. The width of the front terrace will be shortened by approximately 30" (thirty inches). The replacement steps will be constructed to match the existing. The applicant has indicated to Staff that they will re-use the historic fabric to the maximum extent possible in the reconfigured stairs.

The front terrace should be evaluated under moderate scrutiny, meaning that in addition to considerations of massing, scale, and compatibility, alterations must not be undertaken in a manner that the resource no longer contributes to the district. The overall impression created by the front terrace is a wall plane in front of the house, which steps down from the house, to the terrace, terminating in the landscape. The massive stone wall plane of the terrace will not be altered. Staff finds that in reorienting the front stairs, the hard edge of the wall plane will be slightly softened, but will retain consistent building materials as the applicant will re-use the existing stone, and match where necessary with new stone. At the second preliminary consultation, the HPC expressed mixed opinion as to the retention of the front stairs in their existing configuration. Staff finds that overall the reorientation of the front stairs is not a significant alteration that will impair the historic resource's contribution to the surrounding district (per the *Guidelines* and 24A-8(b)(1)). Staff supports the approval of the reorientation of the front stairs.

Additions and Modifications to the Historic House

In the southwest corner the applicant proposes to construct a new porch on a stone foundation that matches the historic. The porch will be screened in with a pergola covered by a flat seam copper roof and will project to the left beyond the wall plane of the historic house. The pergola and columns will sit several feet above the historic arbor/pergola to the left of the house and will be visible from the public right-of-way.

In Chevy Chase, porches are subject to moderate scrutiny, meaning that in addition to scale and massing, the compatibility of the design with the historic resource is to be considered. Staff finds that overall the size and scale of the porch are consistent with the size of the house and the houses around it. The pergola above this porch is a design element that is taken from the historic pergola/arbor in front of it, and the pergola height appears to match the floor line separating the first and second floors of the sun porch. The submitted plans show this the pergola will painted metal railing to match the details of the proposed iron fence. This element will tie the design of the new and historic construction to one another.

In the southwest corner the applicant proposes to construct a rear-gable addition that will project to the rear (west) beyond the historic massing of the house. The south wall plane of this addition will be inset from the historic wall plane at the front of the house, which is typically required of additions to historic building. The rear (west) of this addition will have a large bay window with a series of eight and ten lite casement windows. On the south elevation, the addition will incorporate a hipped-roof dormer above the pergola. The south wall of this addition will also

have a triple casement window with a large wood lintel, matching the details from the front of the house. This proposed construction should be subject to moderate scrutiny, because it will be partially visible from the public right-of-way.

The foundation for the new porch and rear addition will be stone to match the historic foundation and will have stuccoed siding to match. The windows will be painted wood, multi-lite casement windows, and the roofing will be slate to match the historic. The new pergola on the side porch will be stained wood.

In the northwest corner, the applicant proposes to construct a new rectangular bay window with a painted wood balustrade above its flat roof. This bay will have eight-lite windows to match the new casements introduced to the house in the southwest corner. The roof will have projecting outriggers and pergola to match the details in the proposed porch. This new architectural feature appears to be compatible with the design of the historic house and is only subject to lenient scrutiny as it is not at all visible from the public-right-of-way. The applicant proposes to use wood, multi-lite, casement windows which is consistent with the windows found throughout the historic house. Staff finds the design of this feature to be appropriate.

The applicant proposes to enlarge a hipped dormer on the west elevation of the house. The existing dormer is two casement windows and the applicant proposes to effectively triple the size of this dormer and install three pairs of casement windows matching the configuration of the historic windows. The applicant proposes wood windows, with wood trim, and a slate roof. The applicant also proposes to install a new entrance on the west elevation. This entrance will have a pair of ten-lite French Doors flanked by ten-lite sidelights with a large wood lintel. The door and sidelights will be wood to match the details of the historic windows found throughout the house. The proposed wood lintel will match the lintels found elsewhere on the house. As the rear of the house faces a golf course, this proposed dormer and new entrance will not be visible from the public right-of-way and are to be given lenient scrutiny. Staff finds that proposal is consistent with the design details of the historic house and appears to be appropriate.

The applicant proposes to construct new stone walls to surround new gardens both in the front and rear of the house. The stone selected will match the stonework on the historic house foundation. To the front, the applicant proposes a new stone wall that will extend from the front walk to the first pier of the pergola. The height of the front retaining wall will be approximately 18" (eighteen inches), though the grade drops off near the pergola and it will be closer to 3' (three feet). The new retaining wall in the rear will also match the stone foundation and will be approximately 24" (twenty-four inches) tall. The rear retaining wall will also create a section of paved patio. The newly created patio will be paved using an irregular fieldstone pattern consistent with the proposed front walkway. Staff finds that these new walls are compatible with the historic house in material and design and supports approval.

Toward the rear of the basement level on the north elevation, the applicant proposes to create a new window well with a stone cap that matches the front porch and the new retaining walls. Two new wood casement egress windows will be installed into the window well. These

windows will be twelve-lite casement windows in details that match the historic windows. They will only be minimally visible from the public right-of-way and Staff supports their approval.

Window Replacement

The applicant proposes to replace several non-historic windows with wood, multi-lite windows. Many of these windows are either at the basement level or in the historic dormers. The basement windows proposed for replacement are non-historic vinyl sash windows that do not contribute to the historic character of the building. The dormer windows to be replaced are on the south and north elevations and are non-historic vinyl windows.

The applicant proposes to replace two windows on the front (east) of the house. The first is a pair of casement windows with a fixed panel below on the second floor. Staff suspects that the windows were cut down to accommodate an in-window air conditioner at some point. This window appears to have lost its historic integrity and Staff supports its replacement. The applicant also proposes replacing the first-floor window assembly to the left of the front entrance. This window has a fixed central window flanked by two eight-lite casement windows.

On the north elevation, the applicant proposes replacing several non-historic windows. At the basement level, the applicant proposes replacing the two windows closest to the street with wood six-lite casement windows that fill the existing opening. On the second floor, the applicant proposes to replace non-historic window closest to the street with a pair of eight-light casement windows that match the historic. In the second-floor projecting bay, the applicant proposes removing the non-historic window and installing a smaller six-lite casement window in its place. The stucco will be patched to match the historic stucco. On the attic, the rear dormer will replace its non-historic vinyl windows with wood, six-lite casement windows. This is more in keeping with the historic character of the house and is likely the historic configuration of this element. The proposed changes on the north elevation all involve the removal of non-historic modifications and will create a more cohesive appearance. Staff supports the replacement of these non-historic windows.

The applicant presented information at the second preliminary consultation about the condition of the windows proposed for replacement. Comments provided by the HPC indicate that the applicant has met the burden of proof in demonstrating that these windows are not historic and may be replaced. The applicant proposes to replace all of the identified windows with wood casement windows in a configuration that is historically appropriate. Staff supports the removal and replacement of the identified windows.

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with three conditions** the HAWP application.

1. Details for the species and placement for the replacement trees must be submitted for review and approval with a letter from Chevy Chase Village stating the that applicant has satisfied the requirements of the Urban Forest Ordinance.
2. Approval of this HAWP does not extend to the building shown as “Future Outbuilding/New Garage” on the submitted drawings. Drawings submitted for stamping should remove this feature. A separate HAWP is required for this construction.

3. A sample board of the stone and mortar for the new pergola columns needs to be created for review and approval with final approval authority delegated to Staff; and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS-#8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: david@jonesboer.com Contact Person: DAVID JONES
Daytime Phone No.: 202-332-1200

Tax Account No.: _____
Name of Property Owner: DAVID O'NEIL & LAURA BILLINGS Daytime Phone No.: 301-654-1970
Address: 5904 CEDAR PARKWAY, CHEVY CHASE MD. 20815
Street Number City State Zip Code

Connector: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: DAVID JONES Daytime Phone No.: 202-332-1200

LOCATION OF BUILDING/PROJECT

House Number: 5904 Street: CEDAR PARKWAY
Town/City: CHEVY CHASE Nearest Cross Street: IRVING ST.
Lot: P 731 Block: _____ Subdivision: CHEVY CHASE SECTION 2
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE

- ☐ Construct ☒ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Reversible

CHECK ALL APPLICABLE

- ☐ AC ☐ Slab ☒ Room Addition ☒ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☒ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____

2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Jones

Signature of owner or authorized agent

5.22.18.

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edt 6/21/95

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CATEGORY 1 IN THE CHEVY CHASE VILLAGE
HISTORIC DISTRICT. HOUSE HAS LATER
ADDITIONS.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REMOVE LATER ADDITIONS ON THE REAR OF THE
HOUSE. REMOVE DETACHED GARAGE. ADD NEW
BAY AND FAMILY ROOM TO THE REAR WITH NEW
SCREENED PORCH TO THE SIDE. ADD POOL, WALKS
AND TERRACE. ADD OUTBUILDING. ENLARGE REAR
DORMER. REPLACE NON-CONTRIBUTING WINDOWS.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.



**Municipality Letter for
Proposed Construction Project**

Subject Property: 5904 Cedar Parkway, Chevy Chase, MD 20815
Property Owner: Laura & David Billings
Project Manager/Contractor: Jones Boer Architects
Proposed Work: Alterations and addition; demolish detached garage

7/25/2018

Diane R. Schwartz Jones, Director
Department of Permitting Services of Montgomery County
255 Rockville Pike, 2nd floor
Rockville, MD 20850

Dear Ms. Jones,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at ccvpermitting@montgomerycountymd.gov.

Sincerely,

Demetri Protos
Chevy Chase Village Acting Manager

CHEVY CHASE VILLAGE
5906 Connecticut Avenue
Chevy Chase, Maryland 20815
Phone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov
www.chevychasevillagemd.gov

BOARD OF MANAGERS

MICHAEL L. DINGER
Chair

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Vice Chair

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MINH LE
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GARY CROCKETT
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Assistant Treasurer

RICHARD M. RUDA
Board Member

VILLAGE MANAGER
SHANA R. DAVIS-COOK

LEGAL COUNSEL
SUELLEN M. FERGUSON

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address LAURA BILLINGS & DAVID O'NEIL 5904 CEDAR PARKWAY CHEVY CHASE MD 20815	Owner's Agent's mailing address DAVID JONES JONES & BOER ARCHITECTS 1739 CONNECTICUT AVE NW WASHINGTON DC. 20009.
Adjacent and confronting Property Owners mailing addresses	
JOHN D & ELLEN F. TALBOTT 5906 CEDAR PARKWAY CHEVY CHASE MD 20815	PETER W. & GENIE B ASMUTH 5810 CEDAR PARKWAY CHEVY CHASE MD 20815
MARTIN & LOREI WEINSTEIN 5815 CEDAR PARKWAY CHEVY CHASE MD 20815	JOHN & NANCY ELLIOTT 37 WEST IRVING ST. CHEVY CHASE MD. 20815

JONES & BOER ARCHITECTS

Billings-O'Neil Residence Addition/Alteration
5904 Cedar Parkway
Chevy Chase, MD

List of Materials

Basement walls: Stone to match existing

Exterior walls (above basement): Painted stucco to match existing

Windows: Painted wood casement (SDL) to match existing

Doors: Painted wood and glass (SDL)

Roofs: Slate to match existing

Flat roofs: Flat seam copper

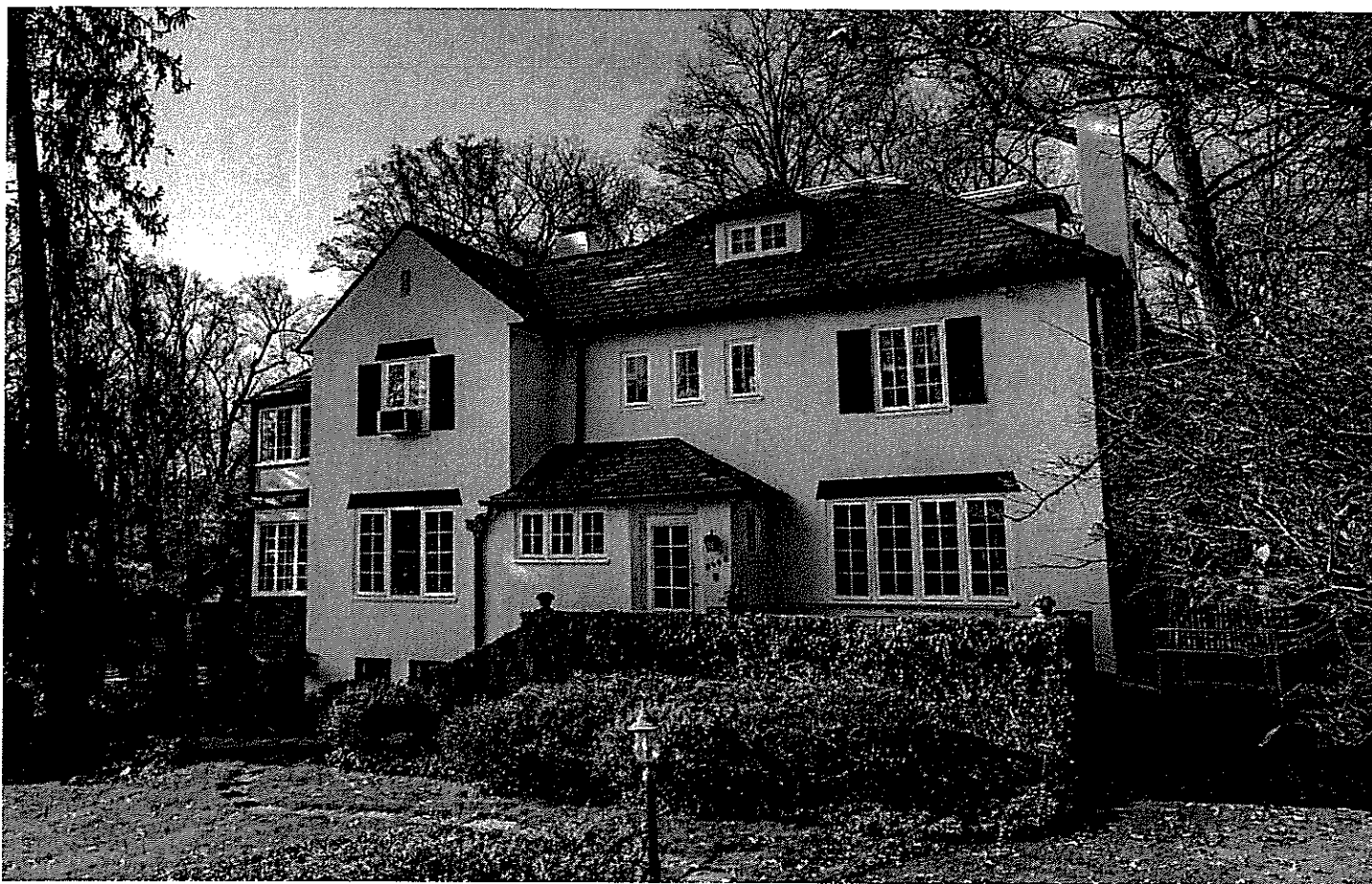
Gutters and downspouts: copper

Porch floor and steps: flagstone

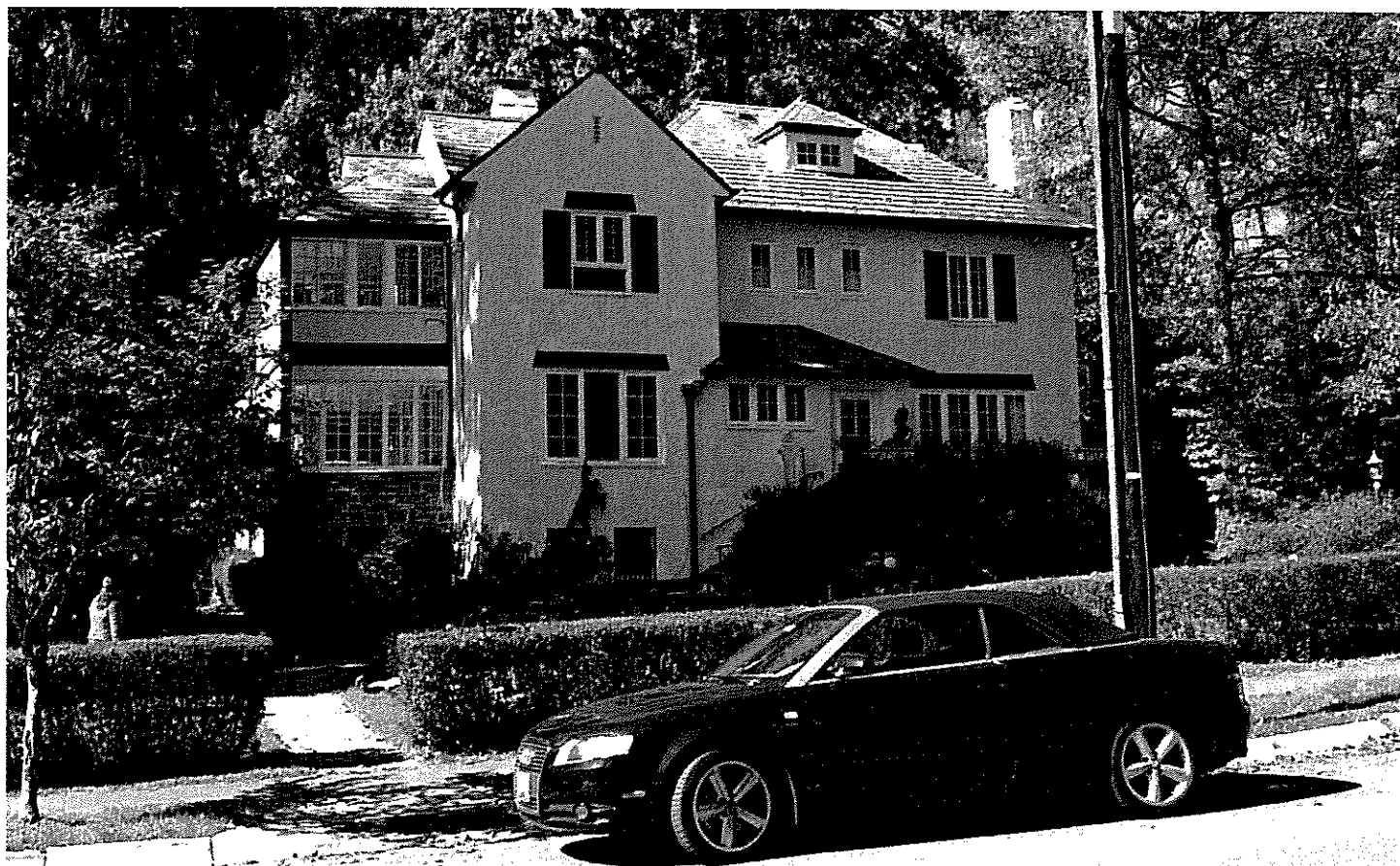
Porch piers: painted stucco or solid cedar timbers (grouping of 3)

Porch lintels and brackets: Solid cedar to match existing

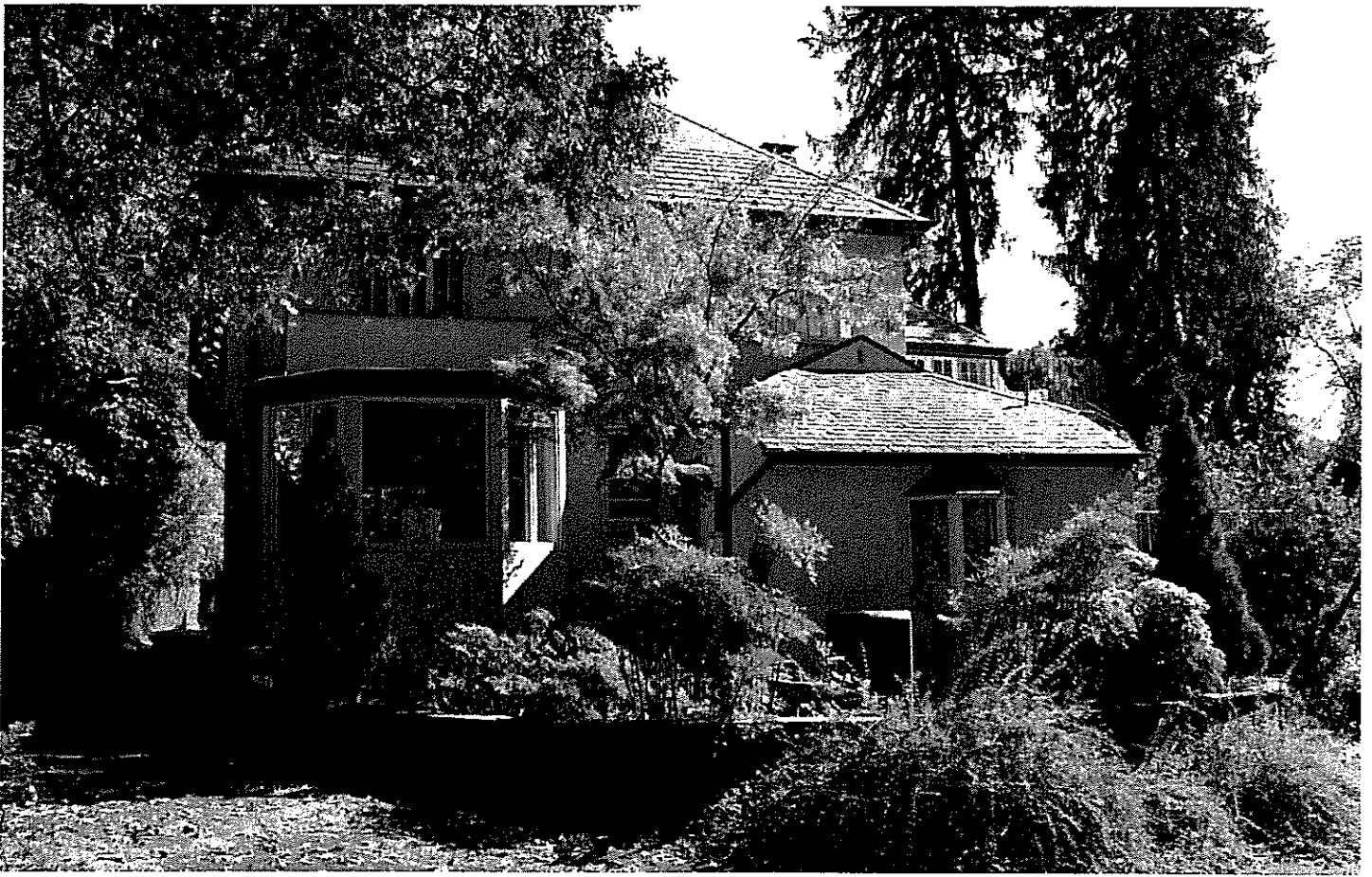
Railings: Painted metal or stained wood



Existing East elevation from Cedar Parkway



Existing East elevation from Cedar Parkway



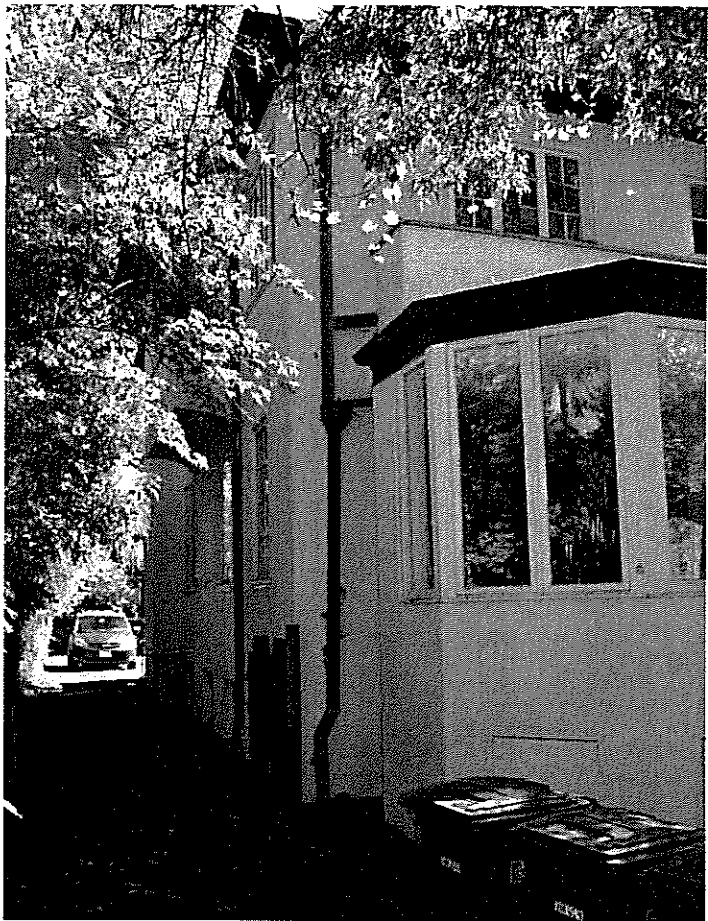
Existing West Elevation



Existing South & West elevation



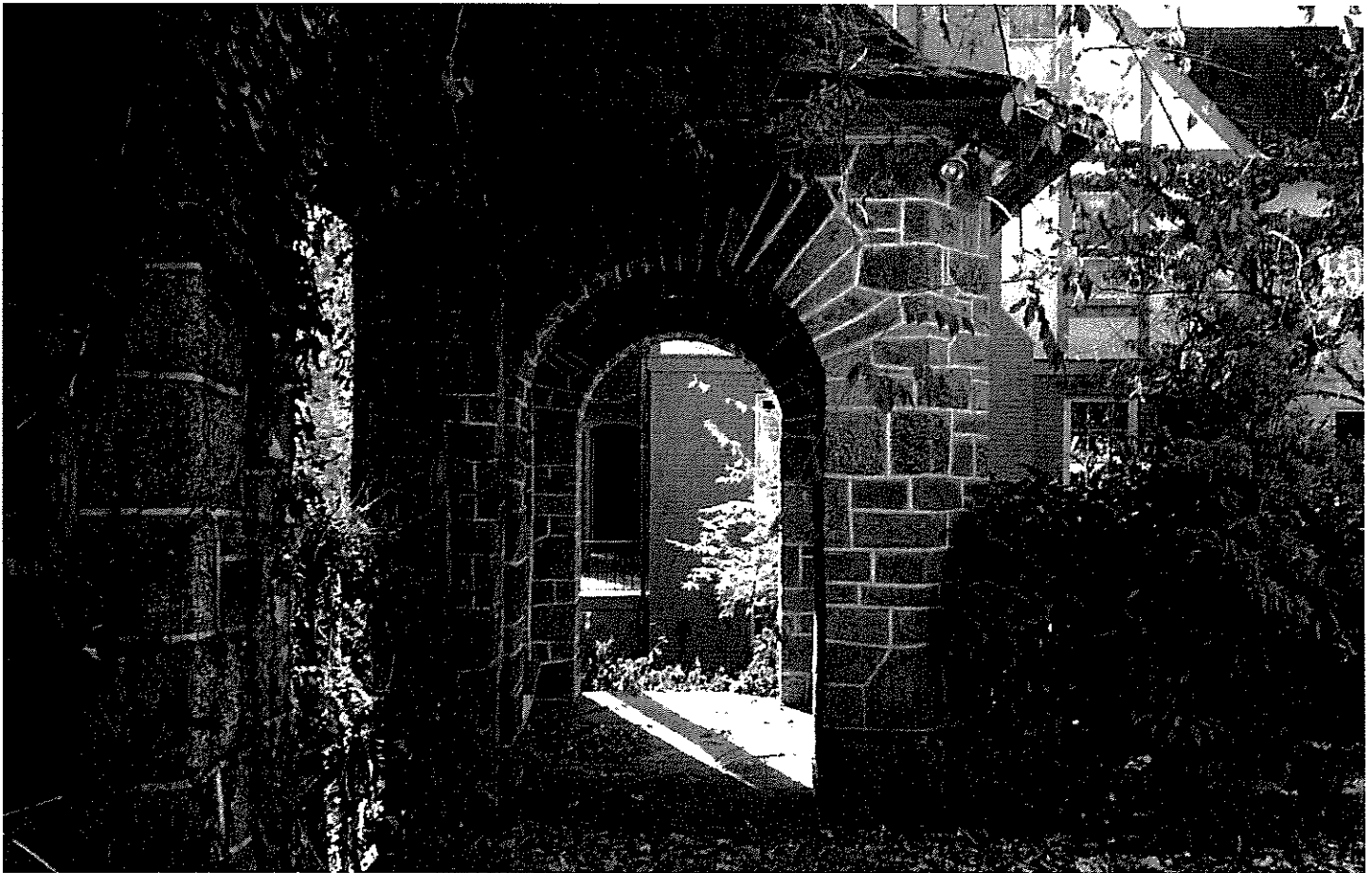
Existing North Elevation



Existing North Elevation



Existing pavilion & trellis from Cedar Parkway



Existing pavilion



Existing garage North elevation



Existing garage East elevation



Existing garage South elevation



Existing garage foundation



First Floor - East

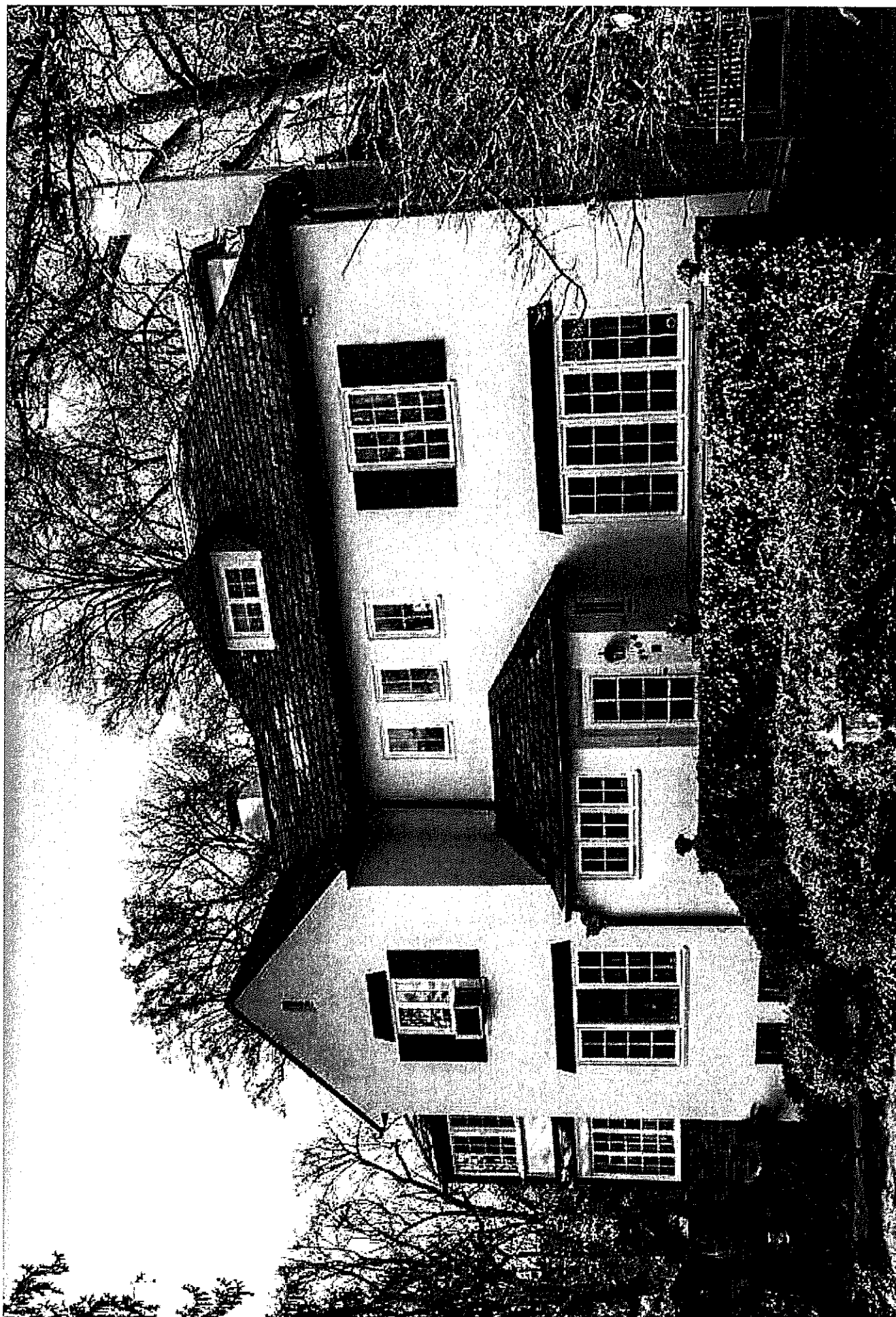
Billings-O'Neil Residence



First Floor - East

Existing Window Photos

Jones & Boer Architects



Second Floor - East



Second Floor - North

Billings-O'Neil Residence



Second Floor - West

Existing Window Photos

Jones & Boer Architects

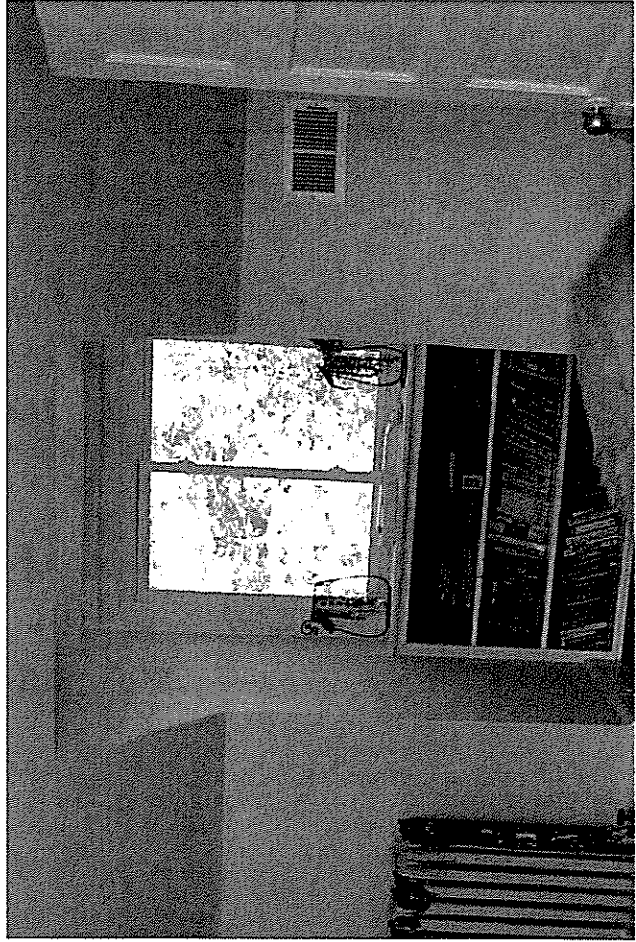


Third Floor - West

Billings-O'Neil Residence



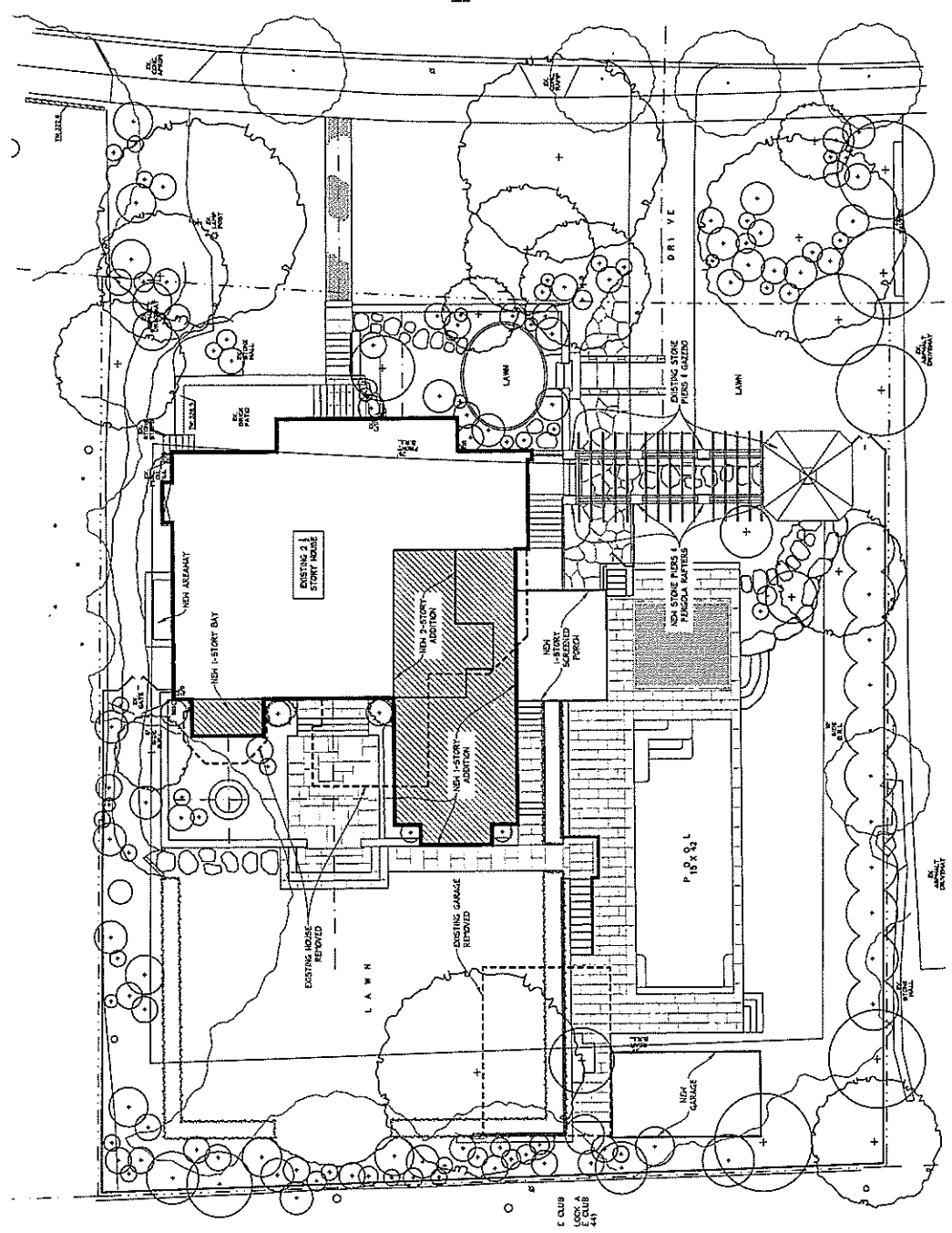
Third Floor - South



Third Floor - North

Existing Window Photos

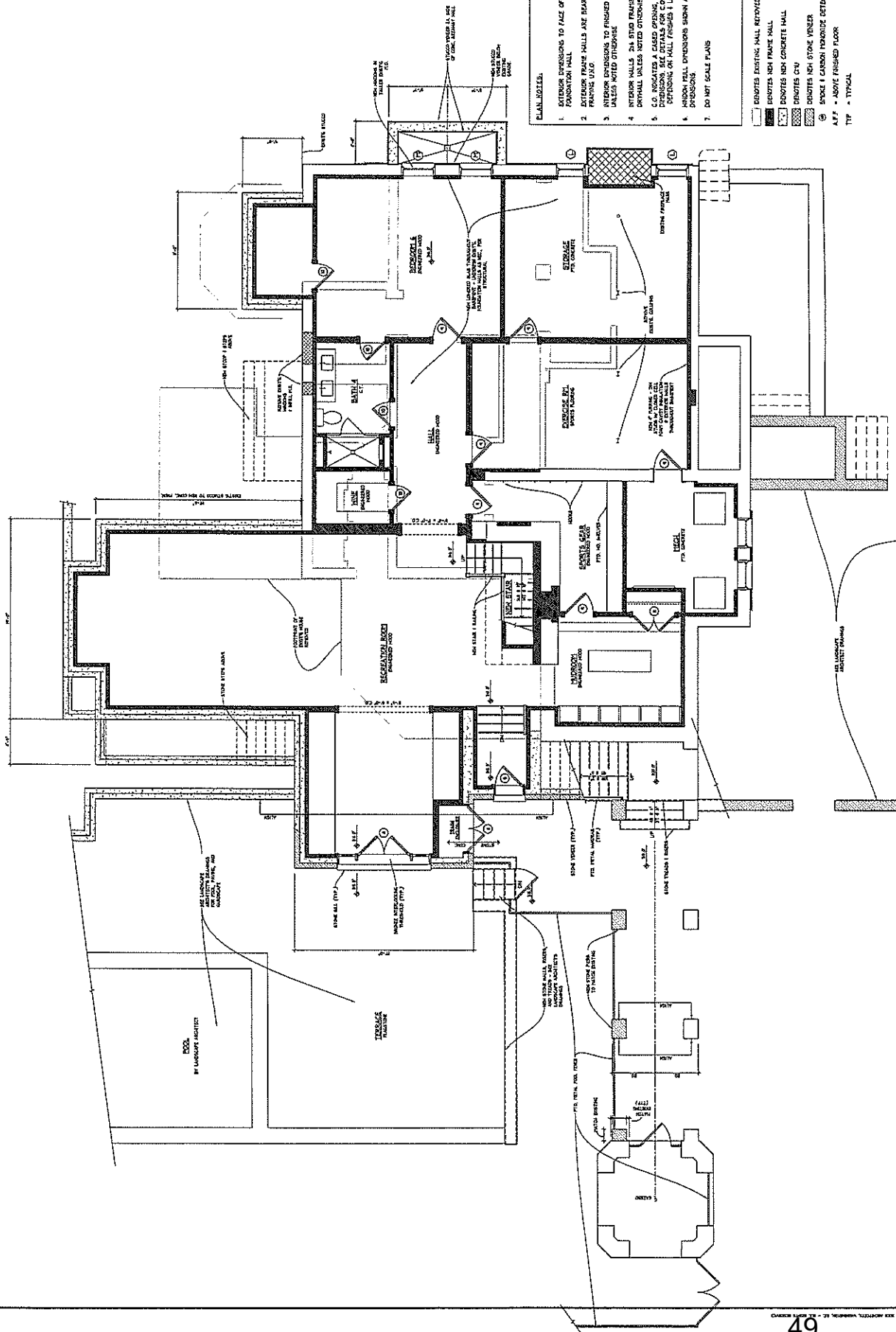
Jones & Boer Architects





- PLAN NOTES:**
1. EXISTING DIMENSIONS TO FACE OF STUCCO AND/OR FOUNDATION WALL.
 2. EXISTING FRAME WALLS ARE BEARING ON STUCCO FRAMING AND.
 3. INTERIOR DIMENSIONS TO FINISHED DETAIL UNLESS NOTED OTHERWISE.
 4. INTERIOR WALLS DO NOT FRAMING 1/2" TO FIN.
 5. C.S. INDICATES A STUCCO FINISH. FINISHED DIMENSIONS SEE DETAILS FOR C.S. TYPE. DIMENSIONS OF WALL FINISHES & LOCATION OF DIMENSIONS.
 6. HIDDEN FULL DIMENSIONS SHOWN ARE FINISHED DIMENSIONS.
 7. DO NOT SCALE PLANS.

- EXISTING WALL REMOVED
 CONCRETE WALL
 STONE VENEER
 STONE VENEER WITH CARBON MONOXIDE DETECTOR
 ABOVE FINISHED FLOOR
 ALL = TYPICAL





BILLINGS O'NEIL RESIDENCE
5901 CEDAR PARKWAY
CHRY CHASE, MD 20745

1/4" = 1'-0"

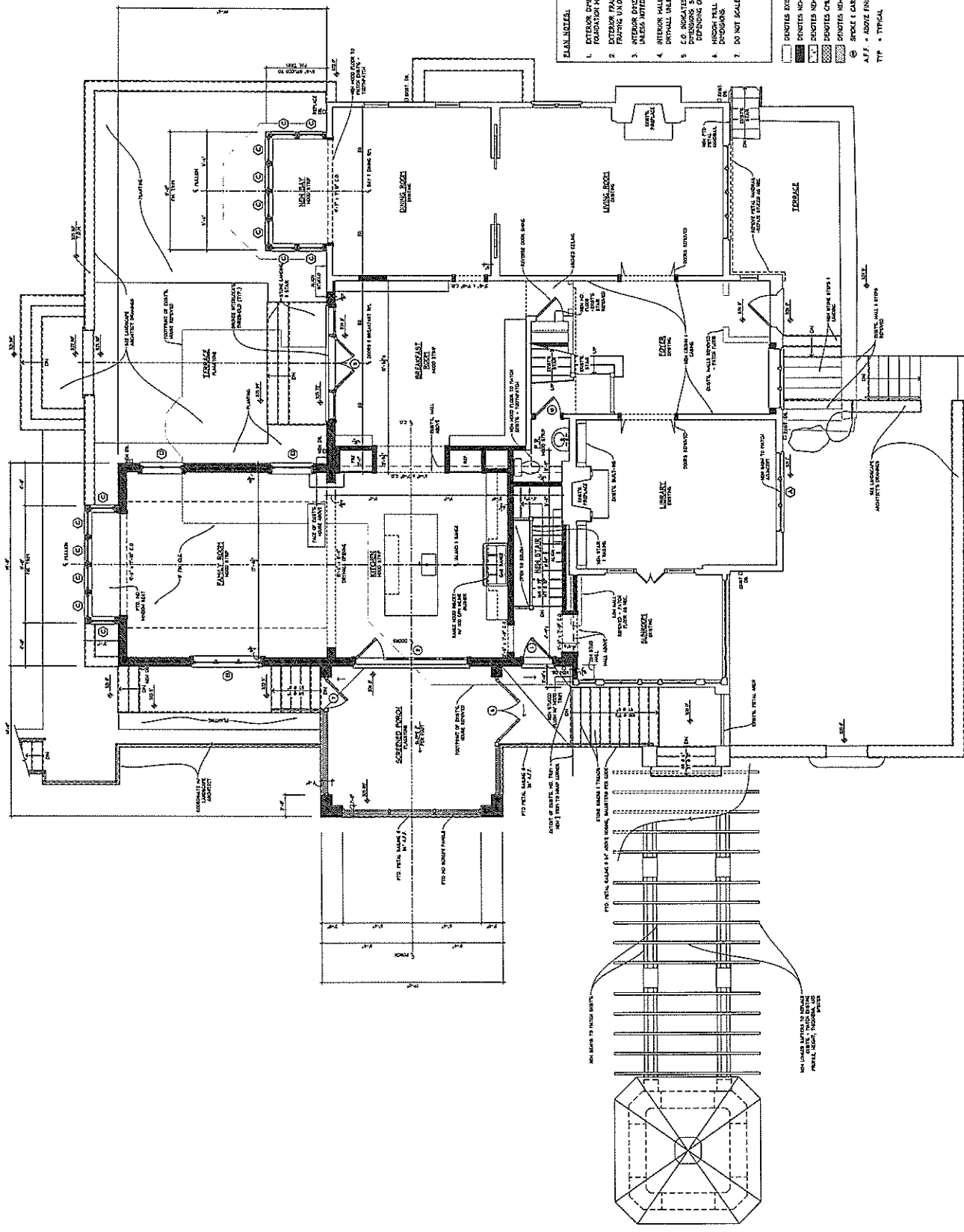
FIRST FLOOR PLAN

DATE: 07/25/2007
BY: JLB

JONES & BOER ARCHITECTS
1739 CONNORVILLE AVENUE WASHINGTON DC 20007

- PLAN NOTES**
1. EXISTING CHANGES TO FACE OF STUDIOS AND/OR FOUNDATION WALL
 2. EXISTING FRAMES WALLS ARE BEARING 2x4 STUD FRAMING UNO
 3. INTERIOR CHANGES TO FINISHED DRINKALL INTERIOR WITTED CHANGES
 4. INTERIOR WALLS 2x4 STUD FRAMING 1/2" TO FIN DRINKALL INTERIOR WITTED CHANGES
 5. C.O. LOCATES A CLOSET DRINKING, FINISHED CHANGES SEE DETAILS FOR C.O. TYPE, CHANGES ON WALL FINISHES & LOCATION
 6. INTERIOR WALL CHANGES DRINKING ARE FINISHED CHANGES
 7. DO NOT SCALE PLANS

- EXISTING WALL REMOVED
- ▨ EXISTING NON FRAME WALL
- ▨ EXISTING NON CONCRETE WALL
- ▨ EXISTING CMU
- ▨ EXISTING 10x10 STONE VENER
- ⊙ SMOKE & CARBON MONOXIDE DETECTOR
- ▲ F.F. = ABOVE FINISHED FLOOR
- TYP. = TYPICAL





BILLINGS ONEIL RESIDENCE
590 CEDAR PARKWAY
CHEVY CHASE, MD 20815

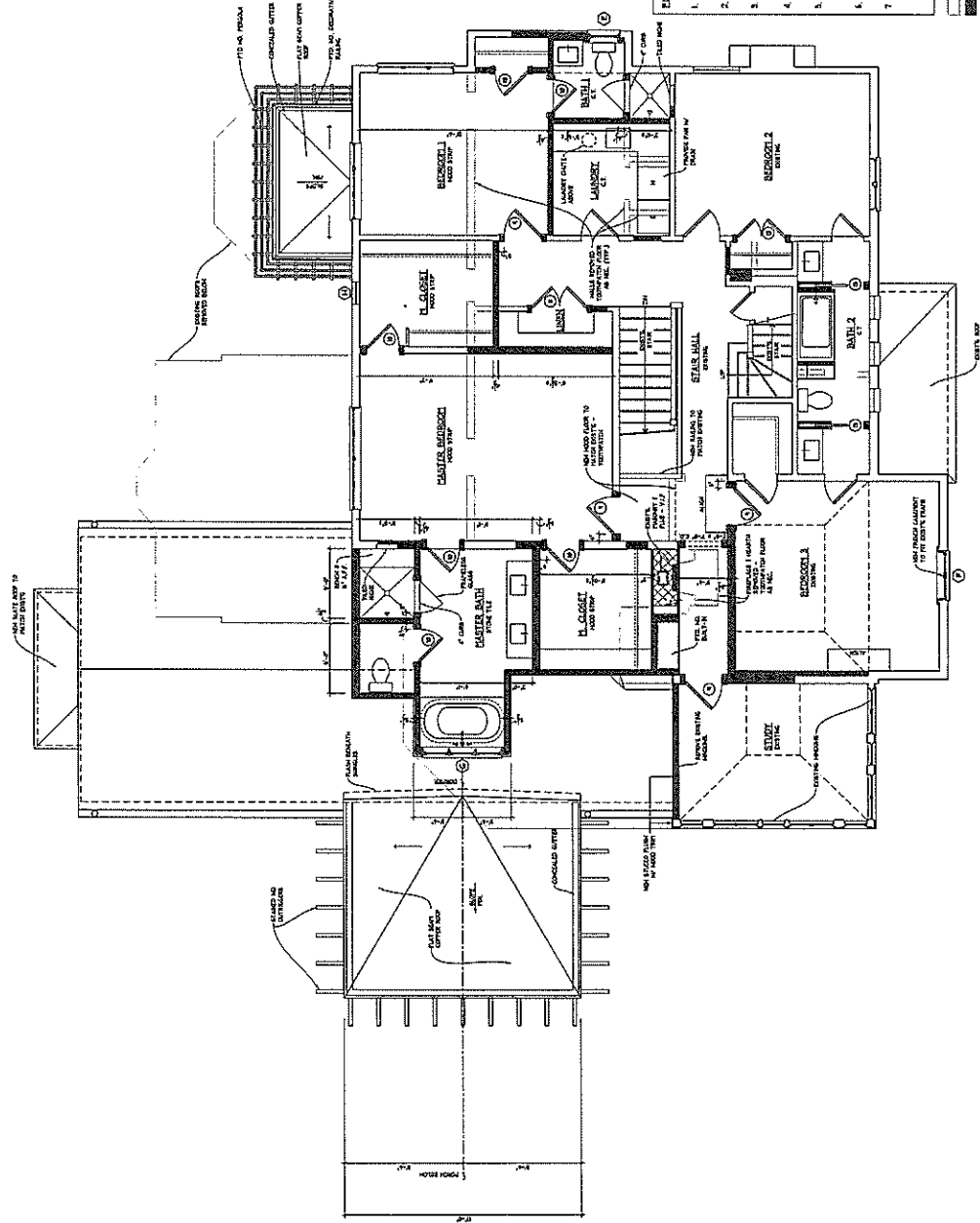
SECOND FLOOR PLAN
1/4" = 1'-0"

DATE
22 JULY 2006
BY
JES

JONES & BOER ARCHITECTS
1739 CONNOR STREET AVE NW WASHINGTON DC 20009 202 332-1100

- PLAN NOTES:**
1. EXISTING DIMENSIONS TO FACE OF STUD COLORED ANCHOR FOUNDATION WALL.
 2. EXISTING FRAME WALLS ARE BEARING ON STUD.
 3. FRAMING LING.
 4. INTERIOR DIMENSIONS TO FINISHED DRYWALL UNLESS NOTED OTHERWISE.
 5. EXISTING WALLS ON STUD FRAMING 4" TO FIN. DRYWALL UNLESS NOTED OTHERWISE.
 6. C.G. ASSUMES A CAGED ANCHOR, FINISHED DIMENSIONS SEE DETAILS FOR C.G. TYPE, DIMENSIONS ON WALL FINISHES & LOCATION, DIMENSIONS.
 7. DO NOT SCALE PLANS.

- EXISTING EXISTING WALL NOTED
- ▨ EXISTING NEW FRAME WALL
- ▩ EXISTING NEW CONCRETE WALL
- ▧ EXISTING C/W
- ▦ EXISTING NEW STORE VENTIL
- ⊙ SPIKE & CARBON MONOXIDE DETECTOR
- A.F.F. = ABOVE FINISHED FLOOR
- TYP. = TYPICAL





BILLINGS O'NEIL RESIDENCE
3901 CEDAR PARKWAY
CHEVY CHASE, M.D. 20815

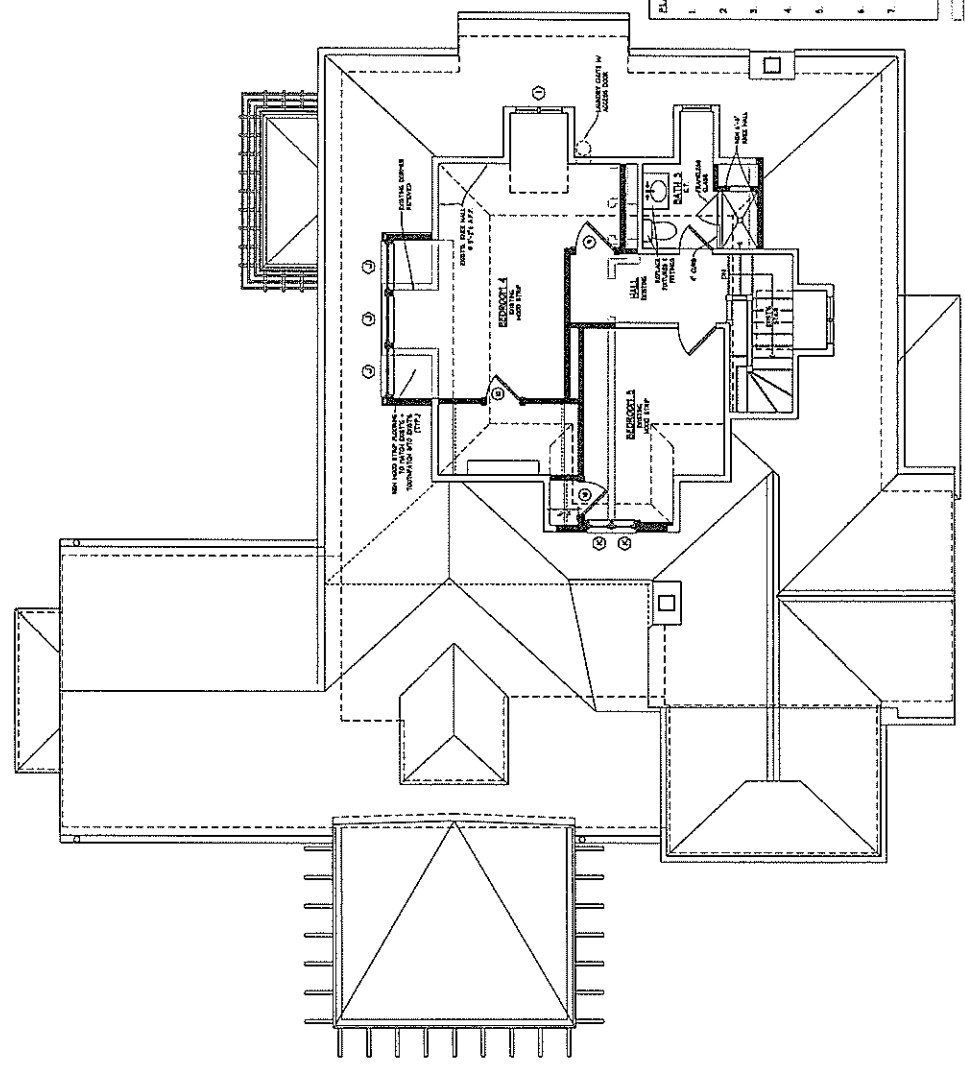
THIRD FLOOR PLAN
1/4" = 1'-0"

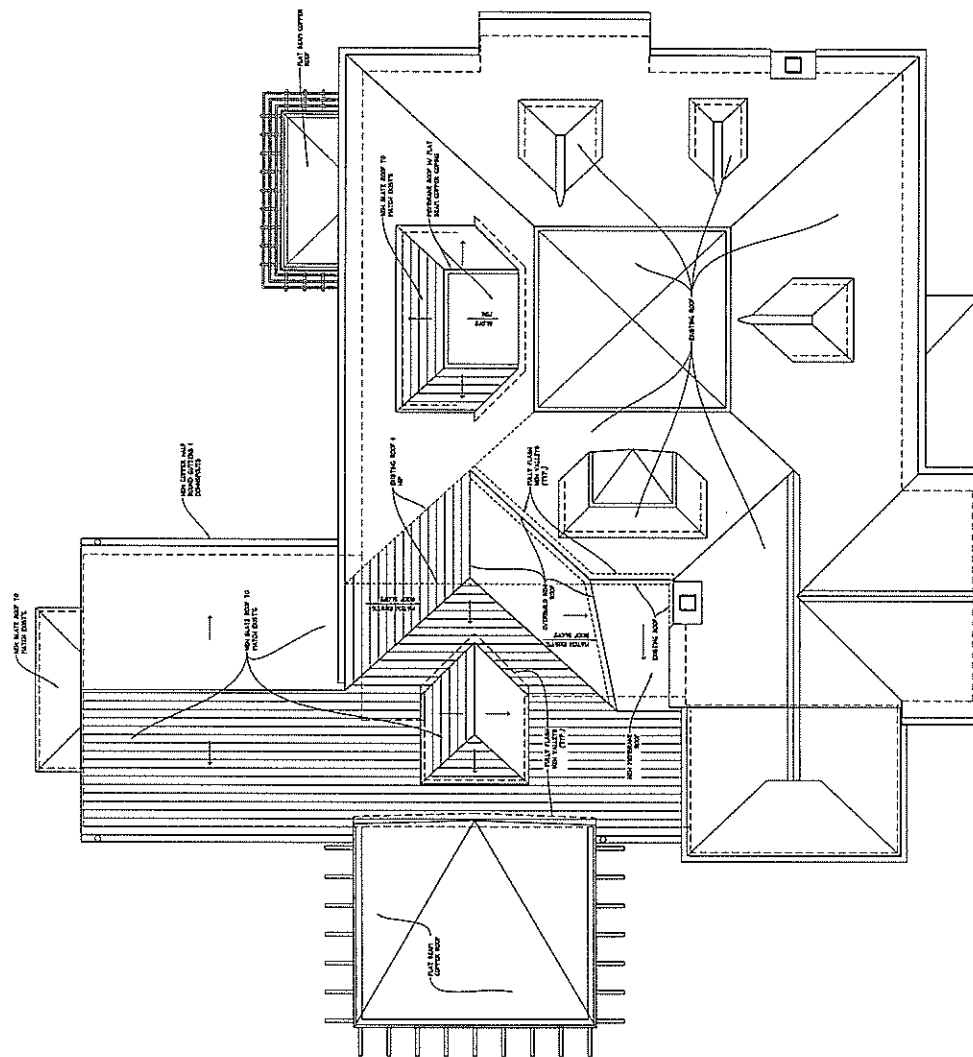
DATE: MAY 2003
RFB: JEB

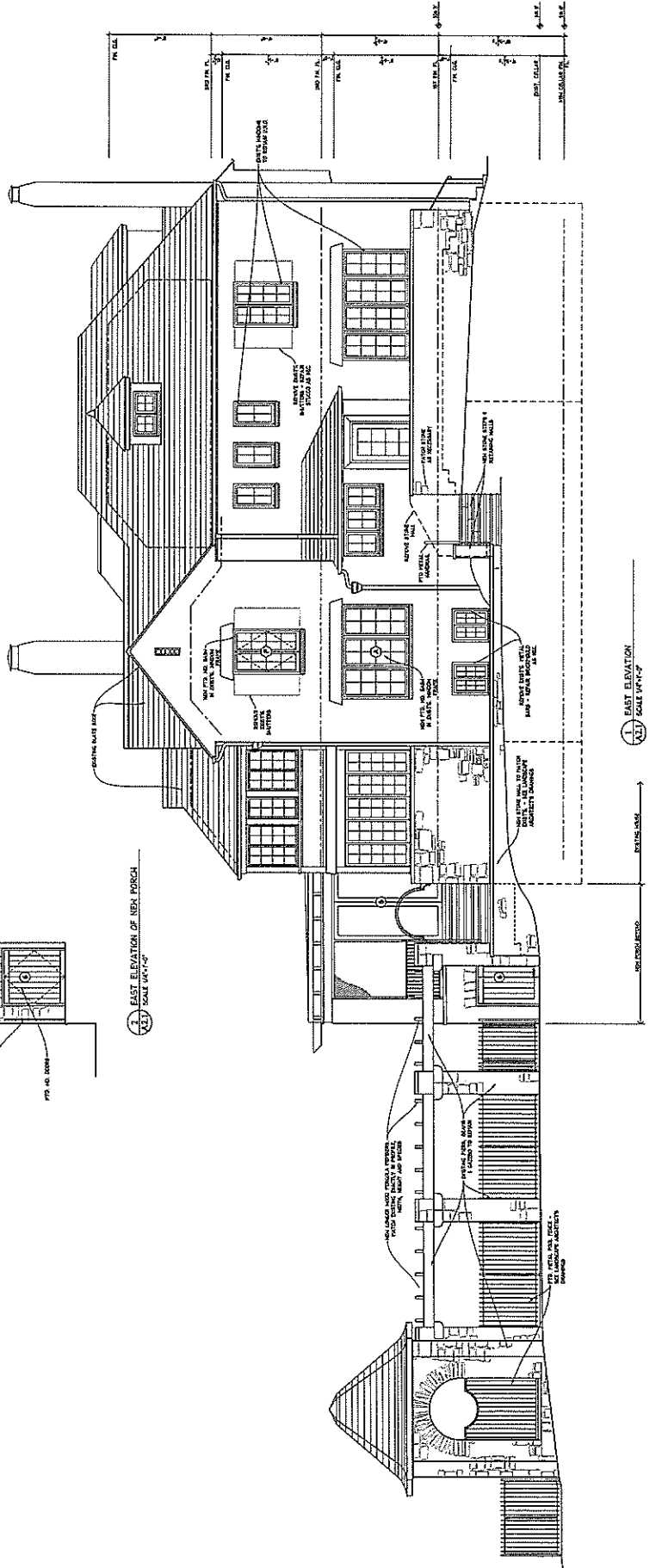
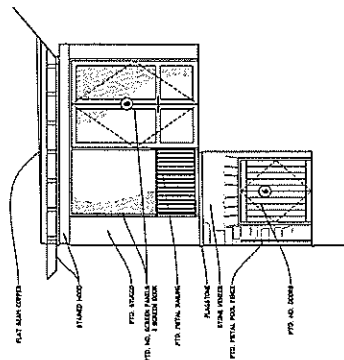
JONES & BOER ARCHITECTS
1719 CONNECTICUT AVE NW WASHINGTON DC 20009 TEL 202 338 1900

- EXPLANATORY NOTES:**
1. EXTERIOR DIMENSIONS TO FACE OF STUDDED WINDOW
 2. EXTERIOR FRAME WALLS ARE BEARING ON STUD FRAMING UNLESS NOTED OTHERWISE
 3. INTERIOR DIMENSIONS TO FINISHED DETAIL UNLESS NOTED OTHERWISE
 4. INTERIOR WALLS: 2x4 STUD FRAMING, 1/2" TO FIN DETAIL UNLESS NOTED OTHERWISE
 5. C.O. INDICATES A CASED WINDOW, FINISHED DIMENSIONS SEE DETAILS FOR C.O. TYPE. DIMENSIONS ON WALL FINISHES & LOCATION.
 6. WINDOW WALL DIMENSIONS SHOWN ARE FINISHED DIMENSIONS
 7. DO NOT SCALE PLANS

- EXISTING WALL REMOVED
- ▨ EXISTING NON-FRAME WALL
- ▩ EXISTING NON-CONCRETE WALL
- ▧ EXISTING CMU
- ▦ EXISTING NON-STONE VENEER
- ⊙ SMOKE / CARBON MONOXIDE DETECTOR
- ▲ FF = ABOVE FINISHED FLOOR
- TYP = TYPICAL







WINDOW SCHEDULE

BTL, PM Size (mm) U.A.G.	TYPE	REMARKS
EXTENSION		
① 2'-6" X 7'-0"	PTD. NO. 6 GLASS DOOR	ARCH TOP
② 4' 3" X 7'-0"	PTD. NO. 8 GLASS DOORS	4-PANEL W/ PASSAGE DOOR
③ PM. 2'-6" X 7'-10" W/	PTD. NO. 3 GLASS FRENCH DOORS	
(2) 3'-6" X 7'-10" SIDE/LITS	8 SIDE/LITS	
④ PM. 2'-6" X 7'-0" W/	PTD. NO. 4 GLASS FRENCH DOORS	
(2) 1'-7" X 7'-0" SIDE/LITS	8 SIDE/LITS	
⑤ PM. 2'-6" X 4'-8"	PTD. NO. 4 GLASS DOOR	
⑥ PM. 2'-2" X 5'-0"	PTD. NO. DOORS	TRASH ENCLOSURE DOORS
⑦ 2'-10" X 5'-0"	PTD. NO. SCREEN DOOR	SCHEDULED PORCH DOORS
⑧ PM. 3'-0" X 5'-10"	PTD. NO. SCREEN DOORS	SCHEDULED PORCH DOORS

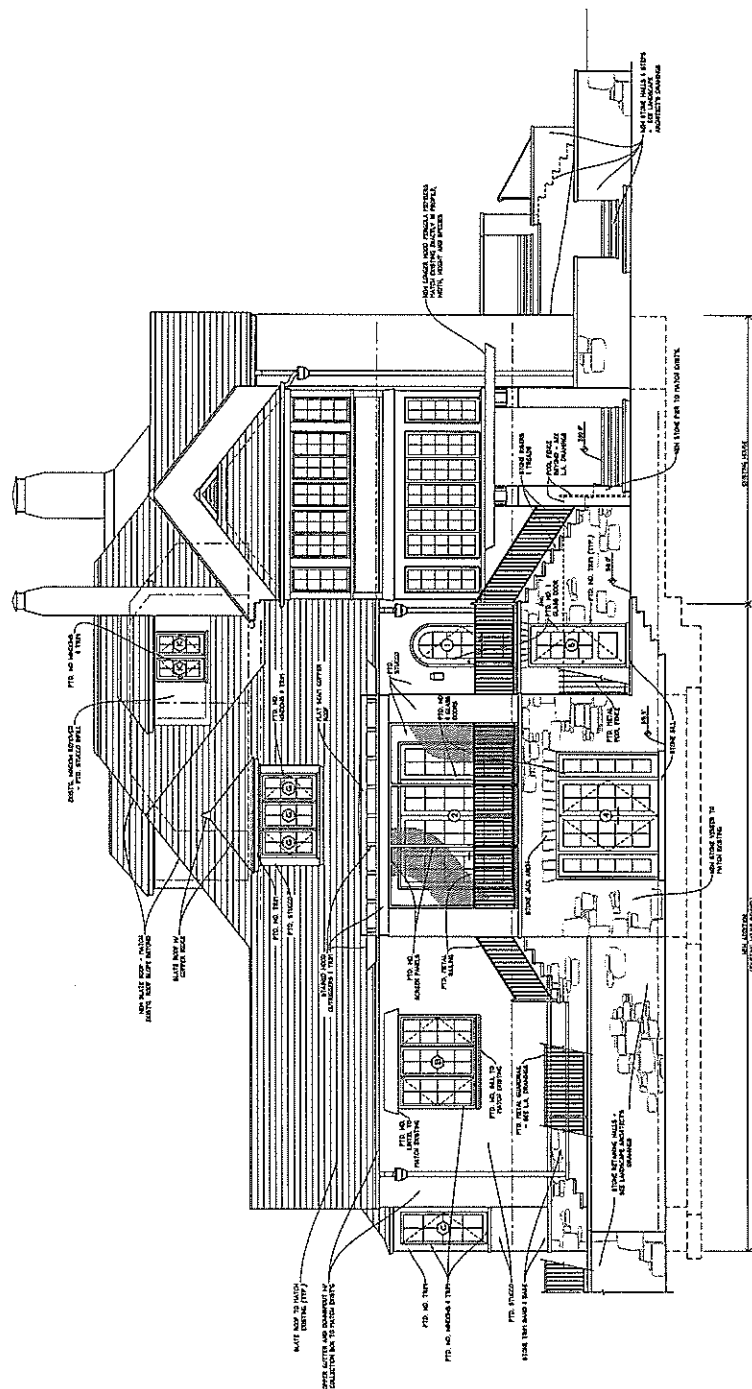
Results

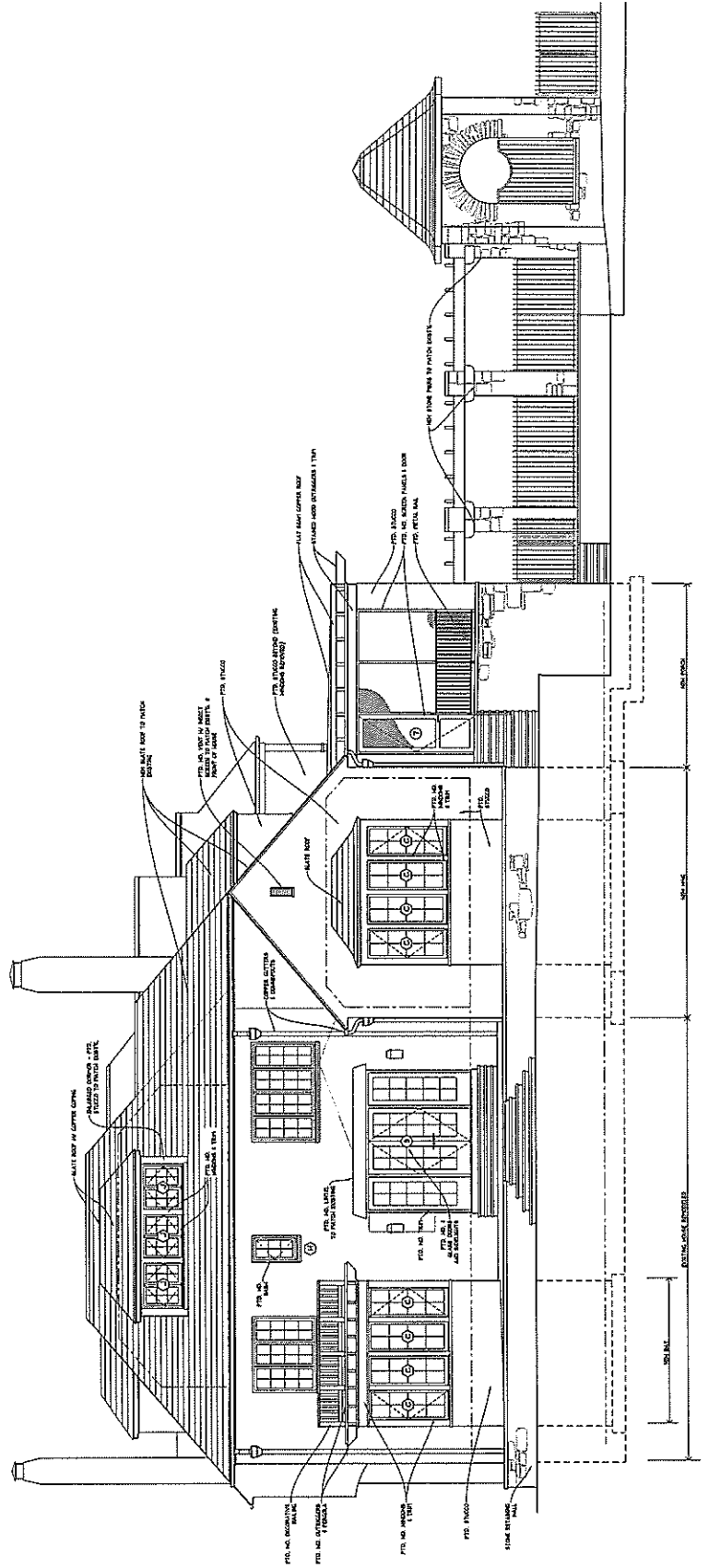
- SEE ELEVATIONS FOR PANELS & MURTHIN PATTERNS
- PROVIDE SAFETY GLASS WHERE REQUIRED BY CODE
- PROVIDE BRONZE INTERLOCKING THRESHOLDS @ EXTERIOR DOORS
- ALL EXTERIOR DOORS TO BE $2\frac{1}{2}"$ THICK
- INTERIOR DOORS TO BE $1\frac{3}{4}"$ THICK TRUSTILE T.O.B.
- ALL PENETRATION TO HAVE MAX. U-FACTOR = 0.25, MAX SAGE =
- MURTHIN PROFILE & MURTHIN TO MATCH EXISTING

[illegible]

1

- NOTES:
- MANUFACTURER #S LISTED ARE LEASEE U.N.O.
 - SEE ELEVATIONS FOR MARTIN PATTERNS
 - PROVIDE SAFETY GLASS WHERE REQUIRED BY CODE
 - ALL PENETRATION TO HAVE MAX. U-Factor = 0.35, MAX SAGC = 0.40
 - MARTIN PROFILE 4" WIDTH TO MATCH EXISTING
 - SEE PLANS & ELEVATIONS FOR FIXED WINDOW LOCATIONS
 - ALL PENETRATIONS WILL BE CERTIFIED AND LABELED IN ACCORDANCE WITH NFRC



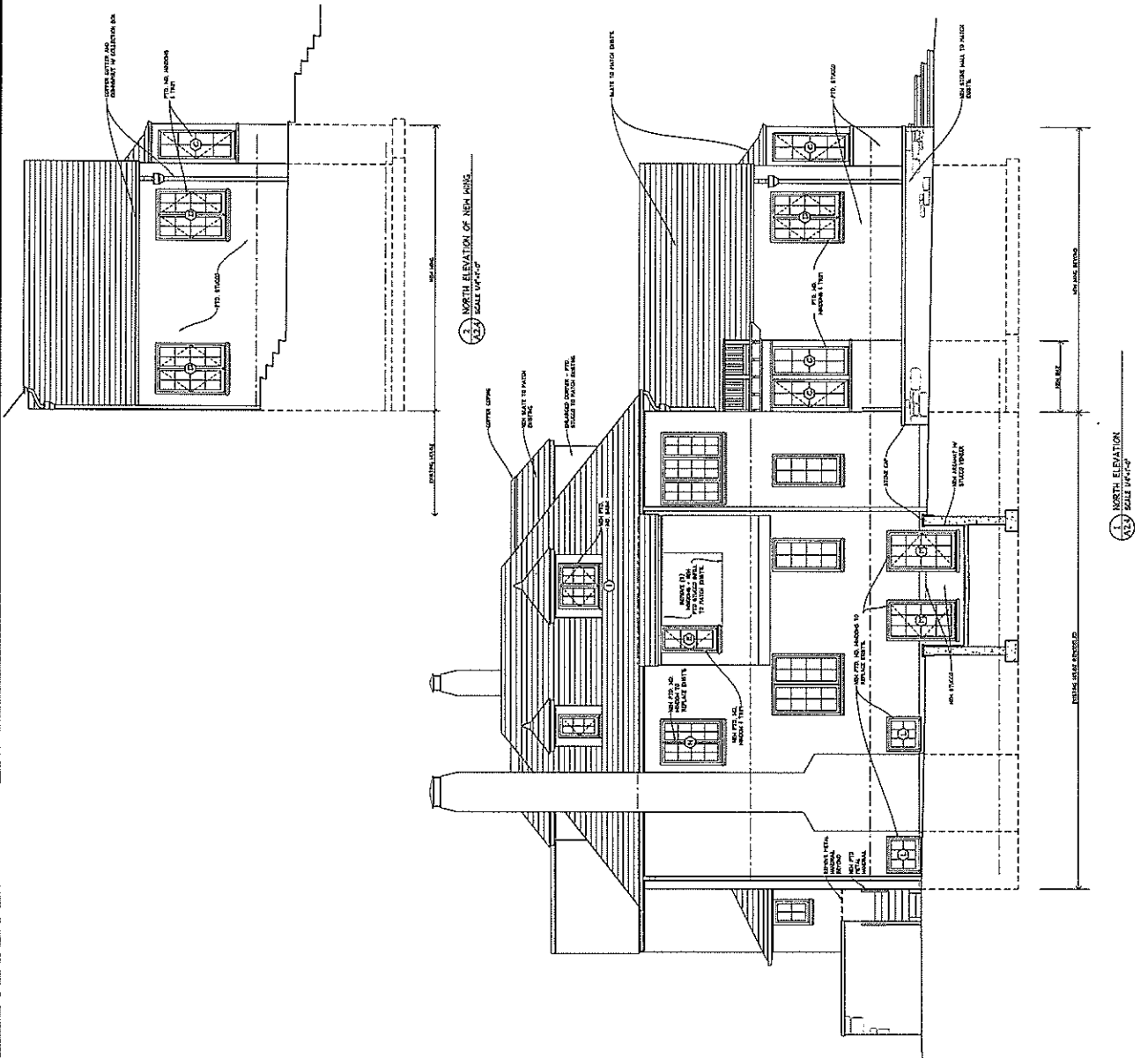


BILLINGS O'NEIL RESIDENCE
5001 CEDAR PARKWAY
CHERRY CHASE, MD 20815

NORTH ELEVATION
1/4" = 1'-0"

DATE: 23 JULY 2015
HPC SET

JONES & BOER ARCHITECTS
1739 CONNECTICUT AVE NW WASHINGTON DC 20009 202-333-1200



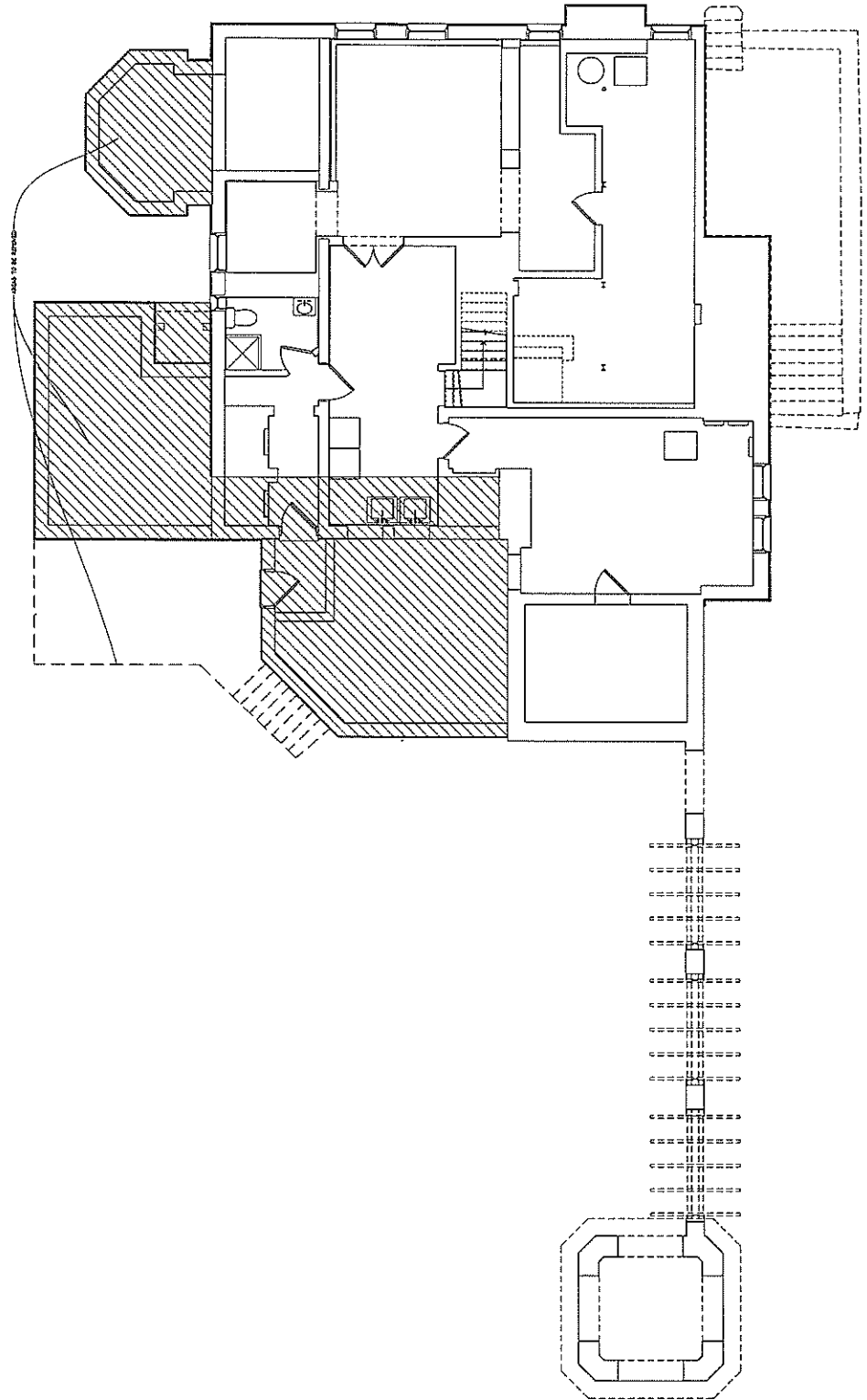


BILLINGS O'NEIL, RESIDENCE
3804 CEDAR PARKWAY
CHEVY CHASE, MD 20815

EXISTING CELLAR FLOOR PLAN
1/4" = 1'-0"

DATE: 08/01/2008
BY: JAB

JONES & BOER ARCHITECTS
1791 CONNECTICUT AVE NW WASHINGTON DC 20009 202-393-1300



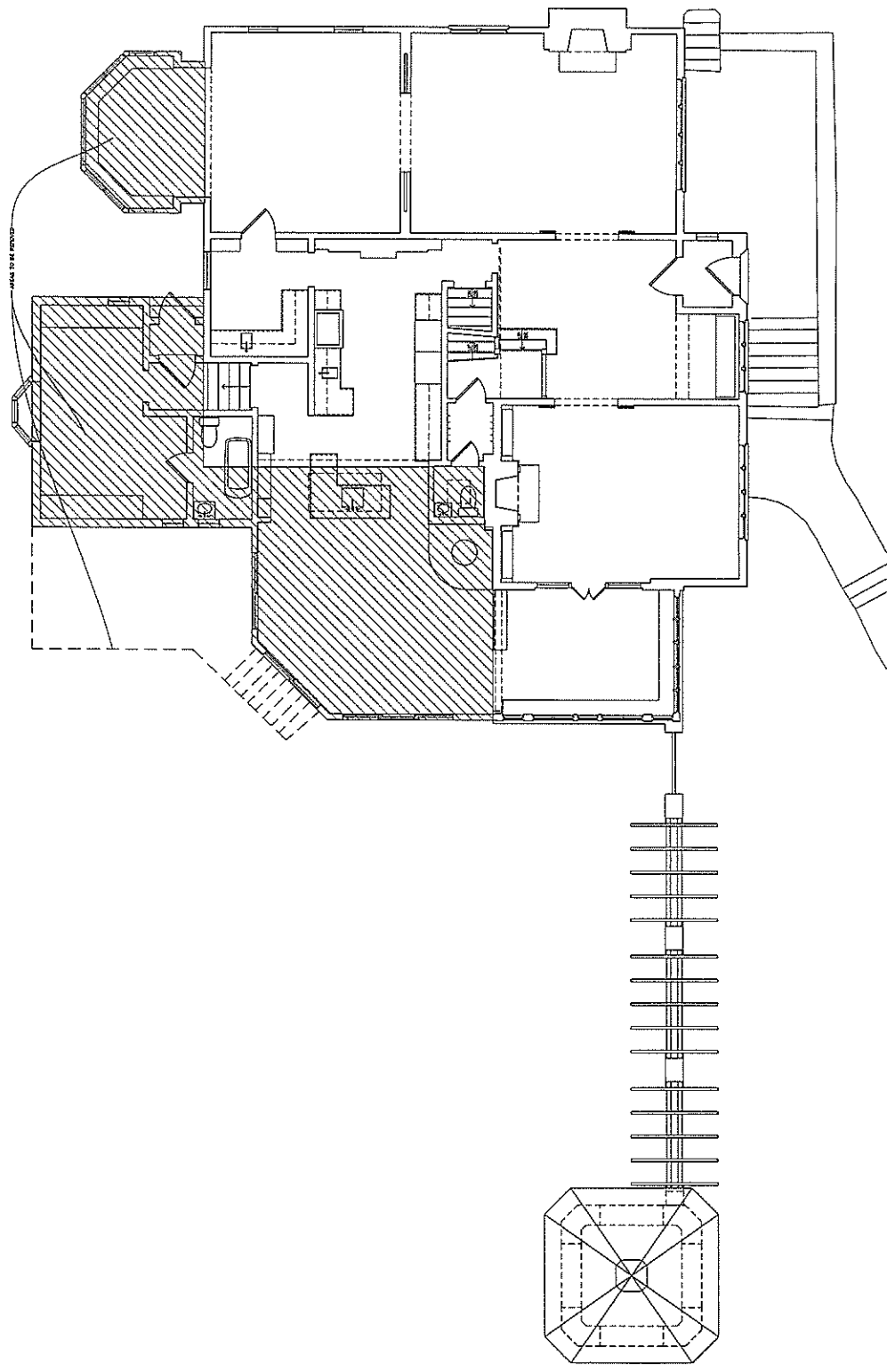


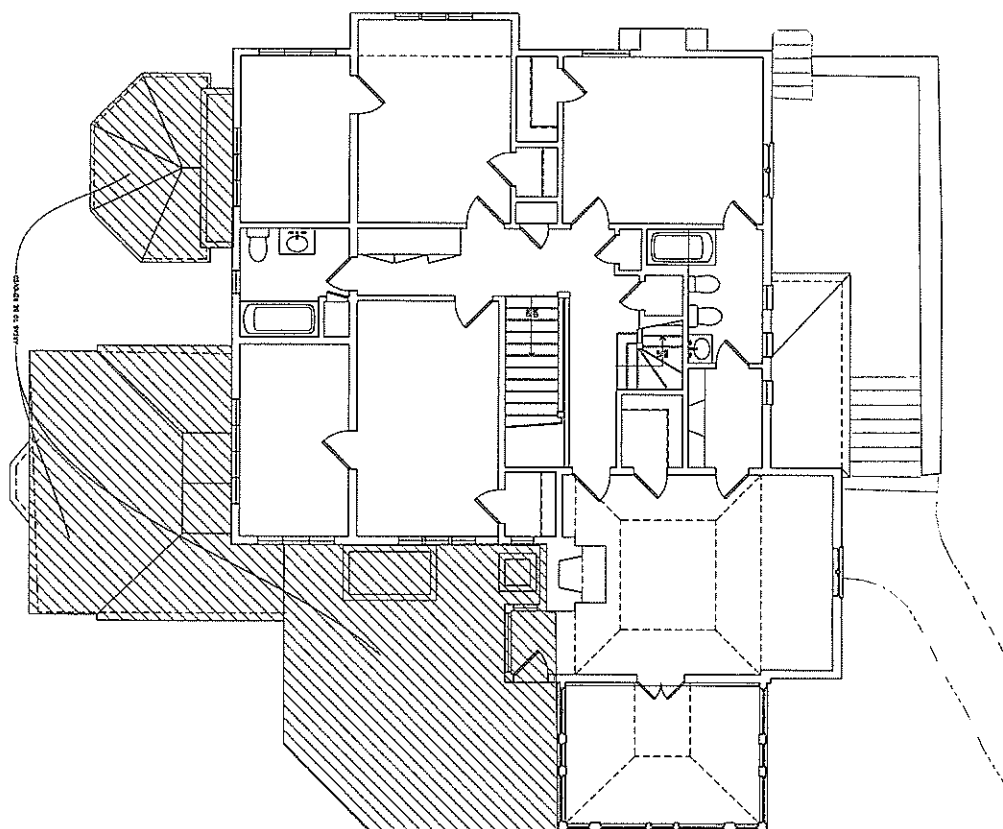
BILLINGS O'NEIL RESIDENCE
8901 CEDAR PARKWAY
CHEVY CHASE, MD 20815

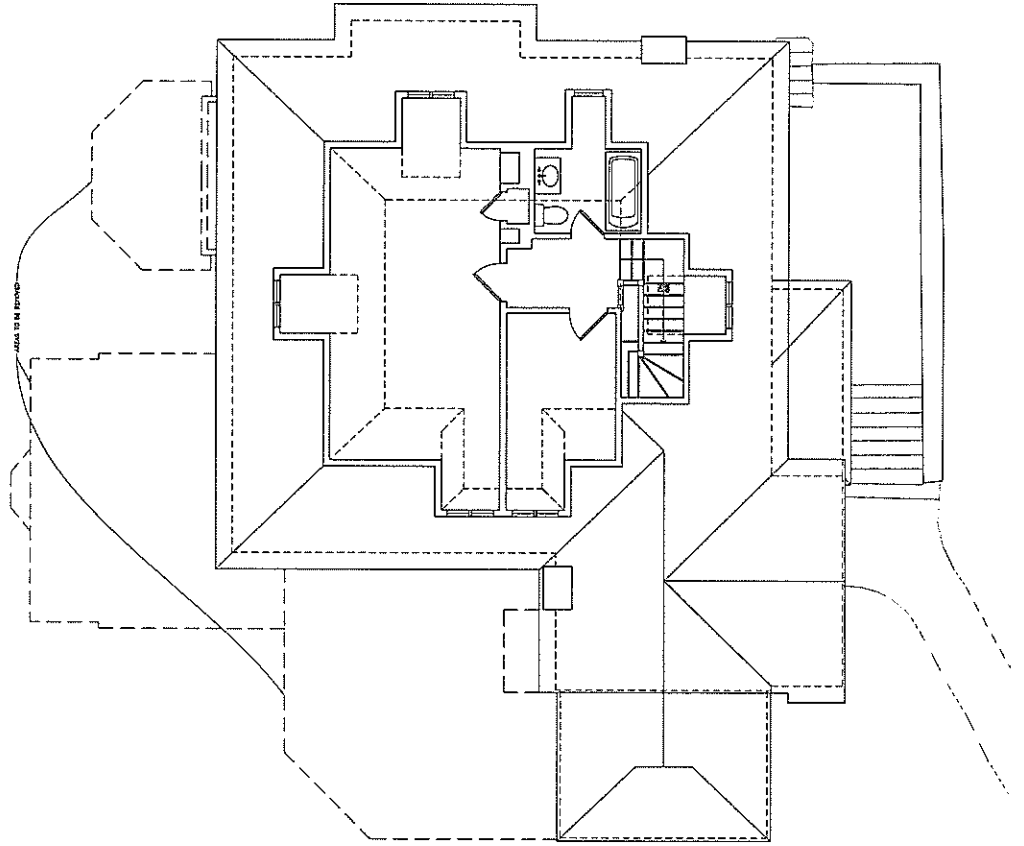
EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

DATE
23 JULY 2008

JONES & BOER ARCHITECTS
1779 CONNELL AVENUE NW WASHINGTON DC 20009 202-337-1300









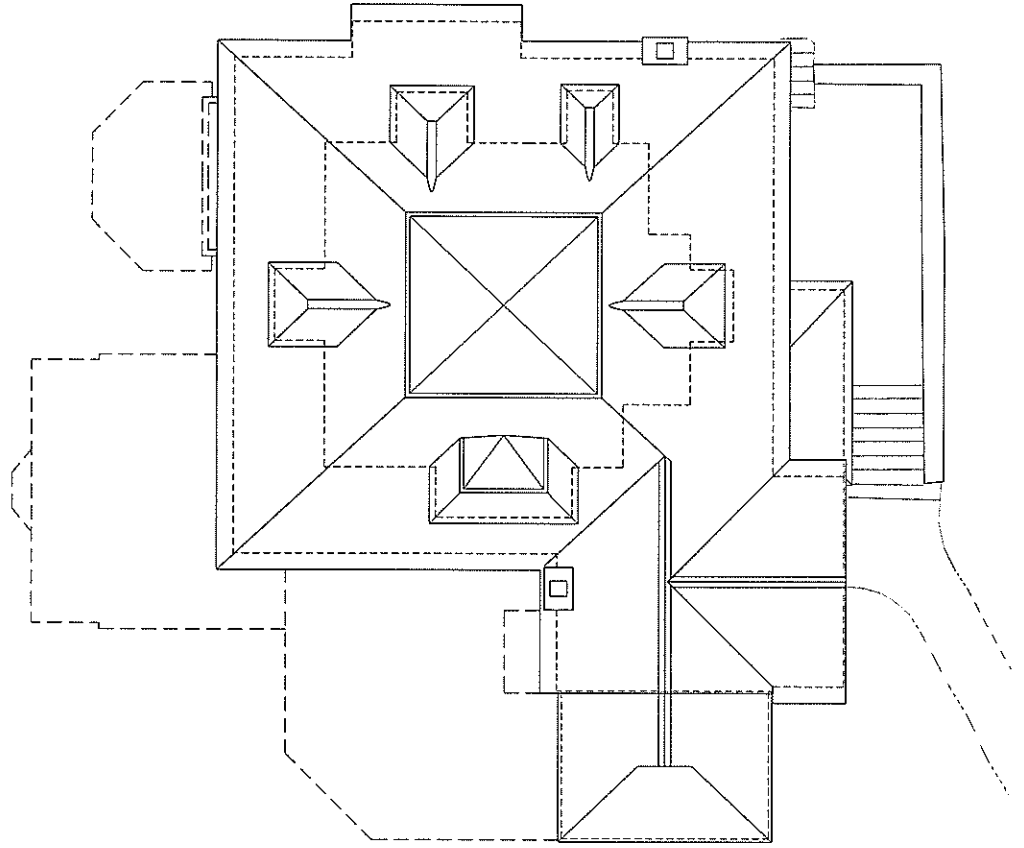
EX1.5

BILLINGS O'NEIL RESIDENCE
3909 CEDARS PARKWAY
CITY OF CHASE, MD 20815

EXISTING ROOF PLAN
1/4" = 1'-0"

DATE
25 JULY 2008

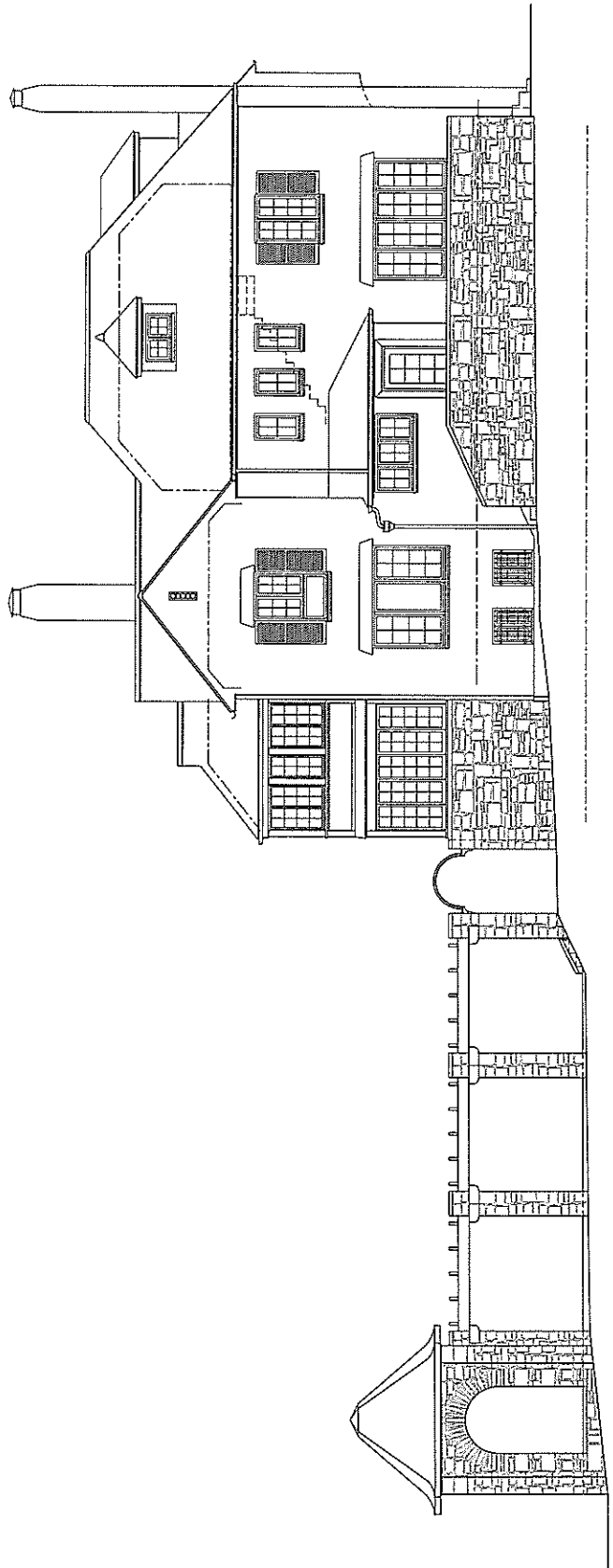
JONES & BOER ARCHITECTS
1779 CONNECTICUT AVE NW WASHINGTON DC 20009 202-337-1300

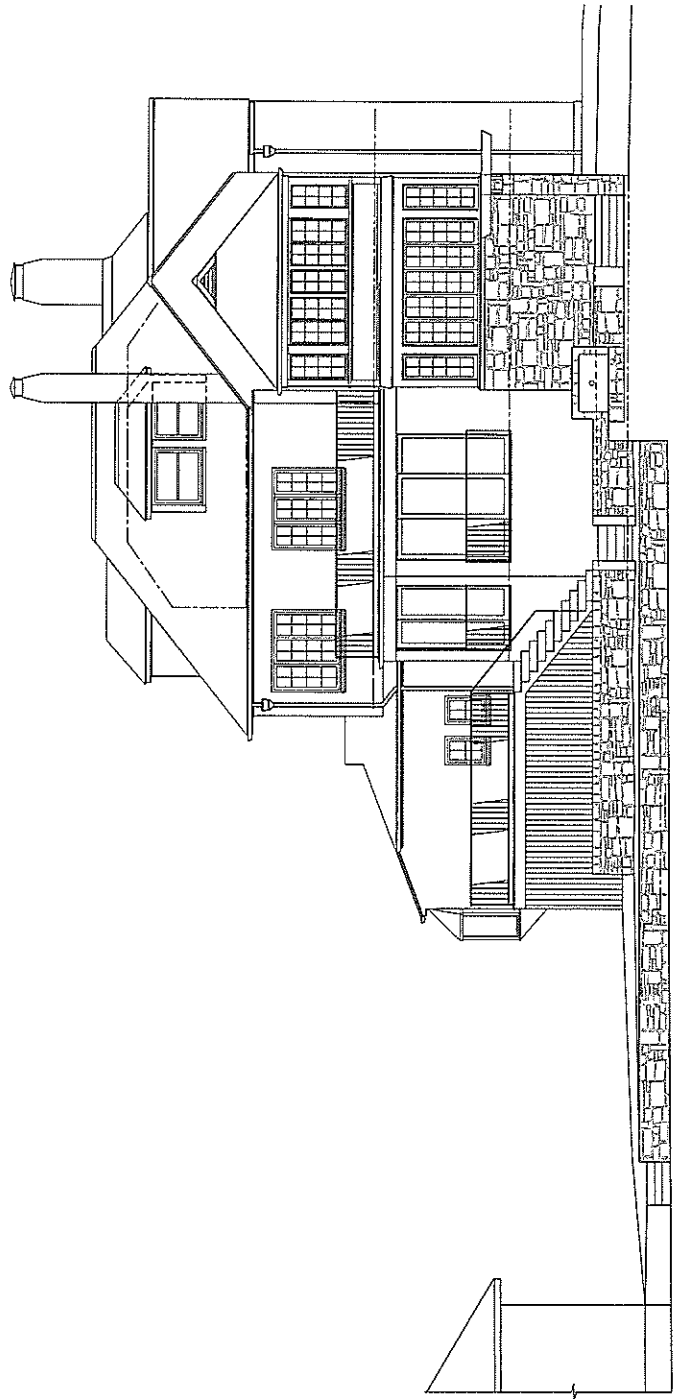


BILLINGS O'NEIL RESIDENCE
3909 CEDAR PARKWAY
CHRY CHASE, MD 20715

EXISTING, EAST ELEVATION
1/4" = 1'-0"

DATE: 08 JULY 2004
BY: JTB
JONES & BOER ARCHITECTS
1779 CONNECTICUT AVE NW WASHINGTON DC 20039 202-322-1300



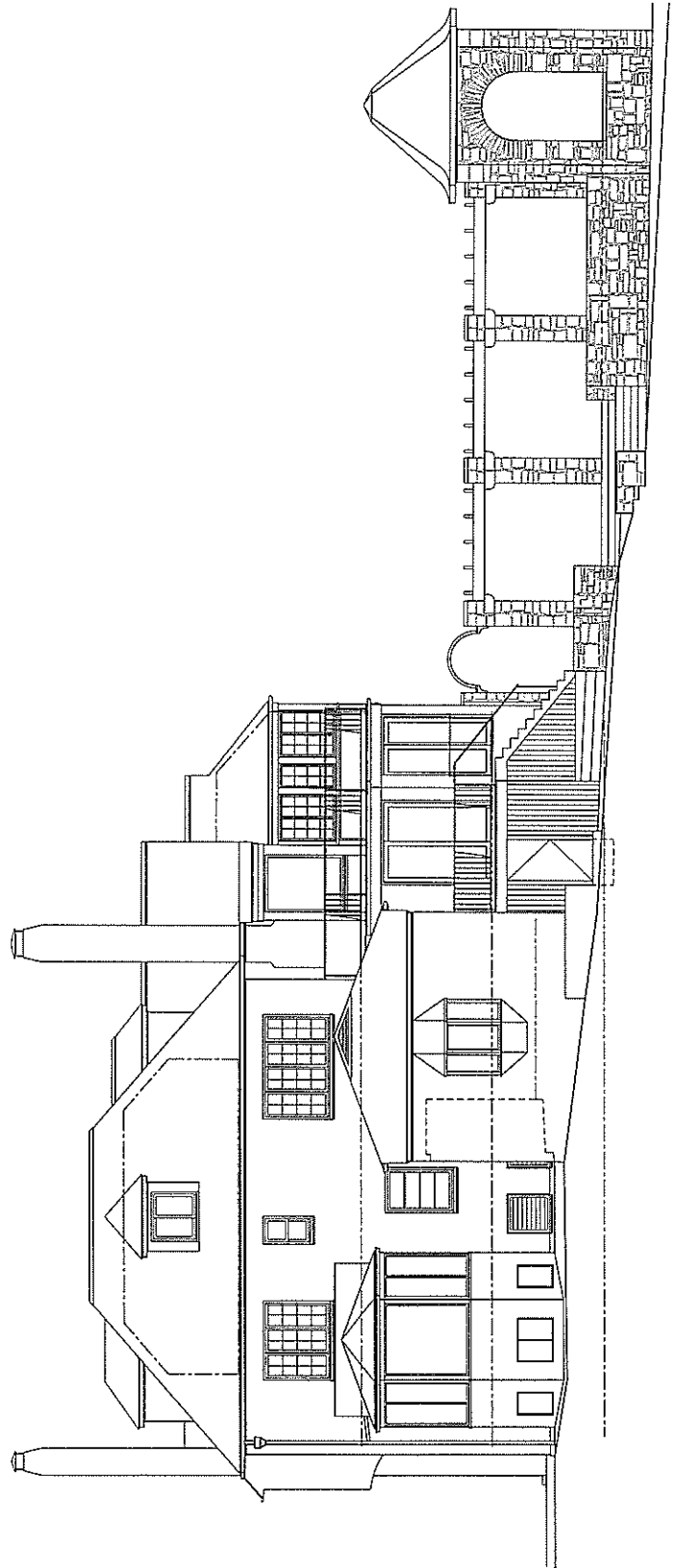


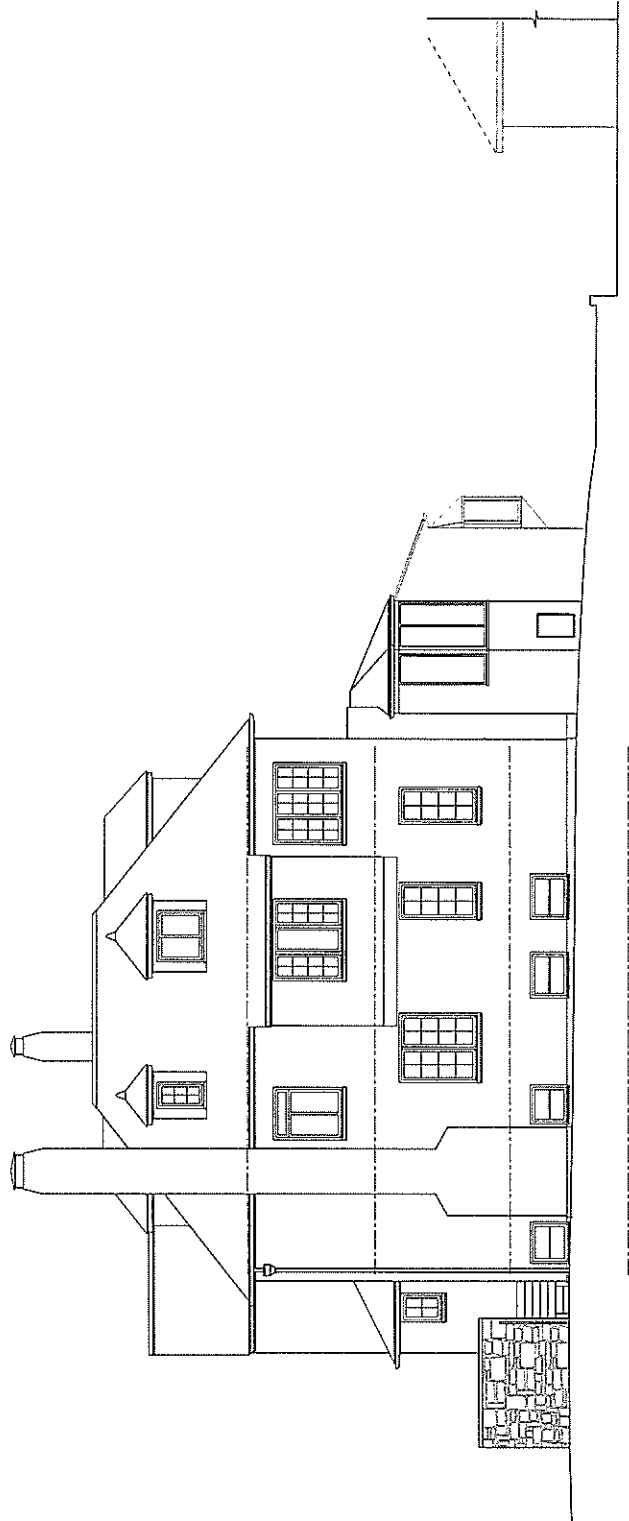
BILLINGS O'NEIL RESIDENCE
5501 CEDAR PARKWAY
CHERRY CHASE, MD 20815

EXISTING, WEST ELEVATION
1/4" = 1'-0"

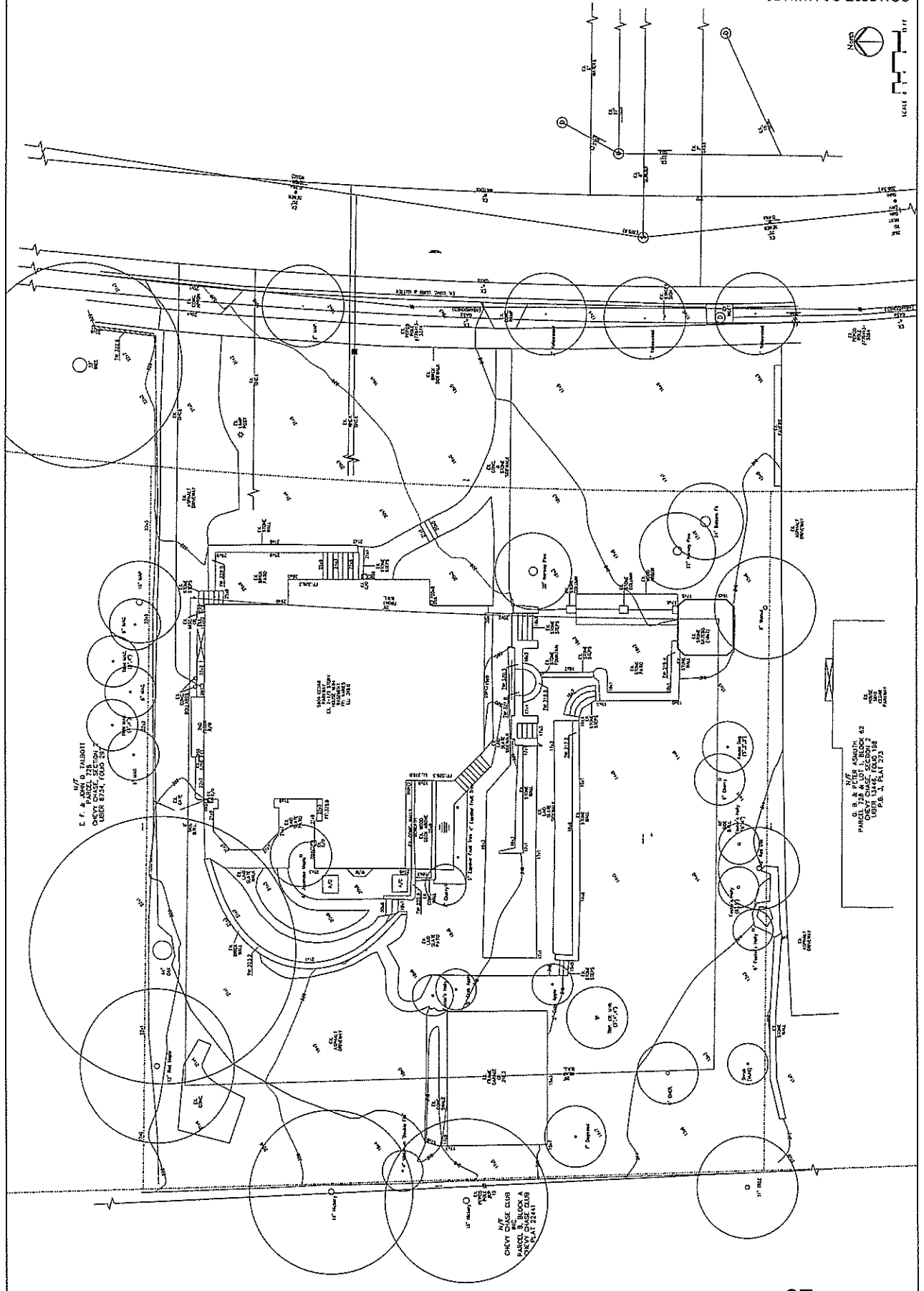
DATE
24
12/11/2009

JONES & BOER ARCHITECTS
12711 CONNOR STREET AVE NW WASHINGTON DC 20009 202.539.1920





CONCEPT DRAWINGS

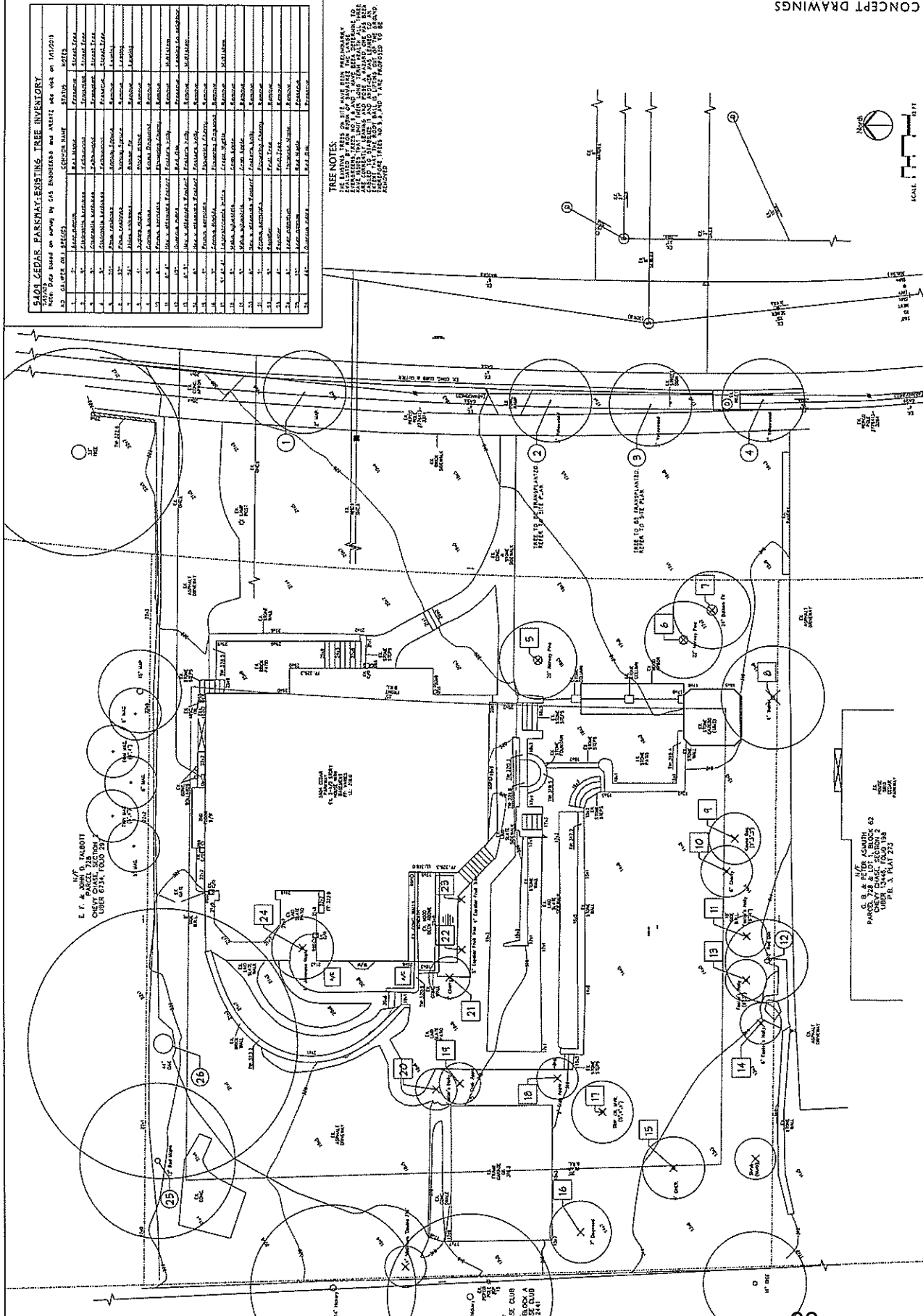
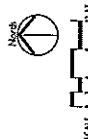


U. S. & FIDELITY ASSURANCE
PARCEL 728 & LOT 1, BLOCK 62
CHEVY CHASE, SECTION 2
LIGER 13446, FOLIO 198
P.B. 3, PLAT 273

E. F. & JOHN D. TALBOTT
PARCEL 728
CHEVY CHASE, SECTION 2
USER 8734, FOLIO 29

N/F
CHEWY CHASE CLUB
PAC.
PARCEL 8, BLOCK A
CHEWY CHASE CLUB
PLAT 22441

CONCEPT DRAWINGS



TREE NOTES:

THE LISTED TREES ON THIS PLAN HAVE BEEN FIELD-INSPECTED AND FOUND TO BE IN GOOD HEALTH AND WORTHY OF PRESERVATION. THE TREES ARE TO BE REMOVED TO ALLOW FOR THE CONSTRUCTION OF THE PROPOSED DRIVEWAY AND PORCH. THE TREES ARE TO BE REMOVED TO ALLOW FOR THE CONSTRUCTION OF THE PROPOSED DRIVEWAY AND PORCH. THE TREES ARE TO BE REMOVED TO ALLOW FOR THE CONSTRUCTION OF THE PROPOSED DRIVEWAY AND PORCH.

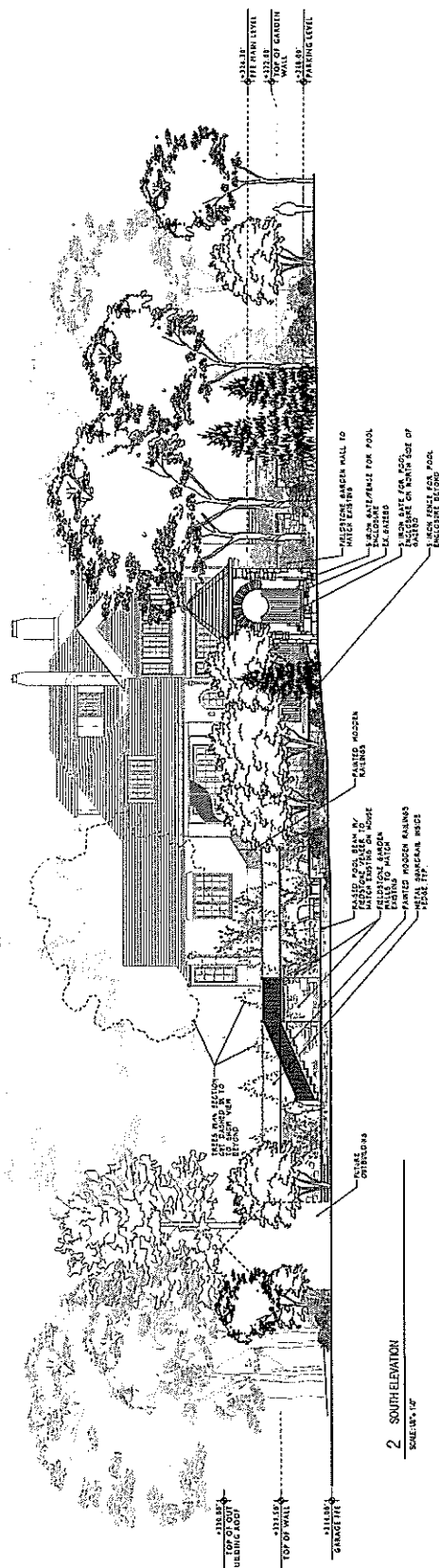
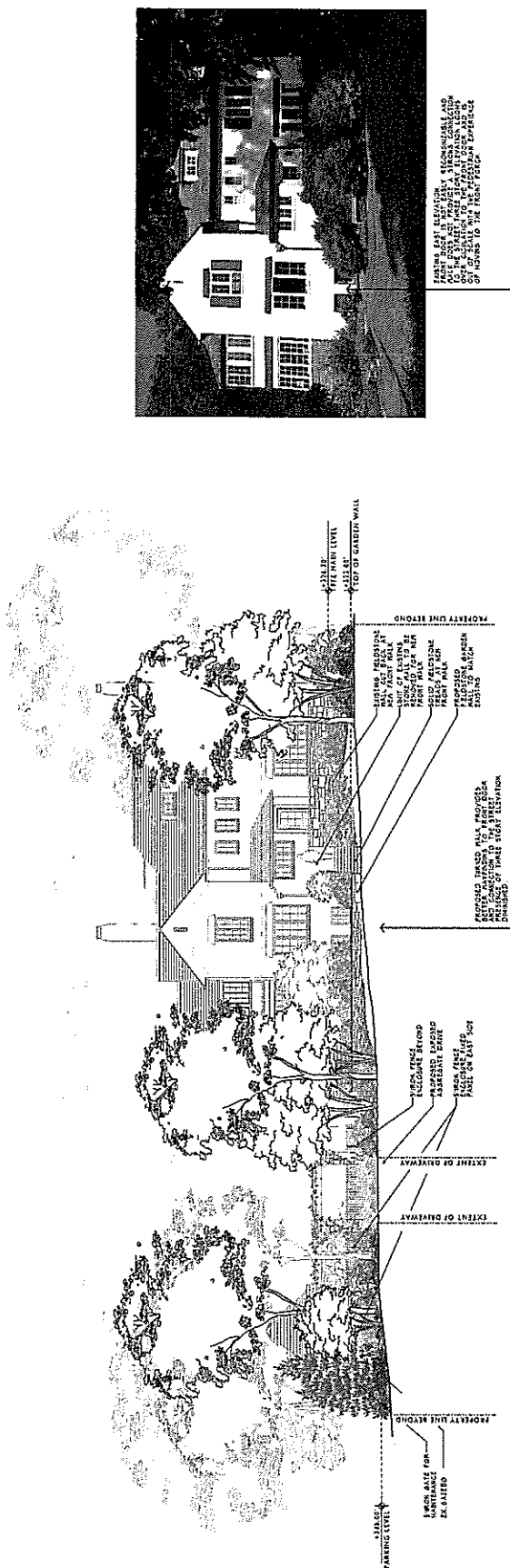
5904 CEDAR PARKWAY EXISTING TREE INVENTORY

Notes: Data based on survey by G.S. Billings and Arentz, Inc. on 10/20/13.

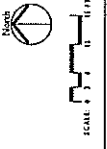
NO.	DATE	LOCATION	COMMON NAME	STATUS	NOTES
1	10/20/13	Back Yard	Red Maple	Remove	Street Tree
2	10/20/13	Back Yard	Red Maple	Remove	Street Tree
3	10/20/13	Back Yard	Red Maple	Remove	Street Tree
4	10/20/13	Back Yard	Red Maple	Remove	Street Tree
5	10/20/13	Back Yard	Red Maple	Remove	Street Tree
6	10/20/13	Back Yard	Red Maple	Remove	Street Tree
7	10/20/13	Back Yard	Red Maple	Remove	Street Tree
8	10/20/13	Back Yard	Red Maple	Remove	Street Tree
9	10/20/13	Back Yard	Red Maple	Remove	Street Tree
10	10/20/13	Back Yard	Red Maple	Remove	Street Tree
11	10/20/13	Back Yard	Red Maple	Remove	Street Tree
12	10/20/13	Back Yard	Red Maple	Remove	Street Tree
13	10/20/13	Back Yard	Red Maple	Remove	Street Tree
14	10/20/13	Back Yard	Red Maple	Remove	Street Tree
15	10/20/13	Back Yard	Red Maple	Remove	Street Tree
16	10/20/13	Back Yard	Red Maple	Remove	Street Tree
17	10/20/13	Back Yard	Red Maple	Remove	Street Tree
18	10/20/13	Back Yard	Red Maple	Remove	Street Tree
19	10/20/13	Back Yard	Red Maple	Remove	Street Tree
20	10/20/13	Back Yard	Red Maple	Remove	Street Tree
21	10/20/13	Back Yard	Red Maple	Remove	Street Tree
22	10/20/13	Back Yard	Red Maple	Remove	Street Tree
23	10/20/13	Back Yard	Red Maple	Remove	Street Tree
24	10/20/13	Back Yard	Red Maple	Remove	Street Tree
25	10/20/13	Back Yard	Red Maple	Remove	Street Tree

G. B. & J. W. O'NEIL
PARCELS 728 & 729, BLOCK 62
SUBDIVISION 1, LOT 1, BLOCK 62
SUBDIVISION 1, LOT 1, BLOCK 62
P.L. 3, PLAT 273

CONCEPT DRAWINGS



CONCEPT DRAWINGS

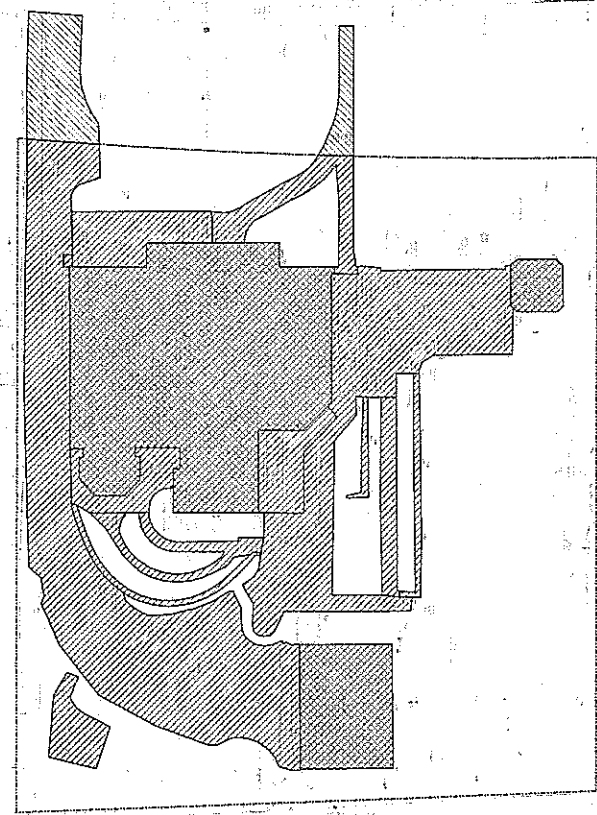


**5904 Cedar Parkway
Coverage Calculations**
7/25/2018

The lot coverage calculations provided below are for information purposes only as supplement to the plan submission to the Historic Preservation Commission. The calculations do not follow any jurisdictional definition of lot coverage. The areas described below include all structures and all grade-paving existing and proposed. Final design and lot coverage to be developed with building permit drawings.

EXISTING LOT COVERAGE

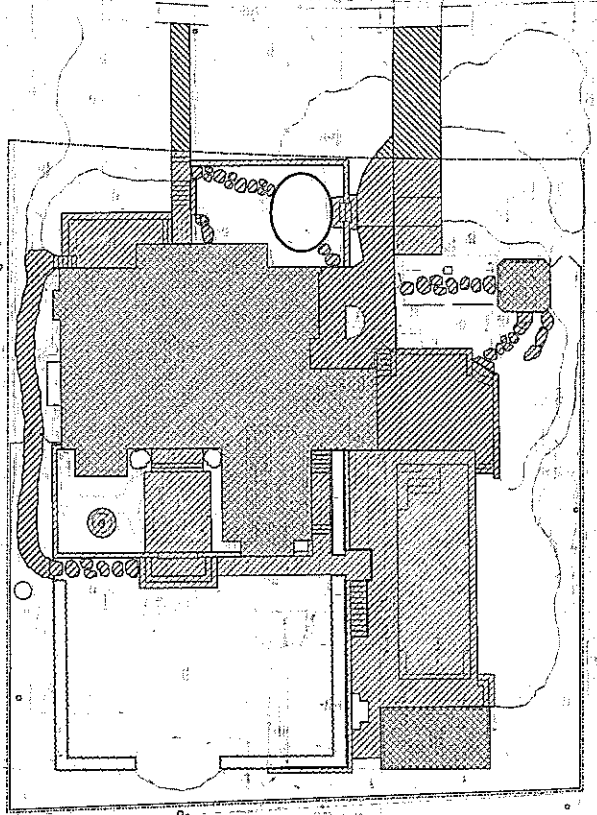
KEY	DESCRIPTION	STRUCTURES	TERRACES	PAVED AREAS	IMPERVIOUS AREA	TOTAL
[Hatched Box]	EXISTING LOT COVERAGE					1,130 SQ FT
[Hatched Box]	EXISTING LOT COVERAGE					4,105 SQ FT
[Hatched Box]	EXISTING LOT COVERAGE					450 SQ FT



Lot Area	Existing Lot Coverage	House, Garage, Outbuilding	Paved Walks, Terraces, Raised Structures	Driveway	Total
16,317 SF	3,120 SF	2,700 SF	2,205 SF		
	3,308 SF	4,024 SF	201 SF		
	7,533 SF				
	125 SF	325 SF			
	450 SF				
	117 SF	276 SF			
	393 SF				

PROPOSED LOT COVERAGE

KEY	DESCRIPTION	STRUCTURES	TERRACES	PAVED AREAS	IMPERVIOUS AREA	TOTAL
[Hatched Box]	PROPOSED LOT COVERAGE					9,330 SQ FT
[Hatched Box]	PROPOSED LOT COVERAGE					4,238 SQ FT
[Hatched Box]	PROPOSED LOT COVERAGE					915 SQ FT









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