

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10111 Meadowneck Court, Silver Spring	<b>Meeting Date:</b>	9/23/2020
<b>Resource:</b>	Nominal (1936+) <b>Capitol View Park Historic District</b>	<b>Report Date:</b>	9/16/2020
<b>Applicant:</b>	Adam Wendell	<b>Public Notice:</b>	9/9/2020
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Case Number:</b>	31/07-20K	<b>Staff:</b>	Dan Bruechert
<b>PROPOSAL:</b>	Demolition of Existing Deck and New Deck Construction		

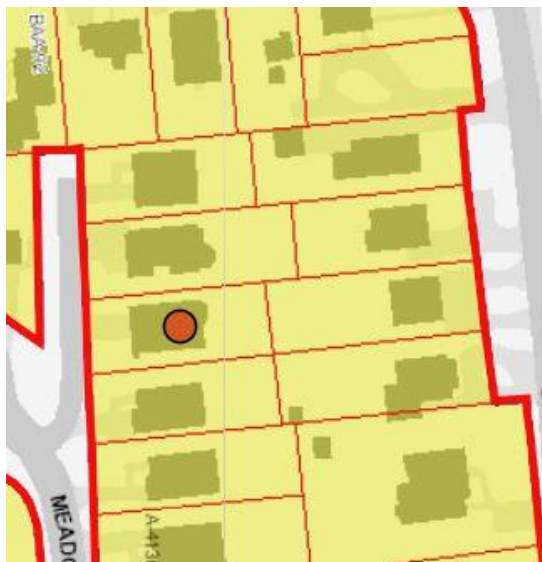
---

**STAFF RECOMMENDATION**

☒ Approve  
☐ Approve with conditions

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Nominal (1936+) Resource to the Capitol View Park Historic District  
**STYLE:** Queen Anne  
**DATE:** 1985



*Fig. 1: 10111 Meadowneck Court, Silver Spring*

**PROPOSAL**

The applicant proposes to demolish the existing rear deck and install a new rear deck approximately double the size. The proposed deck will have composite decking and a PVC handrail. Generally, these materials are disfavored in a historic district, however, the subject property was developed in 1985 and



has vinyl siding and windows. Staff finds the materials are consistent with the property and, because the deck is not visible from the public right-of-way, it will not harm the character of the surrounding district.

### **APPLICABLE GUIDELINES**

#### **Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
10. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.

#### **Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

#### ***Secretary of Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The relevant *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resources and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, 9, and 10;*



and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.





FOR STAFF ONLY:  
HAWP# 925214  
DATE ASSIGNED \_\_\_\_\_

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

**APPLICANT:**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? Yes/District Name \_\_\_\_\_

No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: \_\_\_\_\_

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent

\_\_\_\_\_  
Date



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:



Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

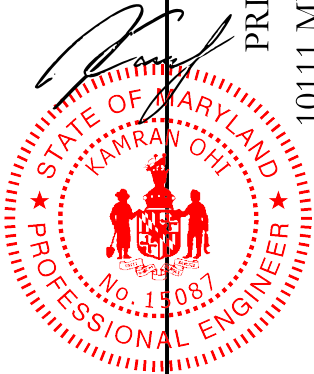


# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



SCOPE OF WORK		LUMBER		REINFORCEMENT	
DEMOLISH EXISTING REAR DECK AND REBUILD NEW REAR DECK ON SONOTUBE CONCRETE FOOTINGS.					
GENERAL REQUIREMENTS					
<div><div>1.</div><div>WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS.</div><div>2.</div><div>ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS.</div><div>3.</div><div>DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. ALL DIMENSIONS ARE TO THE ROUGH UNLESS NOTED OTHERWISE.</div><div>4.</div><div>DISCREPANCIES: THE CONTRACTOR SHALL COMPARE &amp; COORDINATE ALL DRAWINGS; WHEN IN THE OPINION OF THE CONTRACTOR, A DISCREPANCY EXISTS HE SHALL PROMPTLY REPORT IT TO THE DESIGNER OR PROPER ADJUSTMENT BEFORE PROCEEDING.</div><div>5.</div><div>OMISSIONS: IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THE CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.</div><div>6.</div><div>ALL WORK IS TO BE PERFORMED IN A PROFESSIONAL MANNER AND IN ACCORDANCE WITH STANDARD PRACTICE AND SHALL BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS.</div><div>7.</div><div>THE GENERAL AND SUB-CONTRACTORS SHALL CAREFULLY EXAMINE THE DRAWINGS INSPECT THE SITE AND ACQUAINT THEMSELVES WITH ALL GOVERNING ORDINANCES, LAWS, ETC. AND OTHERWISE FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH MAY AFFECT PERFORMANCE OF THE WORK.</div><div>8.</div><div>THE STRUCTURAL INTEGRITY OF THE BUILDING IS DEPENDENT UPON COMPLETION ACCORDING TO THE PLANS AND SPECIFICATIONS. THE STRUCTURAL ENGINEER OF RECORD ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. THE METHOD OF CONSTRUCTION AND SEQUENCE OF OPERATIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL SUPPLY ANY NECESSARY BRACING, GUYS, ETC. TO PROPERLY BRACE THE STRUCTURE AGAINST WIND, DEAD AND LIVE LOADS UNTIL THE BUILDING IS COMPLETED ACCORDING TO THE PLANS SPECIFICATIONS. ANY QUESTIONS REGARDING TEMPORARY BRACING REQUIREMENTS SHOULD BE FORWARDED TO A STRUCTURAL ENGINEER FOR REVIEW.</div><div>9.</div><div>THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING, AS REQUIRED, TO ENSURE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION.</div><div>10.</div><div>ALL WALLS ARE DESIGNED AS Laterally Braced by the Floor and Roof Systems. CONTRACTOR SHALL ENSURE THAT WALLS ARE ADEQUATELY BRACED DURING CONSTRUCTION.</div></div>		<div><div>1.</div><div>ALL WOOD MEMBERS AND WORK PERTAINING TO, HAVE CONFIGURED USING ALLOWABLE STRESS DESIGN (ASD).</div><div>2.</div><div>ALL JOISTS. BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.</div><div>3.</div><div>MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:<div>2.1 WOOD LINTELS, JOISTS AND BEAMS<div><div>a.</div><div>FLEXURE: Fb = 875 PSI</div></div><div><div>b.</div><div>SHEAR: Fv = 135 PSI</div></div><div><div>c.</div><div>MODULUS OF ELASTICITY = 1,400,000</div></div></div><div>2.2 WALL STUDS: STUD GRADE<div><div>a.</div><div>FLEXURE: Fb = 675 PSI</div></div><div><div>b.</div><div>COMPRESSION PARALLEL: Fc = 725 PSI</div></div><div><div>c.</div><div>MODULUS OF ELASTICITY = 1,200,000</div></div></div></div></div> <div>4.</div> <div>ALL EXTERIOR WALL STUDS ARE TO BE 2x6'S SPACED AT 16" O.C. (U.N.O.). PLACE DOUBLE STUDS AT END OF WALLS AND TRIPLE STUDS AT INTERSECTIONS AND CORNERS. ALL MULTIPLE STUD POSTS SHALL BE FASTENED AS FOLLOWS:<div><div>a.</div><div>DOUBLE STUDS SHALL BE NAILED TOGETHER W. 10d AT 6' D.C.</div></div><div><div>b.</div><div>TRIPLE STUDS SHALL BE NAILED TOGETHER W. 16d AT 6' O.C. EA SIDE</div></div><div><div>c.</div><div>FOR (4) STUD POSTS, USE 20d NAILS AT 8-INCHES ON CENTER.</div></div></div> <div>5.</div> <div>PROVIDE SIMPSON STRONG-TIE (OR APPROVED EQUAL) POST CAPS AT ALL BEAM-ON-POST BEARING LOCATIONS, U.N.O</div> <div>6.</div> <div>ALL PLYWOOD SUBFLOORING SHALL BE 3/4-INCH THICK T&amp;G, APA RATED 32/16 ADVANTECH SHEATHING. SHEATHING SHALL BE GLUED WITH SUB-FLOOR ADHESIVE AND BE FASTENED WITH 8d NAILS AT 6-INCHES ON CENTER AT BOUNDRY PANEL EDGES AND AT 12-INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.</div> <div>7.</div> <div>LAMINATED VENEER LUMBER (L.V.L.) SHALL BE INSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS AND NOT BE LESS THAN SIZE SPECIFIED IN PLANS. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:<div><div>a.</div><div>FLEXURE: Fb = 2,800 PSI</div></div><div><div>b.</div><div>SHEAR: Fv = 285 PSI</div></div><div><div>c.</div><div>MODULUS OF ELASTICITY = 1,900,000</div></div></div> <div>8.</div> <div>PROVIDE MIN. 3" BEARING FOR ALL LAMINATED VENEER AND PARALLEL STRAND BEAMS, 2" BEARING FOR STANDARD LUMBER BEAMS.</div> <div>9.</div> <div>ALL WOOD TOP PLATE SPLICES SHALL BE STAGGERED @ 6'-0" MINIMUM.</div> <div>10.</div> <div>ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH THE FOLLOWING NAILS AND SIMPSON SDS (STRONG-DRIVE SCREWS). USING THE FASTENER-TO-FASTENER SPACING NOTED WITHIN EACH ROW OF FASTENERS. ALL FASTENERS SHALL BE INSTALLED IN THE QUANTITY OF ROWS SPECIFIED, IN A STAGGERED PATTERN:</div>			
<div><div>1.</div><div>ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302.</div><div>2.</div><div>CEMENT SHALL COMPLY WITH ASTM C150,TYPE I OR II.</div><div>3.</div><div>REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. ALL REINFORCEMENT SPLICES SHALL BE A MINIMUM OF 40 BAR DIAMETERS.</div><div>4.</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE</div><div>CONCRETE&lt;/</div></div>					



REVISIONS
PROJECT No.
DATE: August 21, 2020
SCALE: AS SHOWN





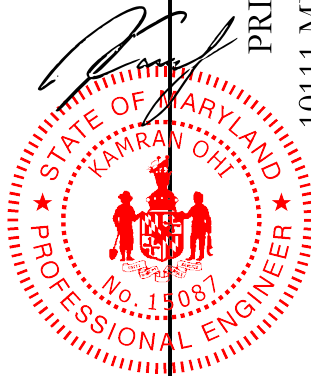




OHI ENGINEERING  
GROUP, PLLC

1050 30th STREET NORTHWEST  
Washington, DC 20007  
www.OhiEngineeringGroup.com

PRIVATE RESIDENCE  
10111 MEADOW NECK COURT  
SILVER SPRING, MD



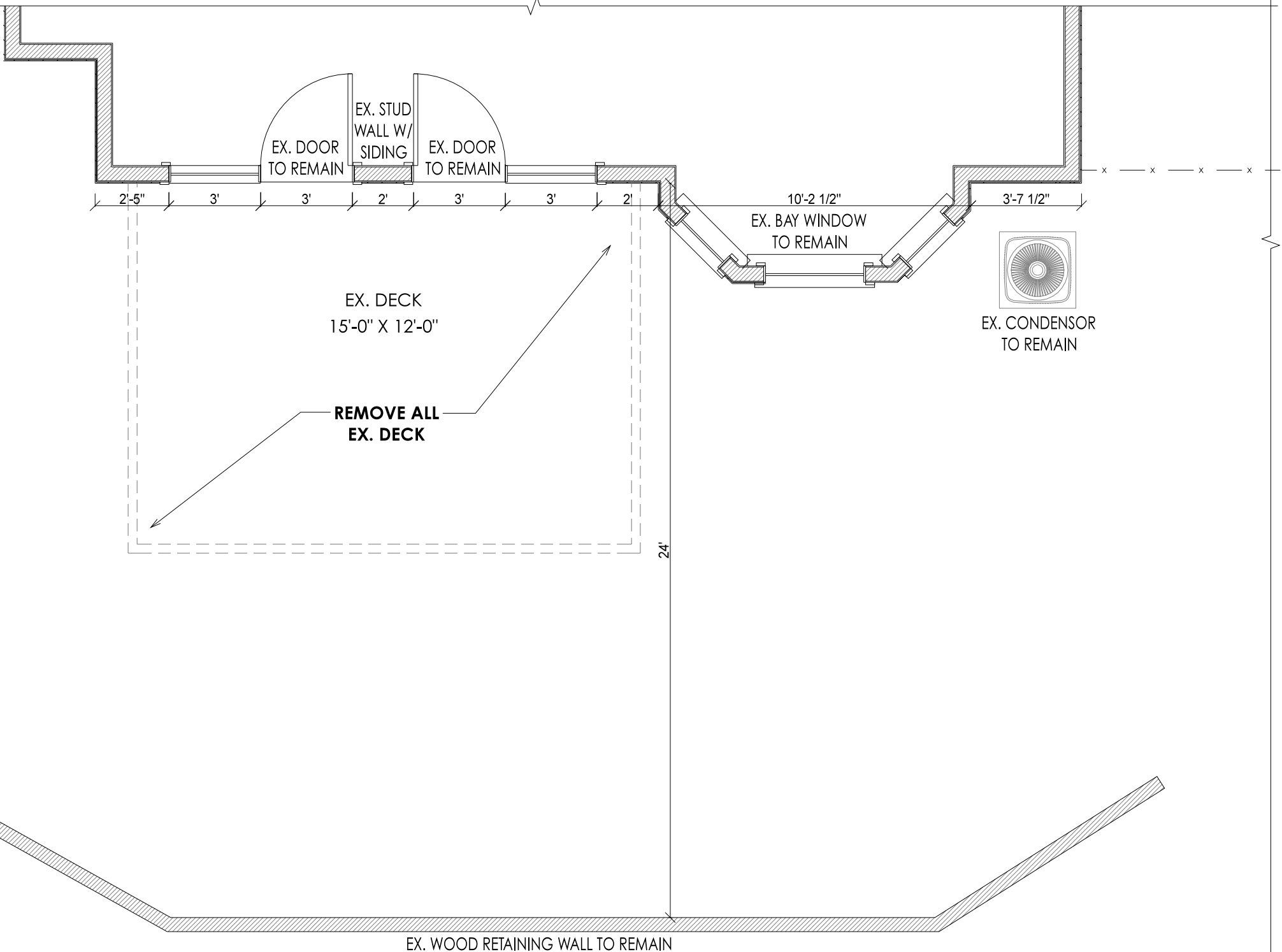
REVISIONS

PROJECT No.  
DATE: August 21, 2020  
SCALE: AS SHOWN

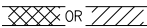




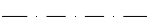

EXISTING CONDITIONS  
& DEMO

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15087, EXP.  
DATE SEPT 25, 2020

D-001  
10



LEGEND

	OR		EXISTING MASONRY WALLS
			EXISTING STUD WALLS
			NEW STUD WALLS
			NO DEMO WORK IN THIS AREA
			PROJECTION FOUNDATIONS, ROOF, STAIRS
			EXISTING TO BE REMOVE AND DISPOSED





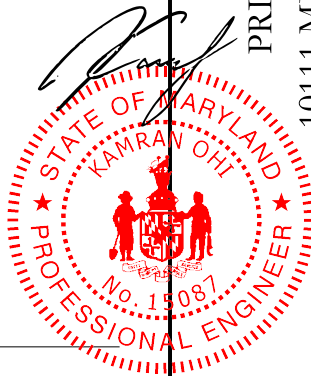




OHI ENGINEERING  
GROUP, PLLC

1050 30th STREET NORTHWEST  
Washington, DC 20007  
www.OhiEngineeringGroup.com

PRIVATE RESIDENCE  
10111 MEADOW NECK COURT  
SILVER SPRING, MD

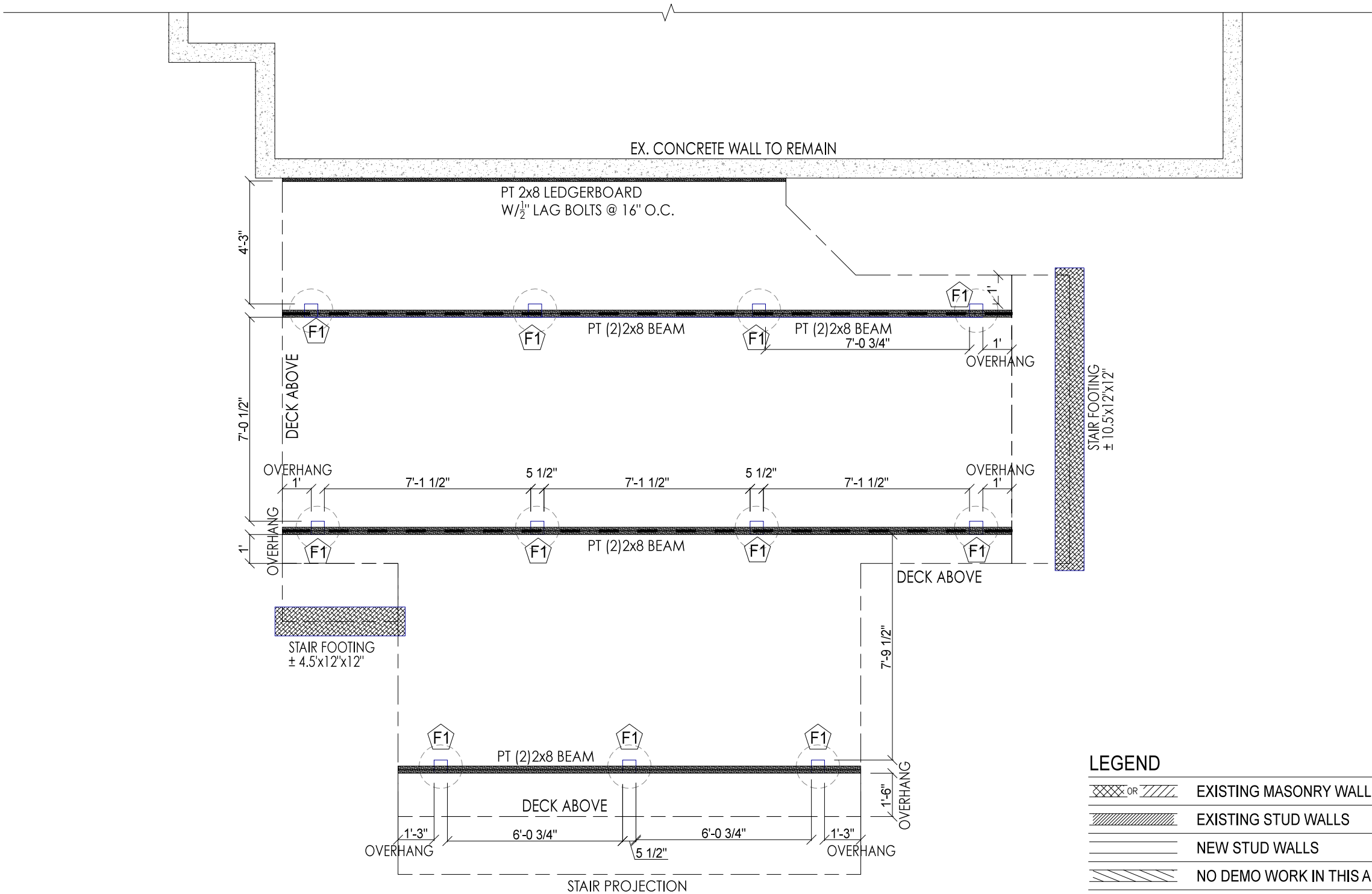


REVISIONS

PROJECT No.  
DATE: August 21, 2020  
SCALE: AS SHOWN

PROPOSED FIRST FLOOR  
DECK PLAN

S-1  
12



LEGEND

	EXISTING MASONRY WALLS
	EXISTING STUD WALLS
	NEW STUD WALLS
	NO DEMO WORK IN THIS AREA
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	P.T. 6"X6" POST ON Ø18" CONCRETE FOOTING

NOTES:

- CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
- IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED. ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.

- ALL LUMBER SHALL BE IDENTIFIED AS SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE-TREATED WITH AN APPROVED PROCESS AND PRESERVATIVE IN ACCORDANCE WITH AMERICAN WOOD PROTECTION ASSOCIATION STANDARDS.
- ALL LUMBER IN CONTACT WITH THE GROUND SHALL BE APPROVED PRESERVATIVE TREATED WOOD SUITABLE FOR "GROUND-CONTACT".
- MAXIMUM HEIGHT OF 6 X 6 POST IS 12 FEET. BEAM SPAN BASED ON A.W.C FOR NO. 2 GRADE SOUTHERN PINE, 40 P.S.F. LIVE LOAD AND 10 P.S.F. DEAD LOAD

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15087, EXP. DATE SEPT 25, 2020

PROPOSED DECK FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



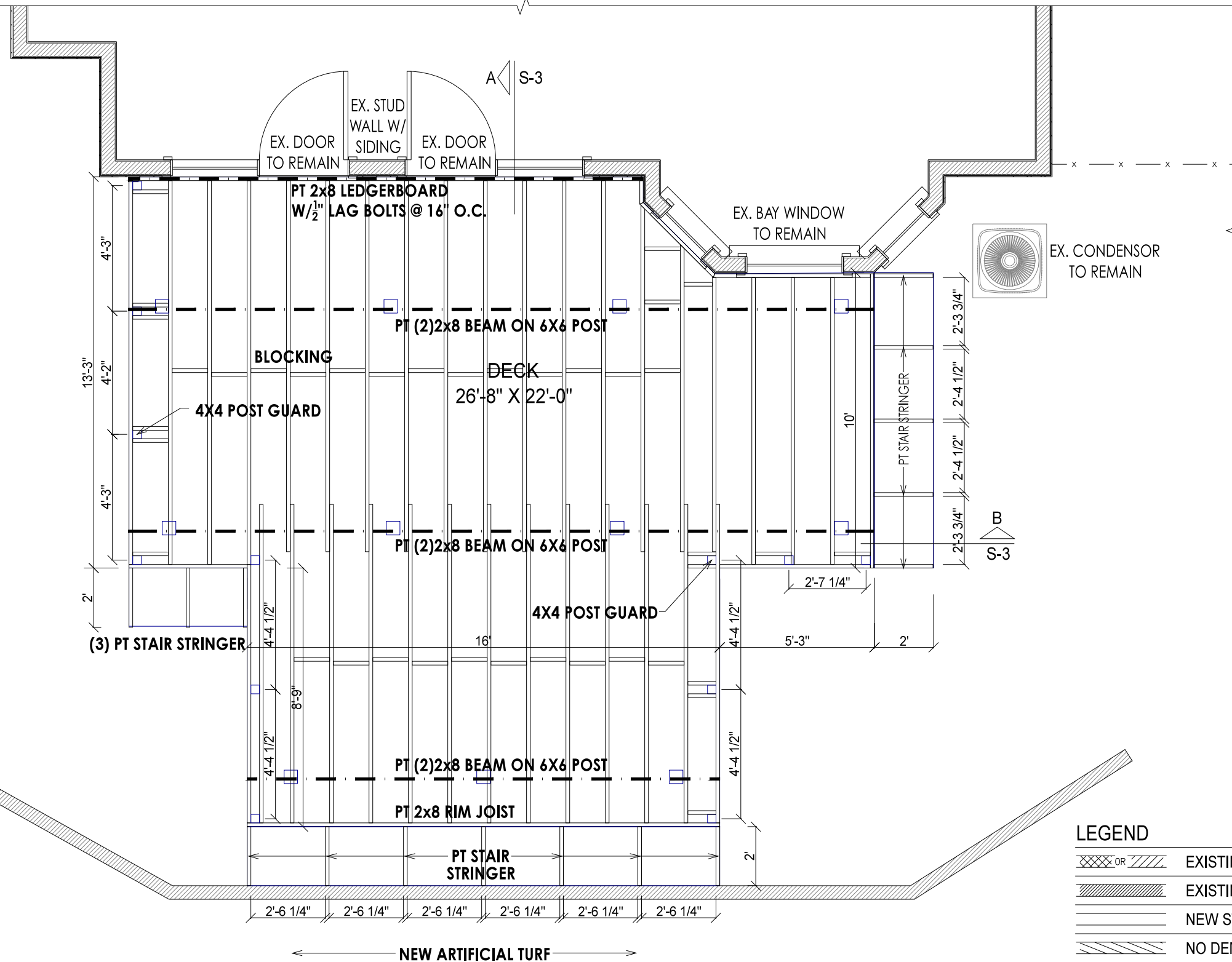


REVISIONS

PROJECT No.  
DATE: August 21, 2020  
SCALE: AS SHOWN

STRUCTURAL  
FRAMING

**S-2**  
13



LEGEND

	EXISTING MASONRY WALLS
	EXISTING STUD WALLS
	NEW STUD WALLS
	NO DEMO WORK IN THIS AREA
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	P.T. 6"X6" POST ON Ø18" CONCRETE FOOTING

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15087, EXP. DATE SEPT 25, 2020

NOTES:

- CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
- IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED. ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.

- ALL LUMBER SHALL BE IDENTIFIED AS SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE-TREATED WITH AN APPROVED PROCESS AND PRESERVATIVE IN ACCORDANCE WITH AMERICAN WOOD PROTECTION ASSOCIATION STANDARDS.
- ALL LUMBER IN CONTACT WITH THE GROUND SHALL BE APPROVED PRESERVATIVE TREATED WOOD SUITABLE FOR "GROUND-CONTACT".
- MAXIMUM HEIGHT OF 6 X 6 POST IS 12 FEET. BEAM SPAN BASED ON A.W.C FOR NO. 2 GRADE SOUTHERN PINE, 40 P.S.F. LIVE LOAD AND 10 P.S.F. DEAD LOAD








PROPOSED DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"

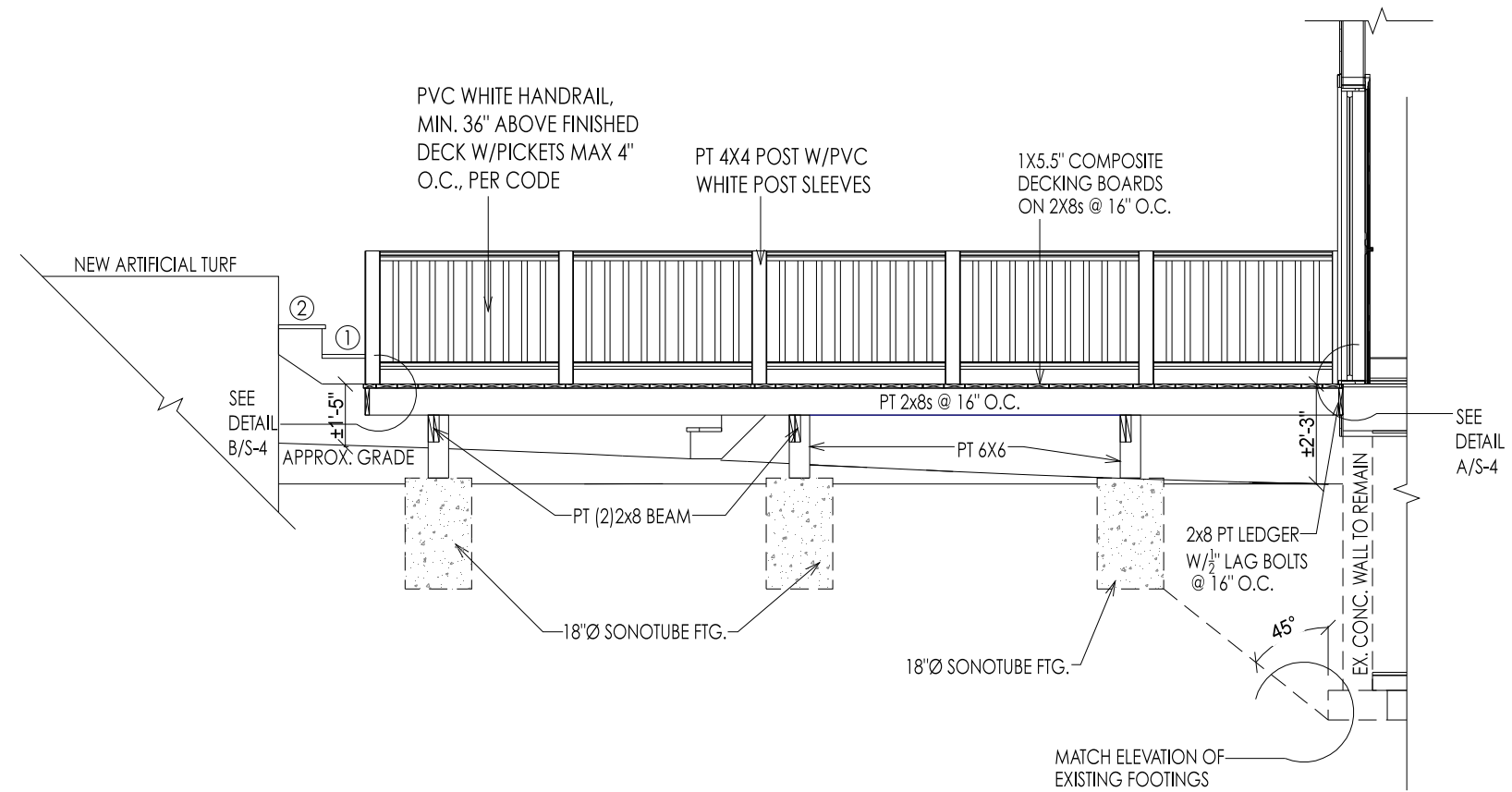


1. CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED. ALL DIMENSIONS NOTED  $\pm$  ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.

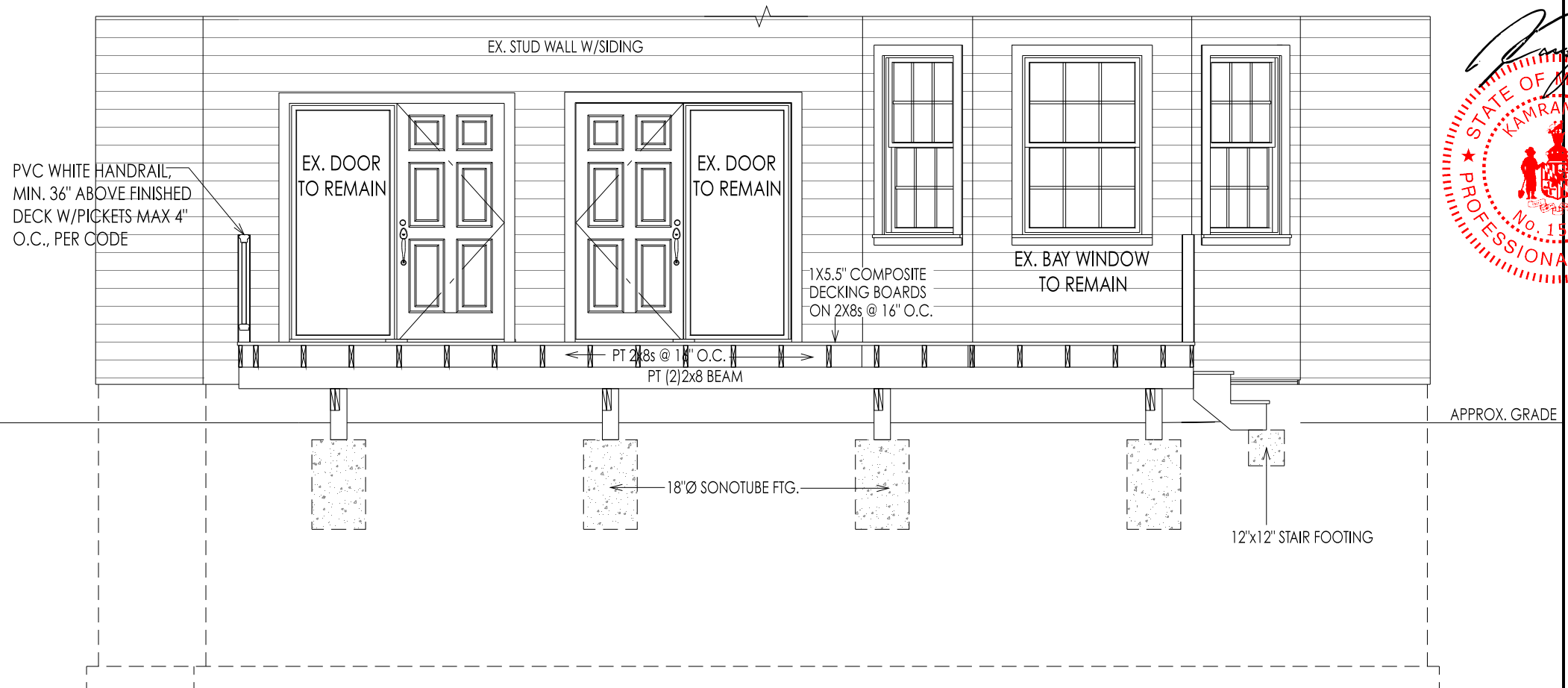
- ## LEGEND

 OR 	EXISTING MASONRY WALLS
	EXISTING STUD WALLS
	NEW STUD WALLS
	NO DEMO WORK IN THIS AREA
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	P.T. 6"X6" POST ON Ø18" CONCRETE FOOTING

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15087, EXP.  
DATE SEPT 25, 2020



<b>A</b>	<div style="display: flex; justify-content: space-between;"> <div> <b>SECTION A</b>  SCALE: 1/4" = 1'-0" </div> <div>  </div> </div>
----------	---



<b>B</b>	<b>SECTION B</b> SCALE: 1/4" = 1'-0"
----------	---



**REVISIONS**

---



---



---



---



---



---



---



---

**PROJECT No.**  
**DATE:** August 21, 2020  
**SCALE:** AS SHOWN

## STRUCTURAL SECTIONS

S-3  
14



NOTES:

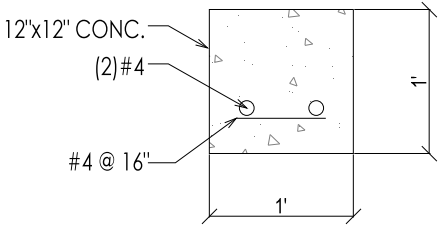
1. CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED. ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.

- ALL LUMBER SHALL BE IDENTIFIED AS SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE-TREATED WITH AN APPROVED PROCESS AND PRESERVATIVE IN ACCORDANCE WITH AMERICAN WOOD PROTECTION ASSOCIATION STANDARDS.
- ALL LUMBER IN CONTACT WITH THE GROUND SHALL BE APPROVED PRESERVATIVE TREATED WOOD SUITABLE FOR "GROUND-CONTACT".
- MAXIMUM HEIGHT OF 6 X 6 POST IS 12 FEET. BEAM SPAN BASED ON A.W.C FOR NO. 2 GRADE SOUTHERN PINE, 40 P.S.F. LIVE LOAD AND 10 P.S.F. DEAD LOAD

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15087, EXP. DATE SEPT 25, 2020

5 BEAM DETAIL

SCALE: 3/4" = 1'-0"

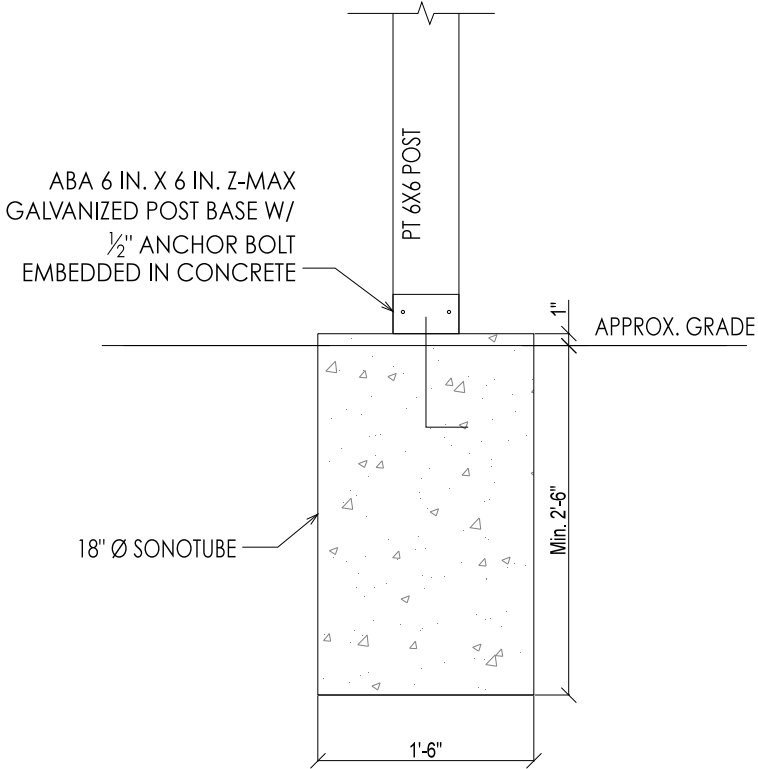


6 STAIR FOOTING

SCALE: 3/4" = 1'-0"

1 DETAIL A

SCALE: 3/4" = 1'-0"

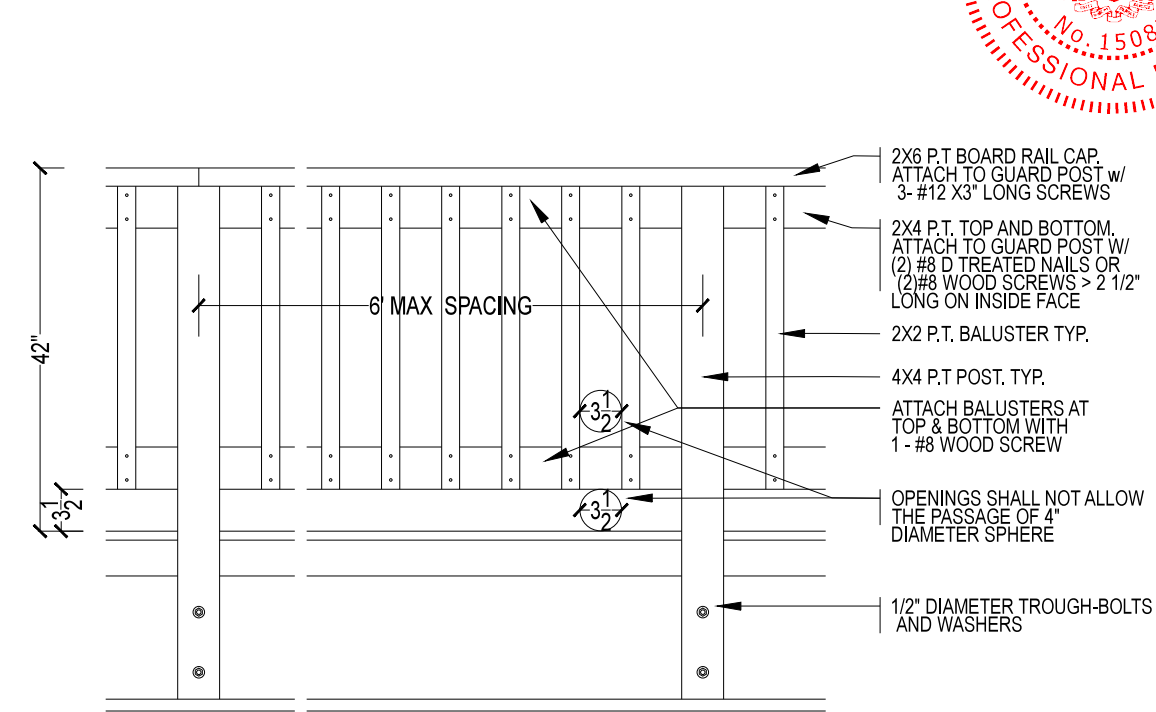


4 DETAIL @ SONOTUBE FOOTING

SCALE: 3/4" = 1'-0"

2 GUARD POST DETAIL

SCALE: 3/4" = 1'-0"

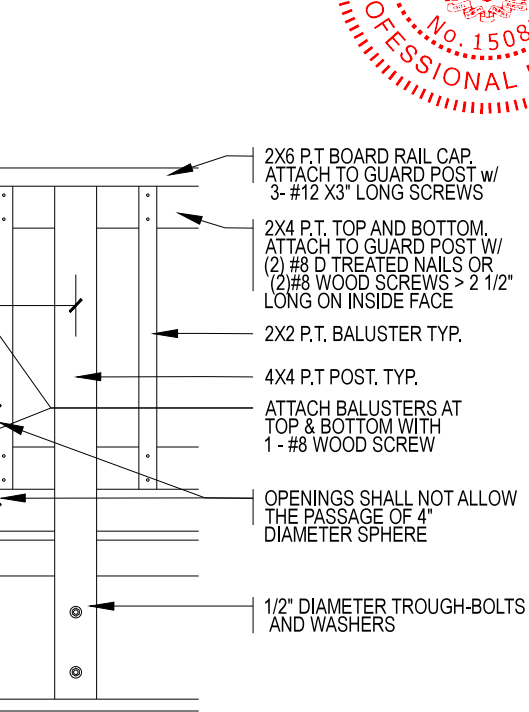


7 GUARDRAIL ELEVATION DETAIL

SCALE: 3/4" = 1'-0"

3 DETAIL B

SCALE: 3/4" = 1'-0"



OHI ENGINEERING GROUP, PLLC

1050 30th STREET NORTHWEST  
Washington, DC 20007  
www.OhiEngineeringGroup.com



PRIVATE RESIDENCE  
10111 MEADOW NECK COURT  
SILVER SPRING, MD

REVISIONS

PROJECT No.  
DATE: August 21, 2020  
SCALE: AS SHOWN

STRUCTURAL  
DETAILS

S-4



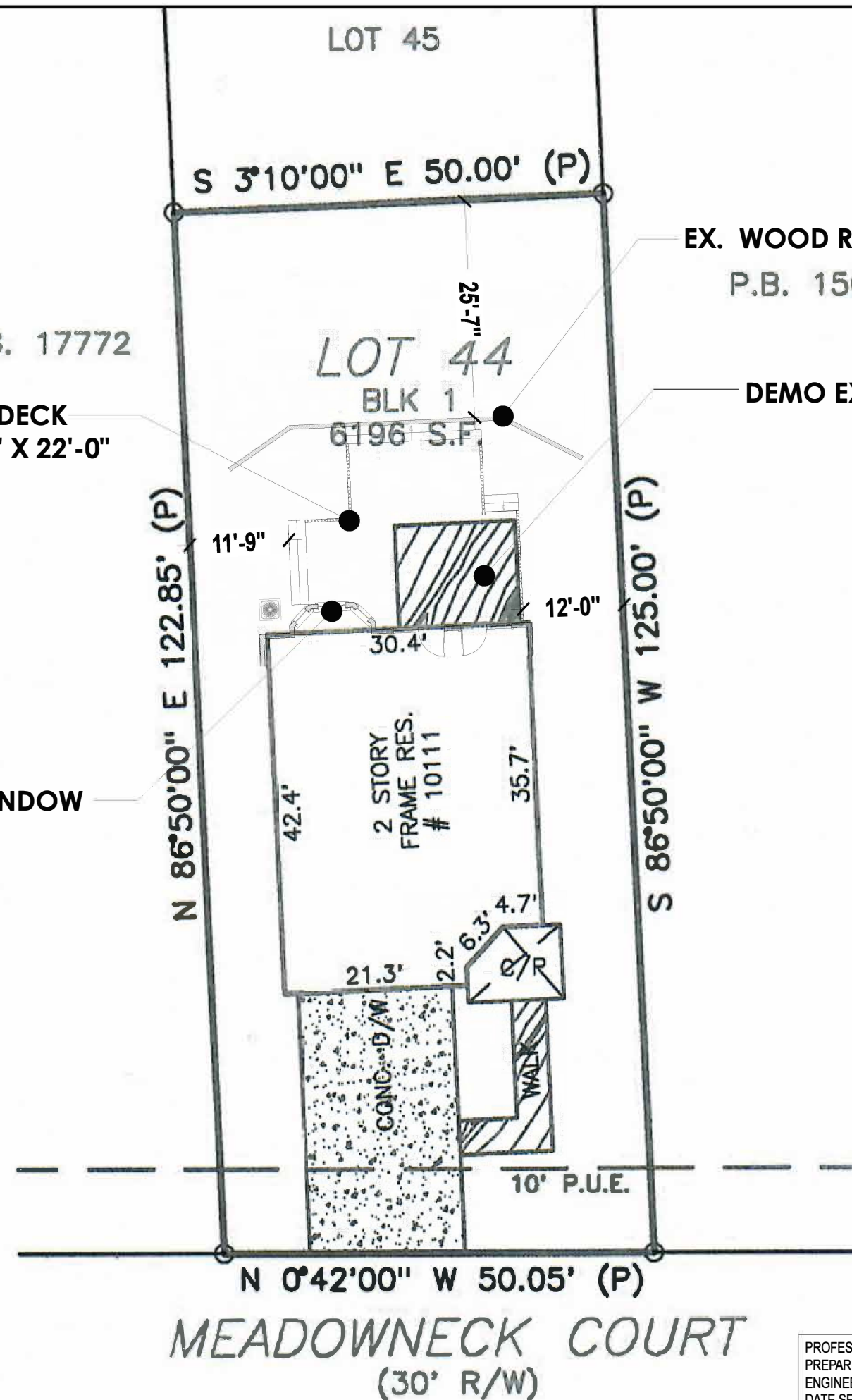
**DEMO NOTES:**

1. ALL ITEMS AND MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
2. DUST PARTITIONS ARE TO BE BUILT TO COORDINATE WITH WORK.
3. ALL EXISTING FLOOR, FURNITURE, WALLS, SHALL BE PROTECTED.
4. ELECTRICAL, MECHANICAL, AND PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH PROPOSED PLAN BEFORE BEGINNING WORK.

P.B. 156 P.G. 17772

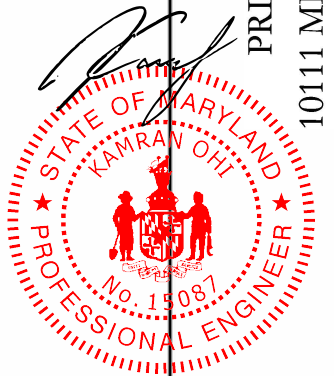
NEW DECK  
26'-8" X 22'-0"

EX. BAY WINDOW



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15087, EXP. DATE SEPT 25, 2020

PRIVATE RESIDENCE  
10111 MEADOWNECK COURT  
SILVER SPRING, MD



**REVISIONS**

PROJECT No.  
DATE: August 21, 2020  
SCALE: AS SHOWN

**SITE PLAN**

**C-1**  
16