

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

Address:	7006 Poplar Avenue, Takoma Park	Meeting Date:	8/12/2020
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	8/5/2020
Applicant:	Richard Nephew Alan Kinney, Agent	Public Notice:	7/29/2020
Review:	HAWP	Tax Credit:	n/a
Case No.:	37/03-20GGG	Staff:	Dan Bruechert
Proposal:	Building Addition and window alteration		

RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource to the Takoma Park Historic District
 STYLE: Colonial Revival
 DATE: c.1930

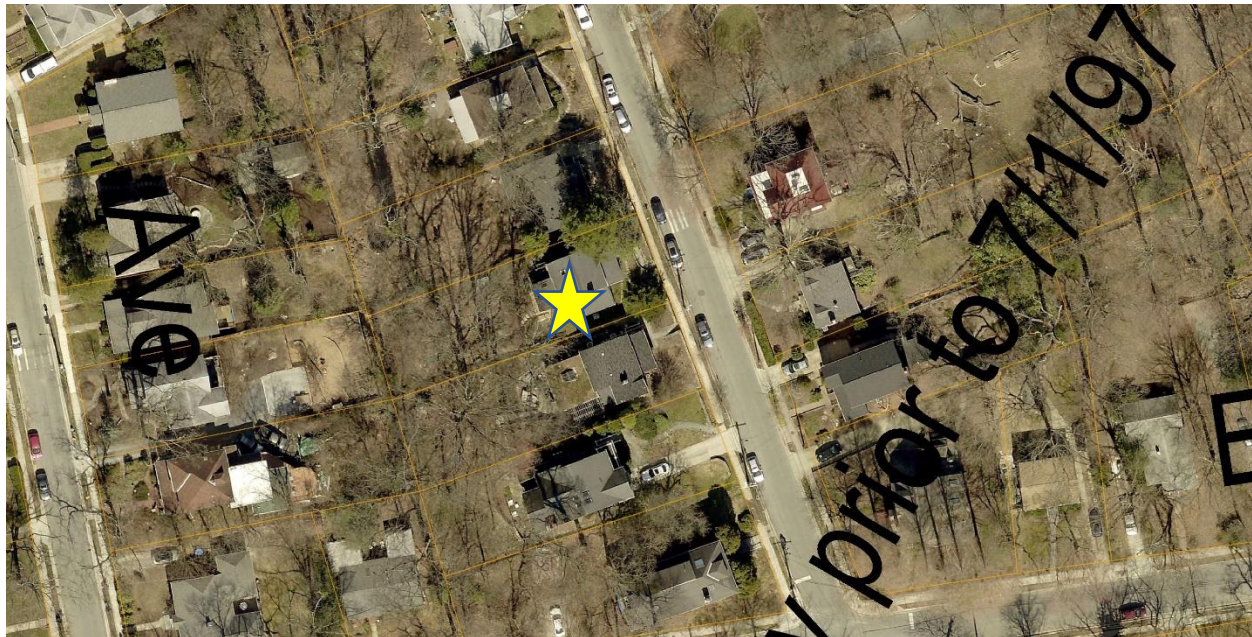


Figure 1: The subject property is on a narrow lot with small setbacks to either side..

PROPOSAL

The applicant proposes to construct a small addition at the rear of the property and alter two basement window openings.

APPLICABLE GUIDELINES

Takoma Park

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Takoma Park Historic District (*Guidelines*), Montgomery County Code Chapter 24A (*Chapter 24A*), and the Secretary of the Interior's Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicant proposes to construct a 3' × 10' (three-foot by ten foot) addition at the rear of the property and alter two basement window openings. Neither of these changes will be visible from the right-of-way and Staff recommends the HPC approve the HAWP.

Rear Addition

The existing ground floor plan of the subject property contains a Study that projects to the right (south) of the principal house mass. The applicant proposes to install a powder room, measuring 3' × 10' (three feet by ten feet) directly behind this study. The south wall of the addition will be co-planer with the south wall of the study. The exterior treatment of the powder room addition will match the existing house in design and materials, including the siding, roofing, roof slope, and one-over-one sash window. From the right-of-way, this alteration will appear as an extension of the existing room and will not significantly alter the mass of the property or surrounding streetscape. The *Design Guidelines* support the approval of this small addition.



Figure 2: Front elevation of 7006 Poplar Ave., with the Study shown on the right.

Window Removal and Window Well

In the southwest corner of the basement level, the applicant proposes removing two windows existing windows. The window on the south elevation will be removed so that a code-required egress window be installed in an expanded opening. A prefabricated vinyl window well will be installed next to this window. The basement window on the rear (west) elevation will be removed and the opening will be blocked in.

The proposed changes to the windows will not be visible from the right-of-way. The guidance for Non-Contributing Resources in the *Design Guidelines* supports the approval of this alteration because it will not change the size, scale, or massing of the resource and it will not affect the surrounding streetscape. Staff recommends the HPC approve the HAWP application.

STAFF RECOMMENDATIONS

Staff recommends that the Commission approve the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal, is consistent with and compatible in character with the purposes of Chapter 24A; and with the Secretary of the Interior's Standards for Rehabilitation #2 and #5;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 918567
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____

No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 7/1/2020

Application No: 918567
AP Type: HISTORIC
Customer No: 1248234

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 7006 POPLAR AVE
TAKOMA PARK, MD 20912
Othercontact Kinney (Primary)
Homeowner NEPHEW

Historic Area Work Permit Details

Work Type ADD
Scope of Work CONSTRUCT 3FT X 10FT ADDITION TO EXTEND ROOM ON L/S REAR



Nephew Residence
7006 Poplar Avenue
Takoma Park, MD. 20912

GENERAL NOTES

1. EMERGENCY EGRESS WINDOW SIZES TO CONFORM WITH SECTION R310 OF THE 2015 IRC.
2. MAX. SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 4" IN CONFORMANCE WITH 2015 IRC SECTION R310.2.1 (IRC).
3. 2. MAXIMUM RISER HEIGHT SHALL BE 3' 4" AND MAX TREAD 10" FOR ALL STAIRWAYS HANDRAIL PROTECTION 5' 17" MAXIMUM FLOOR TO RISER HEIGHT.
4. 3. ROOF FLASHINGS TO BE PROVIDED PER 2015 IRC.
5. 4. FIRESTOPPING SHALL BE PROVIDED PER 2015 IRC.
6. 5. ROOF VENTING SHALL BE INSTALLED PER 2015 IRC.
7. 6. GUARDRAIL HEIGHTS TO BE 36" MIN. ACCORDING WITH 2015 IRC.
7. 7. PROVIDE GALVANIZED WALL TIES IN ACCORDANCE WITH 2015 IRC.
8. 8. ALL GLAZED AREA SUBJECT TO HUMAN IMPACT SHALL BE GLAZED IN CONFORMANCE WITH SECTION R308 OF THE 2015 IRC.
9. 9. ALL FIREPLACES TO BE U.L. RATED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND IRC.
10. 10. ALL FOOTINGS TO EXTENDED AT LEAST 30 INCHES BELOW FINISH GRADE PER 2015 IRC.
11. 11. ALL FRAME BEARING WALLS TO CONFORM WITH 2015 IRC.
12. 12. PROVIDE WALL BRACINGS IN ACCORDANCE WITH 2015 IRC USING EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4 X 8 SHEATHING PANELS APPLIED TO EXTERIOR WALLS.
13. 13. PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2015 IRC.
14. 14. ALL JOISTS, BRIDGING, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND 2015 IRC.
15. 15. PLYNOOD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2015 IRC.
16. 16. ALL ROOF FLASHINGS REQUIRED PER 2015 IRC.
17. 17. PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELLING UNIT, AND ALL BATHROOM DETECTORS SHALL BE BUILT IN SUCH A MANNER TO THE ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS IN THE INDIVIDUAL UNITS. PER 2015 IRC.
18. 18. SKYLIGHTS: SKYLIGHTS MAY BE GLAZED WITH ANY OF THE FOLLOWING GLASS TYPES SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2015 IRC.
LAMINATED GLASS W/RED GLASS, ANNEALED GLASS, CLEAR STRENGTHENED GLASS, TEMPERED GLASS, GLASS BLOCK AND INSULATED GLASS UNIT.
19. 19. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION.
20. 20. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH THESE CONDITIONS.

STRUCTURAL NOTES

SOIL BEARING AND WATER CONDITION: ASSUMED SOIL BEARING CAPACITY OF 1500 PSF (MIN.) WITH A LATERAL PRESSURE OF 60 PSF.

LIVE LOADS: ROOF.....	30 PSF	15 PSF DEAD LOAD
FLOOR.....	40 PSF	15 PSF
STAIRWAY.....	100 PSF	15 PSF
BALCONIES.....	60 PSF	15 PSF
FLOOR AT BEDROOM LEV.....	30 PSF	15 PSF
WIND LOAD.....	17 PSF	

FOUNDATIONS: BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT 12" INTO UNDISTURBED EXG. NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANTS RECOMMENDATIONS, DEPTHS AND SIZES OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318. 28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:

FC= 2,500 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE AND
FILL IN CONCRETE BLOCKS.
FC= 3,000 PSI FOR EXTERIOR SLABS ON GRADE.
FC= 4,000 PSI FOR PRECAST CONCRETE UNITS.

ALL ROOFING MATERIALS TO HAVE ICE DAMMING PROTECTION

WOOD SPECIES AND GRADE: HEM-FIR (SURFACED DRY OR SURFACED GREEN
USED AT 19% MAX. No. 2 OR BETTER WITH THE FOLLOWING DESIGN VALUES:

Fb = 1,150 PSI (SINGLE MEMBER)
Fv = 75 PSI
Fc = 825 PSI
E = 1,400,000 PSI

LAMINATED VENEER LUMBER: MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:

Fb = 2,800 PSI
Fv = 285 PSI
Fc = 2,700 PSI
E = 2,000,000 PSI

VERTICAL LOAD TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY
ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION

IF A DOUBLE TOP PLATE OF LESS THAN 2X6'S OR 3X4'S IS USED, FLOOR JOISTS (AND TRUSSES) MUST BE CENTERED DIRECTLY OVER AND BELOW BEARING STUDS UNLESS CERTIFIED BY STRUCTURAL ENGINEER.

CODE:

- Plans conform with IRC 2015
- All wood in contact with soil or masonry foundations will meet the ASTM standard A 153 and A653, class 1B5.
- All framing member to meet or exceed code specified grades.
- Design criteria used are as follows:
 - Roof load -30lbs/sf.
 - Roof and floor dead load -10lbs/sf.
 - Seismic design category -C
 - Termite damage susceptibility-moderate to heavy.
 - Winter design temperature -15 degrees F, -1 degrees C.
 - Subj. to damage from weather -heavy.
 - Subj. to damage by decay -moderate.
 - Floor live load in non-sleeping areas -40lbs/sf.
 - Floor live load in sleeping areas -30lbs/sf.
 - Wind speed -115mph (3 sec. gust method) 115 mph 40 m/s.
 - Frost line depth -30"
 - Flood hazard -v
 - Subfloors -3/4" APA subfloor/underlayment rated tongue and groove, glued and nailed to joists.
 - Roof sheathing -1/2" plywood with joists.
 - Roof truss -10 min sq. ft. spacing, max. over 15lb. ft.

DRAWING INDEX

COVER	001
EXISTING FLOOR PLANS	A001
PROPOSED FLOOR PLANS	A002
ELEV. AND THERMAL	A003
FRAMING AND SECTION	S001

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A001
A002
A003
S001

SCOPE OF WORK:

SCOPE OF WORK:
1-DEMO EXISTING WALL SECTION.
2-CONSTRUCT NEW FOOTER AND WALL SECTION.
3-DEMO EXISTING WINDOW AND WALL SECTION
BELOW.
4-INSTALL NEW EGRESS WINDOW AND WELL.
5-REMODEL EXISTING BASEMENT.

NOTE:
EMERGENCY EGRESS WINDOW SIZES TO
CONFORM WITH SECTION R310 OF THE 2015
IRC. MAX SILL HEIGHT OF EMERGENCY
EGRESS WINDOWS TO BE 44" IN
CONFORMANCE WITH 2015 INTERNATIONAL
RESIDENTIAL CODE (IRC)

Description	Date
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Nephew Residence
7006 Poplar Avenue
Takoma Park, MD. 20912

Date: 6/26/20

Drawn By: A&LK LOML

Scale: $1/4" = 1'-0"$

Sheet Number:

001

Cover Sheet

LEGEND

EXISTING CONSTRUCTION TO REMAIN

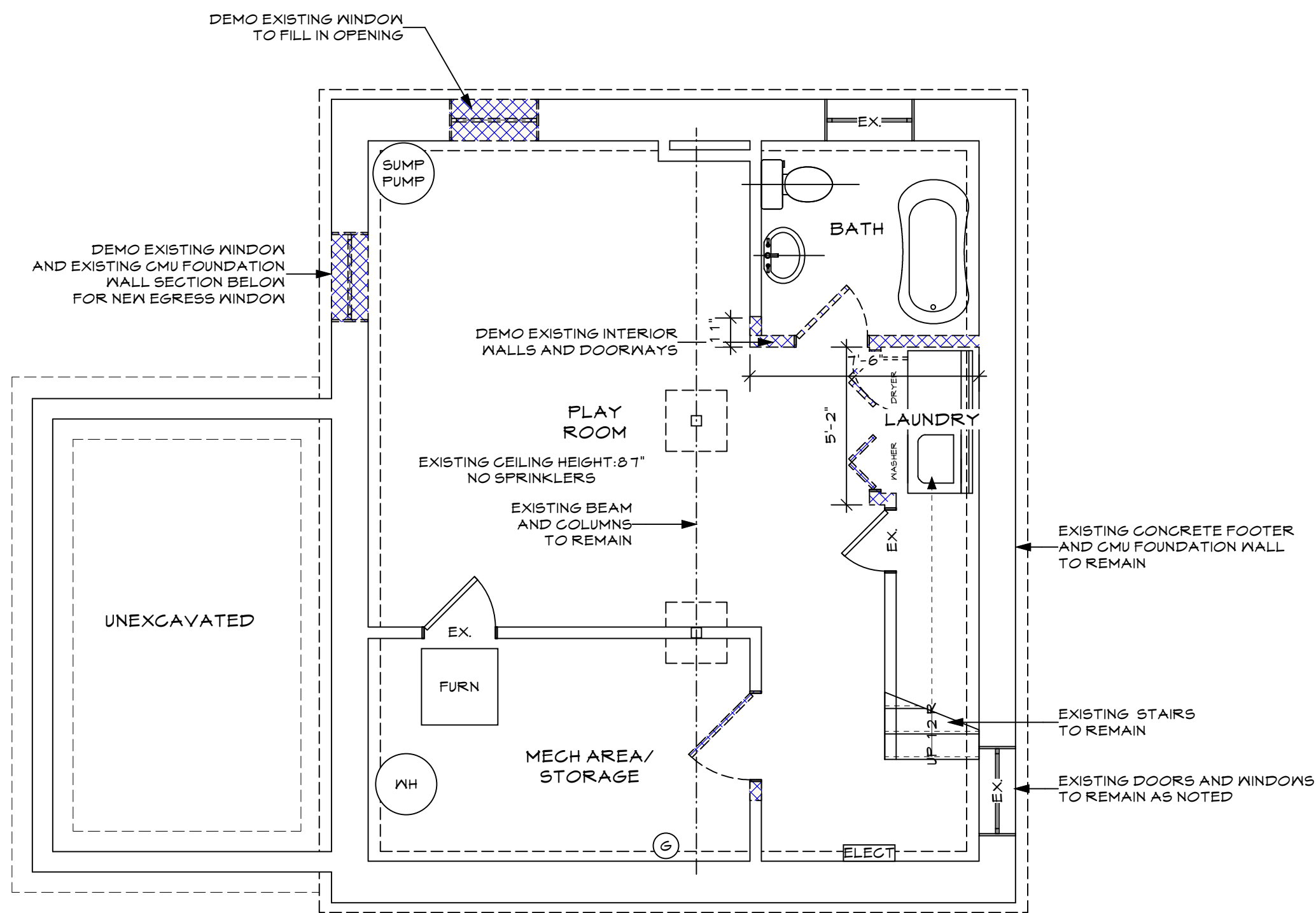
EXISTING CONSTRUCTION TO BE REMOVED

NEW CONSTRUCTION

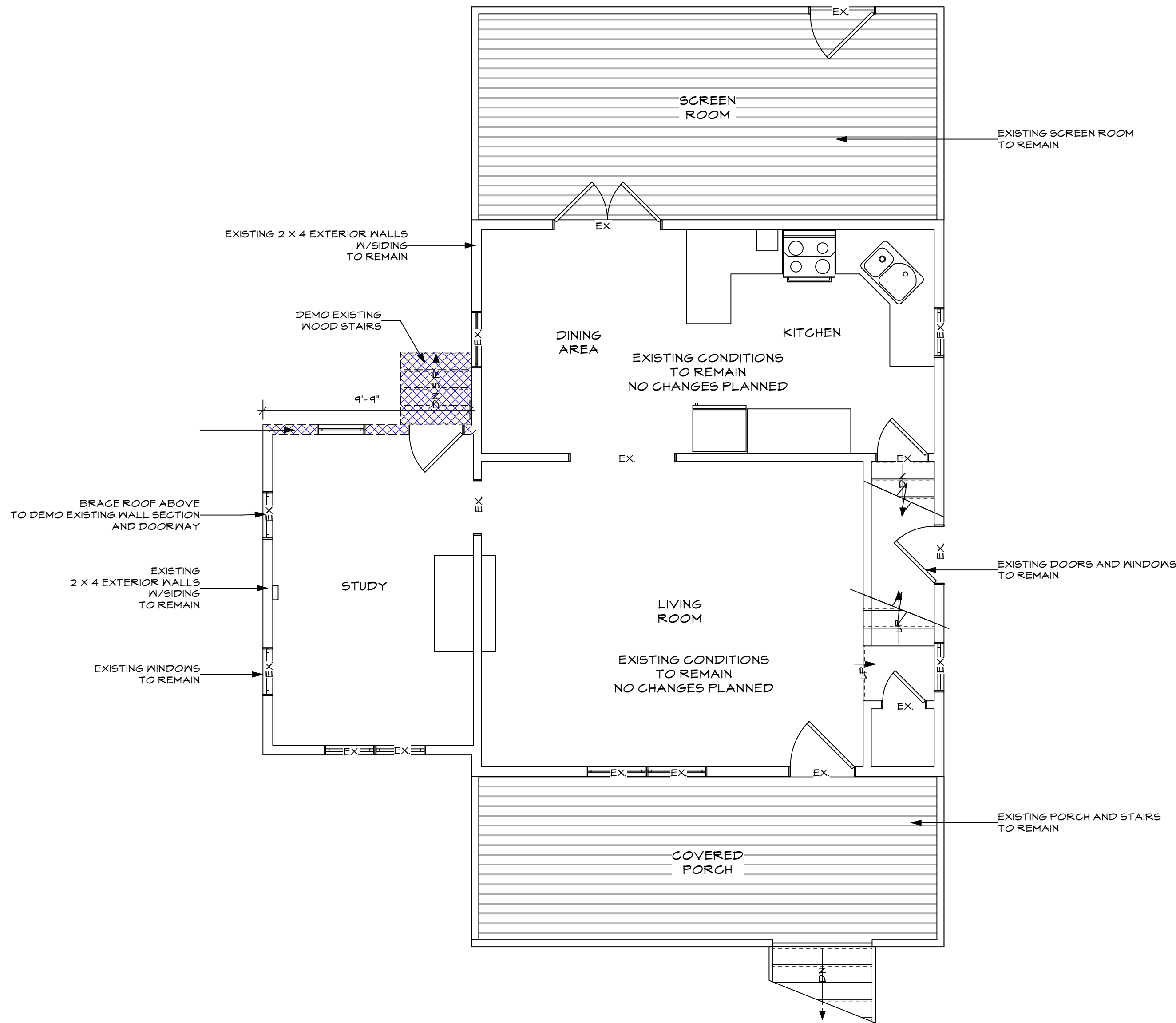
SCOPE OF WORK:

1-DEMO EXISTING WALL SECTION
2-CONSTRUCT NEW FOOTER AND WALL SECTION
3-DEMO EXISTING WINDOW AND WALL SECTION BELOW
4-INSTALL NEW EGRESS WINDOW AND WELL
5-REMODEL EXISTING BASEMENT.

NOTE:
EMERGENCY EGRESS WINDOW SIZES TO CONFORM WITH SECTION R310 OF THE 2015 IRC. MAX SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 4'4" IN CONFORMANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)



1 Existing Basement Plan
Scale: 1/4" = 1'-0"



2 Existing First Floor Plan
Scale: 1/4" = 1'-0"

Nephew Residence
7006 Poplar Avenue
Takoma Park, MD. 20912

Date: 6/26/20

Drawn By: AMLK LOML

Scale: 1/4" = 1'-0"

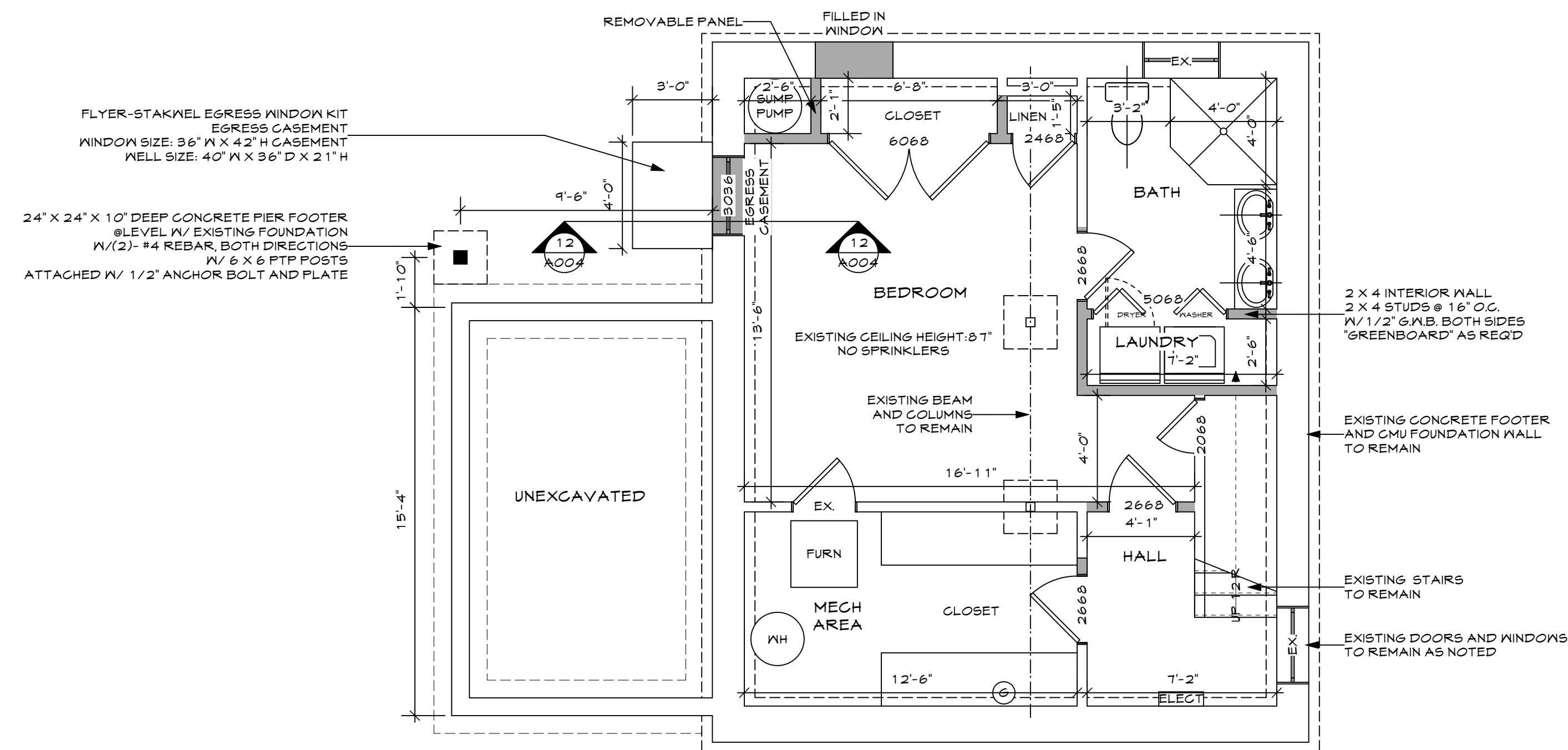
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A001
Existing Floor Plans

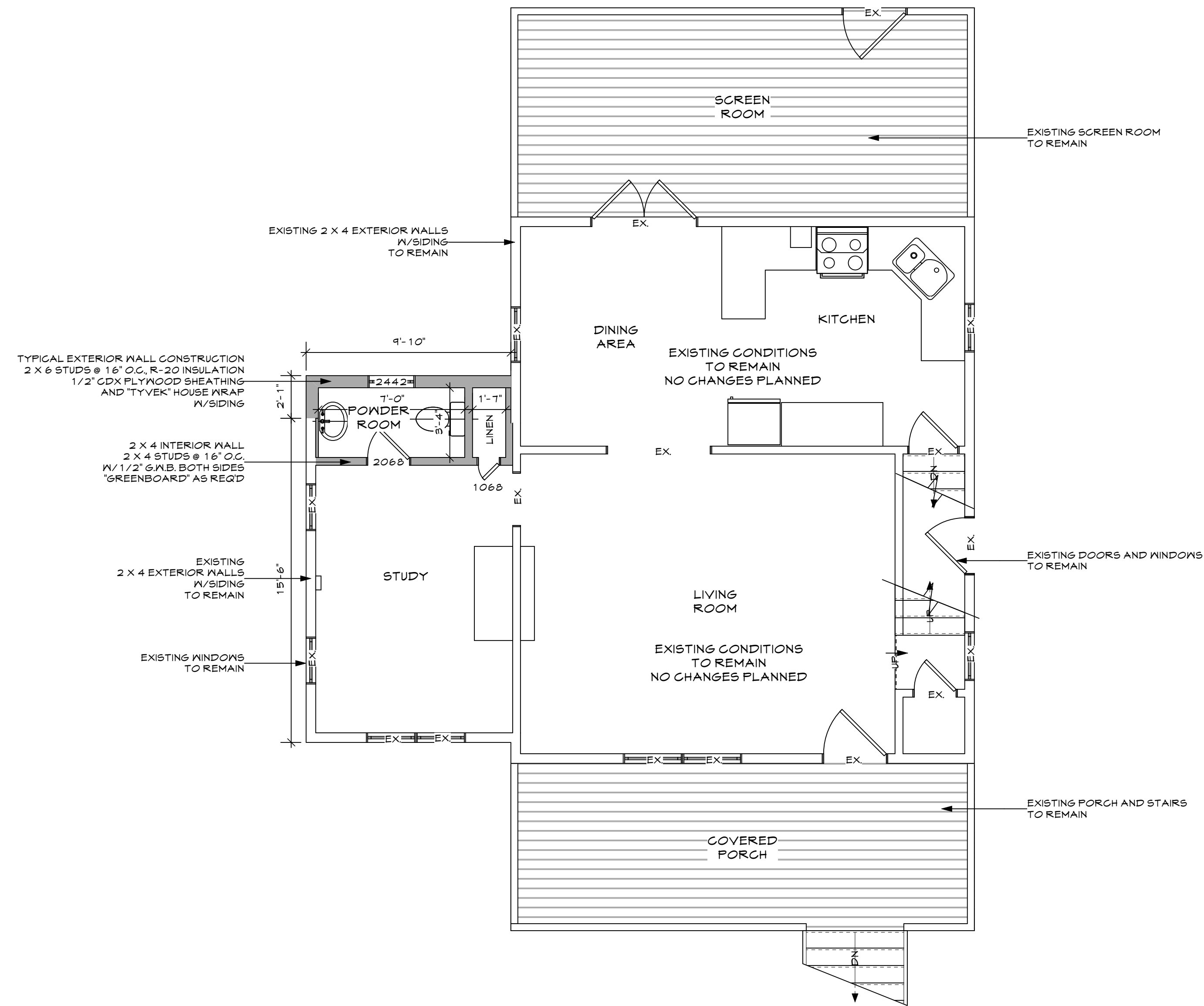
SCOPE OF WORK:
1- DEMO EXISTING WALL SECTION
2- CONSTRUCT NEW FOOTER AND WALL SECTION
3- DEMO EXISTING WINDOW AND WALL SECTION BELOW
4- INSTALL NEW EGRESS WINDOW AND WELL
5- REMODEL EXISTING BASEMENT.

NOTE:
EMERGENCY EGRESS WINDOW SIZES TO CONFORM WITH SECTION R310 OF THE 2015 IRC. MAX SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 44" IN CONFORMANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)

LEGEND
EXISTING CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE REMOVED
NEW CONSTRUCTION



4 Proposed Basement Plan
Scale: 1/4" = 1'-0"



5 Proposed First Floor Plan
Scale: 1/4" = 1'-0"

Description Date

Nephew Residence
7006 Poplar Avenue
Takoma Park, MD. 20912

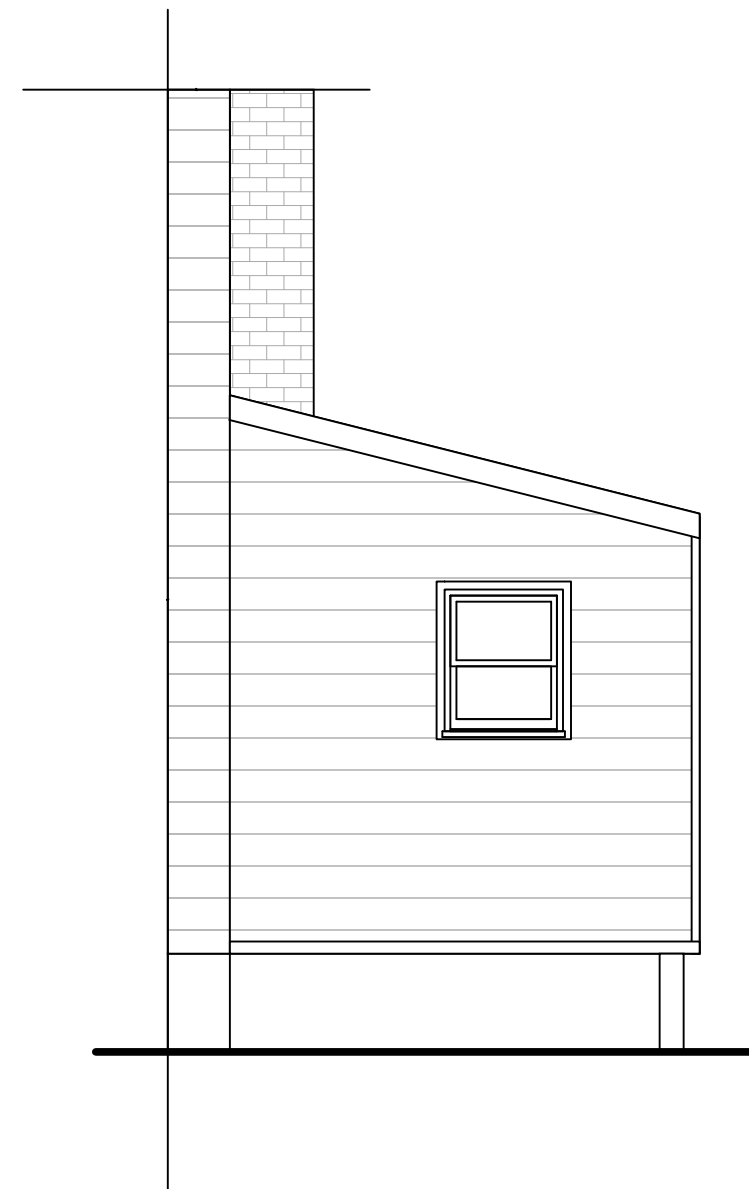
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Sheet Number:

A002

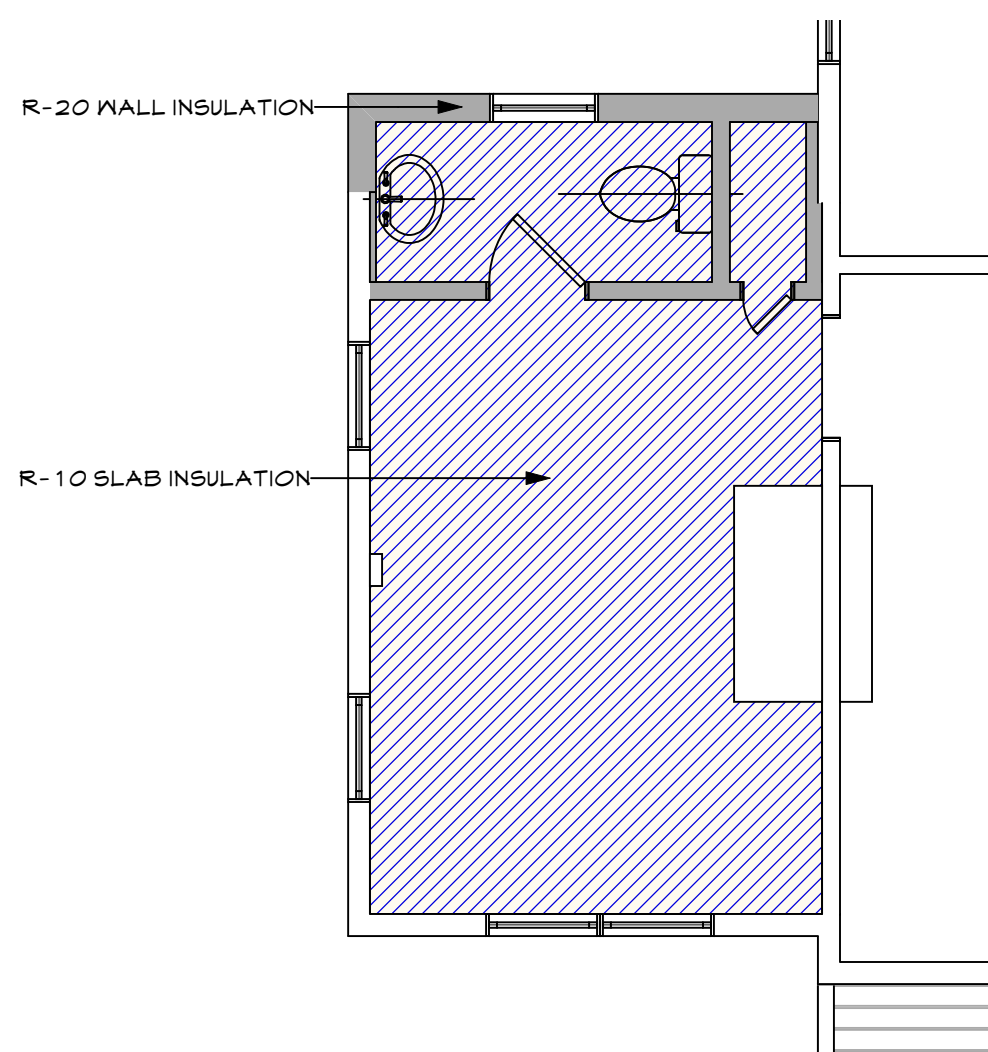
Proposed Floor Plan



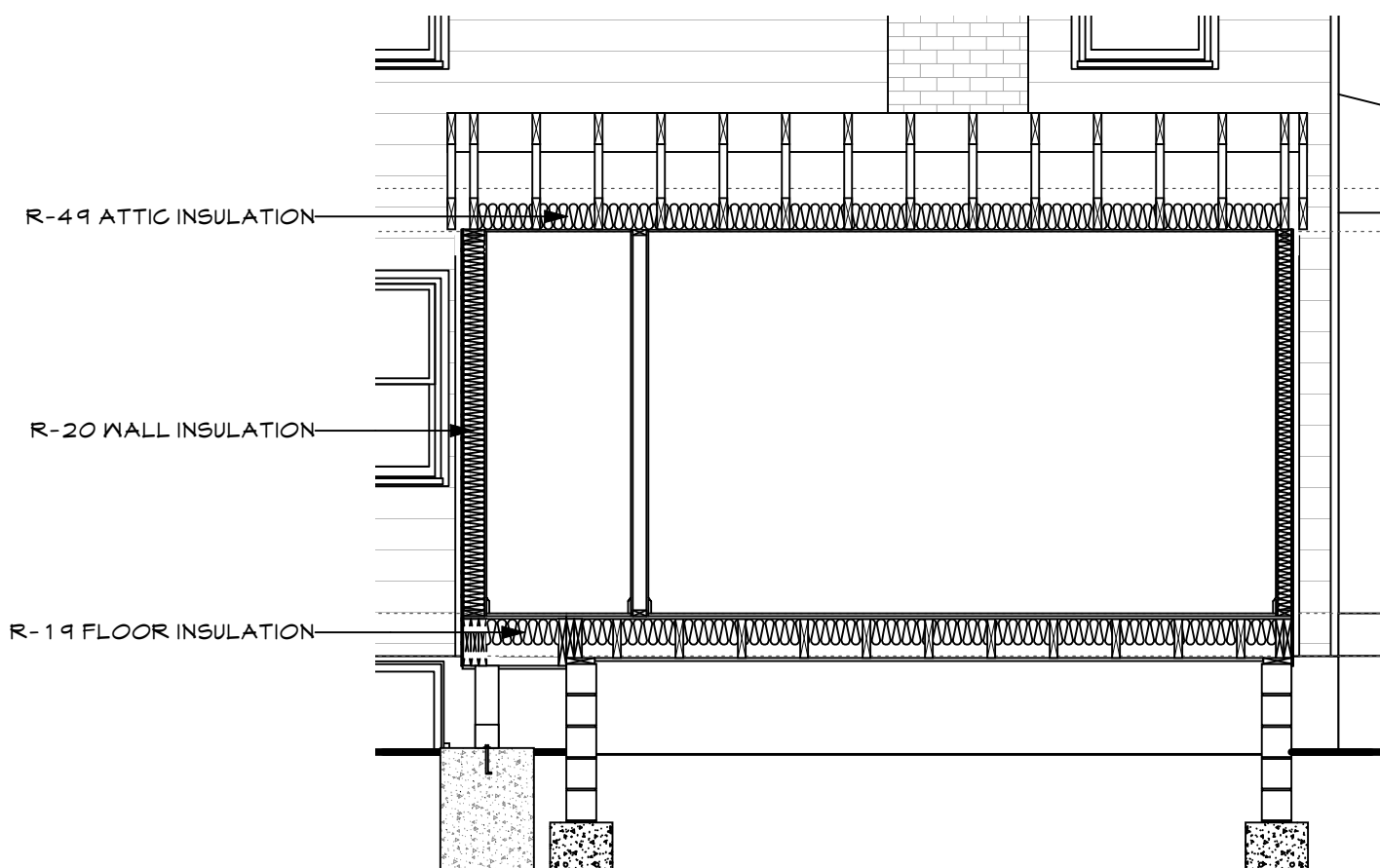
5 Left Elevation
Scale: 1/4" = 1'-0"



6 Rear Elevation
Scale: 1/4" = 1'-0"



7 First Floor Thermal Envelope
Scale: 1/4" = 1'-0"



8 Thermal Section
Scale: 1/4" = 1'-0"

TABLE N1102.4.2
AIR BARRIER AND INSULATION INSPECTION

COMPONENT	CRITERIA
Air barrier and thermal barrier	Exterior thermal insulation is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air permeable insulation is not used as a sealing material.
Ceiling / attic	Air barrier in any dropped ceiling / soffit is substantially aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
Walls	Corners and headers are insulated. Junction of foundation and sill plate is sealed.
Windows and doors	Space between window/door jambs and framing is sealed.
Rim joists	Rim joists are insulated and include an air barrier.
Floors (including above garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of subfloor, decking. Air barrier is installed at any exposed edge of floor.

COMPONENT	CRITERIA
Crawlspace walls	Insulation is permanently attached to walls. Exposed earth in unvented crawlspaces is covered with class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, knee walls, and flue shafts opening to exterior or unconditioned space are sealed.
Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
Garage separation	Air sealing is provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures are airtight, IC rated, and sealed to drywall. Exception:.. fixtures in conditioned space.
Plumbing and Wiring	Insulation is placed between outside and pipes. Baff insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
Shower / tub on exterior wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall.
Electrical / phone box on exterior walls	Air barrier extends behind boxes or air sealed type boxes are installed.
Common wall	Air barrier is installed in common wall between dwelling units.
HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
Fireplace	Fireplace walls include an air barrier.

N1102.4.3 Fireplaces. New wood-burning fireplaces shall have gasketed doors and outdoor combustion air.

Description Date

Nephew Residence
7006 Poplar Avenue
Takoma Park, MD. 20912

Date: 6/26/20

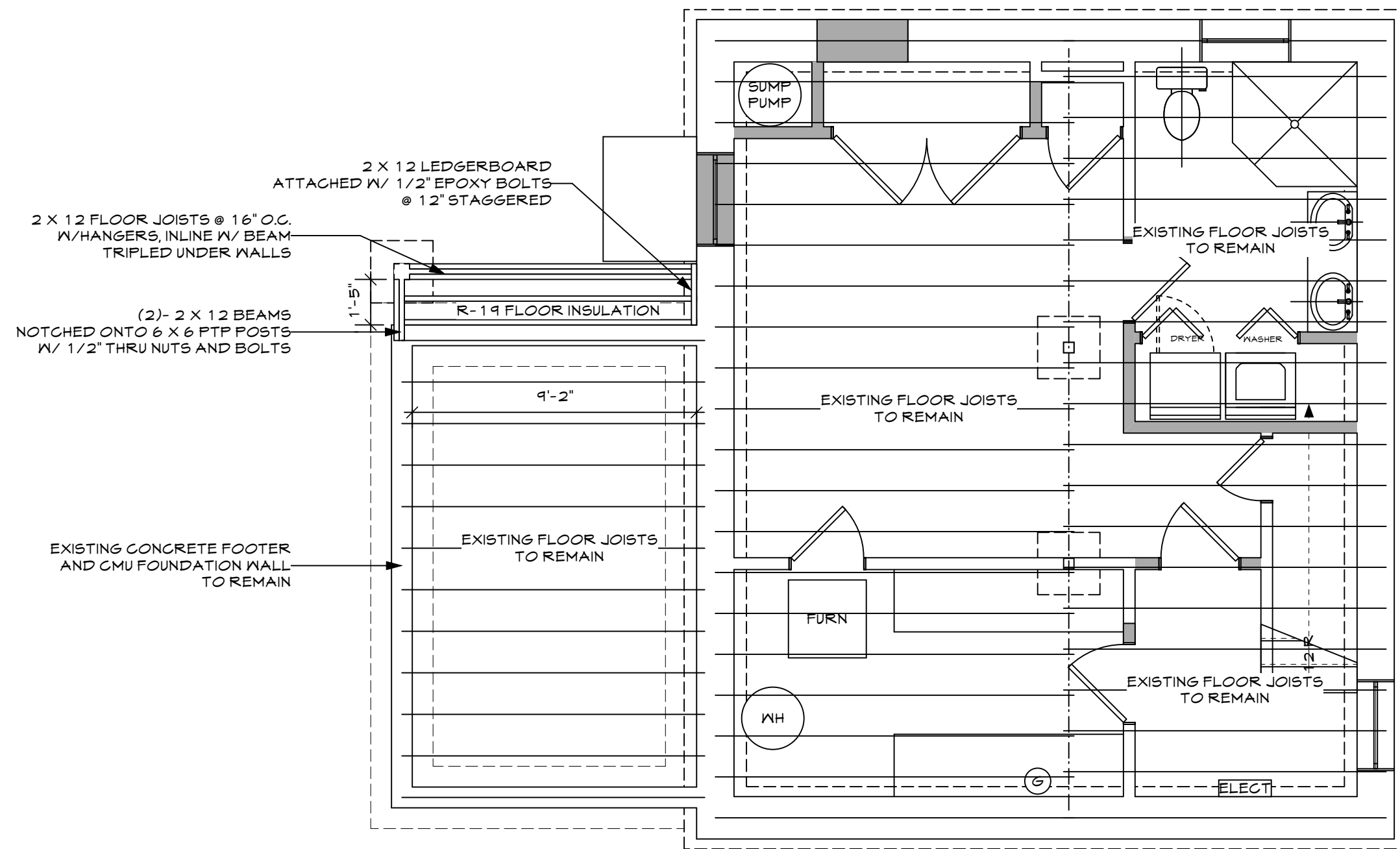
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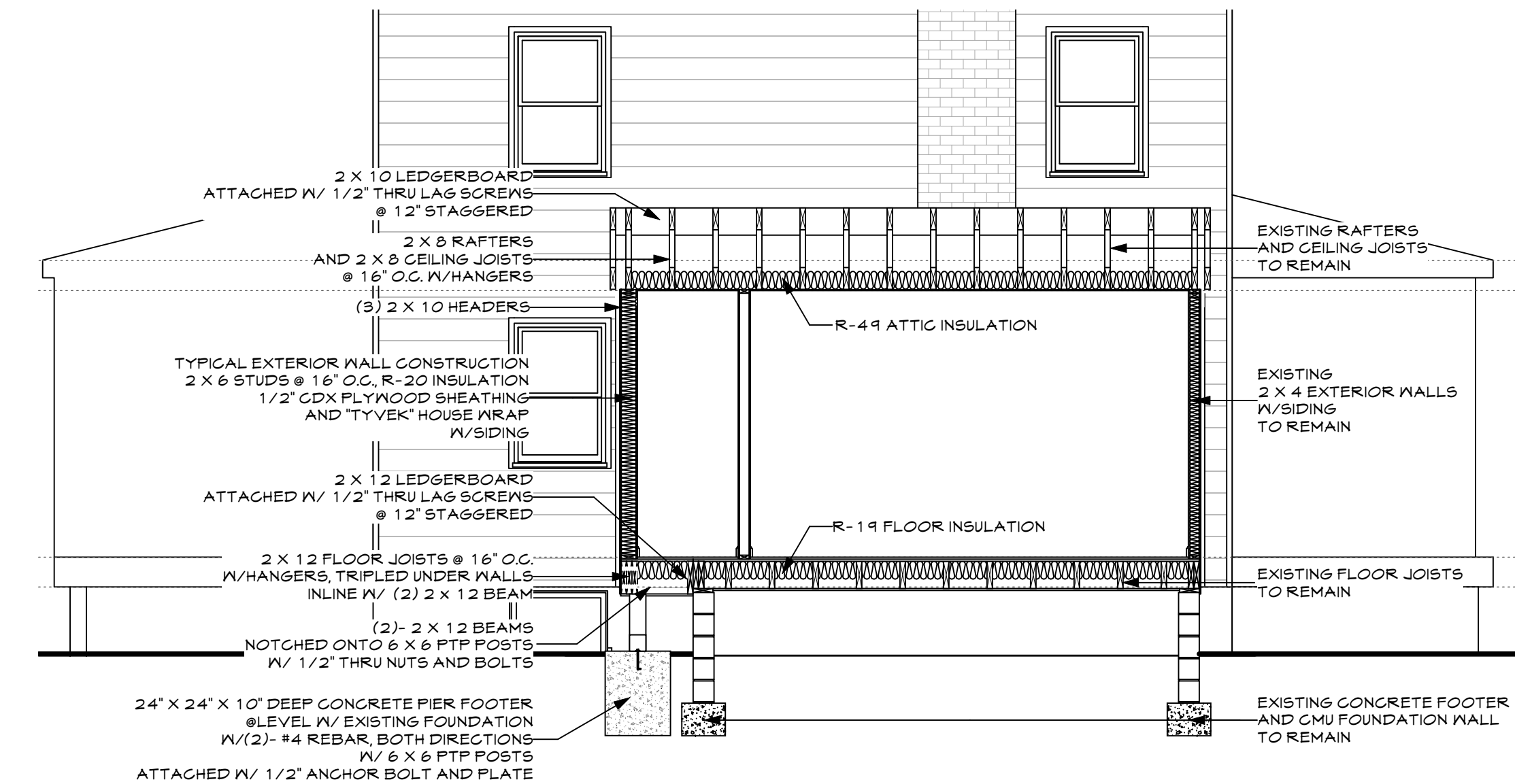
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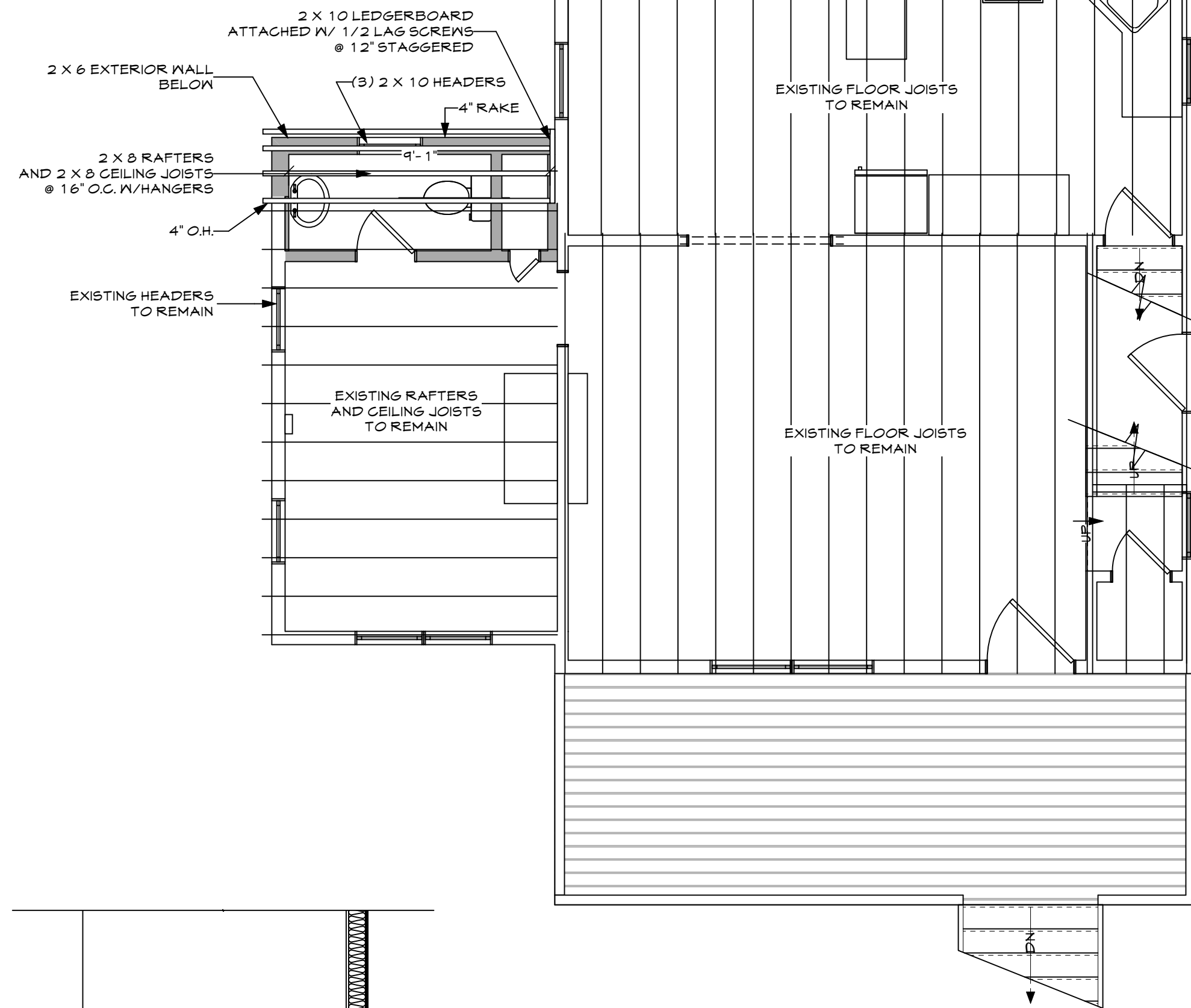
Elevations and Thermal



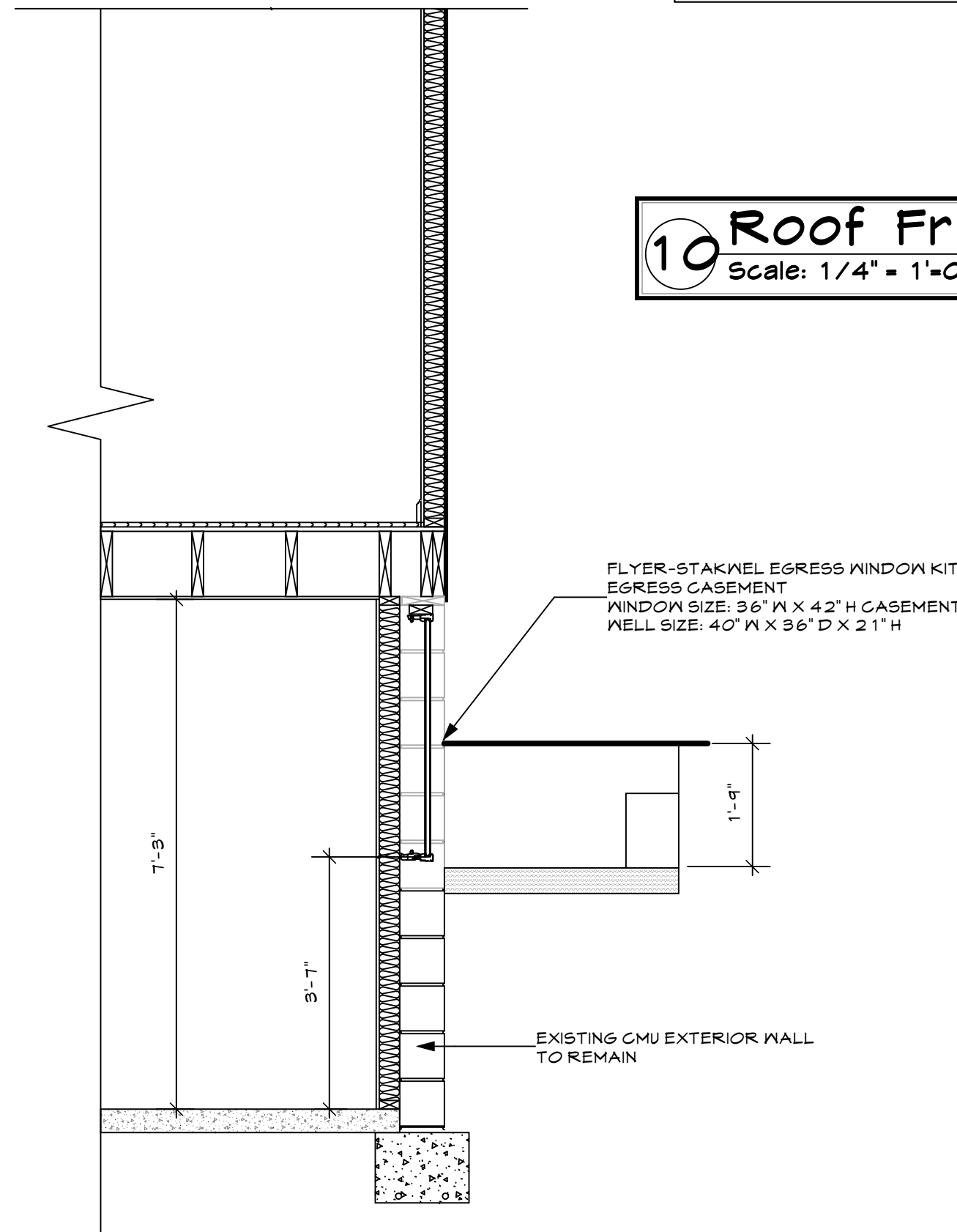
9 Floor Framing Plan
Scale: 1/4" = 1'-0"



11 Section
Scale: 1/4" = 1'-0"



10 Roof Framing Plan
Scale: 1/4" = 1'-0"



12 Egress Window Section
Scale: 1/2" = 1'-0"

Description Date

Nephew Residence
7006 Poplar Avenue
Takoma Park, MD. 20912

Date: 6/26/20
Drawn By: AALK LOML
Scale: 1/4"=1'-0"
Sheet Number:
5001
Framing and Sections