

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	44 Philadelphia Avenue, Takoma Park	Meeting Date:	8/12/2020
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	8/5/2020
Applicant:	Elliott Ponte & Heather Dorsey	Public Notice:	7/29/2020
Review:	HAWP	Tax Credit:	n/a
Case Number:	37/03-20EEE	Staff:	Dan Bruechert
PROPOSAL:	Accessory Structure Construction		

STAFF RECOMMENDATION

- ☒ Approve
☐ Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: c.1920



Fig. 1: 44 Philadelphia Ave., is located at the edge of the Takoma Park Historic District.

PROPOSAL

The applicant proposes to install an 8' (eight-foot) square shed, clad in T1-11 siding with an asphalt shingle roof in the northwest corner of the property. Due to the proposed shed location and the change in grade, this structure will not be visible from the public right-of-way.

APPLICABLE GUIDELINES

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
- 14 Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The relevant *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, 9, and 10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

Permit Application # 920054

APPLICANT:

Name: Elliott C. Ponte and Heather A. Dorsey

E-mail: elliott.ponte@gmail.com

Address: 44 Philadelphia Ave

City: Takoma Park Zip: 20912

Daytime Phone: 917-656-1808

Tax Account No.: 01068538

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? XYes/District Name Takoma Park

 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application. **NO**

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☒ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Elliott C. Ponte

Signature of owner or authorized agent

7/10/2020

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Elliott C. Ponte 44 Philadelphia Ave Takoma Park, MD 20912	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
42 Philadelphia Ave Takoma Park, MD 20912	46 Philadelphia Ave Takoma Park, MD 20912
130 Grant Ave Takoma Park, MD 20912	124 Grant Ave Takoma Park, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

44 Philadelphia Ave was built in the early 1900s. 44 Philadelphia sits on approximately 5,451 square feet of property. The south and south west portion of property faces Philadelphia Avenue and is graded approximately 10 feet above the north and north east portion of the property. Please see attachment 1 for the directional orientation of the property.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The owners propose to build a 8 foot by 8 foot shed (approximately 64 square feet) in the north corner of the backyard. See attachment 2, the site plan for the location of the proposed shed. The proposed location of the shed is 5-feet or more from the property line abutting 46 Philadelphia Ave and 130 Grant Ave. The proposed location of the shed meets Montgomery County zoning requirements.

The proposed design of the shed is a Garden Shed. See Attachment 3 for pictures of a Garden Shed. The Garden Shed design has been used by other homes in the Takoma Park area. For example, 130 Grant Ave has a 8x8 Garden Shed. The proposed shed will be constructed in accordance with general construction guidelines. The proposed shed will sit on a pressure treated wood skid that will be attached to concrete footers. The floor, walls, and roof will be constructed out of wood (pressure treated when appropriate). The wall siding will be constructed out of Primed Engineered Panel Siding. See Attachment 3 for pictures of Garden Sheds using this siding. The roof will be constructed out of asphalt shingles. The gable of the shed will be approximately 8' 6" from the ground. The proposed shed will contain a door and window. See Attachment 4 for construction plans.

The owners intend to use the shed for outdoor items (lawn mower, shovel, etc.). Part of the shed may be visible from Philadelphia Ave; however, due to grading and the existing fence, most (if not all) of the shed will not be visible from Philadelphia Ave.

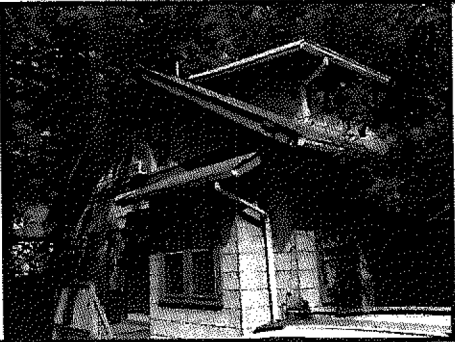
Work Item 1: _____	
Description of Current Condition: No shed exists at 44 Philadelphia Ave.	Proposed Work: Build shed at 44 Philadelphia Ave
Work Item 2: _____	
Description of Current Condition:	Proposed Work:
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

SETTLEMENT *Ink*

4719 Chestnut Street, Bethesda, MD 20814
Settlements for Maryland- District of Columbia - Virginia
Main Line: 301-907-8800 - Fax Line: 301-907-8200



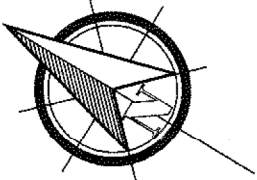
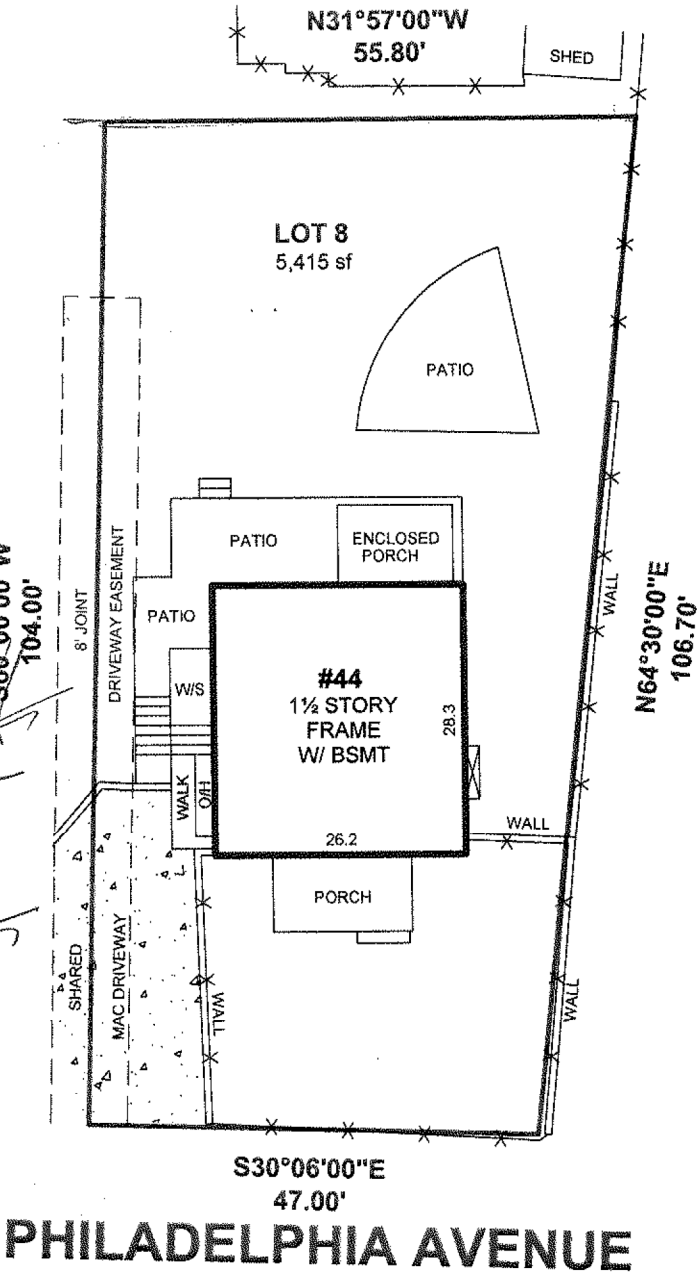
Long & Foster
The Total Homeownership Experience

Barak Sky
7700 Old Georgetown Rd
Bethesda, MD 20814
Office: 240-497-1700
Mobile: 301-742-5759



CASE #: BETH150601

Attachement 1



PHILADELPHIA AVENUE

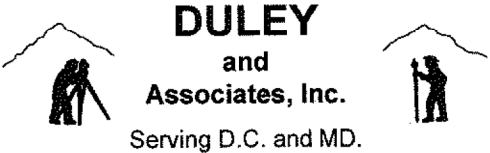
LOCATION DRAWING OF:

#44 PHILADELPHIA AVENUE
LOT 8
N/F PROPERTY OF
GREGORY L. CASTANO & ERIN C. HOLVE
LIBER: 25457 FOLIO: 370
MONTGOMERY COUNTY, MARYLAND
SCALE: 1"=20' DATE: 6-11-15
DRAWN BY: CP FILE #: 153303-667

LEGEND:

- FENCE
 - B/E - BASEMENT ENTRANCE
 - B/W - BAY WINDOW
 - BR - BRICK
 - BRL - BLDG. RESTRICTON LINE
 - BSMT - BASEMENT
 - C/S - CONCRETE STOOP
 - CONC - CONCRETE
 - DAW - DRIVEWAY
 - FR - FRAME
 - MAC - MACADAM
 - O/H - OVERHANG
 - PUE - PUBLIC UTILITY ESMT.
- COLOR KEY:
- (RED) - RECORD INFORMATION
 - (BLUE) - IMPROVEMENTS
 - (GREEN) - ESMTS & RESTRICTION LINES

A Land Surveying Company



14604 Elm Street, Upper Marlboro, MD 20772
Phone: 301-888-1111 Fax: 301-888-1114
Email: orders@duley.biz On the web: www.duley.biz



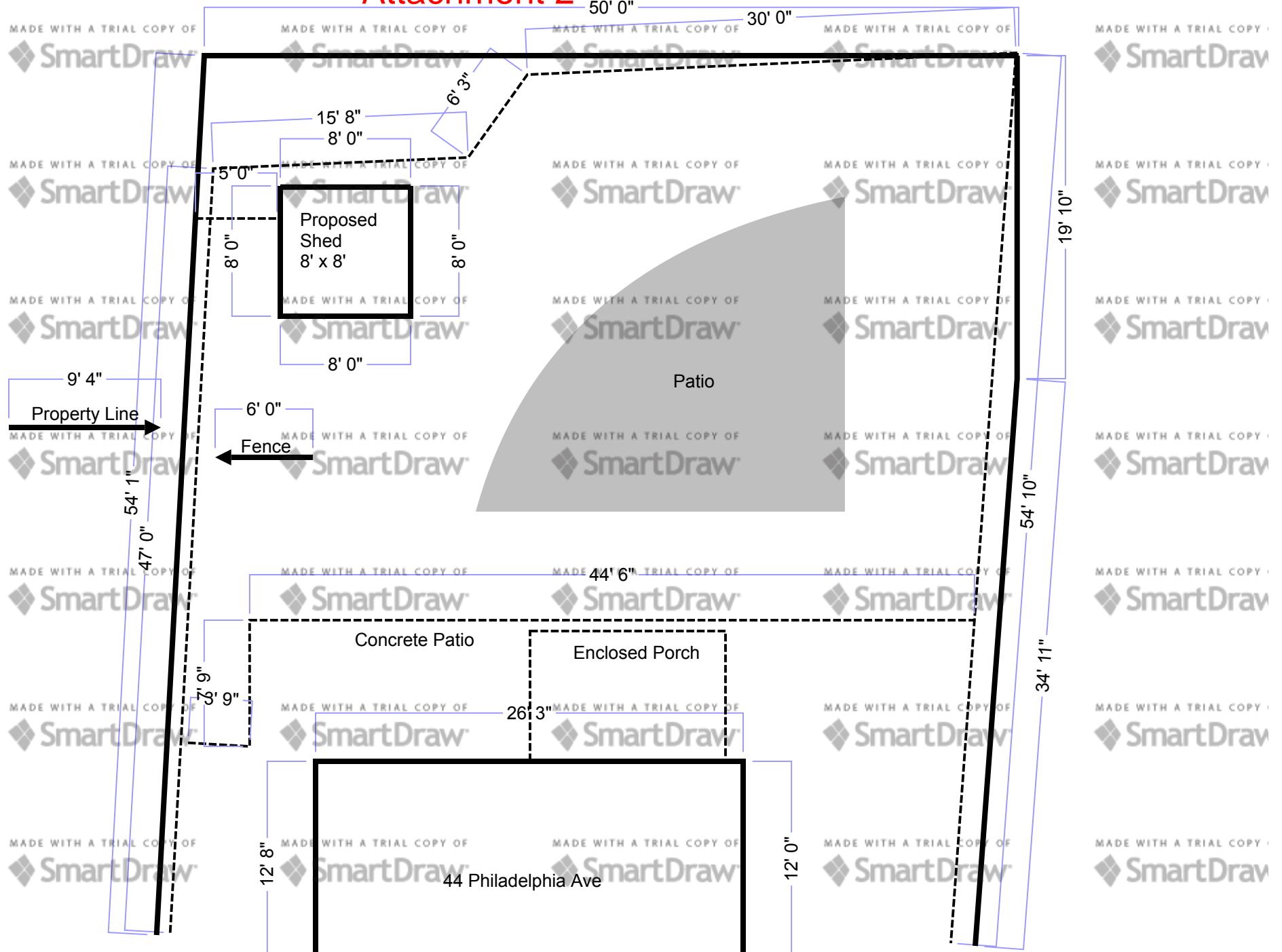
SURVEYOR'S CERTIFICATE

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DULEY & ASSOC.
WILL GIVE YOU A 100%
FULL CREDIT TOWARDS
UPGRADING THIS
SURVEY TO A
"BOUNDARY/STAKE"
SURVEY FOR ONE
YEAR FROM THE DATE
OF THIS SURVEY.

(EXCLUDING D.C. & BALT. CITY)

Attachment 2



Attachment 3





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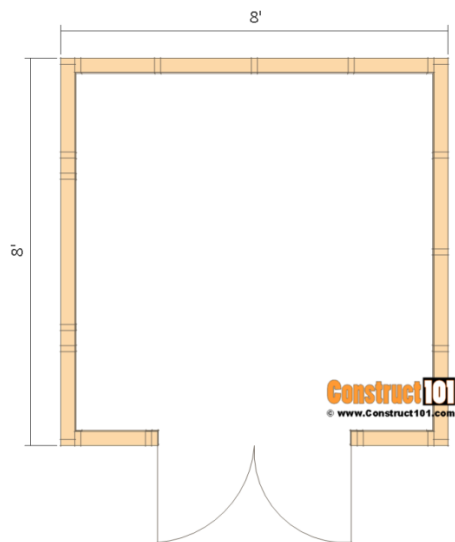
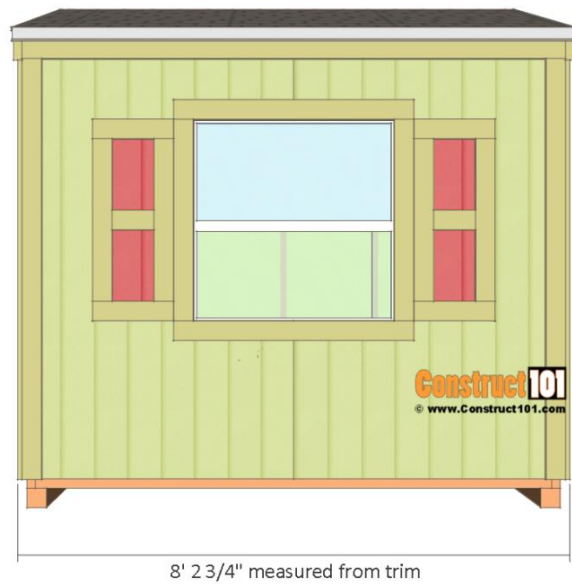
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ISBN-13:

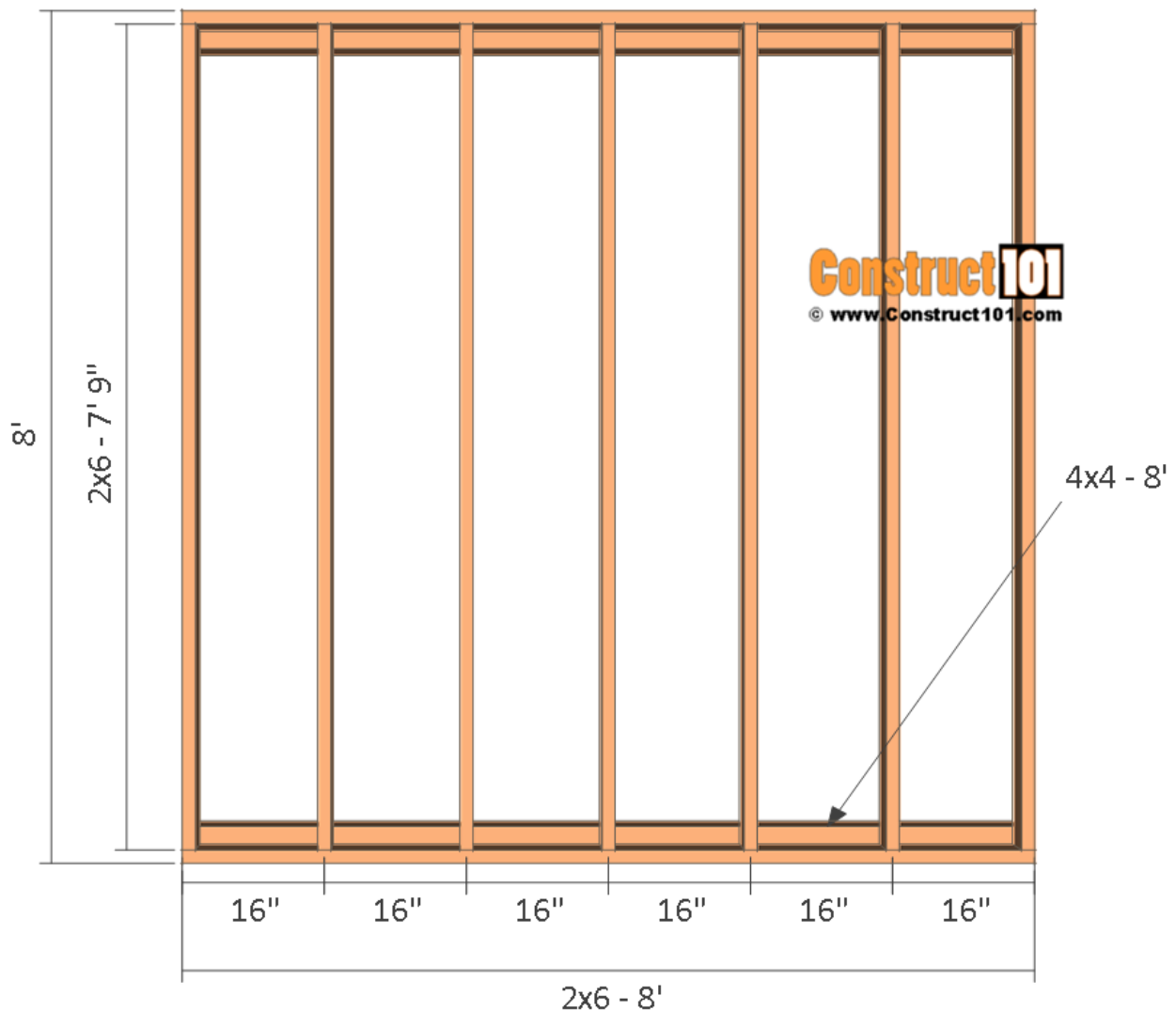
ISBN-10:

Garden Shed Plans – 8'x8' – Overview



Garden Shed Plans – 8x8 – Material List

Shopping List	Cutting List
(material for door & window not included below)	(material for door & window not included below)
Floor	Floor
9 – 2x6 (pressure treated) – 8'	2 – 2x6 (pressure treated) – 8'
Floor Deck	7 – 2x6 (pressure treated) – 7' 9"
2 – 3/4" tongue and groove plywood – 4'x8' sheet	Floor Deck
Right & Left Wall Frame	2 – 3/4" tongue and groove plywood – 4'x8' sheet
14 – 2x4 – 8'	Right & Left Wall Frame
Front & Back Wall Frame	4 – 2x4 – 8'
14 – 2x4 – 8'	10 – 2x4 – 6' 5/8"
Top Roof Ridge	Front & Back Wall Frame
1 – 2x4 – 8'	4 – 2x4 – 7' 5"
Rafters	10 – 2x4 – 6' 5/8"
5 – 2x4 – 10'	Top Roof Ridge
T1-11 Exterior Siding	2 – 2x4 – 1' 2 3/8"
8 – t1-11 exterior siding – 4'x8' sheet	1 – 2x4 – 8'
Roof Deck	Rafters
3 – 1/2 plywood – 4'x8' sheet	10 – 2x4 – 4' 2 7/16"
Trim	T1-11 Exterior Siding
2 – 2x6 – 10'	8 – t1-11 exterior siding – 4'x8' sheet
2 – 1x6 – 10'	Roof Deck
8 – 1x4 – 8'	3 – 1/2 plywood – 4'x8' sheet
Hardware	Trim
3 1/2" galvanized nails	2 – 2x6 – 10' (cut to size)
2" deck screws	2 – 1x6 – 10' (cut to size)
2" galvanized nails	8 – 1x4 – 8' (cut to size)
1 1/4" galvanized finishing nails	
shingles	
roof tacks	
roofing felt	
staples	
drip edge	



Floor

The floor is built using pressure treated lumber.

Cut two 2x6's to 8' long for the floor bands, and seven 2x6's to 7' 9" for the floor joist.

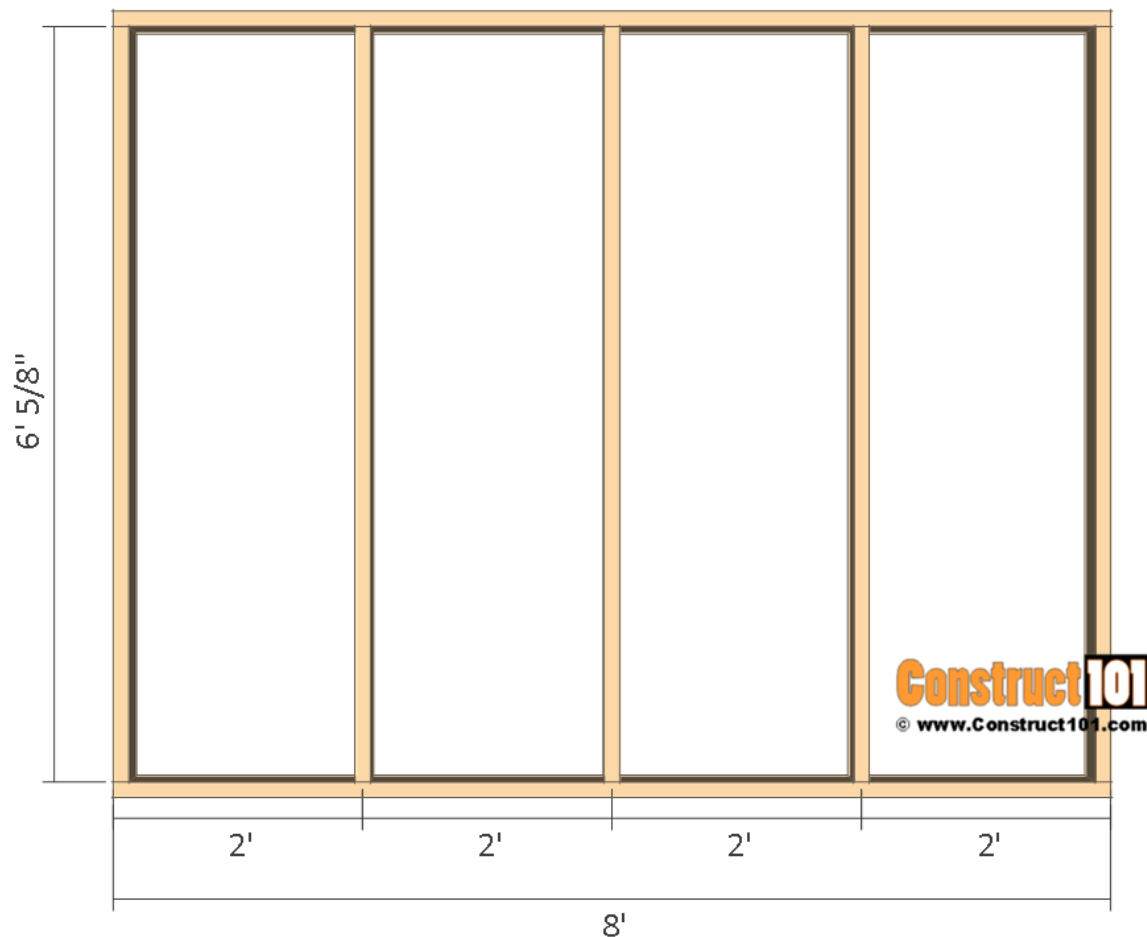
Nail 3 1/2" nails through the floor bands and into the floor joist. The floor joist are spaced out 16" O.C.

Attach the 8' long 4x4 pressure treated skids to the bottom of the floor frame. Square out the floor frame by measuring diagonally until both sides measure the same. Secure the 4x4 skids by nailing 3 1/2" nails through the floor frame and into the 4x4 floor skids.



Floor Deck

Install the 3/4" tongue and groove plywood. Secure the floor plywood with 2" deck screws.



Right & Left Wall Frame

The walls are framed using 2×4 lumber.

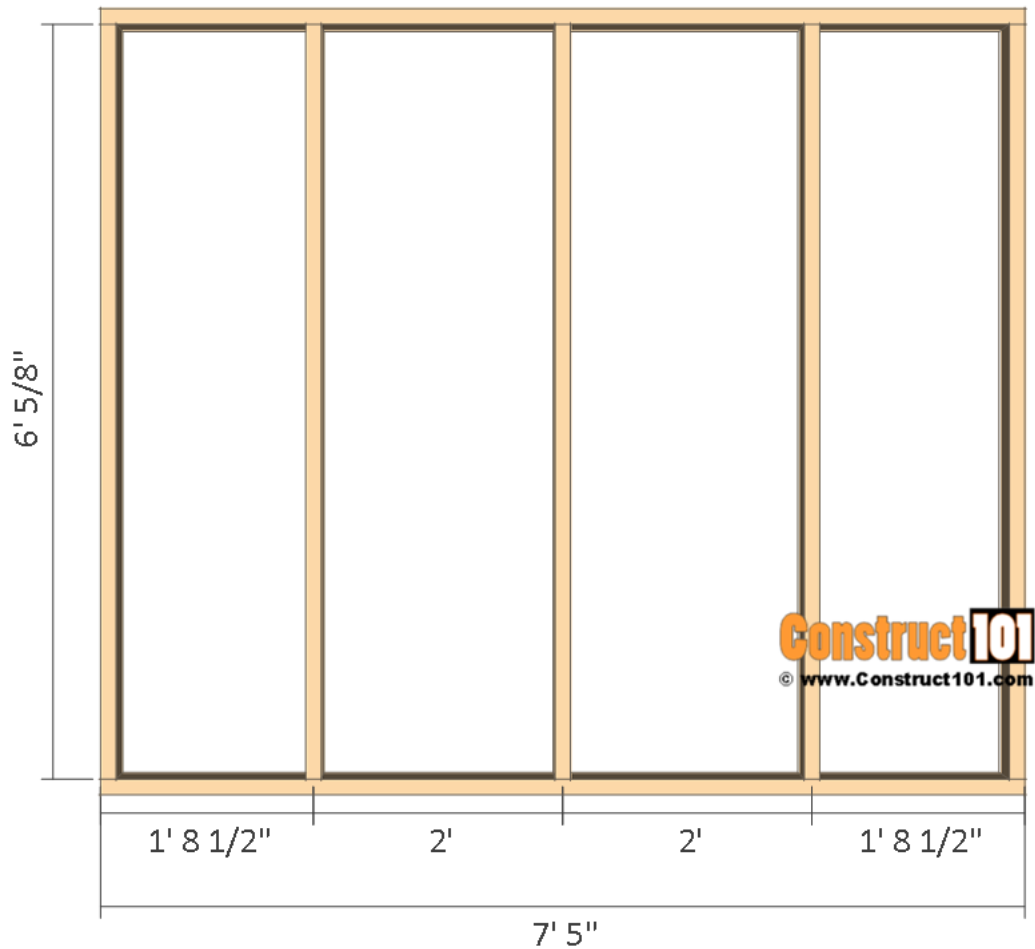
Cut four 2×4's to 8' long for the top and bottom plates. Cut ten 2×4's to 6 5/8" long for the wall studs.

For instructions on framing the door or window see attached pages:

- Shed Door Plans
- Wall Framing – Adding a Shed Window

Assemble the right and left wall as shown on illustration above. Wall studs are spaced out 2' O.C.

Nail 3 1/2" nails through the top and bottom plates and into the wall studs.



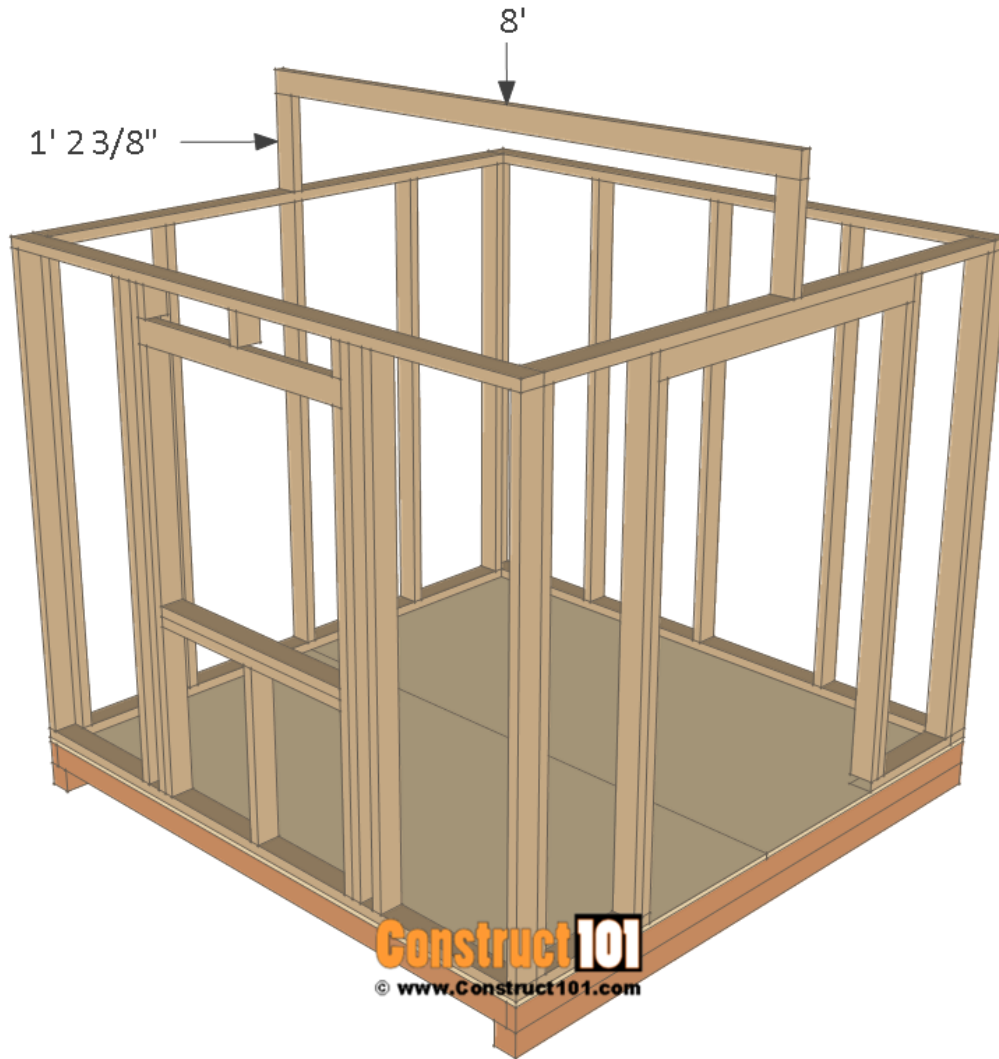
Front & Back Wall Frame

Cut four 2x4's to 7' 5" long for the top and bottom plates. Cut ten 2x4's to 6' 5/8" long for the wall studs.

For instructions on framing the door or window see attached pages:

- Shed Door Plans
- Wall Framing – Adding a Shed Window

Nail 3 1/2" nails through the top and bottom plates and into the wall studs.



Top Roof Ridge

Cut two 2×4's to 1' 2 3/8" long and one 2×4 to 8' long.

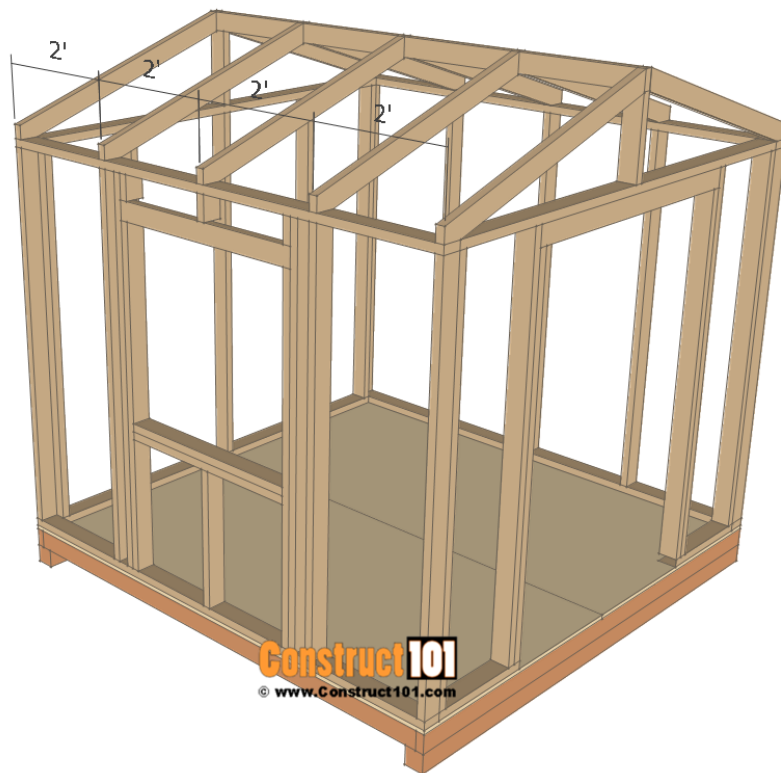
Install as shown on illustration above using 3 1/2" nails.



Rafters

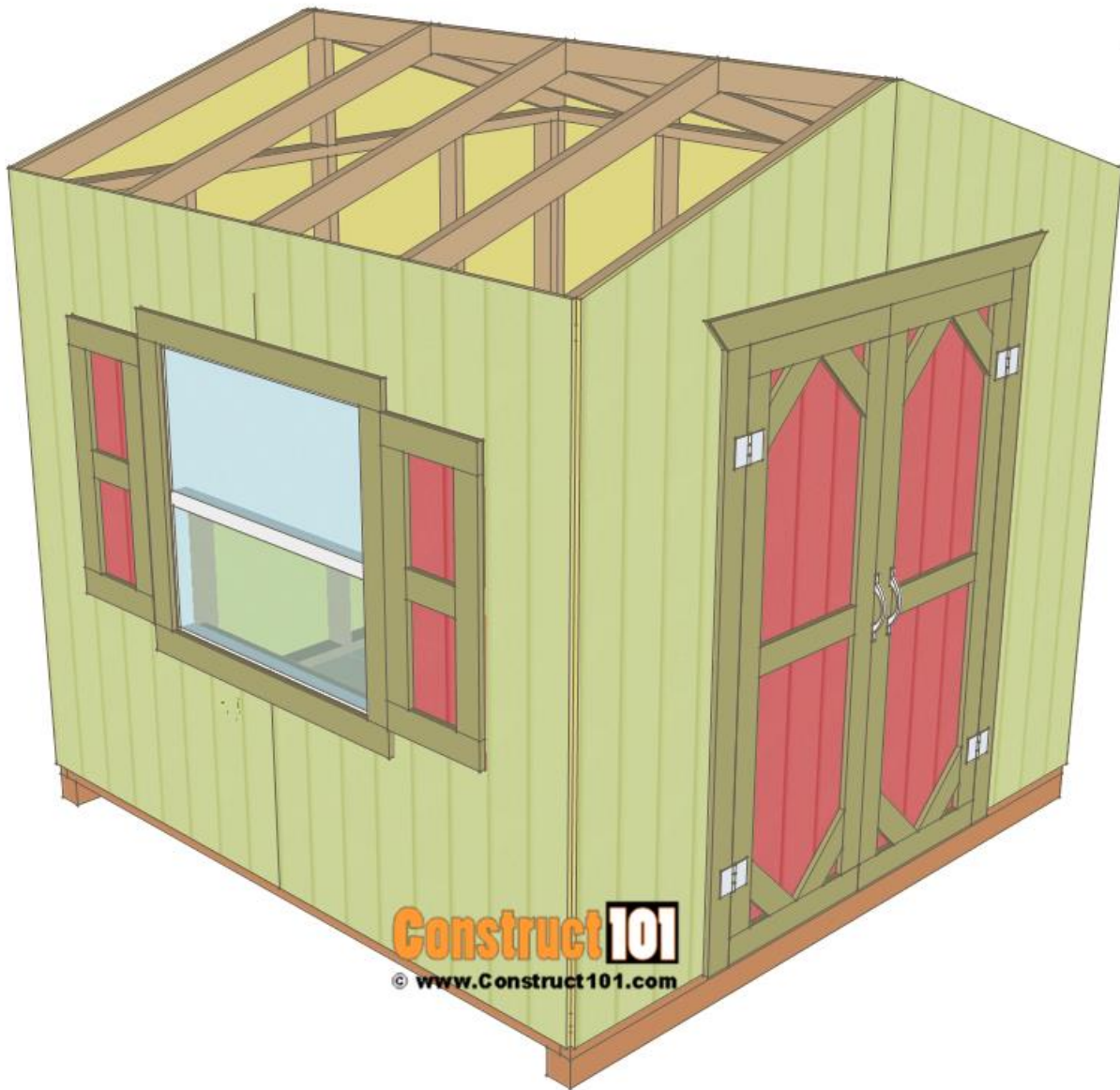
2×4 lumber is used for the rafters.

Cut ten 2×4's as shown on illustration above for the roof rafters.



Install the roof rafters, rafters are spaced out 2' O.C.

Nail 3 1/2" nails through the rafters and into the wall frame and ridge board.



T1-11 Exterior Siding

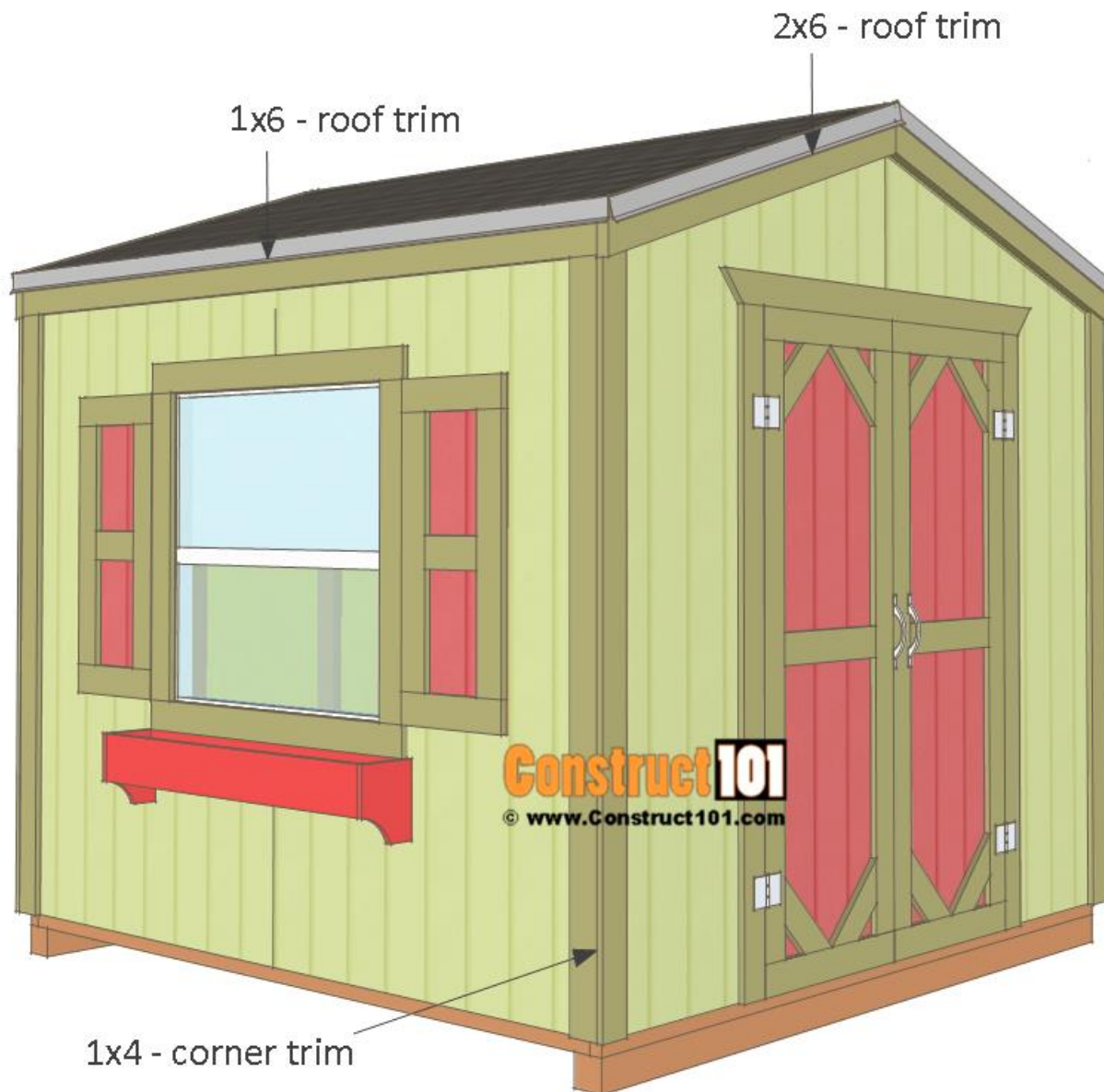
Install the 4'x8' exterior siding sheets using 1 1/4" finishing nails.

Once the siding has been installed cut the front and back siding along the rafters.



Roof Deck

Cut the 1/2" plywood for the roof deck, install using 2" nails.



Install the 2x6 roof trim and 1x4 corner trim as shown on illustration above.

Install the roofing felt, shingles, and drip edge.

Attachment 5



Montgomery County Department of Permitting Services

255 Rockville Pike, 2nd Floor
Rockville, MD 20850-4166
Phone: 311 in Montgomery County or (240)777-0311
<http://www.montgomerycountymd.gov/dps>



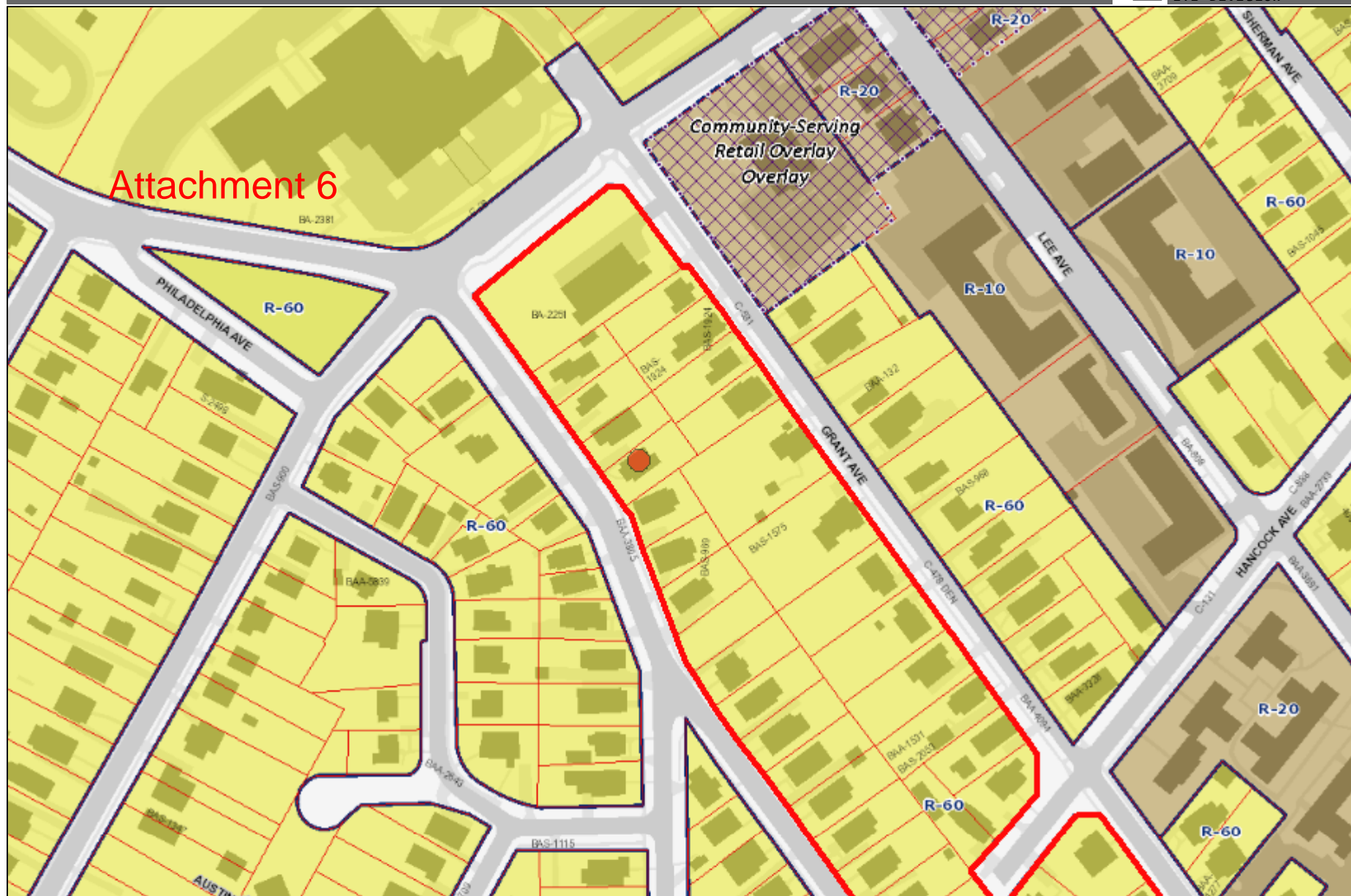
Residential Sheds Building Inspections

Inspection Sequence		Prior to Inspection Request		Performed by		Inspection approval required prior to
Type	Code	Work to be Completed	Approved Inspections	DPS	Others	
Final	251	1. Shed is to be completed and must be anchored to resist wind loads. Anchorage shall be installed to resist a minimum 15 pounds per square foot lateral load as required code or by using other hardware installed in accordance with the manufacturers specifications. Shed placement shall comply with the approved plot plan for size and location		Yes		<ul style="list-style-type: none"> Using building or structure

Date: 6/18/2020



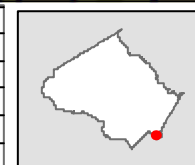
Montgomery County
Planning Department
ITI Division



Account #	01068538
Address	44 PHILADELPHIA AVE TAKOMA PARK, 20912
Zone	R-60
Overlay Zone	N/A
TDR Overlay Zone	N/A
Landuse	Single Family Detached
Parcel, Lot, Block	P783, 8, 88
WSSC Grid	209NW01
Map Amendments	G-791 G-956

Parking District	N/A
CBD	N/A
Special Protection Area	N/A
Urban District	N/A
Enterprise Zone	N/A
Arts & Ent. District	N/A
Special Tax District	N/A
Legal Description	PT OF HODGES TRACT

Bike/Ped Priority Area	N/A
Urban Renewal Area	N/A
Metro Station Policy Area	N/A
Priority Funding Area	Yes
Septic Tier	Tier 1: Sewer existing
Municipality	TAKOMA PARK
Master Plan	TAKOMA PARK
Historic Site/District	TAKOMA PARK HISTORIC DISTRICT
Water/Sewer Categories	W-1/ S-1



1 inch = 258 feet