

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

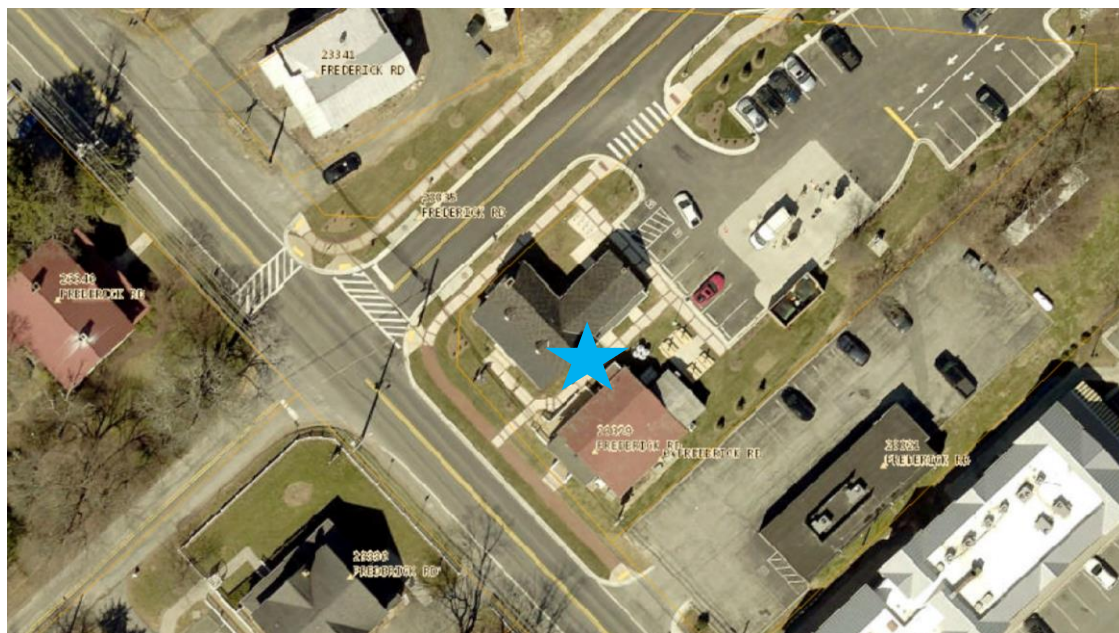
<b>Address:</b>	23335 Frederick Road, Clarksburg	<b>Meeting Date:</b>	9/9/2020
<b>Resource:</b>	Contributing Resource (Clarksburg Historic District)	<b>Report Date:</b>	9/2/2020
<b>Applicant:</b>	Aries Investment Group (Clarksburg), LLC (Joseph Wojciechowski, Architect)	<b>Public Notice:</b>	8/26/2020
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	13/10-20B	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Rear door alteration		

**STAFF RECOMMENDATION:**

☒ Approve  
☐ Approve with conditions

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Clarksburg Historic District  
**STYLE:** Vernacular, side-gable  
**DATE:** c. 1800 (rear ell), 1827-43 (front portion), early 20<sup>th</sup> century (front porch)



***Fig. 1: Subject property, as marked by the blue star.***

**PROPOSAL:**

The applicants propose the following work items at the subject property:

- Remove an existing non-historic 6-panel door on the southeast (rear/right) elevation of the existing rear ell.
- Enlarge the existing door opening by 4" to a final clear width of 3' wide for ADA compliance.
- Install a new 6-panel steel exterior door in the enlarged opening.

*(Note: All other proposed work was previously approved by the Commission via a HAWP at the March 25, 2020 HPC meeting.)*

**APPLICABLE GUIDELINES:**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.

**Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

*Secretary of Interior's Standards for Rehabilitation*

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# \_\_\_\_\_

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? ☐ Yes/District Name \_\_\_\_\_

☐ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent

\_\_\_\_\_  
Date

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

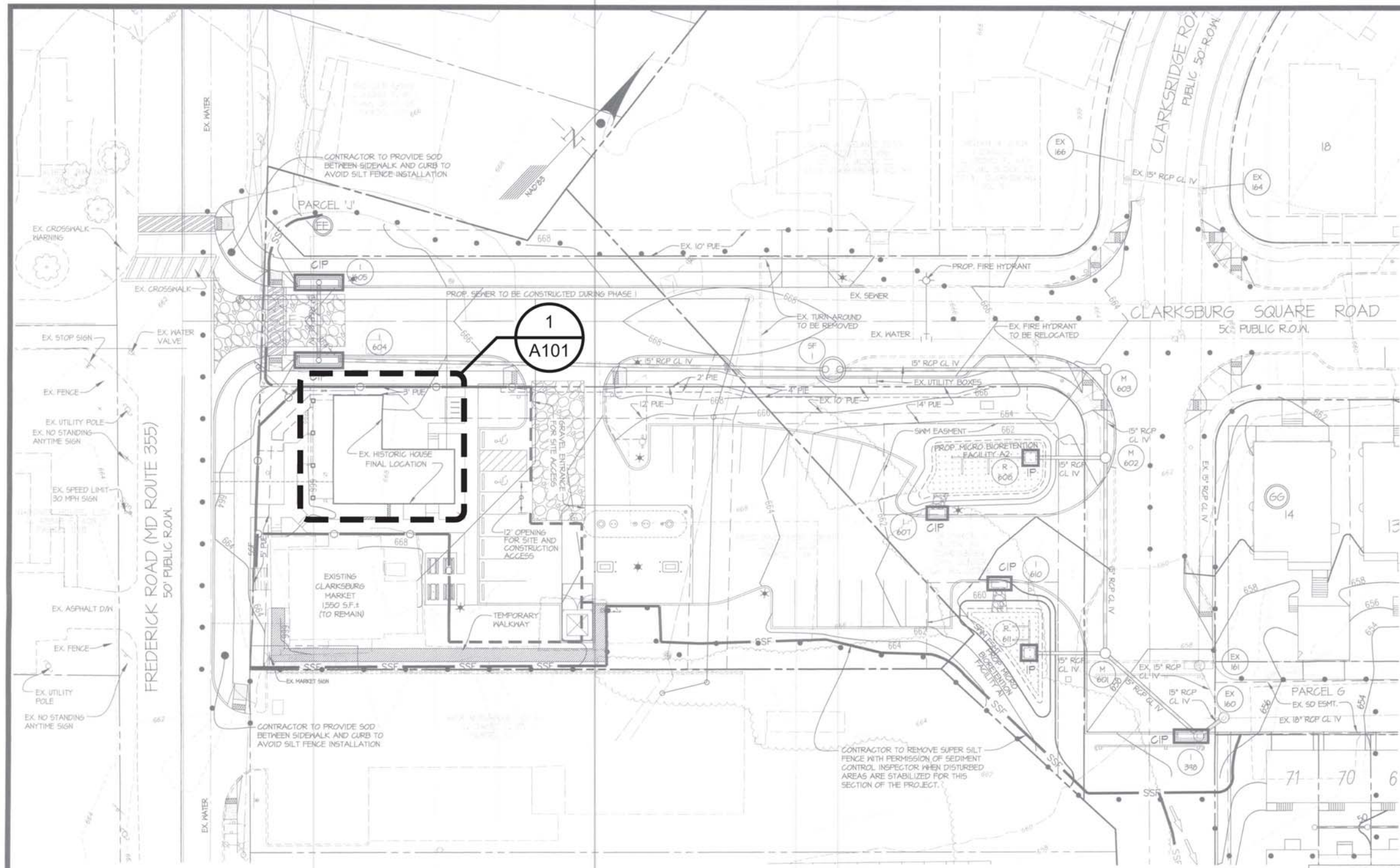
# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>Aries Investment Group, LLC  23329 Frederick Rd.  Clarksburg, MD 20871</p>	<p><b>Owner's Agent's mailing address</b></p> <p>Ward Bucher  Encore Sustainable Design, LLC  31 Light St.  Suite 500  Baltimore, MD 21202</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p><b>13139 Clarksburg Square Rd.</b></p> <p>Gregg &amp; Teresa Zolkiewicz  13139 Clarksburg Square Rd.  Clarksburg, MD 20871</p>	<p><b>13130 Clarksburg Square Rd.</b></p> <p>Laurenti &amp; Crystal Ngutter  13130 Clarksburg Square Rd.  Clarksburg, MD 20871</p>
<p><b>13137 Clarksburg Square Rd.</b></p> <p>Meisam &amp; Julia Izadjoo  13137 Clarksburg Square Rd.  Clarksburg, MD 20871</p>	<p><b>23341 Frederick Rd.</b></p> <p>Joseph Njiaju  23450 Tailor Shop Pl.  Clarksburg, MD 20871</p>
<p><b>23330 Frederick Rd.</b></p> <p>Gardner House LLC  1862 Brothers Rd.  Vienna VA, 22182</p>	<p><b>23321 Frederick Rd.</b></p> <p>Amir H Et Al Modjarrad  22222 Creekview Dr.  Gaithersburg, MD 20882</p>

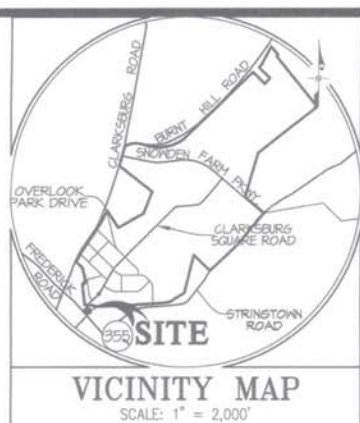




48 Hours  
Before You Dig  
Call  
"MISS UTILITY"  
Service Protection Center

MEMBER  
ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE  
1-800-257-7777



**LEGEND**

	EXISTING TREE LINE
	PROPOSED TREE LINE
	FLOODPLAIN
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING CURB
	EXISTING EDGE OF PAVING
	PROPOSED CURB
	EXISTING WATER
	EXISTING SEWER
	PROPOSED WATER
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	LIMIT OF DISTURBANCE
	EXISTING STREAM
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPOSED SUPER SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED JERSEY WALL BARRIERS
	PROPOSED CHAIN LINK CONSTRUCTION FENCE

**INLET PROTECTION NOTE:**  
INLET PROTECTION AT STRUCTURES 1-348, 1-604, 1-605, 1-607, R-608, 1-610 AND R-611 MAY BE REMOVED (WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR) ONCE THESE AREAS HAVE BASE PAVEMENT INSTALLED AND STABILIZATION IS ACHIEVED IN LANDSCAPED AREAS IMMEDIATELY ADJACENT TO THESE STRUCTURES.

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED OF A MCDPS ACCESS PERMIT.
Stormwater Management: <b>ONSITE</b>	Sediment Control Technical Requirements: <i>Thomas Warden</i> 3/22/16	Administrative Requirements: <i>Thomas Warden</i> 3/22/16
<i>Thomas Warden</i> 3/22/16	Reviewed Date	Reviewed Date
<i>Thomas Warden</i> 3/22/16	Approved Date	Approved Date
258336 SM FILE #		281463 SEDIMENT CONTROL PERMIT NO.
		<i>TEW</i> <i>Huase</i> 11/10/17

MCDPS APPROVAL OF THIS PLAN WILL EXPIRE TWO YEARS FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT BEEN STARTED.

**GLW** GUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3809 NATIONAL DRIVE - SUITE 250 - BURLINGAME OFFICE PARK  
BURLINGAME, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 281463.  
EXPIRATION DATE: JANUARY 20, 2018

*Thomas Warden*  
3/22/16

PREPARED FOR:  
THIRD TRY, L.C.  
c/o ELM STREET DEVELOPMENT  
1355 BERVLEY ROAD, SUITE 240  
MCLEAN, VIRGINIA 22101  
ATTN: KATHRYN L. KUBIT  
TEL: 703-734-9730

SCALE  
1" = 20'

DATE  
DEC., 2015

ZONING  
C-1, R-200  
RMX-2

TAX MAP - GRID  
EW - 42

**SEDIMENT AND EROSION CONTROL PLAN - PHASE 2**

**CLARKSBURG TOWN CENTER**  
**CLARKSBURG SQUARE ROAD EXTENSION**  
**STA. 0+00 TO STA. 3+75.26**

CLARKSBURG ELECTION DISTRICT No. 02

MONTGOMERY COUNTY, MARYLAND

G. L. W. FILE No.  
13042

SC/SWM  
SHEET  
4 OF 14

CLARKSBURG  
BEER & WINE  
STORE

23335 FREDERICK RD  
CLARKSBURG, MD  
20871

OWNER  
ARIES INVESTMENT  
GROUP  
(CLARKSBURG) LLC  
3841 SUGARLOAF PARKWAY  
FREDERICK, MD 21704

DESIGN TEAM

ARCHITECT  
ENCORE  
SUSTAINABLE  
DESIGN, LLC  
31 LIGHT ST.  
SUITE 500  
BALTIMORE, MD 21202

STRUCTURAL ENGINEER  
LINTON  
ENGINEERING, LLC  
46090 LAKE CENTER PLAZA  
SUITE 309  
POTOMAC FALLS, VA 20165

MEP ENGINEER  
BERA ENGINEERS  
13759 TRAVILAH RD.  
ROCKVILLE, MD 20850

DRAWING ISSUE DATES

01	02.28.20	HAWP
	03.17.20	HAWP REVISION 1
02	08.19.20	HAWP REVISION 2

SCHEMATIC DESIGN

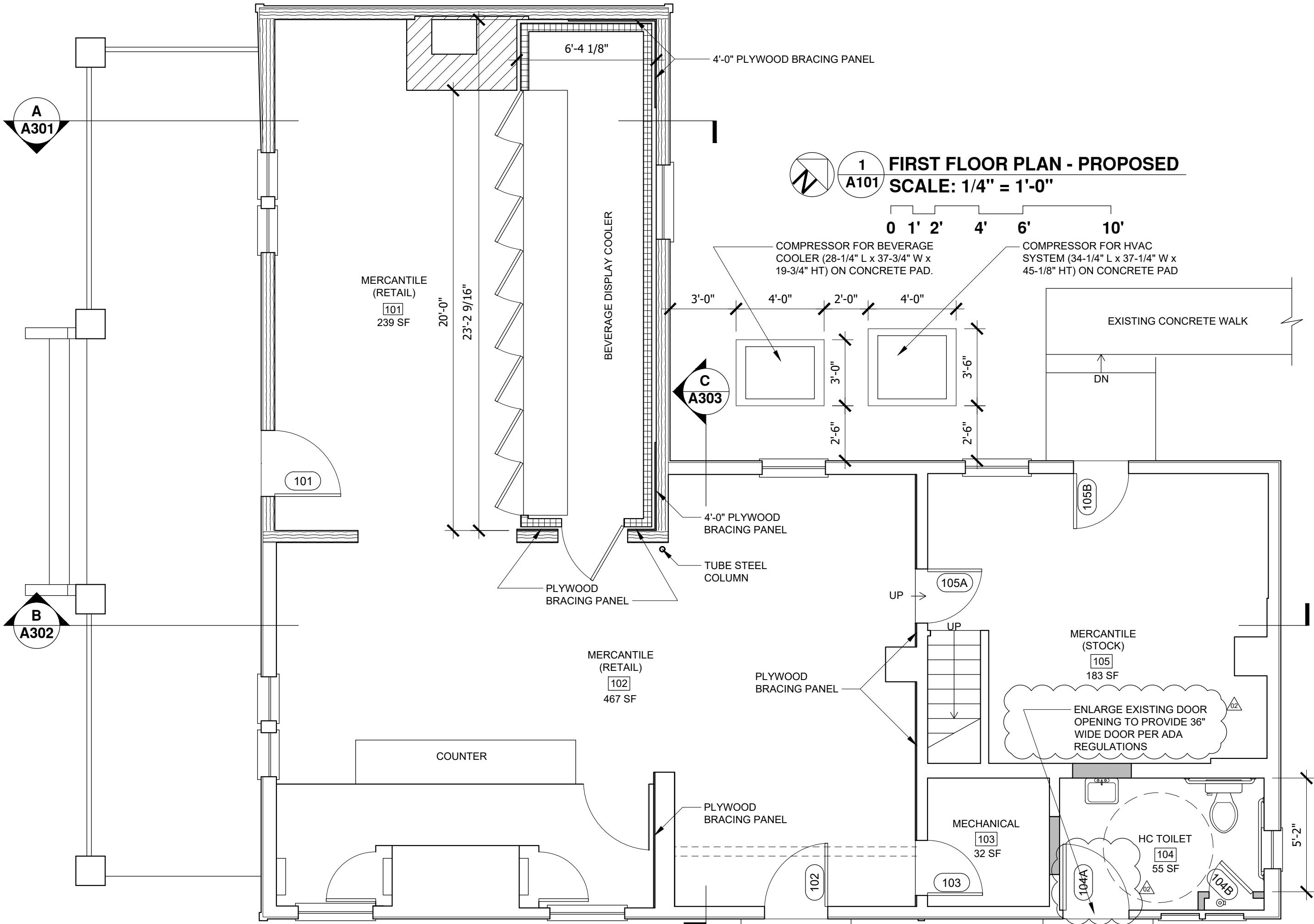
DATE: 08.19.2020

SCALE: 1/4"=1'-0"

FIRST FLOOR  
PLAN - PROPOSED

A101

ENCORE SUSTAINABLE DESIGN, LLC  
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CLARKSBURG  
BEER & WINE  
STORE

23335 FREDERICK RD  
CLARKSBURG, MD  
20871

OWNER  
ARIES INVESTMENT  
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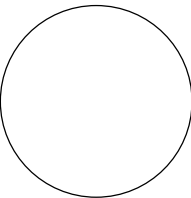
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SCHEMATIC DESIGN



DATE: 08.19.2020

SCALE: 1/4" = 1'-0"

WEST ELEVATION  
- PROPOSED

A201

CONTRACTOR TO VERIFY ALL DIMENSIONS IN  
FIELD AND INFORM ARCHITECT OF ANY  
DISCREPANCIES BEFORE STARTING WORK.  
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ENCORE SUSTAINABLE DESIGN, LLC



1 WEST ELEVATION - PROPOSED  
A201 SCALE: 1/4" = 1'-0"  
0 1' 2' 4' 6' 10'

- GENERAL NOTES:
- REPAIR DAMAGED WOOD WINDOW SASHES. REPLACE BROKEN OR MISSING GLAZING.
  - REMOVE ALL SURFACE MOUNTED ELECTRICAL CONDUIT NOT IN USE.
  - REPOINT ALL CHIMNEYS. PROVIDE METAL CAPS.
  - REMOVE AND REPLACE ASPHALT ROOF SHINGLES. EXISTING SHINGLES ON FRONT PORCH ROOF TO REMAIN.
  - REMOVE LEAD PAINT FROM EXTERIOR. REPAINT.

\*\*NOT FOR CONSTRUCTION\*\*

CLARKSBURG  
BEER & WINE  
STORE

23335 FREDERICK RD  
CLARKSBURG, MD  
20871

OWNER  
ARIES INVESTMENT  
GROUP  
(CLARKSBURG) LLC  
3841 SUGARLOAF PARKWAY  
FREDERICK, MD 21704

DESIGN TEAM

ARCHITECT  
ENCORE  
SUSTAINABLE  
DESIGN, LLC  
31 LIGHT ST.  
SUITE 500  
BALTIMORE, MD 21202

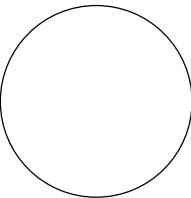
STRUCTURAL ENGINEER  
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MEP ENGINEER  
BERA ENGINEERS  
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SCHEMATIC DESIGN

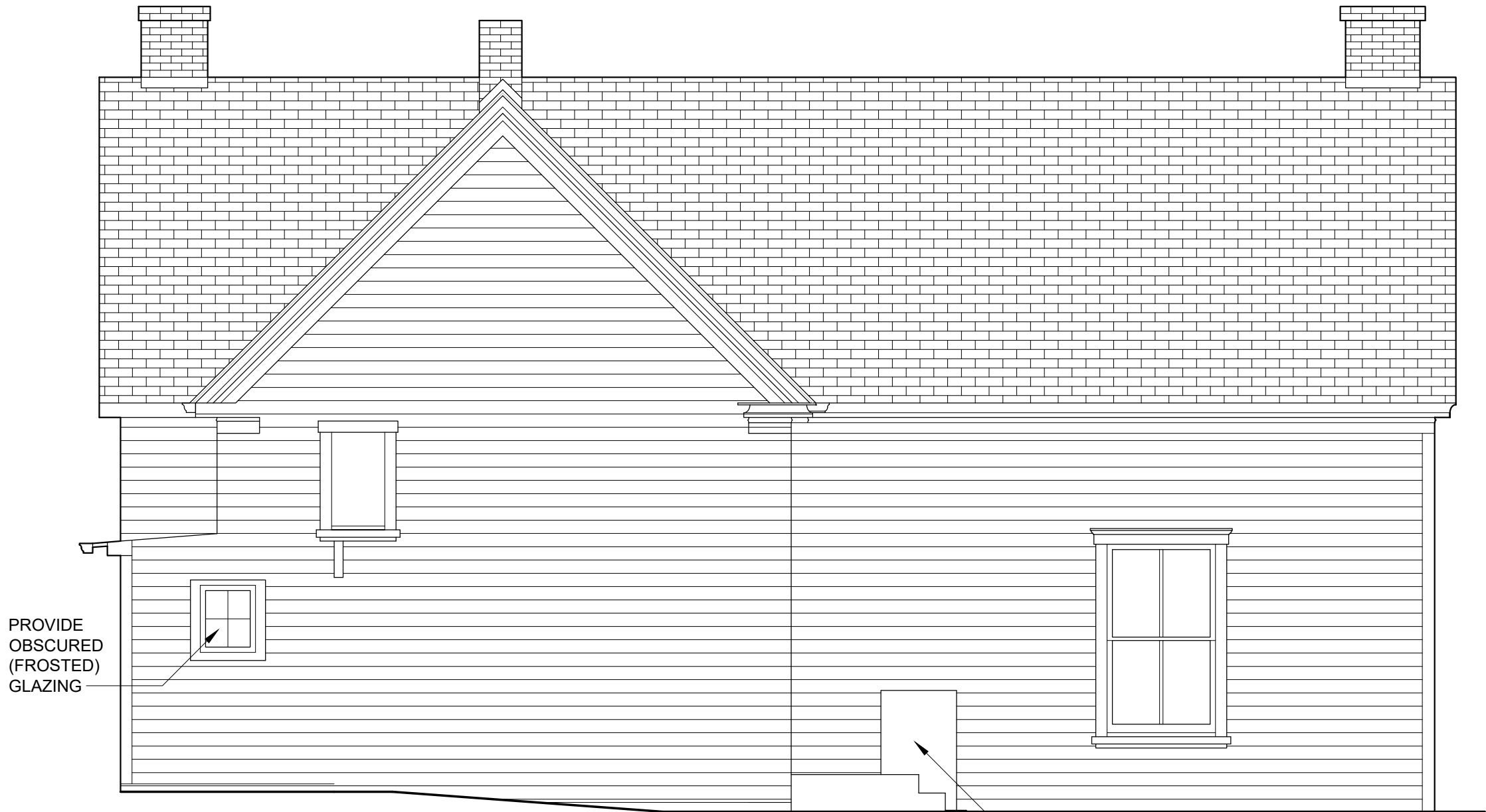


DATE: 08.19.2020

SCALE: 1/4" = 1'-0"

EAST ELEVATION  
- PROPOSED

A203



1 EAST ELEVATION - PROPOSED  
A203 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:
1. REPAIR DAMAGED WOOD WINDOW SASHES. REPLACE BROKEN OR MISSING GLAZING.
  2. REMOVE ALL SURFACE MOUNTED ELECTRICAL CONDUIT NOT IN USE.
  3. REPOINT ALL CHIMNEYS. PROVIDE METAL CAPS.
  4. REMOVE AND REPLACE ASPHALT ROOF SHINGLES. EXISTING SHINGLES ON FRONT PORCH ROOF TO REMAIN.
  5. REMOVE LEAD PAINT FROM EXTERIOR. REPAINT.



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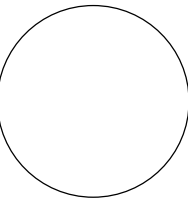
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SCHEMATIC DESIGN



DATE: 08.19.2020

SCALE: 1/4" = 1'-0"

NORTH ELEVATION  
- PROPOSED

A204

ENCORE SUSTAINABLE DESIGN, LLC  
ENCORE SUSTAINABLE DESIGN, LLC  
ENCORE SUSTAINABLE DESIGN, LLC



EXISTING 30" WD x 72" HT  
DOOR TO REMAIN

COMPRESSOR FOR  
HVAC SYSTEM ON  
CONCRETE PAD

COMPRESSOR FOR  
BEVERAGE COOLER  
ON CONCRETE PAD

GENERAL NOTES:

1. REPAIR DAMAGED WOOD WINDOW SASHES. REPLACE BROKEN OR MISSING GLAZING.
2. REMOVE ALL SURFACE MOUNTED ELECTRICAL CONDUIT NOT IN USE.
3. REPOINT ALL CHIMNEYS. PROVIDE METAL CAPS.
4. REMOVE AND REPLACE ASPHALT ROOF SHINGLES. EXISTING SHINGLES ON FRONT PORCH ROOF TO REMAIN.
5. REMOVE LEAD PAINT FROM EXTERIOR. REPAINT.

1 NORTH ELEVATION - PROPOSED  
A204 SCALE: 1/4" = 1'-0"

0 1' 2' 4' 6' 10'

\*\*NOT FOR CONSTRUCTION\*\*

CLARKSBURG  
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STORE

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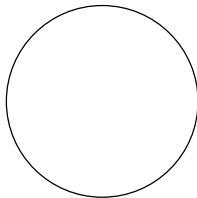
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SCHEMATIC DESIGN



DATE: 08.19.2020  
SCALE: 1/4" = 1'-0"  
NORTH ELEVATION  
- PROPOSED  
A205

CONTRACTOR TO VERIFY ALL DIMENSIONS IN  
FIELD AND INFORM ARCHITECT OF ANY  
VARIANCES BEFORE STARTING WORK.  
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1 SOUTH ELEVATION - PROPOSED  
A205 SCALE: 1/4" = 1'-0"  
0 1' 2' 4' 6' 10'

- GENERAL NOTES:
1. REPAIR DAMAGED WOOD WINDOW SASHES. REPLACE BROKEN OR MISSING GLAZING.
  2. REMOVE ALL SURFACE MOUNTED ELECTRICAL CONDUIT NOT IN USE.
  3. REPOINT ALL CHIMNEYS. PROVIDE METAL CAPS.
  4. REMOVE AND REPLACE ASPHALT ROOF SHINGLES. EXISTING SHINGLES ON FRONT PORCH ROOF TO REMAIN.
  5. REMOVE LEAD PAINT FROM EXTERIOR. REPAINT.

\*\*NOT FOR CONSTRUCTION\*\*

**Masonite® HD Steel-Edge  
High-Definition Steel Entry Doors**

**Part 1: GENERAL**

**1.1 Scope:** Subject to local building codes, this product is intended for use in:

- 1.1.1 One and two family dwellings.
- 1.1.2 Low-rise multifamily dwellings, low-rise professional offices, libraries and low-rise motels.
- 1.1.3 Lighter use industrial buildings and factories, hotels, and retail sales buildings.

**1.2 Product Description:** Side-hinged door systems manufactured by MASONITE or meeting MASONITE specifications.

1.2.1 Door system components include: door panel(s), sidelite panel(s), glass inserts, door frame, hinges, weather seals.

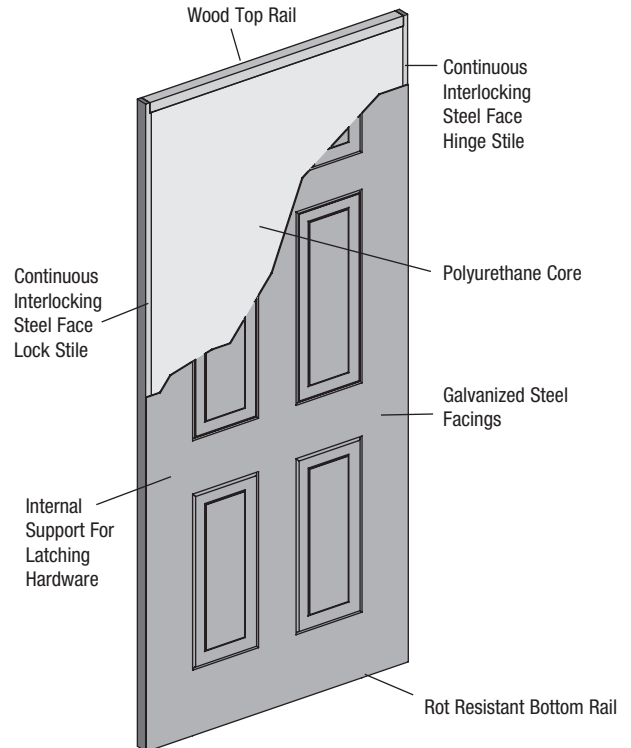
**Part 2: BASIC MATERIALS**

**2.1 Door Panel:** Masonite HD steel-edge steel doors shall be fabricated using 4-piece construction that includes primed white 0.0215" (+/-0.0015) hot dipped galvanized strike side and hinge side steel facings, coated with multiple protective chemical layers to promote paint adhesion and deter corrosion. Top rail is finger jointed wood or steel channel. Composite bottom rail is moisture and decay resistant. Lock areas reinforced for single and double bore configurations. Door facings are to be interlocked together utilizing plastic thermal break forming a mechanical bond. Insulated core to be poured-in-place, high performance polyurethane foam (2.0 pcf minimum) forming a secure attachment to all door components.

2.1.1 Bottom rail may be machined to accept weather seal. Mounting surface for latching hardware to be reinforced with solid internal blocking. Hinge preparations with 12 gauge reinforcement plate are to be placed at MASONITE specifications and are to be machined for standard weight full mortise 4" butt hinges. Latch preparations are to be placed at MASONITE specifications. Face bore(s) for cylindrical lock and deadbolt are to be 2-1/8" diameter at 2-3/4" or 2-3/8" backset and 5-1/2" on center (5-1/2" or 10-1/2" on 8'0" panels).

**2.3 Glass Insert:** Specialty™ insulated glass inserts shall be fabricated in 1/2" double pane or 1" triple pane construction. Glass frame may be "lip lite" design in rigid plastic or cellular vinyl.

**2.4 Door Frame:** Wood frames shall be fabricated as a single rabbet jamb design. Hinge jamb(s), strike jamb, head jamb, and mullion(s) shall be machined to accept a kerf applied weather seal. Hinge jamb preparations are to be placed at MASONITE specifications and are to be machined for standard weight full mortise 4" butt hinges. Strike jamb preparations are to be placed at MASONITE specifications and are to be machined for full lip cylindrical strike plate. Inswing or bumper outswing threshold shall be high-dam design. Low profile threshold shall be required for handicap accessible openings. Double door units shall include a t-astragal attached to the "passive" panel with top and bottom flush bolts that securely strike into the head jamb



and threshold.

**2.5 Hinges:** (3) standard weight full mortise 4" butt hinges are required on doors 7'0" height or smaller & (4) on doors greater than 7'0".

**2.6 Weather Seal:** Door frame shall be fabricated featuring a vinyl wrapped foam filled compression design that is kerf installed. Corner seals shall be installed to the rabbet section of the door frame at the bottom of the hinge and lock jamb. Door bottom sweep shall be sealed and securely attached to the operable door panel(s).

**Part 3: DELIVERY, STORAGE & HANDLING**

**3.1 Delivery:** Reasonable care shall be exercised during shipping and handling in keeping with the decorative nature of product.

**3.2 Storage & Protection:** Store upright in a dry, well ventilated building or shelter at a constant temperature. Do not store in damp areas or freshly plastered buildings. Place units on wood blocks at least 2" high to prevent moisture at threshold and/or possible damage. Do not place in non-vented plastic or canvas shelters.

**Part 4: EXECUTION**

**4.1 Examination:** Site verification of substrate conditions, which have been previously completed, are acceptable for the product installation instructions in accordance with manufacturer's specifications. Verify that door frame openings are constructed plumb, true and level before beginning installation process. Select fasteners of adequate type, number and quality to perform the intended functions.

**4.2 Installation:** Remove protective packaging just prior to installation. Installer shall be experienced in performing work required and shall be specialized in the installation of work similar to that required for this project. Comply with manufacturer's product data, including product technical bulletins, product catalog installation instructions and product packaging instructions for installation.

**4.3 Flashing, Insulating & Trimming:** Exterior of installed unit shall be flashed, trimmed & sealed to prevent air infiltration and/or water penetration. Interior of installed unit shall be insulated & trimmed to prevent thermal and/or acoustical transmission.

**4.4 Finishes:** Various types of materials are used in the construction of the door system; each shall be sealed in accordance with manufacturer's specifications to protect against various environmental conditions. Make sure to seal and inspect all 5-surfaces (top, hinge side, lock side, exterior face and interior face) of the active door panel(s). Finishing and/or re-finishing must be completed within 45-days from the time the protective packaging was removed and/or the installation was performed. Conduct periodic inspections of all coated surfaces to insure that door components are not exposed. Inspections should occur at least once a year. Reseal the surface as needed.

**Part 5: BUILDING CODE & REGULATORY COMPLIANCE**

**5.1 Fire Resistance:** Unit scheduled for installation in openings requiring compliance with national, state or local fire guidelines shall be clearly noted when product is ordered. Masonite® HD metal-edge steel door panels have been evaluated for use as fire doors in 90-minute locations; available up to 3'0" x 8'0" maximum size for single door opening requirements. Some configurations may require steel rail construction. Labeling is available under the Intertek Testing services / Warnock Hersey program. Fire doors require the use of a fire rated frame system and must be installed in accordance with NFPA 80 guidelines. (Please check with manufacturer or distributor for limitations of use).

**5.2 Structural Performance & Impact Rating:** Unit scheduled for installation in openings requiring compliance with national, state or local wind load and/or missile impact resistance shall be clearly noted when product is ordered. Design pressure (DP) ratings are available for a wide selection of door styles and configurations

are listed under the National Accreditation & Management Institute (NAMI) program. Masonite® HD steel-edge steel door unit is available up to +76.0 / -76.0 Design Pressure (DP) rating. (See structural performance data for unit specific DP/impact information).

**5.3 Thermal Performance:** Unit scheduled for installation in openings requiring compliance with national, state, or local thermal resistance and/or solar heat gain shall be clearly noted when product is ordered. U-Factor & SHGC ratings in accordance with the International Energy Conservation Code (IECC) and/or the National Fenestration Rating Council (NFRC) are available for a wide selection of door styles. ENERGY STAR compliance / labeling is available for various door styles. Masonite® HD metal-edge steel door unit without glass U-Factor is 0.15 & SHGC is 0.01 thermal performance rating. ([See thermal performance data for unit specific information](#)).

**5.4 Acoustical Performance:** Unit scheduled for installation in openings requiring a specified noise control rating shall be clearly noted when product is ordered. Masonite® HD metal-edge steel sound transmission classification (STC) rating is 22 for a door without a glass insert. ([See acoustical performance data for unit specific information](#)).

**5.5 General Performance:** All door systems are designed to comply with water penetration guidelines in accordance with ASTM E331 and/or Florida Building Code TAS202; air infiltration guidelines in accordance with ASTM E283 and/or Florida Building Code TAS202; forced entry resistance guidelines in accordance with Florida Building Code TAS202.

**Part 6: WARRANTY**

**6.1** Manufacturer warrants the panel to be free of manufacturing defects in material and workmanship for 15-years. Please check with manufacturer or distributor for current warranty terms and conditions.





Photo 01

Front Facade (West Elevation) View from across Frederick Road at 23330 Frederick Road  
Photo by Ward Bucher | March 01, 2020



Photo 02

Side Facade (North Elevation)  
Photo by Ward Bucher | March 01, 2020





Photo 03  
Rear Facade (East Elevation)  
Photo by Ward Bucher | March 01, 2020



Photo 04  
Side Facade (South Elevation)  
Photo by Ward Bucher | March 01, 2020





Photo 05  
View from public right of way at intersection of Frederick Road and  
Clarksburg Square Road  
Photo by Ward Bucher | March 01, 2020



Photo 06  
Side Facade. View from across Clarksburg Square Road at 23341 Frederick Road  
Photo by Ward Bucher | March 01, 2020





Photo 07

View of from adjacent property at 23321 Frederick Road.  
The view of the building is obstructed by 23329 Frederick Road  
Photo by Ward Bucher | March 01, 2020



Photo 08

Side/Rear Facade. View from across Clarksburg Square Road at  
13139 & 13137 Clarksburg Square Road  
Photo by Ward Bucher | March 01, 2020



Photo 09  
Rear Facade. View from across Clarksridge Road at  
13130 Clarksburg Square Road  
Photo by Ward Bucher | March 01, 2020

Photo 10  
Not Used





Photo 11  
Existing door #104A to be enlarged on Side Facade (South Elevation).  
Existing dimensions are 6'-6" HT x 2'-6" WD  
Photo by Ward Bucher | March 01, 2020



Photo 12  
Close up view of existing 3-Tab shingles to be replaced like-in-kind.  
Photo by Ward Bucher | March 01, 2020

## Current Project - Project Markups Listing

COMBUILD-909954

Highlighted Comments from Code official that require an assessable door to the toilet room. Interior door on an assessable route is not feasible

File Name	Markup Name	Markup Text	Markup Date	Created by
A102 Plans 2nd & R.pdf	Architecture and Life Safety 2nd Susp	Provide 1-hour fire resistance rated horizontal assembly/floor ceiling assembly to separate office on the 2nd floor from storage on the ground floor. Hazardous areas shall be protected in accordance with Section 8.7. NFPA 101, 36.3.2.1.1* •In general storage and stock areas protected by an automatic extinguishing system in accordance with 9.7.1.1(1) or 9.7.1.2, an enclosure shall be exempt from the provisions of 8.7.1.2. NFPA 101, 36.3.2.1.2 • Protection from any area having a degree of hazard greater than that normal to the general occupancy of the building or structure shall be provided by one of the following means: (1) Enclosing the area with a fire barrier without windows that has a 1-hour fire resistance rating in accordance with Section 8.3 (2) Protecting the area with automatic extinguishing systems in accordance with Section 9.7. NFPA 101,	08/06/2020	Stacy Dyer
A102 Plans 2nd & R.pdf	Architecture and Life Safety 2nd Susp		08/06/2020	Stacy Dyer
A102 Plans 2nd & R.pdf	Architecture and Life Safety 2nd Susp		08/06/2020	Stacy Dyer
A102 Plans 2nd & R.pdf	Architecture and Life Safety 2nd Susp	Provide UL listing for 1-hour fire resistance rated horizontal assembly.	08/06/2020	Stacy Dyer
A102 Plans 2nd & R.pdf	Architecture and Life Safety 2nd Susp	Fire resistance rated horizontal assembly shall meet continuity requirement: Fire barriers shall comply with one of the following: (1) The fire barriers are continuous from outside wall to outside wall or from one fire barrier to another, or a combination thereof, including continuity through all concealed spaces, such as those found above a ceiling, including interstitial spaces. (2) The fire barriers are continuous from outside wall to outside wall or from one fire barrier to another, and from the floor to the bottom of the interstitial space, provided that the construction assembly forming the bottom of the interstitial space has a fire resistance rating not less than that of the fire barrier. NFPA 101, 8.3.1.2*	08/06/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety 2nd Susp	Provide an interior access to accessible toilet room. Accessibility requirements. The provisions of Sections 705, 806 and 906, as applicable, shall apply to facilities designated as historic structures that undergo alterations, unless technically infeasible. Where compliance with the requirements for accessible routes, entrances or toilet rooms would threaten or destroy the historic significance of the building or facility, as determined by the code official, the alternative requirements of Sections 1204.1.1 through 1204.1.4 for that element shall be permitted. IEBC 1204.1 •Toilet and bathing facilities. Where toilet rooms are provided, at least one accessible family or assisted-use toilet room complying with Section 1109.2.1 of the International Building Code shall be provided. IEBC 1204.1.4	08/06/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety 2nd Susp		08/06/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety 2nd Susp		08/06/2020	Stacy Dyer

## Current Project - Project Markups Listing

A101 Plans B & 1st.pdf	Architecture and Life Safety 2nd Susp	Provide an interior access to accessible toilet room. Alterations to Qualified Historic Buildings and Facilities. Alterations to a qualified historic building or facility shall comply with 202.3 and 202.4. EXCEPTION: Where the State Historic Preservation Officer or Advisory Council on Historic Preservation determines that compliance with the requirements for accessible routes, entrances, or toilet facilities would threaten or destroy the historic significance of the building or facility, the exceptions for alterations to qualified historic buildings or facilities for that element shall be permitted to apply. ADAAG 202.5 •Alterations. Where existing elements or spaces are altered, each altered element or space shall comply with the applicable requirements of Chapter 2. ADAAG 202.3 •Alterations Affecting Primary Function Areas. In addition to the requirements of 202.3, an alteration that affects or could affect the usability of or access	08/06/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety 2nd Susp	New door shall meet the clear width requirements. Door openings shall provide a clear width of 32 inches minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees. Openings more than 24 inches deep shall provide a clear opening of 36 inches minimum. There shall be no projections into the required clear opening width lower than 34 inches above the finish floor or ground. Projections into the clear opening width between 34 inches and 80 inches above the finish floor or ground shall not exceed 4 inches. ADAAG 404.2.3	08/06/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety 2nd Susp	Provide maneuvering clearances at any new interior door. Minimum maneuvering clearances at doors and gates shall comply with 404.2.4. Maneuvering clearances shall extend the full width of the doorway and the required latch side or hinge side clearance. ADAAG 404.2.4 •Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.4.1. ADAAG 404.2.4.1	08/06/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety 2nd Susp	Provide a Use and Occupancy number that will be assigned once U&O application is process and paid for. Contact a commercial permit tech at 240-777-0311 to apply for a Use and Occupancy. A U&O number will be assigned to permit. Provide U&O number. No building or structure shall be used or occupied, and no change in the existing occupancy classification of a building or structure or portion thereof shall be made, until the building official has issued a certificate of occupancy therefor as provided herein. Issuance of a certificate of occupancy shall not be construed as an approval of a violation of the provisions of this code or of other ordinances of the jurisdiction. IBC 111.1	08/06/2020	Stacy Dyer
COMcheck Envelope.pdf	Path of compliance	Path of compliance must be consistant for the entire project	07/22/2020	Farhang Bahrami
COMcheck Envelope.pdf	Path of compliance		07/22/2020	Farhang Bahrami
HVAC Load Cacls.pdf	HVAC load calc	Please provide the Project name on the HVAC load calc.	07/22/2020	Farhang Bahrami
M101 HVAC Plans.pdf	said	The HVAC unit schedule does not coordinate with floor plan.	07/21/2020	Said Nadimabadi
M101 HVAC Plans.pdf	said		07/21/2020	Said Nadimabadi
M101 HVAC Plans.pdf	said		07/21/2020	Said Nadimabadi



## Current Project - Project Markups Listing

A102 Plans 2nd & R.pdf	Architecture and Life Safety Suspension Comments	Provide a one-hour fire barrier walls to separate the storage rooms from the other rooms in tenant space. Provide doors with fire protection rating of 45 minutes. In general storage and stock areas protected by an automatic extinguishing system in accordance with 9.7.1.1(1) or 9.7.1.2, an enclosure shall be exempt from the provisions of 8.7.1.2. NFPA 101, 36.3.2.1.2 •Protection from any area having a degree of hazard greater than that normal to the general occupancy of the building or structure shall be provided by one of the following means:(1) Enclosing the area with a fire barrier without windows that has a 1-hour fire resistance rating in accordance with Section 8.3. NFPA 101, 8.7.1.1* •Doors in barriers required to have a fire resistance rating shall have a minimum ¾-hour fire protection rating and shall be self-closing or automatic-closing in accordance with 7.2.1.8. NFPA 101, 8.7.1.3	06/30/2020	Stacy Dyer
A102 Plans 2nd & R.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A102 Plans 2nd & R.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A102 Plans 2nd & R.pdf	Architecture and Life Safety Suspension Comments	Provide headroom detail for each room in tenant space that complies with the following: Means of egress shall be designed and maintained to provide headroom in accordance with other sections of this Code, and such headroom shall be not less than 7 ft 6 in., with projections from the ceiling not less than 6 ft 8 in. with a tolerance of -¾ in., above the finished floor, unless otherwise specified by any of the following: (1) In existing buildings, the ceiling height shall be not less than 7 ft from the floor, with projections from the ceiling not less than 6 ft 8 in.	06/30/2020	Stacy Dyer
A102 Plans 2nd & R.pdf	Architecture and Life Safety Suspension Comments	Provide exit signs and directional exit signs throughout tenant space. Where an exit is not immediately apparent from all portions of the sales area, means of egress shall have signs in accordance with Section 7.10. NFPA 101, 36.2.10	06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments	Provide a 36 inch wide door which will provide a clear width of 32 inches. The required capacity of each door opening shall be sufficient for the occupant load thereof and shall provide a minimum clear width of 32 inches. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). IBC 1010.1.1	06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments	Provide exit signs and directional exit signs throughout tenant space. Where an exit is not immediately apparent from all portions of the sales area, means of egress shall have signs in accordance with Section 7.10. NFPA 101, 36.2.10	06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments	Provide headroom detail for each room in tenant space that complies with the following: Means of egress shall be designed and maintained to provide headroom in accordance with other sections of this Code, and such headroom shall be not less than 7 ft 6 in., with projections from the ceiling not less than 6 ft 8 in. with a tolerance of -¾ in., above the finished floor, unless otherwise specified by any of the following: (1) In existing buildings, the ceiling height shall be not less than 7 ft from the floor, with projections from the ceiling not less than 6 ft 8 in.	06/30/2020	Stacy Dyer

## Current Project - Project Markups Listing

A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments	Provide a one-hour fire barrier walls to separate the storage rooms from the other rooms in tenant space. Provide doors with fire protection rating of 45 minutes. In general storage and stock areas protected by an automatic extinguishing system in accordance with 9.7.1.1(1) or 9.7.1.2, an enclosure shall be exempt from the provisions of 8.7.1.2. NFPA 101, 36.3.2.1.2 • Protection from any area having a degree of hazard greater than that normal to the general occupancy of the building or structure shall be provided by one of the following means:(1) Enclosing the area with a fire barrier without windows that has a 1-hour fire resistance rating in accordance with Section 8.3. NFPA 101, 8.7.1.1* •Doors in barriers required to have a fire resistance rating shall have a minimum ¾-hour fire protection rating and shall be self-closing or automatic-closing in accordance with 7.2.1.8. NFPA 101, 8.7.1.3	06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments	Accessible service counter shall comply with the following: Sales counters and service counters shall comply with 904.4.1 or the accessible portion of the counter top shall extend the same depth as the sales or service counter top. ADAAG 904.4 and 904.4.2. a.Parallel Approach shall comply with ADAAG 904.4.1 or b.Forward Approach shall comply with ADAAG 904.4.2. ADAAG 904.3.3	06/30/2020	Stacy Dyer
A101 Plans B & 1st.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments	The use of bolt locks on means of egress doors are restricted. Provide means of egress door that meet the following requirements: •Door operations. Except as specifically permitted by this section, egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort. IBC 1010.1.9 •Bolt locks. Manually operated flush bolts or surface bolts are not permitted. Exceptions:3. Where a pair of doors serves an occupant load of less than 50 persons in a Group B, F or S occupancy, manually operated edge- or surface-mounted bolts are permitted on the inactive leaf. The inactive leaf shall not contain doorknobs, panic bars or similar operating hardware. IBC 1010.1.9.4 •Unlatching. The unlatching of any door or leaf shall not require more than one operation. IBC 1010.1.9.5	06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer

## Current Project - Project Markups Listing

A601 Schedules.pdf	Architecture and Life Safety Suspension Comments	Security doors shall meet the following requirements: Horizontal or vertical security grilles or doors complying with 7.2.1.4.1(3) shall be permitted to be used as a part of the required means of egress from a tenant space. NFPA 101, 36.2.2.2.7 Where permitted in Chapters 11 through 43, horizontal-sliding or vertical-rolling security grilles or door assemblies that are part of the required means of egress shall be permitted, provided that all of the following criteria are met: (a) Such grilles or door assemblies shall remain secured in the fully open position during the period of occupancy by the general public. (b) On or adjacent to the grille or door opening, there shall be a readily visible, durable sign in letters not less than 1 in. (25 mm) high on a contrasting background that reads as follows: THIS DOOR TO REMAIN OPEN WHEN THE SPACE IS OCCUPIED. (c) Door leaves or grilles shall not be brought to the closed position when the space is occupied.	06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments	Provide a 36 inch wide door which will provide a clear width of 32 inches. The required capacity of each door opening shall be sufficient for the occupant load thereof and shall provide a minimum clear width of 32 inches. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). IBC 1010.1.1	06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
A601 Schedules.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G000 Cover Sheet.pdf	Architecture and Life Safety Suspension Comments	Exterior sign was not reviewed under this permit. Add a note that any exterior sign a separate sign permit will be applied for. A sign permit is required for permanent exterior sign, as defined by the Montgomery County Zoning Ordinance before the sign is erected in the county. This requirement applies to all types of signs, including free standing, wall-mounted, and marquee signs. Illuminated signs require both sign and electrical permits.	06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments	Please submit a response letter with corrected sheets.	06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments	Provide description of work to be done on the interior and exterior of tenant space. Scope of work should include description of any architectural changes and any mechanical, electrical and structural work.	06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments	New use group classification requires a Use and Occupancy number. Contact a commercial permit tech at 240-777-0311 to apply for a Use and Occupancy. A U&O number will be assigned to permit. Provide U&O number. No building or structure shall be used or occupied, and no change in the existing occupancy classification of a building or structure or portion thereof shall be made, until the building official has issued a certificate of occupancy therefor as provided herein. Issuance of a certificate of occupancy shall not be construed as an approval of a violation of the provisions of this code or of other ordinances of the jurisdiction. IBC 111.1	06/30/2020	Stacy Dyer

## Current Project - Project Markups Listing

G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments	Revise floor plan to identify all exit doors that serves tenant space. Single exit shall meet the following requirement. Exit access, as required by 36.2.4.1(3), shall be permitted to include a single exit access path for the distances permitted as common paths of travel by 36.2.5.3. NFPA 101, 36.2.4.2 •Common paths of travel shall be limited by any of the following: Common paths of travel shall not exceed 75 ft in mercantile occupancies classified as low or ordinary hazard. NFPA 101, 36.2.5.3	06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments	Will these doors serves as an exit from tenant space?	06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments	Storage room shall meet the following restriction on single exit access travel. Common path of travel for single exit tenant space exceeds 50 feet. Provide second remotely located exit door. The number of means of egress shall comply with any of the following: In ordinary hazard storage occupancies, a single means of egress shall be permitted from any story or section, provided that the exit can be reached within the distance permitted as a common path of travel. NFPA 101, 42.2.4.1	06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments	Revise Occupant Load Factor. Use 30 square feet per person for sales floor located on street level as per Table 7.3.1.2 of NFPA 101.	06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments	Revise Occupant Load Factor by using 100 square feet per person for office space in tenant space. NFPA 101. Table 7.3.1.2	06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
G001 Code Summary.pdf	Architecture and Life Safety Suspension Comments		06/30/2020	Stacy Dyer
Comment Sheet v2.png	Kalpiti Amin PE		06/11/2020	Kalpiti Amin
Comment Sheet v2.png	Kalpiti Amin PE		06/11/2020	Kalpiti Amin
E101 Elec Plans.pdf	lighting controls	path of compliance must be consistent for the entire project, either 90.1- 2013 ASHRAE or the IECC code but not both.	06/10/2020	Farhang Bahrami
E101 Elec Plans.pdf	lighting controls		06/10/2020	Farhang Bahrami
E101 Elec Plans.pdf	lighting controls	If the path of compliance is 90.1-2013, interior lighting fixture controls must comply with Table 9.6.1	06/10/2020	Farhang Bahrami
M001 HVAC General.pdf	path of compliance	The path of compliance must be consistent, either 90.1-2013 or IECC 2015 but not both.	06/10/2020	Farhang Bahrami
M001 HVAC General.pdf	path of compliance		06/10/2020	Farhang Bahrami

## Current Project - Project Markups Listing

M101 HVAC Plans.pdf	mech. requirements	please provide schedule for new HVAC including specifying the efficiency. Based on path of compliance, please provide HVAC load calculations including all the raw, input and output datas. Please provide the cut sheets and condenser efficiency for the beverage display cases.	06/10/2020	Farhang Bahrami
P101 Plumb Plans.pdf	path of compliant	The 2012 IECC is no longer enforced by Montgomery county permitting office.	06/10/2020	Farhang Bahrami
M101 HVAC Plans.pdf	said		06/05/2020	Said Nadimabadi
M101 HVAC Plans.pdf	said	Please show exhaust for toilet	06/05/2020	Said Nadimabadi
M101 HVAC Plans.pdf	said		06/05/2020	Said Nadimabadi
M101 HVAC Plans.pdf	said	Provide capacity for cooler (BTU/Hr)	06/05/2020	Said Nadimabadi