

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5 Grafton Street, Chevy Chase	Meeting Date:	9/9/2020
Resource:	Contributing Resource (Chevy Chase Village Historic District)	Report Date:	9/2/2020
		Public Notice:	8/26/2020
Applicant:	Richard Perle & Leslie Barr Trust (Luke Olson, Architect)	Tax Credit:	N/A
Review:	HAWP	Staff:	Michael Kyne
Case Number:	35/13-20AA		
PROPOSAL:	Building addition and alterations		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Craftsman/Bungalow
DATE: 1909

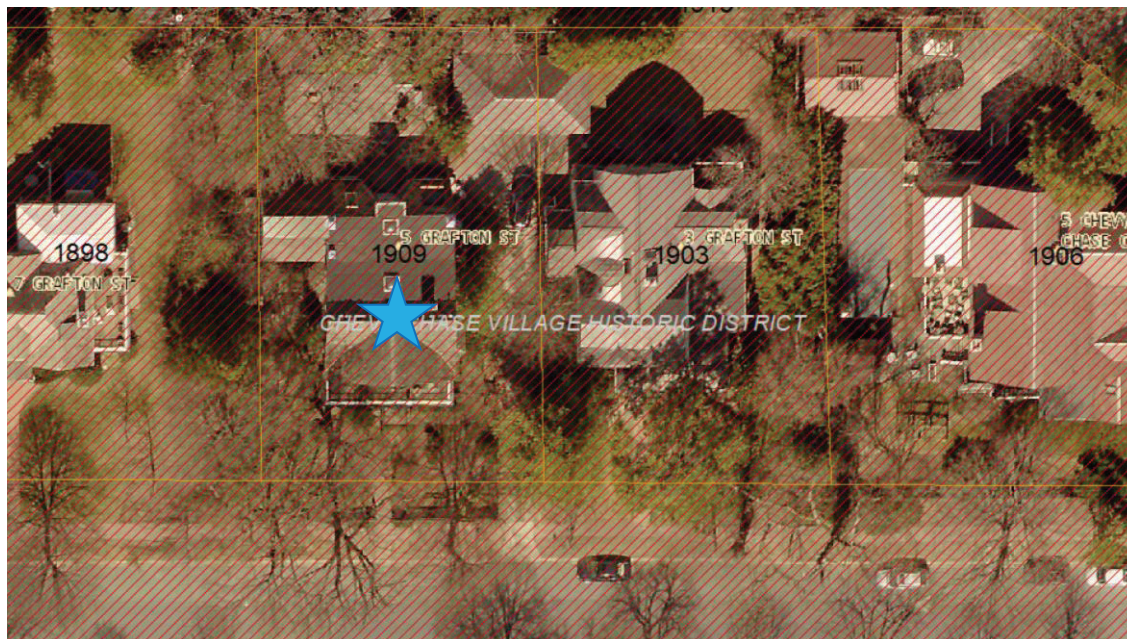


Fig. 1: Subject property, as marked by the blue star.

BACKGROUND:

The applicants previously appeared before the Commission at the August 12, 2020 HPC meeting for a preliminary consultation.¹

PROPOSAL:

The applicants propose a building addition and alterations at the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

¹ Link to August 12, 2020 HPC meeting audio/video transcript: http://mncppc.granicus.com/MediaPlayer.php?publish_id=364c82d2-dda6-11ea-b5c3-0050569183fa
 Link to August 12, 2020 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2020/08/II.B-5-Grafton-Street-Chevy-Chase.pdf>

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Chevy Chase Village Historic District Guidelines

The *Guidelines* state that the following five basic policies should be adhered to:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.

Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building.

Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.

Tree removal should be subject to strict scrutiny and consistent \With the Chevy Chase Village Urban Forest Ordinance.

Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Vinyl and aluminum windows (other than storm windows) should be discouraged.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

At the August 12, 2020 preliminary consultation, the Commission expressed the following regarding the applicants' proposal:

- The Commission unanimously supported Option 1, which retains the existing rearmost bay on the west (left) elevation of the historic house. The Commission found that this option retained a significant character-defining feature of this Contributing Resource.

- The Commission unanimously supported the proposed fence removal, driveway enlargement, HVAC relocation, garage door replacements, restoration of the two windows on the second floor of the east (right) elevation, and alterations to existing non-historic additions.
- The Commission supported the proposed tree removals, but they suggested that the trees be replaced with canopy trees, in consultation with the Village.
- The majority expressed support for the proposed cedar shake siding staining/painting, but they requested additional information and photographic samples of the proposed staining/painting colors.
- Several Commissioners recommended that the applicants explore restoring the frontmost bay on the east (right) elevation to its original size to further accentuate the symmetry of the four original bays.

The applicants have returned with a HAWP application, responding to the Commission's recommendations with the following revisions:

- The applicants propose Option 1, which will retain the existing rearmost bay on the west (left) elevation of the historic house.
- The applicants have provided specifications for the proposed cedar shake siding staining/painting.

New work items include:

- Installation of a window well at the front of the frontmost bay on the east (right) elevation of the historic house for egress purposes.
 - Window well materials to include a stone veneer on the inside, a flagstone cap, a painted metal ladder mounted on the inside, and a painted metal grate on top for safety purposes.
- Replacement of the existing basement-level window at the front of the frontmost bay on the east (right) elevation of the historic house with an aluminum-clad SDL casement egress window.
 - The existing window width will be retained, but the window will extend down.

Staff supports the applicants' proposal, finding it consistent with the *Guidelines* and with the Commission's recommendations at the preliminary consultation. The proposed alterations will not remove or alter character defining features of the subject property, in accordance with *Standards* #2 and #9. In accordance with *Standard* #10, the alterations can be removed in the future without impairing the essential form and integrity of the historic property and its environment.

After full and fair consideration of the applicant's submission staff finds the proposal, as revised, as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10, and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for *Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if**

applicable to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: lolson@gtmarchitects.com Contact Person: Luke Olson
Tax Account No.: 240-333-2021 Daytime Phone No.: 240-333-2021
Name of Property Owner: Richard Perle & Leslie Barr Trust c/o Jonathan Perle
Address: 5 Grafton Street Chevy Chase MD 20815
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Luke Olson Daytime Phone No.: 240-333-2021

LOCATION OF BUILDING/PREMISE

House Number: 5 Street Grafton Street
Town/City: Chevy Chase Nearest Cross Street: Chevy Chase Circle
Lot: 3 & Pt lot 4 Block: 25 Subdivision: Chevy Chase Section 2
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

☒ Construct ☐ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

☒ A/C ☒ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☒ Single Family
☐ Fence/Wall (complete Section 4) ☒ Other: Dormers, Stoop/steps

1B. Construction cost estimate: \$ --

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

8/18/2020

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing 2-story shingle-style home. Formerly a craftsman bungalow (circa 1892-1916), the resource has been extensively modified on all sides as a part of renovations and additions constructed in the years 1978, 1987 and 2000.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New side entry with stone stoop and steps to grade. Add new windows in historic location on right side elevation. New infill roof addition to rear elevation with four new dormers. Selective tree removal. Enlarge existing driveway. Remove existing fence at front of property. Repair and stain existing cedar siding.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

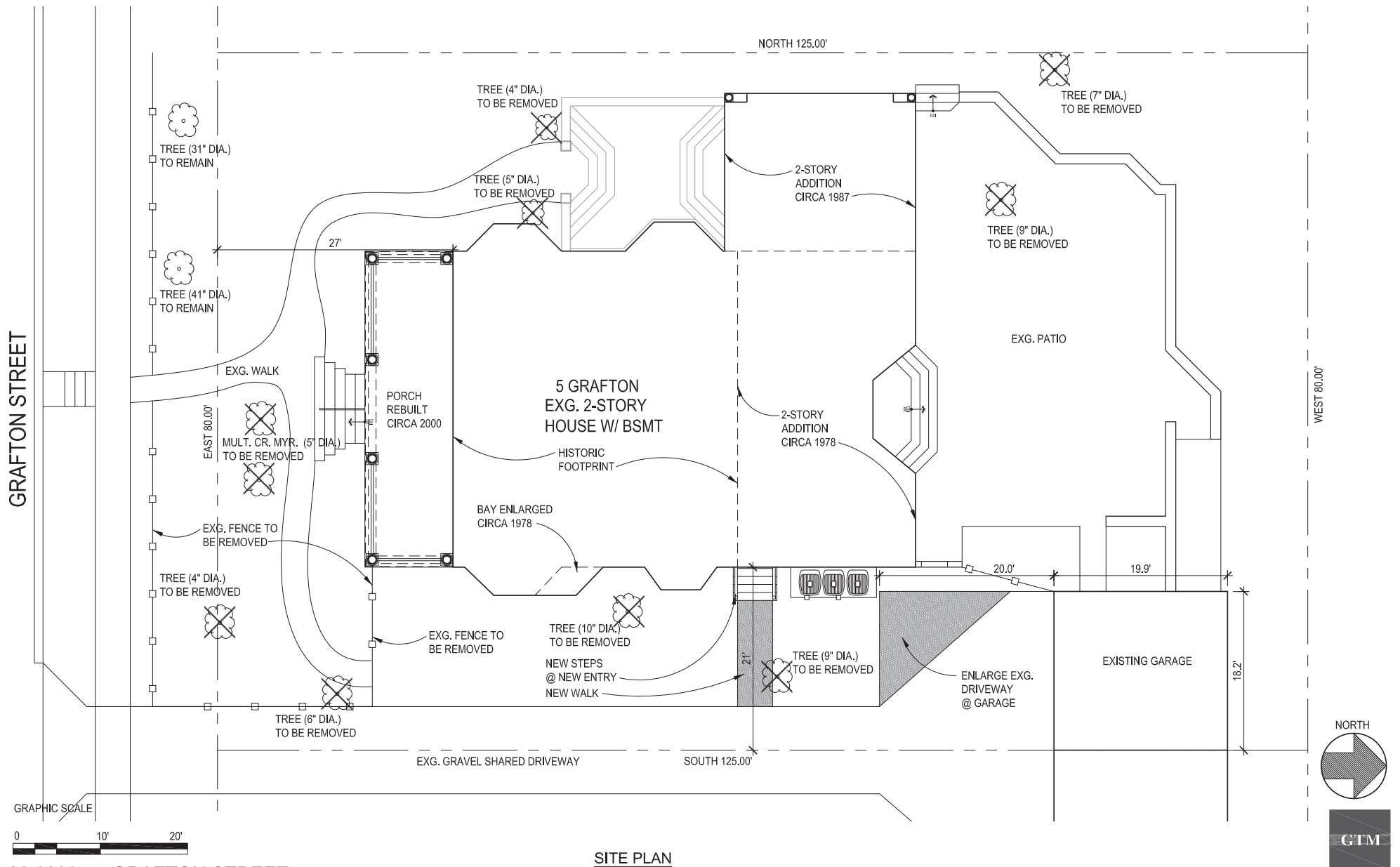
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address --	Owner's Agent's mailing address Luke Olson GTM Architects 7735 Old Georgetown Rd Ste 700 Bethesda, MD 20814
Adjacent and confronting Property Owners mailing addresses	
KATHERINE FLEISS & MICHAEL BARRY 10 GRAFTON ST CHEVY CHASE MD 20815-3428	PAUL FOSTER & JULIA HANKS 8 GRAFTON ST CHEVY CHASE MD 20815
ROBERT BAPTISTE 7 GRAFTON ST CHEVY CHASE MD 20815-3427	DANIEL & ANDREA MURRAY 2 HESKETH ST CHEVY CHASE MD 20815
BURT BRAVERMAN 2 MAGNOLIA PARKWAY CHEVY CHASE MD 20815	ROBERT JOSEPHS & GERALDINE CARR 3 GRAFTON ST CHEVY CHASE MD 20815-3427
ALL SAINTS CHURCH 3 CHEVY CHASE CIR CHEVY CHASE MD 20815	



20.0233 - 5 GRAFTON STREET

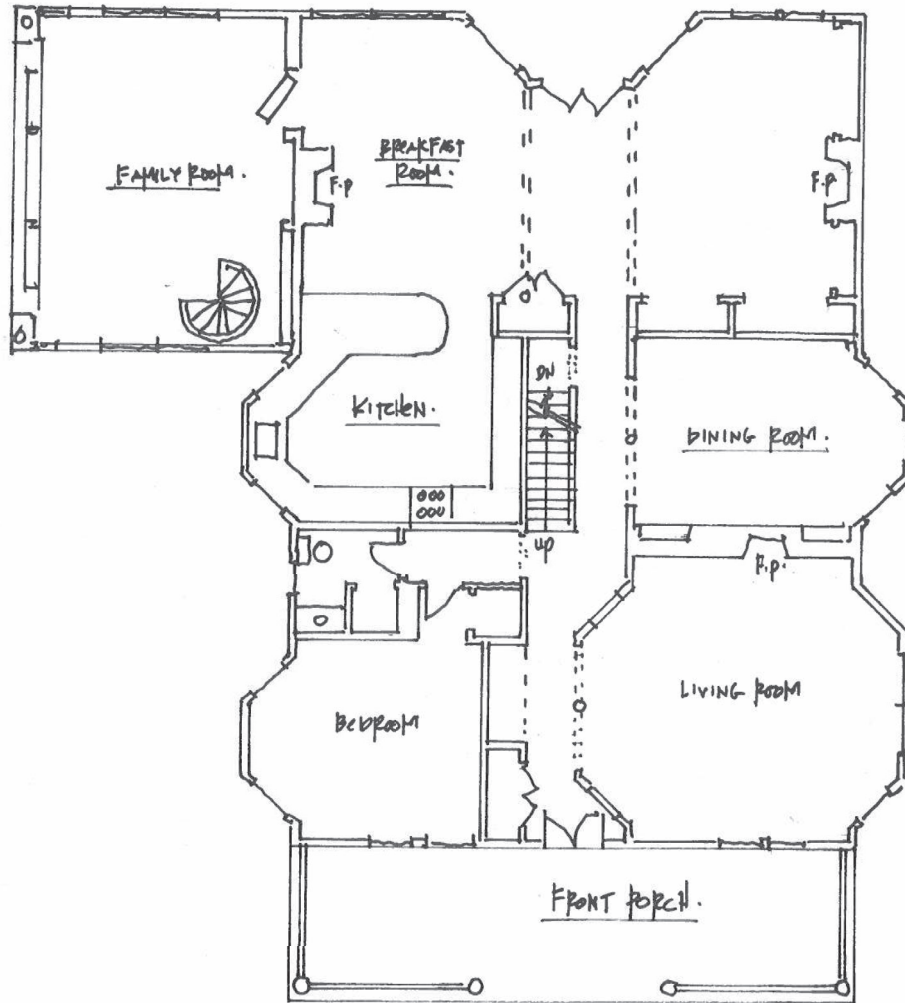
SITE PLAN

5 GRAFTON ST. CHEVY CHASE, MD 20816

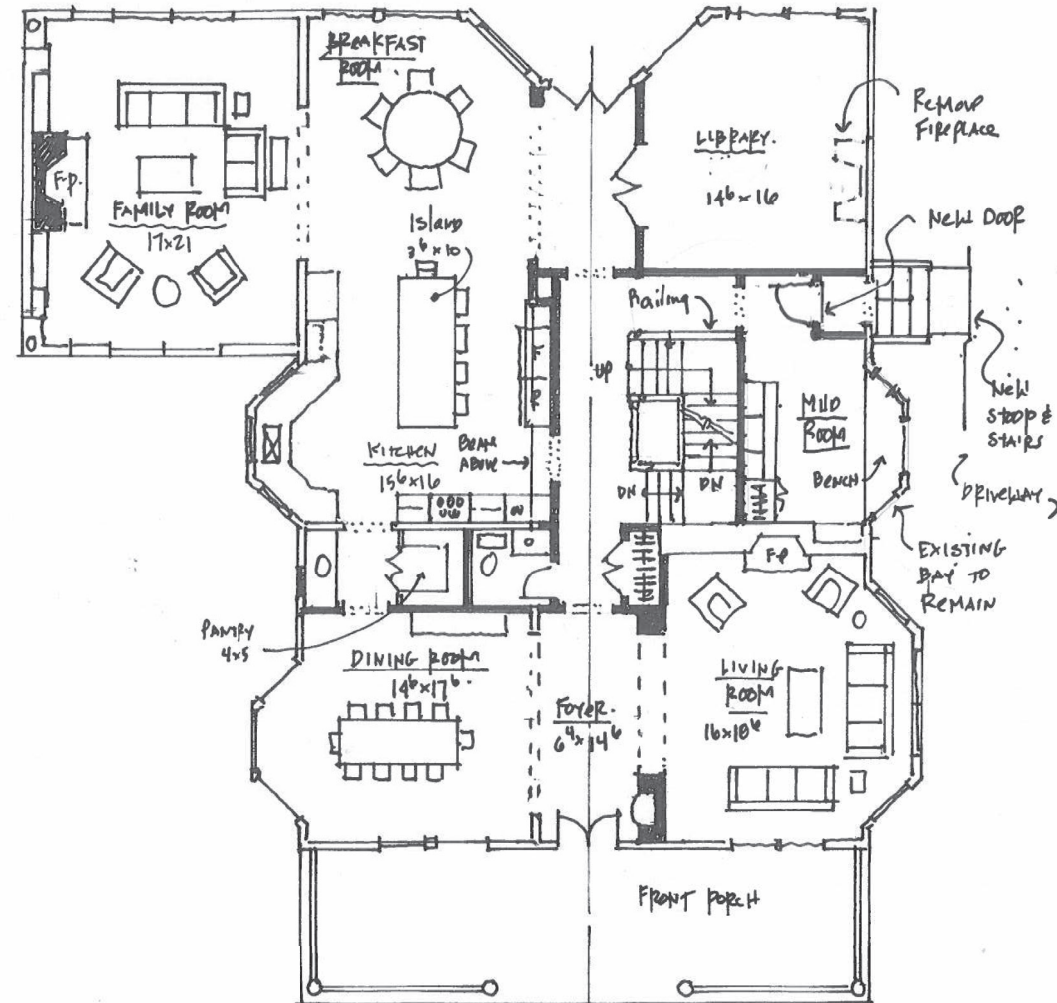
8/19/2020 HAWP SET

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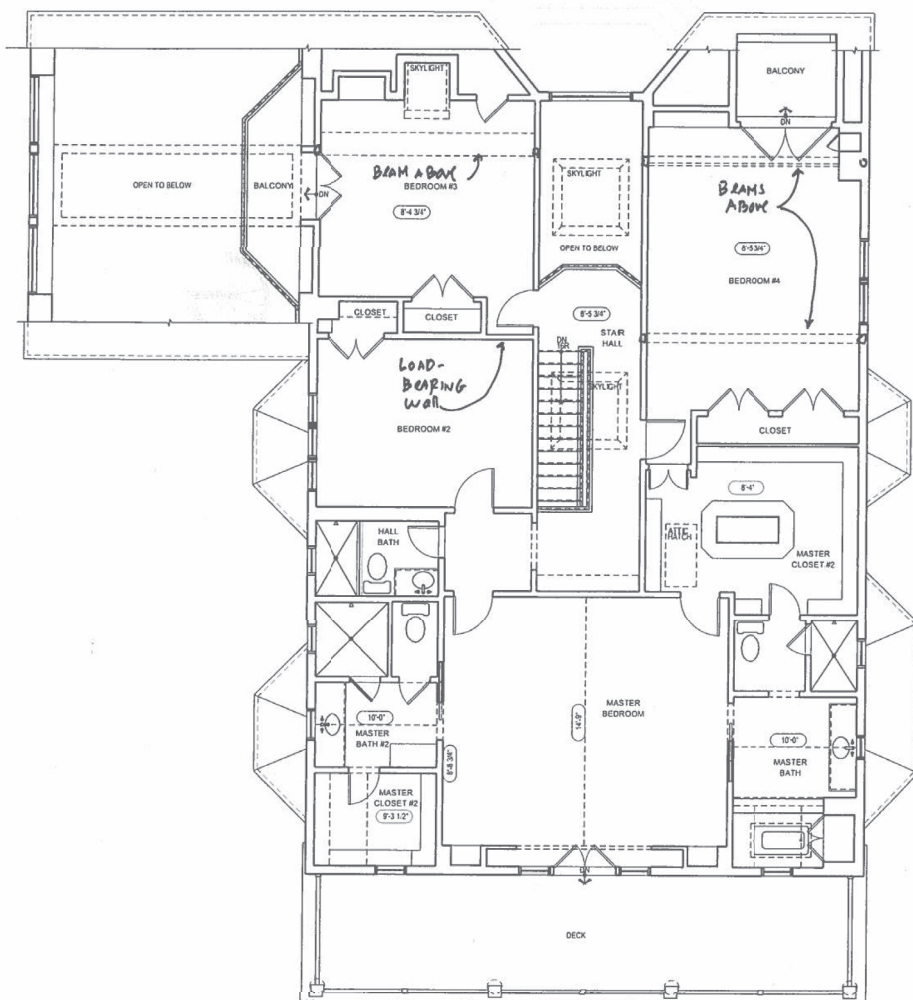
7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001



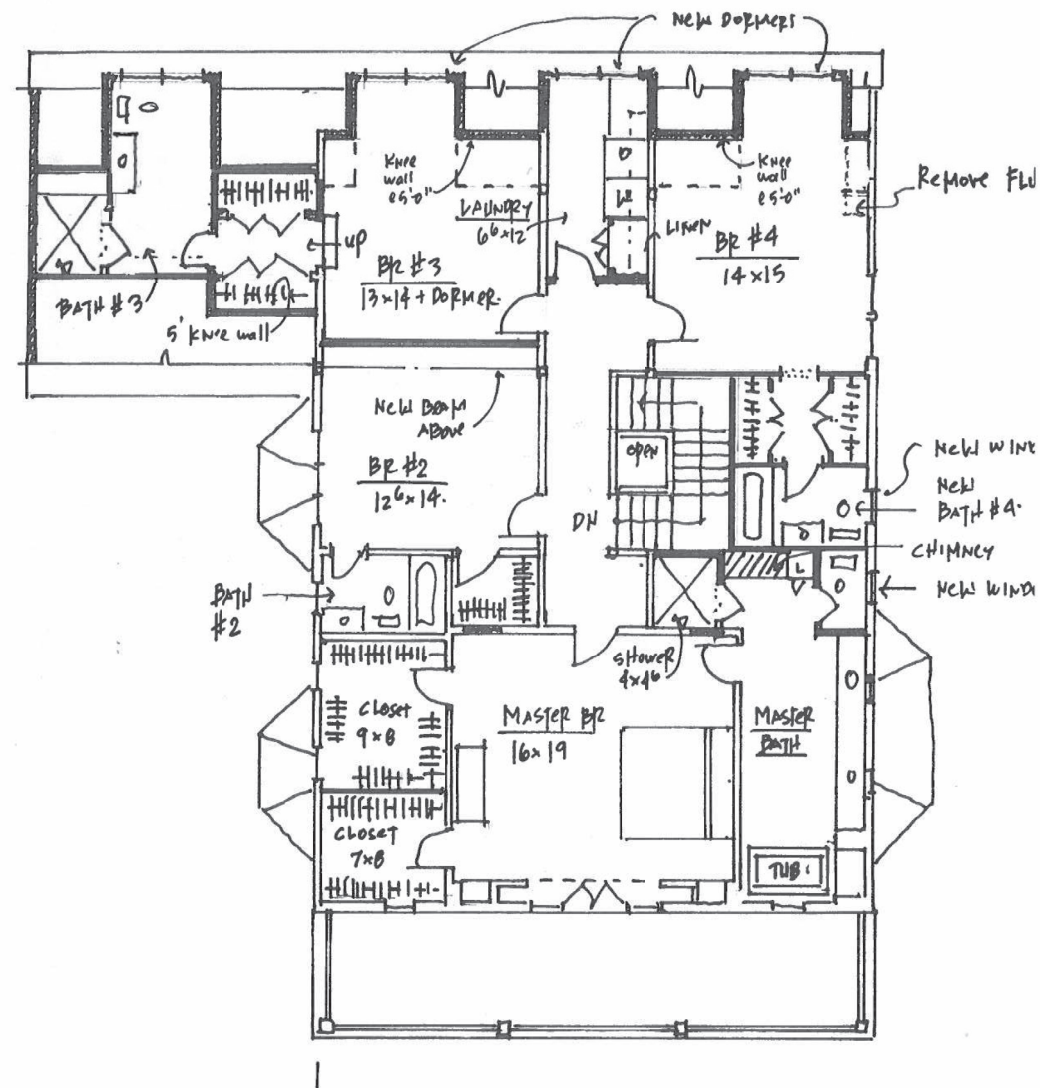
EXISTING FIRST FLOOR PLAN
 $\frac{1}{8}" = 1'-0"$



PROPOSED FIRST FLOOR PLAN.
 $\frac{1}{8}" = 1'-0"$ 5 GRAFTON ST. 7.10.20



EXISTING SECOND FLOOR PLAN

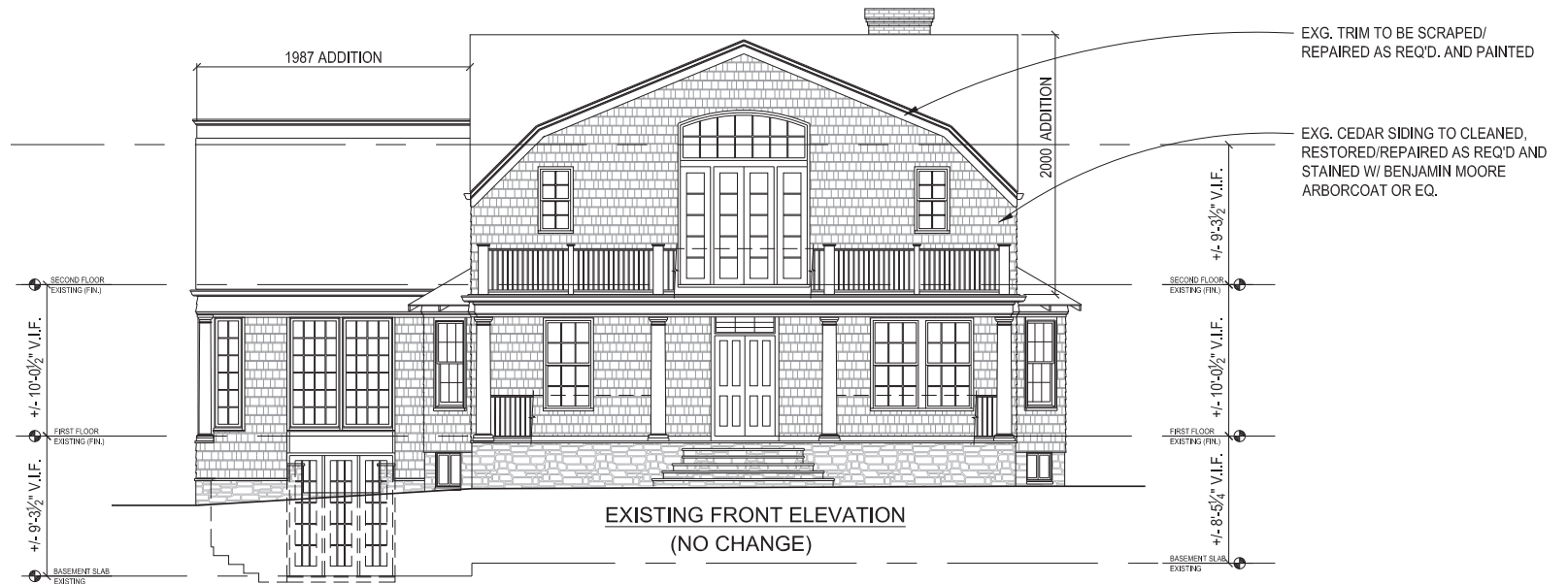


PROPOSED SECOND FLOOR PLAN -

ALL WINDOWS IN EXISTING HOUSE HAVE BEEN REPLACED AS A PART OF PREVIOUS RENOVATION

CEDAR SIDING HAS BEEN REPLACED AS PART OF PREVIOUS ADDITIONS/ RENOVATIONS

ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND



SCALE 1/8"=1'-0"



20.0233 - 5 GRAFTON STREET

5 GRAFTON ST. CHEVY CHASE, MD 20816

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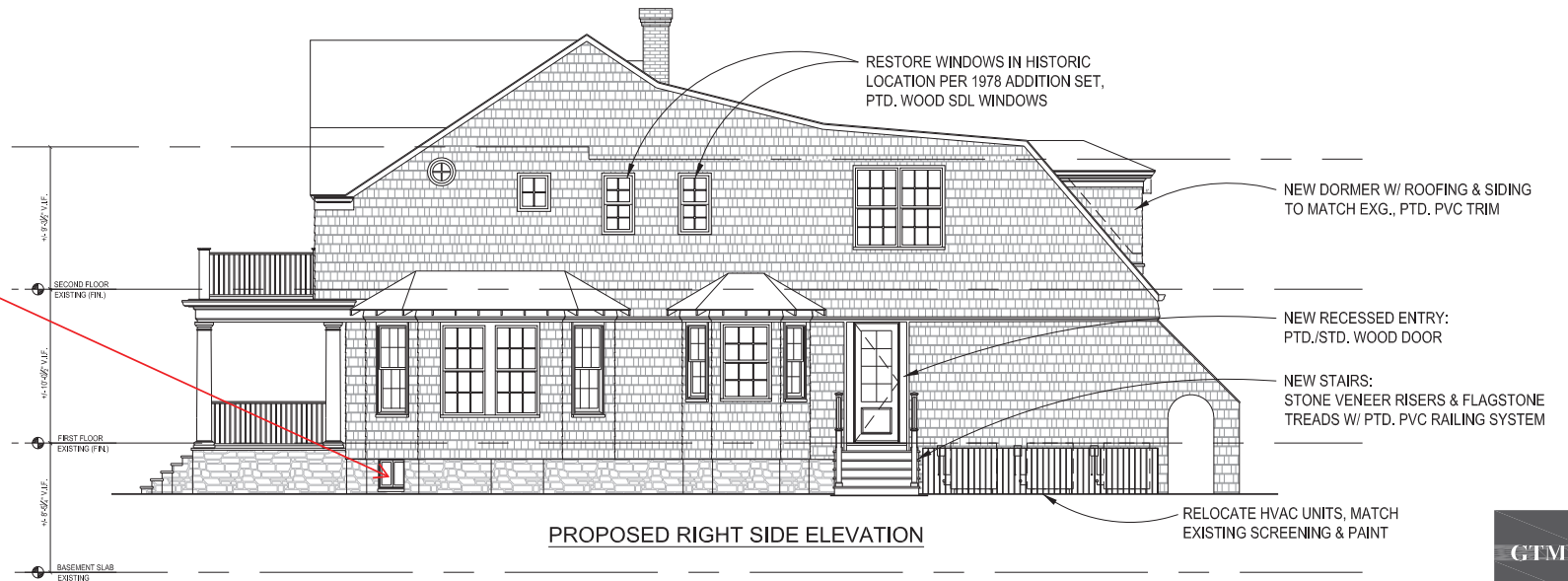


GT MARCHITECTS



EXISTING RIGHT SIDE ELEVATION

ADD NEW WINDOW
WELL AND REPLACE
EXISTING WINDOW
WITH CLAD-WOOD
CASEMENT EGRESS
WINDOW



PROPOSED RIGHT SIDE ELEVATION

20.0233 - 5 GRAFTON STREET

5 GRAFTON ST. CHEVY CHASE, MD 20816

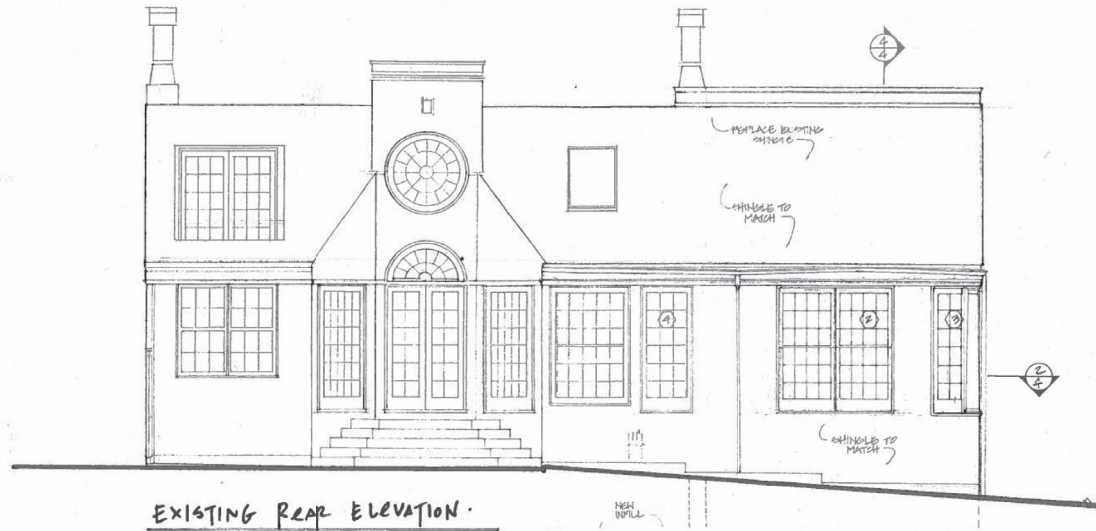
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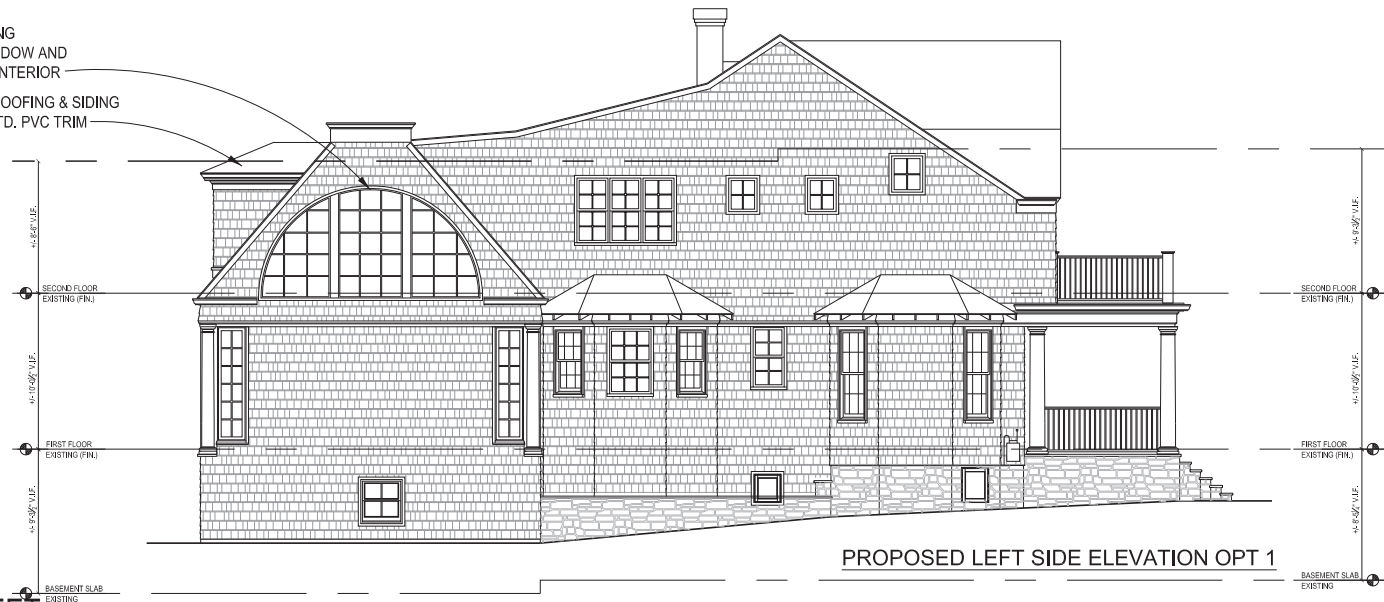
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BACKPAINT EXISTING
NON-HISTORIC WINDOW AND
BLANK-OFF FROM INTERIOR
NEW DORMER W/ ROOFING & SIDING
TO MATCH EXG., PTD. PVC TRIM



SCALE 1/8"=1'-0"

0' 4' 8' 16'

20.0233 - 5 GRAFTON STREET

5 GRAFTON ST. CHEVY CHASE, MD 20816

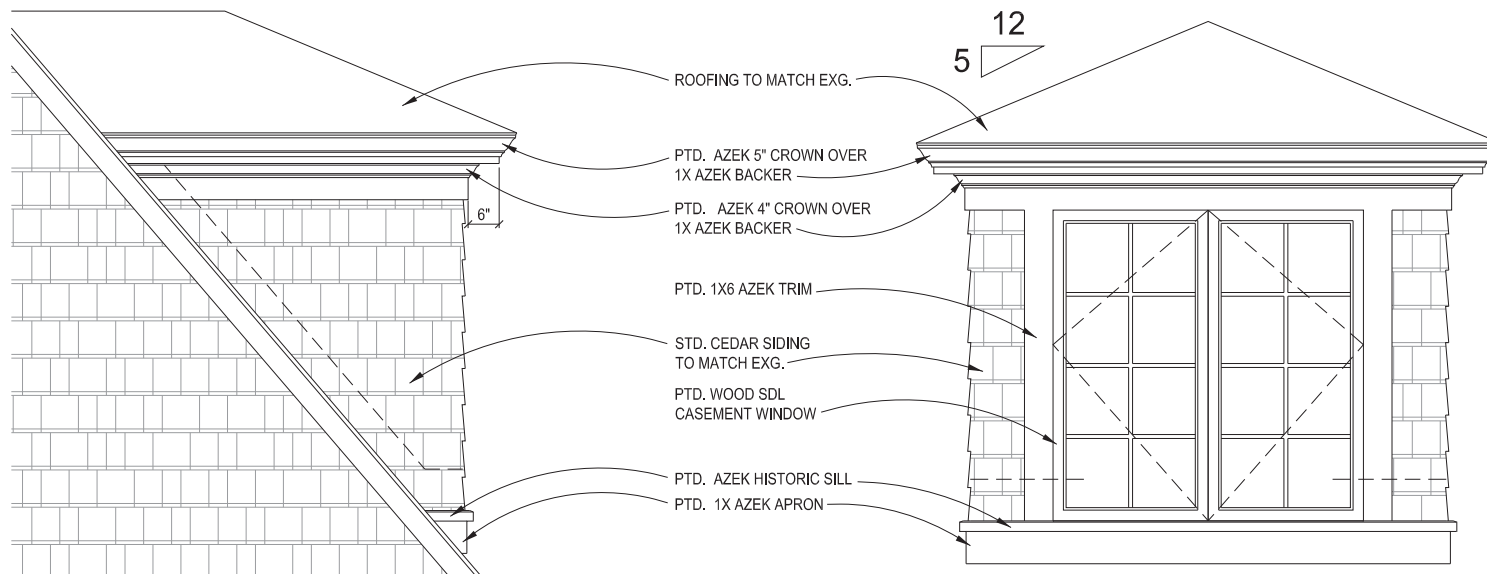
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TYP. DORMER DETAILS



M 35/13
 Chevy Chase Village HD
 Montgomery County MD
 Clare Lise Cavalli
 5/1996
 Maryland SAPO
 5 Grafton Street

34/52

PHOTO FROM MARYLAND HISTORICAL TRUST DETERMINATION FORM M35-13



PHOTO FROM CHEVY CHASE HISTORICAL SOCIETY ARCHIVES TAKEN SPRING/SUMMER 2009
 REFLECTS ADDITION REVIEWED BY DPS IN AUGUST OF 2000 AND FINISHED IN EARLY 2001

DESCRIPTION OF HOUSE FROM MHT ELIGIBILITY FORM: 5 GRAFTON STREET (1892-1916)

THIS HOUSE IS REPRESENTATIVE OF THE RUSTIC DESIGN AND SCALE OF RESIDENCES BUILT AS CRAFTSMAN BUNGALOWS IN THE VILLAGE. THE LOW PITCHED PYRAMIDAL ROOF, FULL-WIDTH FRONT PORCH, AND A HUGE, SHINGLED DORMER CENTERED ON THE LOW-PITCHED ROOF MASK WHAT IS ACTUALLY A LARGE SCALE RESIDENCE.



PHOTO FROM CHEVY CHASE HISTORICAL SOCIETY ARCHIVES TAKEN NOV. 18, 1997



PHOTO FROM CHEVY CHASE HISTORICAL SOCIETY ARCHIVES TAKEN JAN. 27, 2002



PHOTO FROM CHEVY CHASE HISTORICAL SOCIETY ARCHIVES TAKEN MARCH 25, 1995

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EXISTING WINDOWS WERE REPLACED AS A PART OF PREVIOUS RENOVATION/ADDITION. EXISTING CEDAR SIDING REPLACED AS A PART OF PREVIOUS ADDITION /RENOVATION. CEDAR SIDING IS AGING VARIABLY BASED ON DEGREE OF EXPOSURE ON EACH FACADE. MORE EXPOSED SECTIONS ARE SILVERING OUT QUICKER WHILE MORE PROTECTED AREAS ARE A DARKER BROWN. THERE IS MOLD FORMING ON MUCH OF THE SIDING



EXISTING CONDITION PHOTOS

20.0233 - 5 GRAFTON STREET

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REPLACE EXG.
GARAGE DOOR



REPLACE EXG.
ENTRY DOOR



EXISTING SHARED GARAGE PHOTOS



SAMPLE REPLACEMENT GARAGE DOOR PHOTO:
CLOPAY COACHMAN SERIES COMPOSITE DOOR

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G T M A R C H I T E C T S

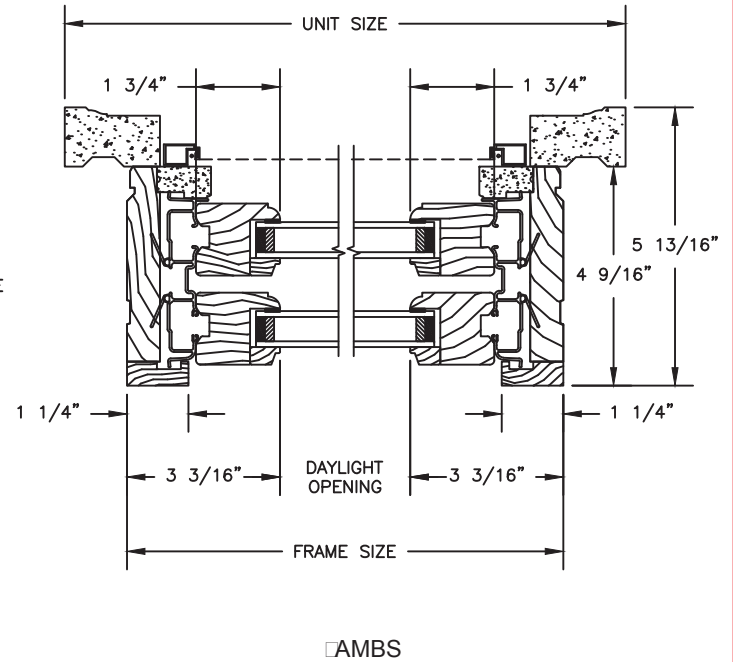
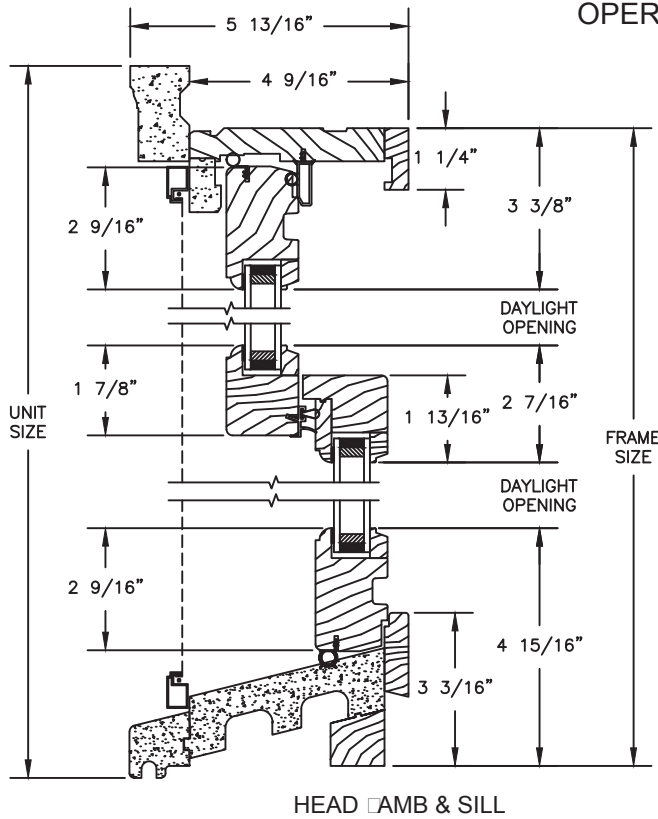
Pinnacle Series

PRIMED DOUBLE HUNG

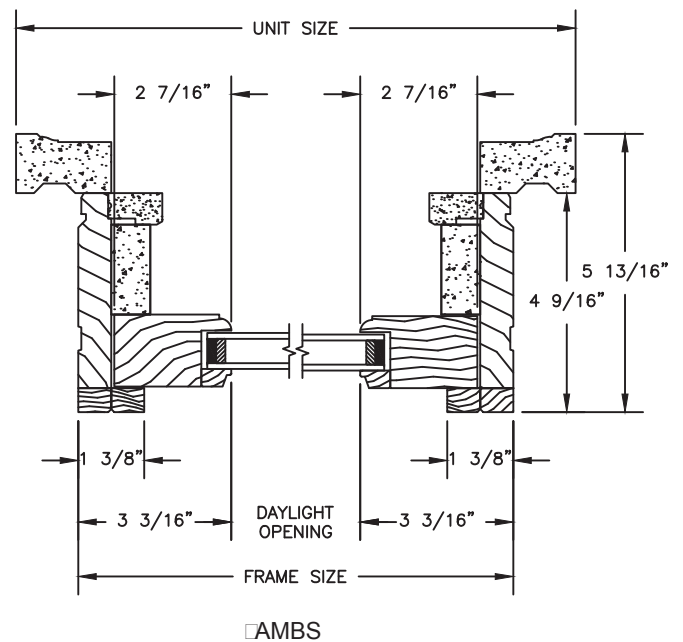
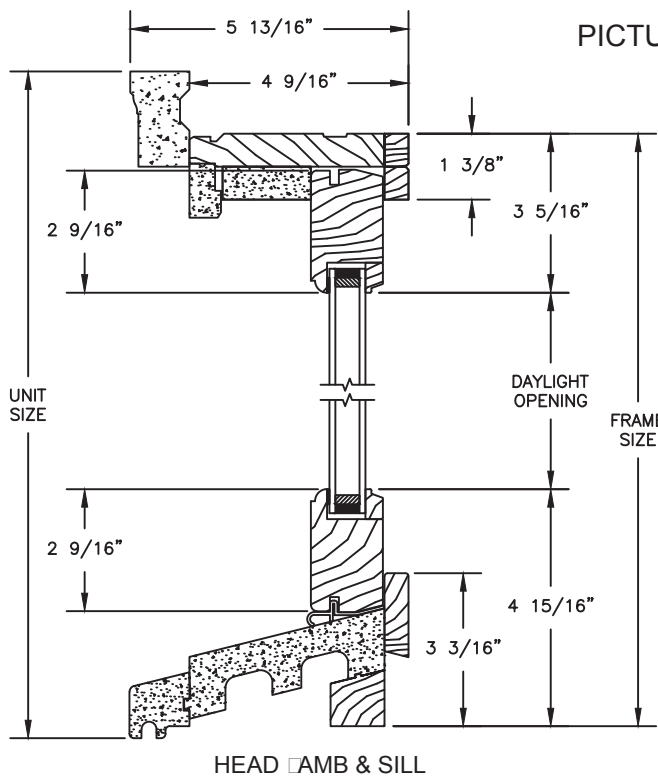
SECTION DETAILS : OPERATING / PICTURE

SCALE: 3" = 1'-0"

OPERATING



PICTURE



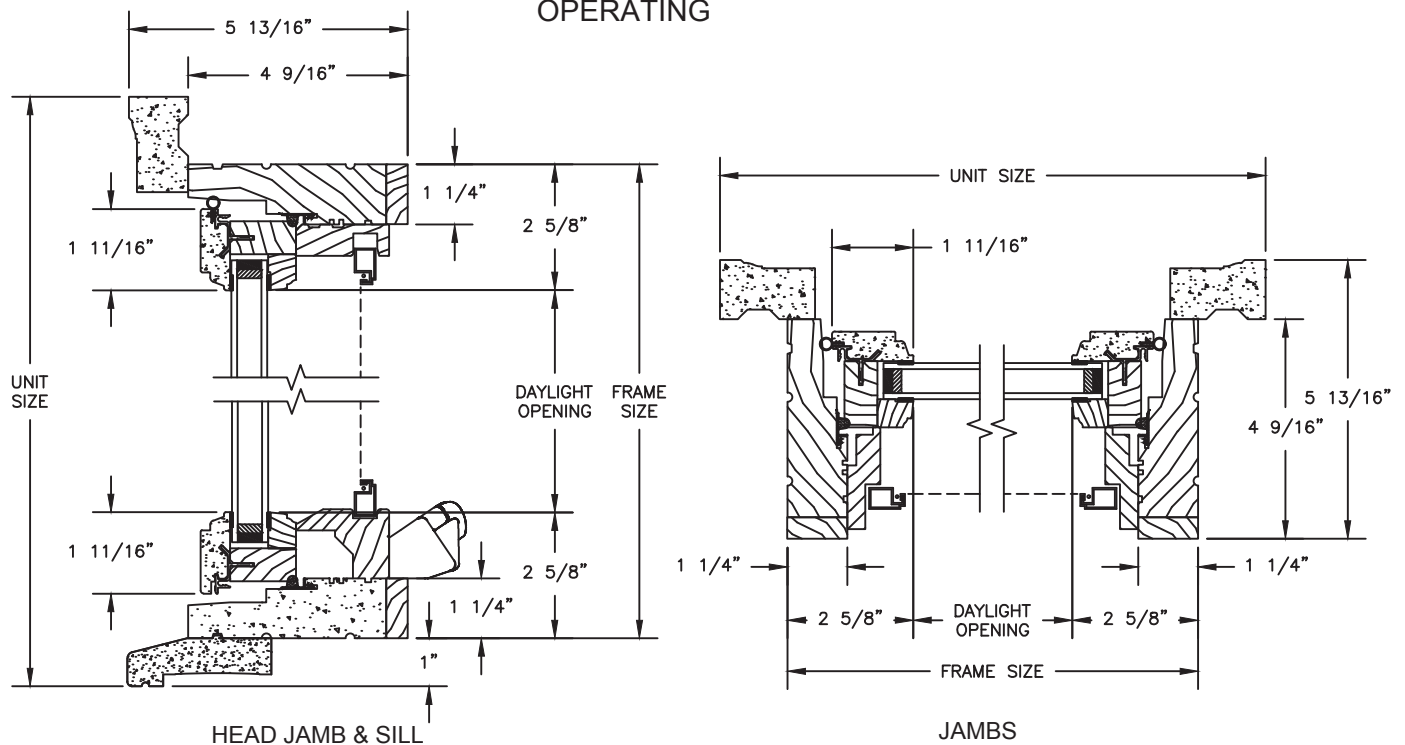
Pinnacle Series

PRIMED CASEMENT

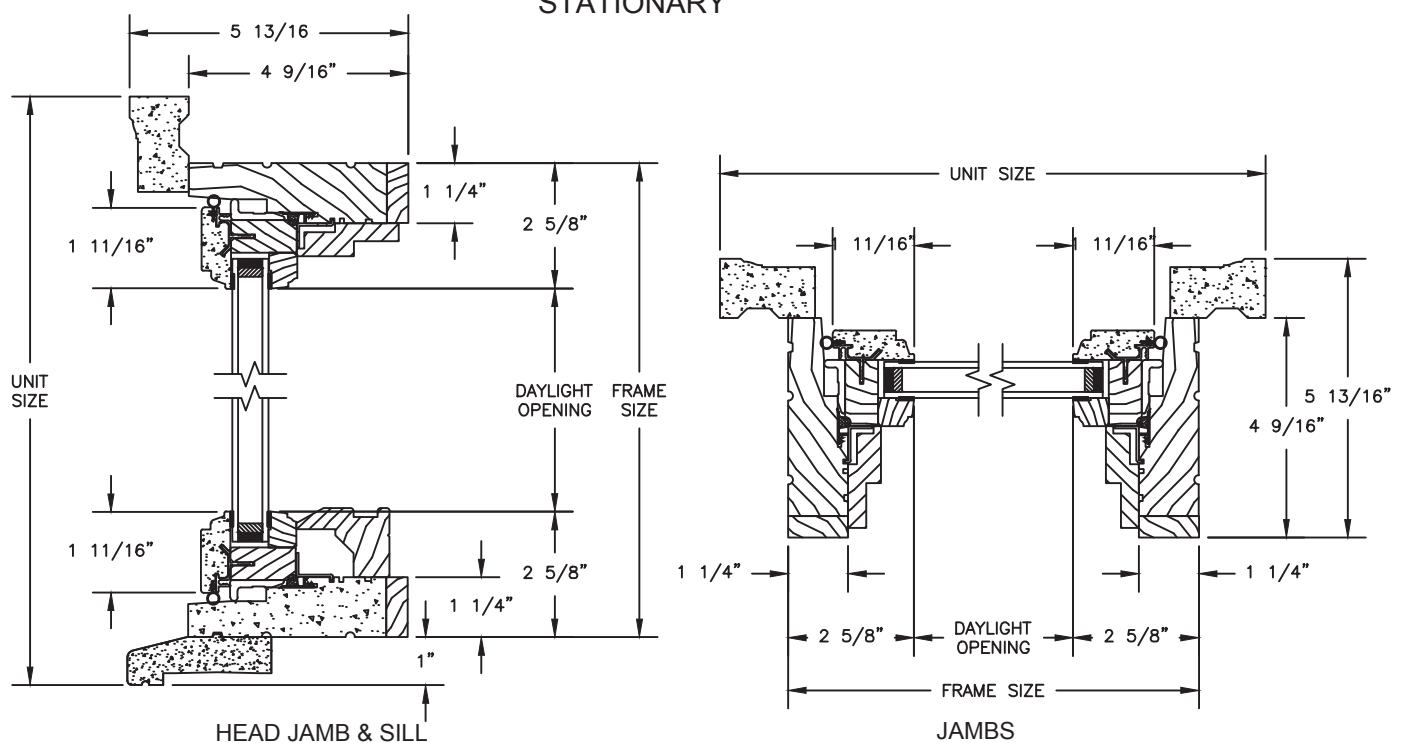
SECTION DETAILS : OPERATING / STATIONARY

SCALE: 3" = 1'-0"

OPERATING



STATIONARY

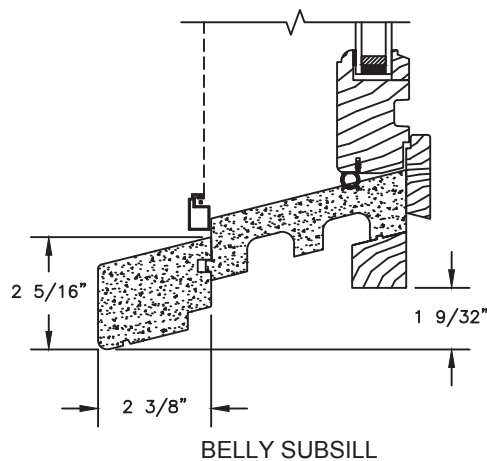
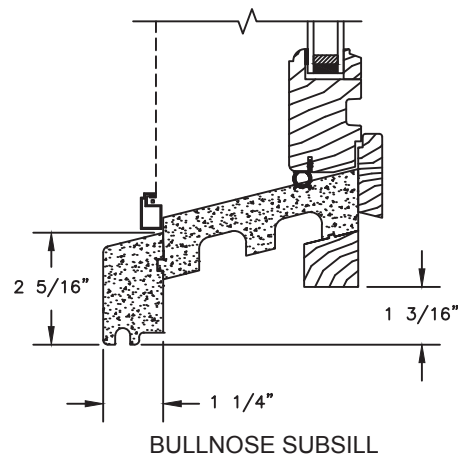
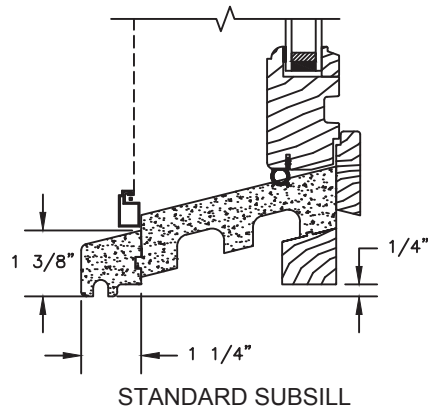


Pinnacle Series

PRIMED DOUBLE HUNG

SECTION DETAILS : CASING OPTIONS

SCALE: 3" = 1'-0"



Pinnacle Series


PRIMED DOUBLE HUNG

SECTION DETAILS : GLASS STOP & DIVIDED LITE OPTIONS

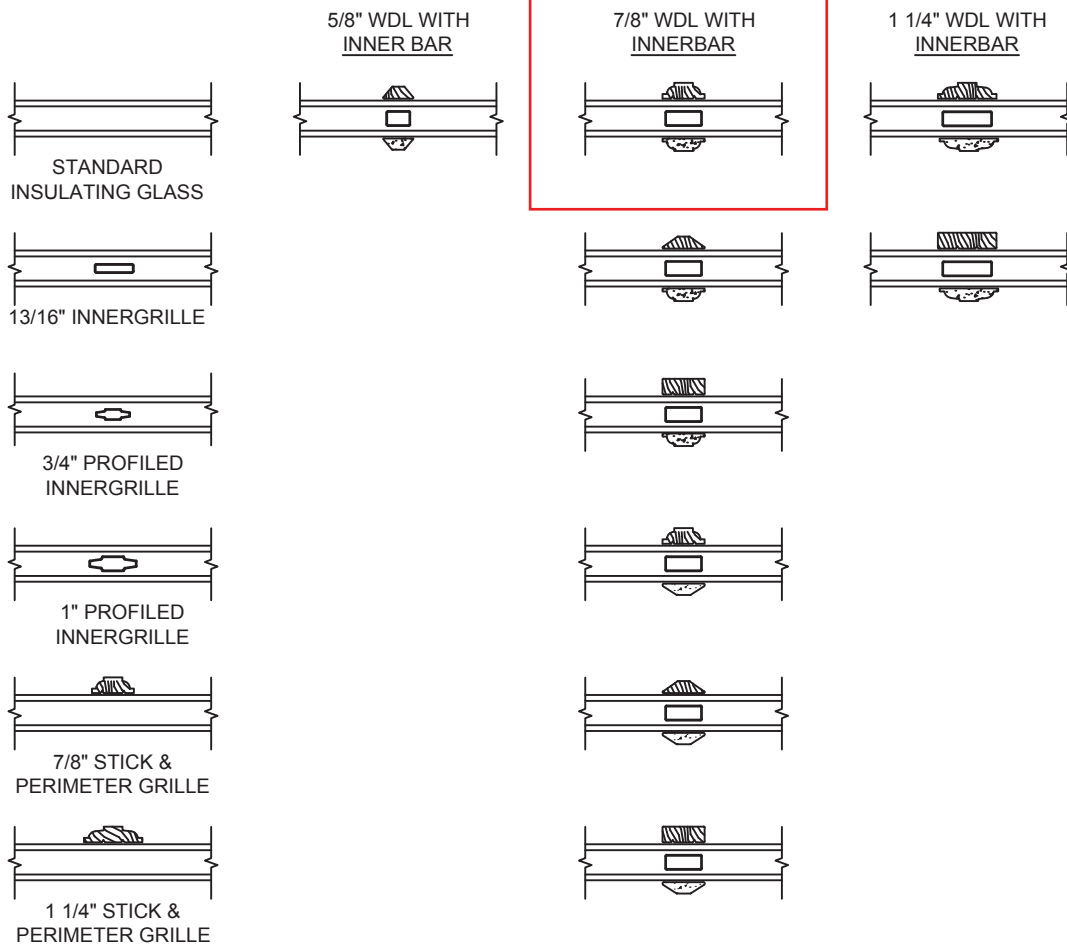
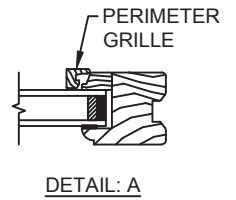
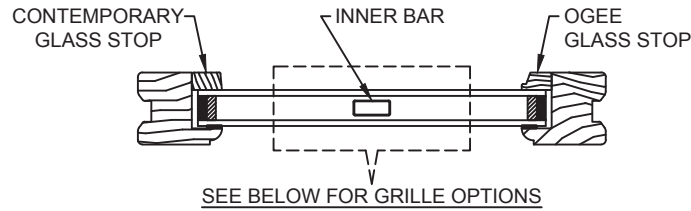
SCALE: 3" = 1'-0"

AVAILABLE STYLES

 - PUTTY

 - OGEE

 - CONTEMPORARY



NOTE:

* ALL WDL OPTIONS CAN BE ORDERED WITH OR WITHOUT INNER BAR

* PERIMETER GRILLES ONLY AVAILABLE IN THE 7/8" AND 1 1/4" OGEE STYLE GLASS STOP (SEE DETAIL: A)

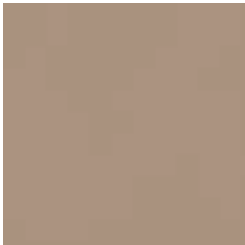
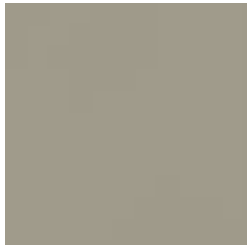




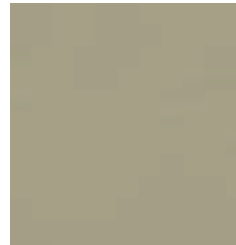
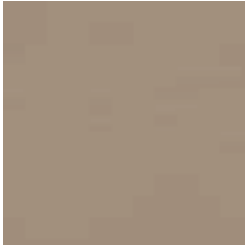
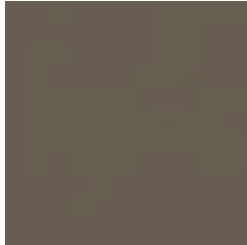




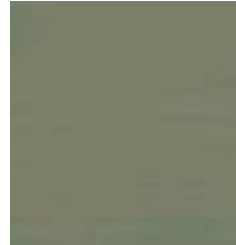
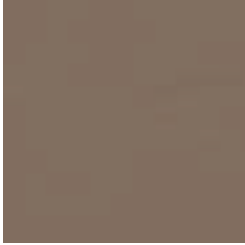






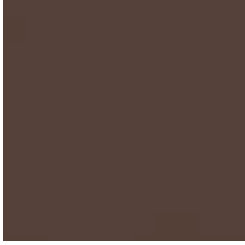






ARBORCOAT®

EXTERIOR STAINS / TINTES PARA EXTERIORES

ARBORCOAT




Benjamin Moore®

						
Alexandria Beige Beige de Alejandría	Briarwood Zarza	Sea Gull Gray Gris de Gaviota	Silver Mist Neblina de Plata	Celtic Blue Azul Celta	Cliffside Gray Gris de Acantilado	Dry Sage Salvia Seca
						
Mesa Verde Tan Bronceado de Mesa Verde	Spanish Moss Musgo Español	Platinum Gray Gris Platino	Stonehedge Stonehedge	Normandy Normandía	Ferndale Green Verde de Ferndale	Rosepine Flor de Pino
						
Fairview Taupe Gris Pardo de Fairview	Cordovan Brown Marrón Cordobés	Chelsea Gray Gris de Chelsea	Ashland Slate Pizarra de Ashland	Hamilton Blue Azul de Hamilton	Kennebunkport Green Verde de Kennebunkport	Mountain Moss Musgo de Montaña
						
Oxford Brown Marrón de Oxford	Black Negro	Amherst Gray Gris de Amherst	Westcott Navy Marina de Westcott	Blue Note Nota Azul	Salamander Salamandra	Dakota Shadow Sombra de Dakota

Available Opacities / Opacidades disponibles

CLEAR

- A clear protective coating with no color added



CLARO

- Un revestimiento claro de protección, sin color adicional

TRANSLUCENT STAIN

- Offers protection while allowing the grain pattern and texture to show through with the slightest tone
- Excellent for hardwoods
- Available in six ready-mix wood-inspired colors



TINTE TRANSLÚCIDO

- Ofrece protección a la vez que permite que el patrón del grano y la textura se vean con un suave tono
- Excelente para maderas duras
- Disponible en seis colores premezclados inspirados en madera

SEMI TRANSPARENT STAIN

- Allows most of the grain pattern to show through while providing additional protection
- Ideal for softwoods
- Available in 75 colors



TINTE SEMI-TRANSPARENTE

- Permite que se vea la mayoría del patrón del grano mientras proporciona protección adicional
- Ideal para maderas blandas
- Disponible en 75 colores

SEMI SOLID STAIN

- Provides a barrier with more color while covering most imperfections
- Ideal for softwoods
- Available in 75 colors



TINTE SEMI-SÓLIDO

- Proporciona una barrera con más color mientras cubre la mayoría de las imperfecciones
- Ideal para maderas blandas
- Disponible en 75 colores

SOLID STAIN

- Provides the most shielding and color while covering the majority of imperfections
- Suitable for all wood types
- Available in thousands of colors



TINTE SÓLIDO

- Proporciona la mayor protección y color, mientras cubre la mayoría de las imperfecciones
- Adecuado para todo tipo de madera
- Disponible en miles de colores

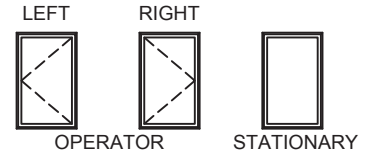
Pinnacle Series

CASEMENT - 26" WIDE

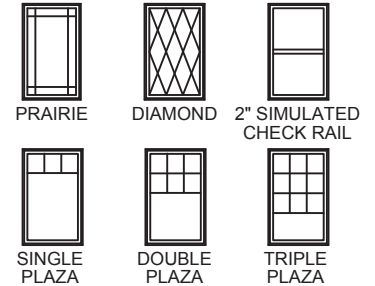
ELEVATIONS : OPERATING / STATIONARY / PICTURE
SCALE: 1/8" = 1'-0"

	Mas. Opg. Primed Mas. Opg. Clad Rough Opg. Primed Rough Opg. Clad Frame Glass	2-9 9/16 2-6 3/4 2-6 3/4 2-6 3/4 2-6 26	5-3 9/16 5-0 3/4 5-0 3/4 5-0 3/4 5-0 26	7-9 9/16 7-6 3/4 7-6 3/4 7-6 3/4 7-6 26	10-3 9/16 10-0 3/4 10-0 3/4 10-0 3/4 10-0 26
2-2 15/16 2-0 1/2 2-1 1/4 2-0 1/2 2-0 20					
2-8 15/16 2-6 1/2 2-7 1/4 2-6 1/2 2-6 26					
3-2 15/16 3-0 1/2 3-1 1/4 3-0 1/2 3-0 32					
3-8 15/16 3-6 1/2 3-7 1/4 3-6 1/2 3-6 38					
4-2 15/16 4-0 1/2 4-1 1/4 4-0 1/2 4-0 44					
4-8 15/16 4-6 1/2 4-7 1/4 4-6 1/2 4-6 50					
5-2 15/16 5-0 1/2 5-1 1/4 5-0 1/2 5-0 56					
5-8 15/16 5-6 1/2 5-7 1/4 5-6 1/2 5-6 62					

OPERATION



OTHER GRILLE PATTERNS



CLAD UNIT SIZE INFORMATION

FOR CLAD WM 180 BRICKMOULD

- ADD 2 13/16" TO FRAME WIDTH
- ADD 1 3/4" TO FRAME HEIGHT*

FOR CLAD WM 180 SOLID BACK BRICKMOULD

- ADD 2 13/16" TO FRAME WIDTH
- ADD 1 3/4" TO FRAME HEIGHT*

FOR CLAD 3 1/2 FLAT

- ADD 5 7/8" TO FRAME WIDTH
- ADD 3 5/16" TO FRAME HEIGHT*

FOR CLAD WILLIAMSBURG

- ADD 6 1/2" TO FRAME WIDTH
- ADD 3 5/8" TO FRAME HEIGHT*

* ADD ADDITIONAL 7/8" FOR 1 1/4" CLAD SUBSILL
ADD ADDITIONAL 1 7/8" FOR 2 1/4" CLAD SUBSILL

FOR PRIMED WM-180

- ADD 2 13/16" TO FRAME WIDTH
- ADD 2 13/32" TO FRAME HEIGHT*

FOR PRIMED 3 1/2" FLAT CASING

- ADD 5 13/16" TO FRAME WIDTH
- ADD 3 15/16" TO FRAME HEIGHT*

FOR PRIMED 4 1/2" BACKBAND

- ADD 7 13/16" TO FRAME WIDTH
- ADD 4 15/16" TO FRAME HEIGHT*

FOR PRIMED 5 1/2" FLAT CASING

- ADD 9 13/16" TO FRAME WIDTH
- ADD 5 15/16" TO FRAME HEIGHT*

FOR PRIMED WILLIAMSBURG

- ADD 5 3/8" TO FRAME WIDTH
- ADD 3 11/16" TO FRAME HEIGHT*

FOR PRIMED PLANTATION

- ADD 5 13/16" TO FRAME WIDTH
- ADD 5 15/16" TO FRAME HEIGHT*

* ADD ADDITIONAL 1" FOR BULLNOSE SILL

NOTES:

- * REQUIRES EGRESS HARDWARE TO MEET EGRESS REQUIREMENTS
- CLAD MASONRY OPENINGS ARE FOR STANDARD FRAME WITH NO CASING
- PRIMED MASONRY OPENINGS ARE FOR STANDARD 180 BRICKMOULD
- SHADED SIZES MEET MOST EGRESS REQUIREMENTS. VERIFY LOCAL CODES

NOTE:

ADD 3/4" TO UNIT WIDTH & 1/2" TO UNIT HEIGHT
TO CALCULATE MASONRY OPENING

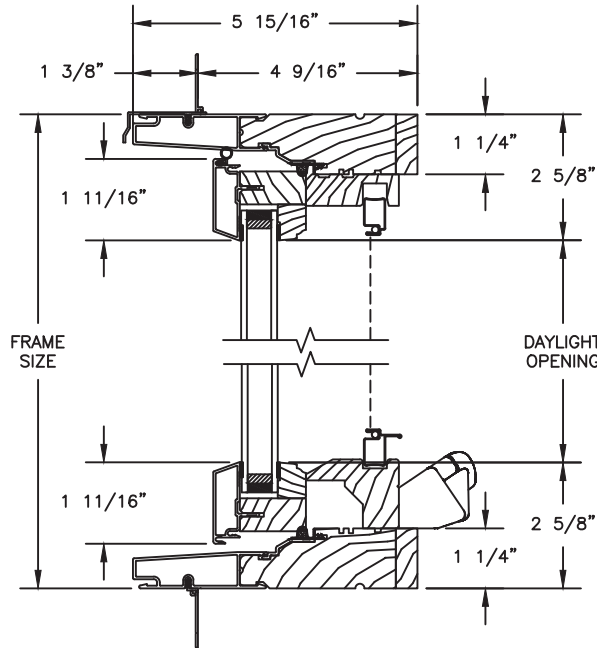
Pinnacle Series

CLAD CASEMENT

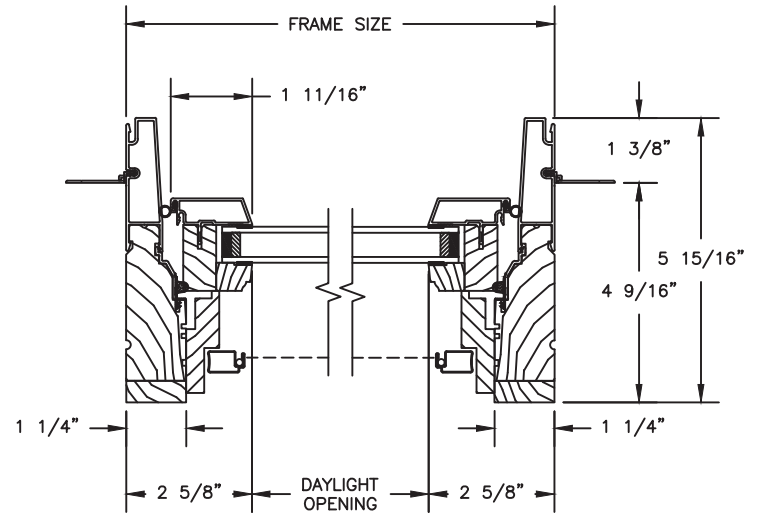
SECTION DETAILS : OPERATING / STATIONARY

SCALE: 3" = 1'-0"

OPERATING

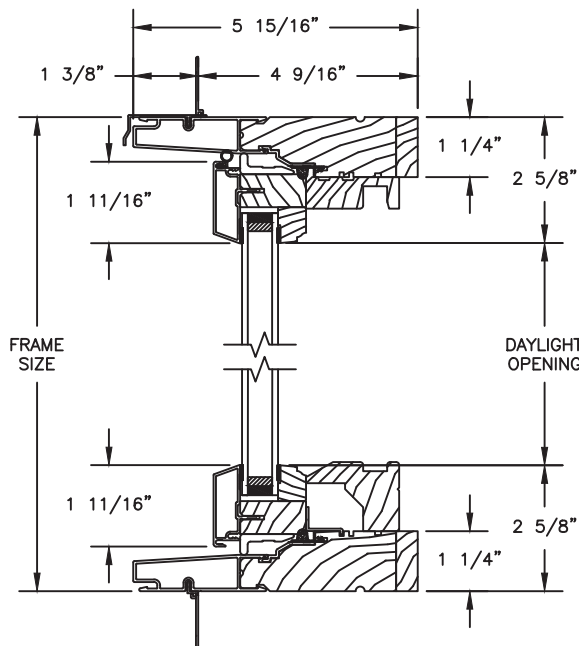


HEAD JAMB & SILL

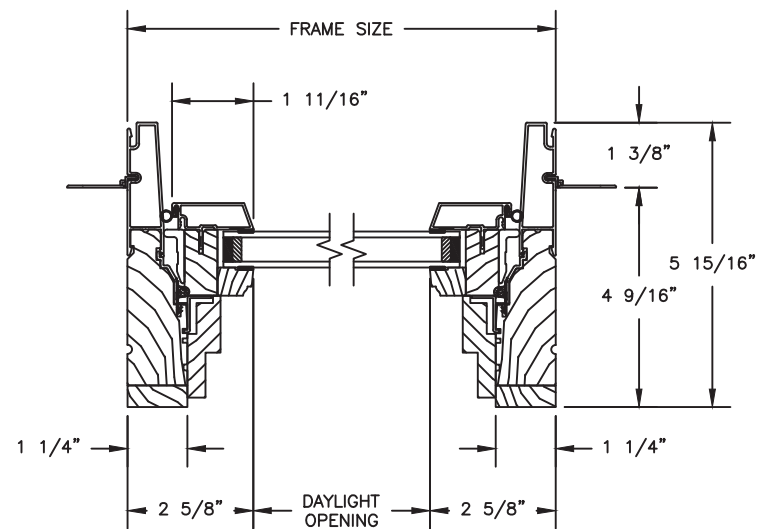


JAMBS

STATIONARY



HEAD JAMB & SILL



JAMBS

Pinnacle Series

CLAD CASEMENT

SECTION DETAILS : GLASS STOP & DIVIDED LITE OPTIONS

SCALE: 3" = 1'-0"

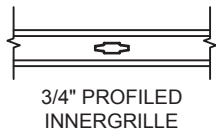
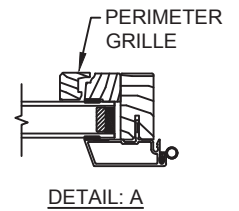
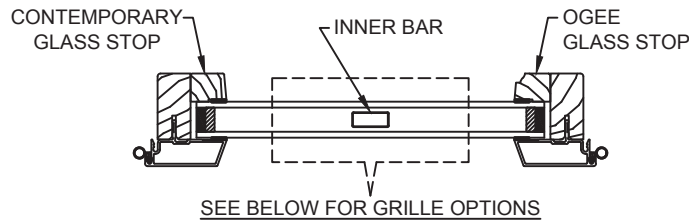
AVAILABLE STYLES

 - PUTTY

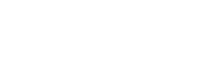
 - TALL PUTTY

 - OGEE

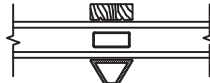
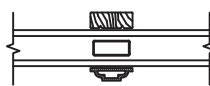
 - CONTEMPORARY



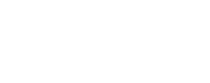
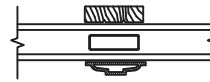
5/8" WDL WITH
INNER BAR



7/8" WDL WITH
INNERBAR



1 1/4" WDL WITH
INNERBAR



2" WDL WITH
INNERBAR



NOTE:

* ALL WDL OPTIONS CAN BE ORDERED WITH OR WITHOUT INNER BAR

* PERIMETER GRILLES ONLY AVAILABLE IN THE 7/8" AND 1 1/4" OGEE STYLE GLASS STOP (SEE DETAIL: A)

4/29/20