EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	11900 Darnestown Road, Gaithersburg	**Meeting Date:**	6/24/2020
Resource:	Master Plan Site #24/13 ***(Quince Orchard Colored School)***	**Report Date:**	6/17/2020
		Public Notice:	6/10/2020
Applicant:	Pleasant View Historic Association **(Thomas Taltavull, Architect)**		
		Tax Credit:	Partial
Review:	HAWP	**Staff:**	Michael Kyne
Case Number:	24/13-20A		
PROPOSAL:	Building addition and renovations		

STAFF RECOMMENDATION:

☐ **Approve**
☑ **Approve with conditions**

The applicants must satisfy the outstanding one (1) condition regarding the proposed renovations, as stipulated by the Maryland Historical Trust (MHT). Namely:

1. **A mock-up of the new field stone foundation will be undertaken to ensure that the reconstructed wall matches in-kind. Once the mock-up has been completed, photographs should be submitted for review and approval.**

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #24/13, *Quince Orchard Colored School*
DATE: c. 1875

Fig. 1: Subject property, as indicated by the yellow star.

PROPOSAL:

The applicants propose a building addition and renovations at the subject property. The proposal is a Bond Bill funded capital project involving state funds, which requires that the conveyance of a perpetual easement to MHT. Thus, in accordance with the Maryland Historical Trust Act of 1985 and in anticipation of the recordation of the easement, the proposal has been reviewed by the MHT Easement Committee. As evidenced by the attached letter dated May 6, 2020, MHT has approved the proposal approved with one condition (see above). When reviewing proposals to properties on which MHT holds an easement, it is the HPC's policy to defer to MHT's review and approval.

APPLICABLE GUIDELINES:

IV. The Expedited Staff Report format may be used on the following type of cases:

1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.

Montgomery County Code; Chapter 24A-8

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
   (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
   (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an

historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

(4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with the one (1) condition specified on Page 1** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9* and *#10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

FOR STAFF ONLY:
HAWP#_____
DATE ASSIGNED_____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Rev. Gerard Green E-mail: ggreen@bwcumc.org

Address: 12410 Fellowship Lane City: Gaithersburg Zip: 20878

Daytime Phone: 410-300-8823 Tax Account No.: 00397915

AGENT/CONTACT (if applicable):

Name: Thomas J. Taltavull, Architect E-mail: tom@tjtarchitects.com

Address: 20650 Plum Creek Court City: Gaithersburg Zip: 20882

Daytime Phone: 301-840-1847 Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 24-13

Is the Property Located within an Historic District? __Yes/District Name_____
x No/Individual Site Name Quince Orchard Shoolhouse

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- ☐ New Construction
- ☑ Addition
- ☐ Demolition
- ☐ Grading/Excavation
- ☐ Deck/Porch
- ☐ Fence
- ☐ Hardscape/Landscape
- ☐ Roof
- ☐ Shed/Garage/Accessory Structure
- ☐ Solar
- ☐ Tree removal/planting
- ☐ Window/Door
- ☑ Other: Rehabilitate Schoolhouse

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas J. Taltavull — Signature of owner or authorized agent

June 8, 2020 — Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The frame one-room schoolhouse originally built on the other side of the Darnestown Road about 1875, as a school for white children in the area. In 1901-2 the building was moved next to the Pleasant View church site to be used as the colored school. Two rooms were added in the early 194os, just before Quince Orchard, Tobytown, and Seneca Colored Schools were consolidated. One classroom burned with only the brick foundation below grade remaining.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed work is to rehabilitate the original schoolhouse and 1940 classroom and add a one story community meeting room wing in the approximate location of the classroom that burned down. The new meeting room will provide an exterior wood ADA ramp. See attached MHT Easement Change application for detailed overview of proposed work and photographs.

Work Item 1: _____

Description of Current Condition:	Proposed Work:
SEE ATTACHED MARYLAND HISTORIC TRUST EASEMENT CHANGE APPLICATION FOR ALL WORK ITEMS	

Work Item 2: _____

Description of Current Condition:	Proposed Work:

Work Item 3: _____

Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Historic Preservation Easement Program
Change/Alteration Request Application

*This form is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to initiate review of projects which require approval of the Director of the MHT as per the Deed of Easement. All **Change/Alteration Request Applications** must be submitted along with pertinent supplemental information in hard copy with an original signature at least one week prior to the scheduled meeting date. Easement Program staff will evaluate the application for completeness and may require additional information to facilitate review by the Easement Committee and Director. The application review period (as specified by each Deed of Easement) will not commence until Easement Program staff has deemed the application to be complete.*

Return the **Change/Alteration Request Application,** and other information to:
Kate Bolasky, Administrator, Historic Preservation Easement Program
Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032
(410) 697-9537/kate.bolasky@maryland.gov

Easement Property Information:

Name of Easement Property:	Quince Orchard Colored School		
Alternative Name:			
Address of Property:	11810 Darnestown Road		
	Gaithersburg, Maryland 20878	County:	Montgomery
Maryland Inventory of Historic Places # (if known): M 24-13 (for more information visit http://mht.maryland.gov/research_survey.shtml)			
Scope of Easement: What does the Easement protect? *(Check all that apply)*	[x] Exterior [ ] Interior [ ] Archaeology	Is the scope of work located inside the easement boundary?	Yes [x] No [ ]

*For a copy of the easement document, please contact Kathy Monday (410) 697-9575/ kathy.Monday@maryland.gov

Property Owner Information:

Name of Current Property Owner:	Pleasant View United Methodist Church c/o Gerard A. Green, Jr.		
Address of Property Owner: (If different than property address)	12410 Fellowship Lane Gaithersburg, Maryland 20878	Date of Purchase:	NA
Work/Home Telephone:	301-216-4630	Fax:	
Mobile Telephone:		Email:	ggreen@bwcumc.org

If application is completed by someone other than owner (only complete if applicable):

Name of Authorized Project Contact:	Thomas J. Taltavull		
Relationship to owner:	Architect		
Address of Authorized Project Contact:	20650 Plum Creek Court Gaithersburg, Maryland 20882		
Daytime Telephone:	301-840-1847	Fax:	
Mobile Telephone:	301-466-5272	Email:	tom@tjtarchitects.com

Project Funding Information:

Is this project being funded by any of the following sources? *Please check all that apply:*	☐ MHT Capital Grant (FY _____) ☐ MHT Loan ☐ MHAA Capital Grant (FY _____) ☐ AAHPP Grant (FY _____) ☐ Historic Tax Credits (☐ Residential/ ☐ Commercial) ☒ Bond Bill (Chapter _____/Year _____) ☐ Other State/Federal Funding _____ ☐ Other Funding _____

Please check that you have included the following information as part of your complete application:

Required:	***As Necessary (Recommended)*:**
☒ Change/Alteration Request Application	☒ Site Plan/Drawings/Plans (dated _____)
☒ Detailed Work Description	☐ Product Information/Specifications
☒ Printed Photographs & CD; properly labeled/identified	☐ Other _____

The Easement Property Owner and/or the Authorized Proposal Contact is encouraged to keep a duplicated copy of all application information sent to the MHT, including photos and plans, as the MHT staff may need to discuss the application with the applicant prior to submission to the Easement Committee.

Signature of Owner or Authorized Representative/Date: _____/_____

Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 1

Architectural/Landscape feature: Brick Chimneys	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: circa 1902 & 1940's	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.** 2,3,4,6 **Drawing no.** 1 thru 6
The existing brick masonry chimneys that provided flues for wood coal stoves located in the original 1902 school room and the 1940"s classroom addition. The chimneys are in good condition. There is an existing stove still located in the original 1902 classroom.	The existing masonry chimneys are in good condition and will be inspected, and if required will be repaired and repointed with in kind mortar. Metal flashing may need to be redone. Flashing material will be in kind with existing.

Work Item #2

Architectural/Landscape feature: Gutters and Downspouts	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: circa 1980's	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.** 1-6 **Drawing no.** 2,3,5,6
The existing gutters are white half round seamless aluminum. The gutters are in fair condition, with missing and damaged sections. The existing downspouts are white round aluminum. The downspouts are in fair condition with some missing and damaged. Photograph from 1967 shows building with no gutters or downspouts.	The proposed work is to remove existing gutters and downspouts and replace with 6" half round and 4" diameter downspouts. Gutters and downspouts to be galvalume mill finish .

Work IItem # 3

Architectural/Landscape feature: Rubble field stone foundation	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: 1902	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.** 1,2,3,6 **D rawing no.** 2,3,5,6
Original one room school section was set on rubble stone foundation. The foundation exhibits visible signs of movement and deterioration. Foundation depth is inadequate. Stones have been painted white. Mortar is failing. Foundation is in poor condition.	Underpin stone foundation with new concrete footing to extend wall down to frost depth at minimum 30" below finished grade. Repair and repoint stone wall with appropriate mortar to match existing in kind. Remove paint from stone.

** Please print this page again to include as many work items as necessary.*

Work Item # 4

Architectural/Landscape feature: Concrete Foundation Wall	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: circa 1940's	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.** 3,4,5,6 **Drawing no.** 2,3,5,6
The existing concrete foundation at the circa 1940"s classroom addition does not extend down to frost depth. The walls show visible signs of deformation as a result of frost heave and foundation settlement along the east,, south,and west elevations. The walls are in poor condition.	Underpin the concrete foundation walls with new concrete footings to extend down to frost depth. (30" minimum below finished grade)

Work Item #5

Architectural/Landscape feature: Wood Siding	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: 1902 & 1940's	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.** 1-6 - **Drawing no.** 2,3,5,6
The existing wood drop siding boards at or near the grade level are in poor condition. Boards are loose and deteriorated due to foundation and framing failures.	Repair all loose siding boards in good condition. Remove and replace any damaged or deteriorated wood boards with in kind material to match.

** Please print this page again to include as many work items as necessary.*

Work Item # 6

Architectural/Landscape feature: Wood wall and floor framing	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: 1902 & 1940's	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.** 1 -6 **Drawing no.** 1 - 6
The exitsting wall and floor framing is visibly damaged and deteriorated in several areas. The wood timber sill shows visible signs of insect and water damage. Floor framing is located at or on ground and exhibits signs of rot and deterioration. The wall and floor framing is in poor condition.	Expose existing wall and floor framing in areas of rot and deterioration. Rotted or damaged wood floor framing to be repaired and or replaced with in kind material. The crawl space grade shall be lowered where required to a minimum 6" below bottom of wood floor framing and covered with 6 mil poly vapor barrier.

Work Item # 7

Architectural/Landscape feature: Exterior Metal Doors	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: Circa 1980	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.** 1,2,3,4,8 **Drawing no.** 1 thru 6
The existing metal doors, frames trim at north and east elevations are not original and non contributing features.	Remove two (2) non contributing exterior metal doors , frames and trim. At north elevation install new solid wood three panel and two over two half lite door, frame and trim. At east porch elevation install new solid wood two panel door with six over six vision lite to match original 1960's door.

** Please print this page again to include as many work items as necessary.*

Work Item # 8

Architectural/Landscape feature: Wood windows	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: 1902, 1940's and 1970's	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.** 1-6, 8 **Drawing no.** 1 thru 6
The east elevation has seven wood six over six double hung windows and trim that are in poor condition (1902, 1940's). The east porch elevation has two non contributing fixed windows in poor condition (1970's). The north elevation has two plywood boarded window openings, with trim and frames in poor condition. The north elevation also contains a non contributing modern vinyl clad wood double hung window in good condition.	All double hung wood windows in east elevation to be restored to original condition. The two fixed window sashes at the porch entrance shall be restored to six lite sashes per 1967 photograph. The plywood covering windows to be removed to investigate and determine original window configuration. Findings will be reported to MHT.

Work Item # 9

Architectural/Landscape feature: Wood ramp and railings	**Describe, in detail, the proposed work and impact on existing feature:**
Approximate date of feature: circa 1980's	***Be sure to include details and specifications on proposed products***
Describe existing feature and its condition:	**Photo no.**2,3,4, 8 & 9 **Drawing no.** 1,2,3
The existing late 20th century wood ramp railings are non contributing and in poor condition.	Remove existing non contributing wood ramp and railings at east elevation.

** Please print this page again to include as many work items as necessary.*

Work Item #10

Architectural/Landscape feature: Existing Grades at Building	**Describe, in detail, the proposed work and impact on existing feature:**	
Approximate date of feature: 1967	***Be sure to include details and specifications on proposed products***	
Describe existing feature and its condition:	**Photo no.** 1,5,6	**Drawing no.** 2,3,5,6
The existing grades at the south and west elevations are at or above the top of the foundation walls. Grades along the west wall are sloping towards the building.	Reduce grade elevations to at minimum 6" below top of foundation wall to prevent future water and insect damage to wood framing and siding. The grade shall be adjusted to provide positive slope away from foundation walls.	

Work Item # 11

Architectural/Landscape feature: Overhead electrical service	**Describe, in detail, the proposed work and impact on existing feature:**	
Approximate date of feature: 1960"s	***Be sure to include details and specifications on proposed products***	
Describe existing feature and its condition:	**Photo no.** 1,6	**Drawing no.** 3
The existing overhead electrical service which terminates at the north wall.	Remove existing overhead electrical service wiring from street to electrical meter and install new underground electrical service and meter.	

** Please print this page again to include as many work items as necessary.*

Work Item # 12

Architectural/Landscape feature: Existing concrete walkway	**Describe, in detail, the proposed work and impact on existing feature:**	
Approximate date of feature: circa 1960's	***Be sure to include details and specifications on proposed products***	
Describe existing feature and its condition:	**Photo no.** 9	**Drawing no.** 7
The existing concrete walkway from north elevation door to existing privey building is deteriorated with missing sections. The walk is in poor condition.	Remove existing concrete walk and install new brick paver walk in same location. Pavers to be moulded sand struck type.	

Work Item # 13

Architectural/Landscape feature: Below grade limits of demolished classroom wing	**Describe, in detail, the proposed work and impact on existing feature:**	
Approximate date of feature: Circa 1940's	***Be sure to include details and specifications on proposed products***	
Describe existing feature and its condition:	**Photo no. 1 0**	**Drawing no.**
Initial limited probing with steel rod found evidence of classroom wing that burned down. The condition, limits and material composition of the remaining foundation wall has not been determined. An existing concrete step indicates possible location of exterior entry door.	The Owner's are looking to the MHT Easement Committee for guidance on how to proceed with possible excavation and uncovering of area where burned down addition was said to exist. No photographs or clear oral historical recollection of what building looked like has been determined. The Owner's would like to reconstruct the addition for community use.	

** Please print this page again to include as many work items as necessary.*

Maryland
DEPARTMENT OF PLANNING
MARYLAND HISTORICAL TRUST

May 6, 2020

Gerard Green
Pleasant View Historic Association
12410 Fellowship Lane
Gaithersburg, MD 20878

Re: Pleasant View M.E. Church and Quince Orchard Colored School, Montgomery County
Pending Easement
Maryland Historical Trust Preservation Easement
Loan of 2017, Chapter 22

Dear Mr. Green:

The Maryland Historical Trust (MHT) is in receipt of your additional information, received on April 22, 2020, submitted in response to my April 6, 2020 letter. MHT's involvement in reviewing the proposed actions at the Quince Orchard Colored School is twofold. As a bond bill funded capital project involving state funds, MHT is reviewing the projects for their effects on historic properties to fulfill compliance with the Maryland Historical Trust Act of 1985, as amended. *See* Md. Code Ann., State Fin. & Proc. § 5A-325. MHT is also reviewing the project in anticipation of the recordation of the pending perpetual easement, as required by the Bond Bill. It is our understanding that the 2017 bond bill funds will be used for this project.

As the easement is not yet in place, the MHT performed a courtesy review of the submitted information.

Based on the review and recommendation of the MHT Easement Committee, I have determined the alternative SDL wood window with internal spacer bar and applied 5/8" muntins and revised site plan be determined sufficient to satisfy certain conditions of approval granted in my April 6th letter.

As an outstanding condition of approval remains unsatisfied, the request for the exterior rehabilitation of the school remains conceptually approved, provided:

- A mock-up of the new field stone foundation wall be undertaken to ensure that the reconstructed wall matches in-kind. Once the mock-up has been completed, photographs should be submitted for review and approval.

This work is consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties, General Rehabilitation Standard 6, 8, 9, and 10.*

As no outstanding conditions of approval remain, the request to construct an addition is now fully approved. This work is consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties, General Rehabilitation Standard 6, 8, 9, and 10.*

While plans and the scope of work for all construction associated with the proposed project for which funding was sought has been reviewed and approved by this office, the required Easement has not yet been recorded. Therefore, by copy of this letter, we are notifying the Board of Public Works (BPW) and the Department of General Services (DGS) that the project's historic preservation review and consultation remains in **progress** and no funds may be distributed until the required Easement has been recorded and a Bring-to-Date has been received by this office.

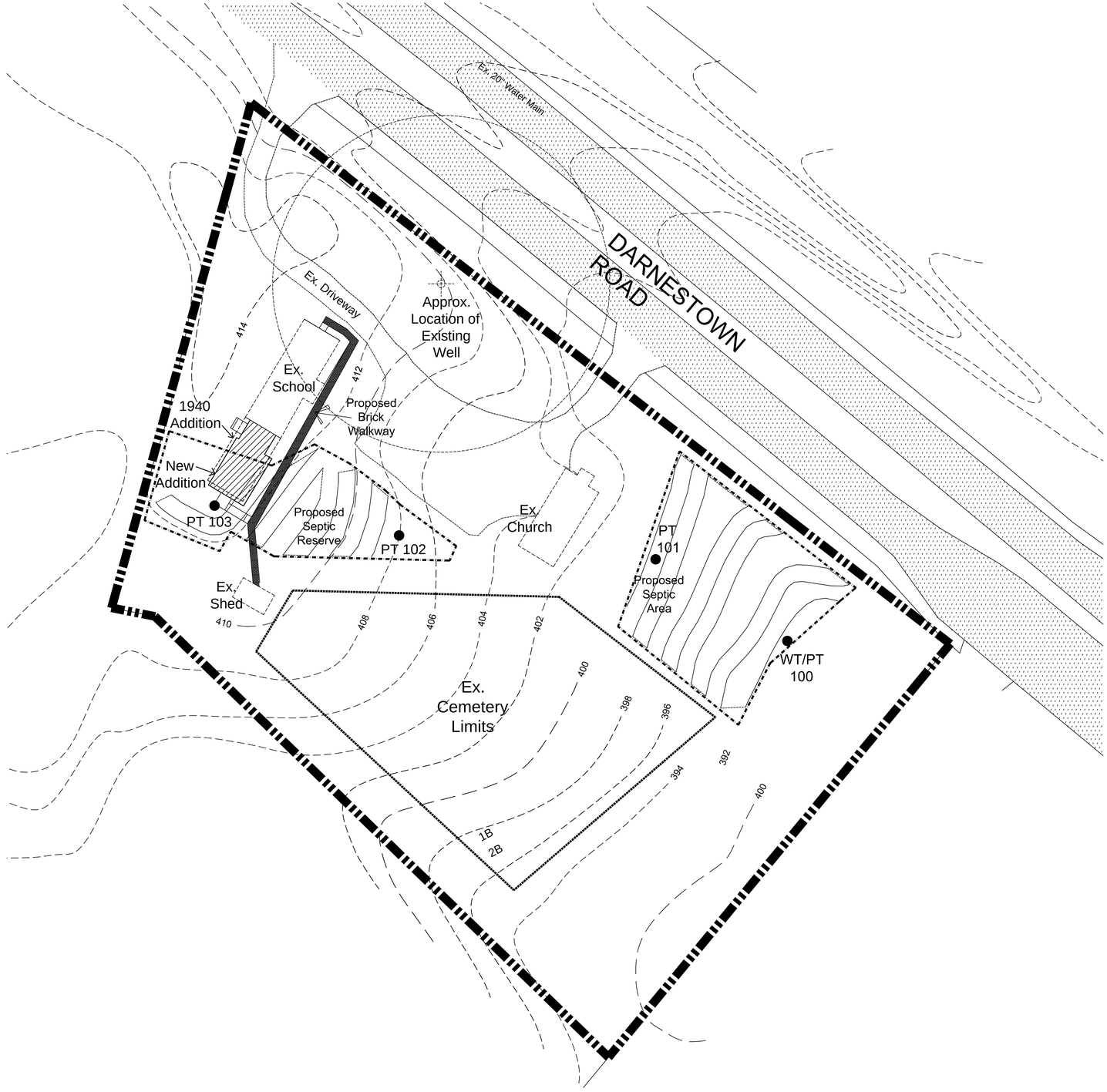
Should you require additional time to complete the project, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Kate Jaffe, Administrator of Preservation Financial Incentives at (410) 697-9537 or by email at kate.jaffe@maryland.gov.

Sincerely,

Elizabeth Hughes
Director
Maryland Historical Trust

EH/KAJ

cc: Tom Taltavull, TJT Architects



SITE PLAN
1" = 30"

1

ARCHITECTS
PLANNERS
HISTORIC
PRESERVATION

THOMAS J. TALTAVULL
ARCHITECT
20650 PLUM CREEK COURT
GAITHERSBURG, MARYLAND 20882

301.840.1847

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2020.

Professional Seal

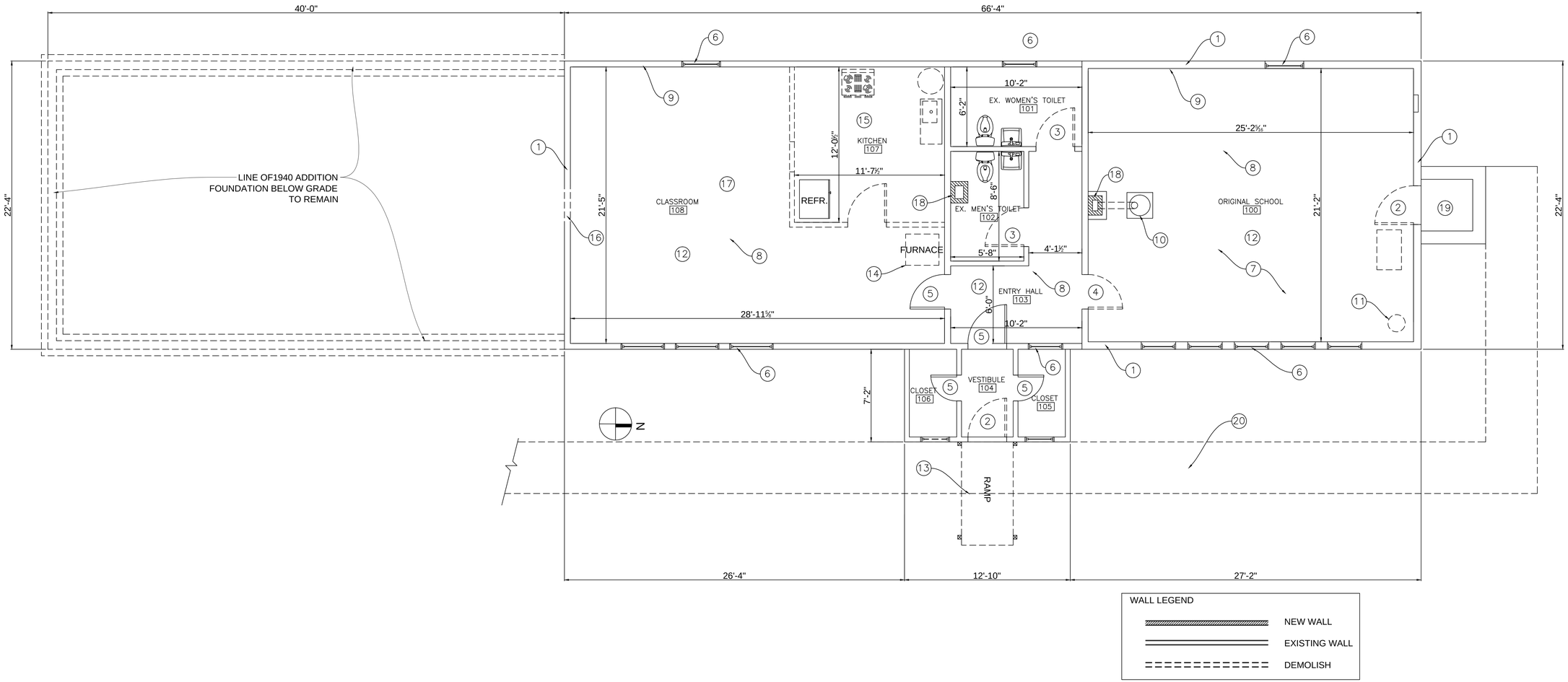
Revisions

Drawing Title
SITE PLAN

Date: April 22, 2020

Rehabilitation to:
QUINCE ORCHARD SCHOOL
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
Gaithersburg, Maryland 20878

Drawing Number
SP1.0



WALL LEGEND

- NEW WALL
- EXISTING WALL
- DEMOLISH

EXISTING FLOOR PLAN NOTES:

1. EXISTING EXTERIOR WALLS TO REMAIN. ALL DETERIORATED OR DAMAGED EXISTING FRAMING SHALL BE REPAIRED WITH IN KIND FRAMING.
2. EXISTING NON HISTORIC METAL DOOR & FRAME TO BE REMOVED AND REPLACED WITH NEW WOOD FRAME AND DOOR TO MATCH ORIGINAL.
3. EXISTING NON ORIGINAL FLUSH WOOD DOORS, FRAME AND TRIM TO BE REMOVED TO ALLOW FOR INSTALLATION OF NEW WOOD PANEL DOOR, FRAME AND TRIM TO MATCH ORIGINAL.
4. EXISTING NON HISTORIC MASONITE PANELED DOOR TO BE REMOVED. ORIGINAL FRAME AND TRIM TO REMAIN.
5. EXISTING ORIGINAL WOOD PANELED DOOR, FRAME AND TRIM TO BE RESTORED.
6. EXISTING WOOD WINDOWS AND TRIM, RESTORE TO ORIGINAL CONDITION. ANY DAMAGED, MISSING OR DETERIORATED PARTS TO BE REPLACED WITH IN KIND MATERIALS, TYPICAL ALL WINDOWS
7. EXISTING FLOOR IN THIS AREA HAS TWO LAYERS OF WOOD FLOORING. REMOVE NON ORIGINAL FLOOR AND REPAIR ORIGINAL FLOORING.
8. EXISTING CEILING FINISH DOES NOT APPEAR ORIGINAL, A SMALL PORTION OF CEILING TO BE REMOVED TO EVALUATE AND DETERMINE IF ORIGINAL CEILING IS PRESENT.
9. EXISTING WALL FINISHES ABOVE ORIGINAL WOOD WAINSCOT DO NOT APPEAR TO BE ORIGINAL. A SMALL PORTION OF WALL FINISH TO BE REMOVED TO DETERMINE IF ORIGINAL WALL FINISH IS PRESENT.
10. EXISTING WOOD STOVE, FLUE PIPING TO BE RESTORED.
11. REMOVE EXISTING WELL WATER EXPANSION TANK AND NON HISTORIC SURFACE MOUNTED WATER PIPING.
12. EXISTING SURFACE MOUNTED LIGHT FIXTURES TO BE REWIRED AND TO REMAIN.
13. EXISTING NON HISTORIC WOOD RAMP TO BE REMOVED, EXISTING METAL ROOF AND CONCRETE PORCH TO REMAIN.
14. EXISTING NON HISTORIC FURNACE AND EXPOSED METAL DUCTWORK TO BE REMOVED.
15. EXISTING NON HISTORIC KITCHEN WALLS, APPLIANCES, LIGHTING, PLUMBING AND FLOOR TO REMOVED.
16. REMOVE PORTION OF THIS WALL TO ALLOW FOR INSTALLATION OF NEW DOOR TO ADDITION.
17. REMOVE NON HISTORIC WOOD FLOORING IN THIS ROOM TO DETERMINE IF ORIGINAL WOOD FLOORING EXISTS.
18. EXISTING MASONRY HEATING FLUES TO REMAIN AND BE REPAIRED.
19. EXISTING CONCRETE STOOP TO REMAIN.
20. REMOVE EXISTING DETERIORATED CONCRETE WALK.

EXISTING FIRST FLOOR PLAN

1/4 = 1' – 0"

1

ARCHITECTS
PLANNERS
HISTORIC
PRESERVATION

THOMAS J. TALTAVULL
ARCHITECT
20650 PLUM CREEK COURT
GAITHERSBURG, MARYLAND 20882

301.840.1847

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2020.

Professional Seal

Revisions

Drawing Title

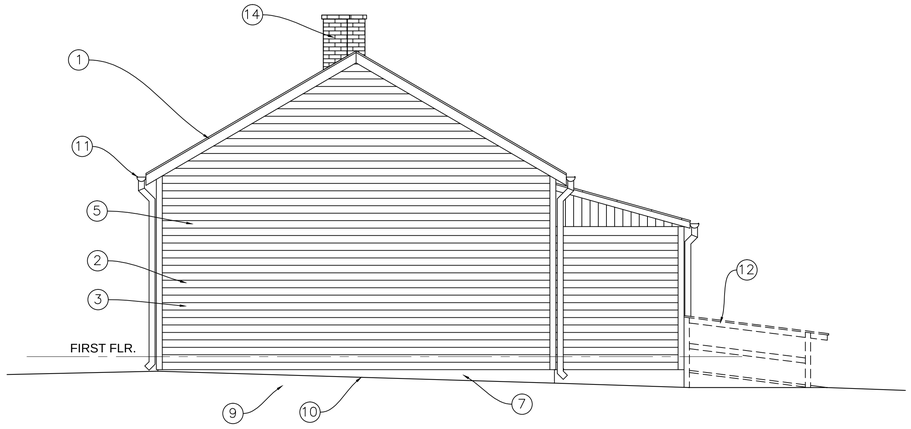
EXISTING FLOOR PLAN

Date: April 22, 2020

Rehabilitation to:
QUINCE ORCHARD SCHOOL
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
Gaithersburg, Maryland 20878

Drawing Number

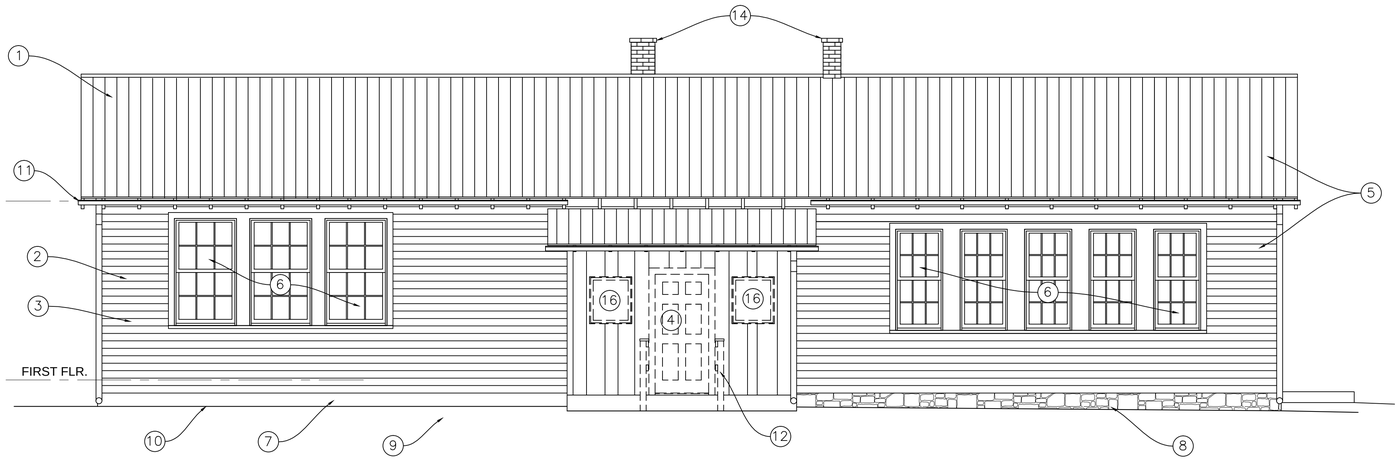
EX1.0



EXISTING SOUTH ELEVATION

1/4 = 1' – 0"

3



EXISTING EAST ELEVATION

1/4 = 1' – 0"

2

EXISTING ELEVATION NOTES:

1. EXISTING METAL ROOFING TO REMAIN.
2. EXISTING WOOD SIDING, TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL
3. EXISTING EXTERIOR WALLS TO REMAIN. ALL DETERIORATED OR DAMAGED EXISTING FRAMING SHALL BE REPAIRED WITH IN KIND FRAMING.
4. EXISTING METAL DOOR & FRAME TO BE REMOVED AND REPLACED WITH NEW WOOD FRAME AND DOOR TO MATCH ORIGINAL.
5. EXISTING WOOD WALL, FLOOR AND ROOF FRAMING TO BE EVALUATED BY STRUCTURAL ENGINEER. DETERIORATED OR DAMAGED FRAMING TO BE REPLACED WITH IN KIND FRAMING AND REINFORCED PER STRUCTURAL ENGINEERING DESIGN.
6. EXISTING WINDOWS TO BE RESTORED
7. EXISTING CONCRETE FOUNDATION WALL TO BE EVALUATED BY STRUCTURAL ENGINEER, UNDERPINNING MAY BE NECESSARY.
8. EXISTING STONE FOUNDATION WALL TO BE EVALUATED BY STRUCTURAL ENGINEER, UNDERPINNING MAY BE NECESSARY.
9. LINE OF EXISTING FOOTINGS TO BE DETERMINED.
10. LINE OF EXISTING GRADE TO REMAIN CONTRACTOR SHALL PROVIDE POSITIVE SLOPE AWAY FROM BUILDING.
11. EXISTING DETERIORATE OR MISSING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS TO BE REMOVED.
12. EXISTING NON HISTORIC WOOD RAMP TO BE REMOVED, EXISTING METAL ROOF AND CONCRETE PORCH TO REMAIN.
13. REMOVE PLYWOOD AT EXISTING WINDOW FRAME OPENING. INVESTIGATE IF EXISTING WINDOW EXISTS OR REVIEW FOR EVIDENCE OF MULLIONS IN FRAME TO DETERMINE ORIGINAL WINDOW DESIGN.
14. EXISTING MASONRY CHIMINEYS TO BE REPAIRED.
15. EXISITNG OVERHEAD ELECTRICAL SERVICE TO BE REMOVED AND REPLACED WITH UNDERGROUND SERVICE.
16. REMOVE NON CONTRIBUTING MODERN WINDOW TO ALLOW FOR INSTALLATION OF NEW WOOD FIXED WINDOW TO MATCH ORGINAL.

EXISTING ELEVATION NOTES

1/4 = 1' – 0"

1

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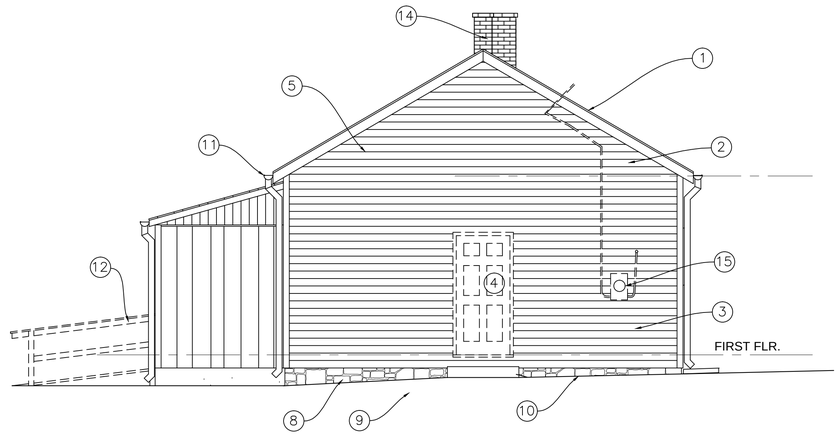
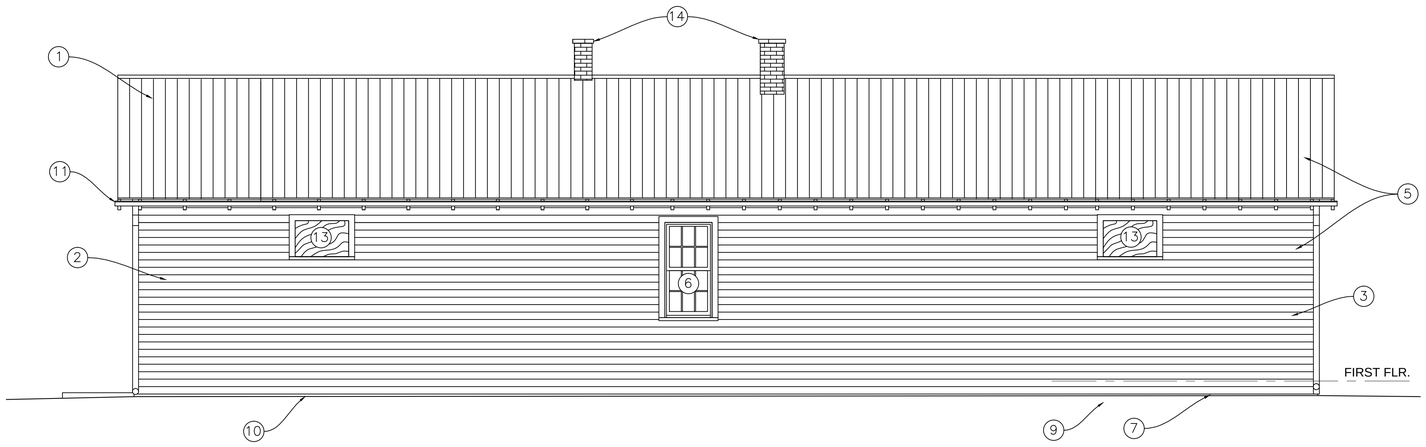
EX2.0



EXISTING NORTH ELEVATION

1/4 = 1' – 0"

3



EXISTING WEST ELEVATION

1/4 = 1' – 0"

2

EXISTING ELEVATION NOTES:

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EXISTING ELEVATION NOTES

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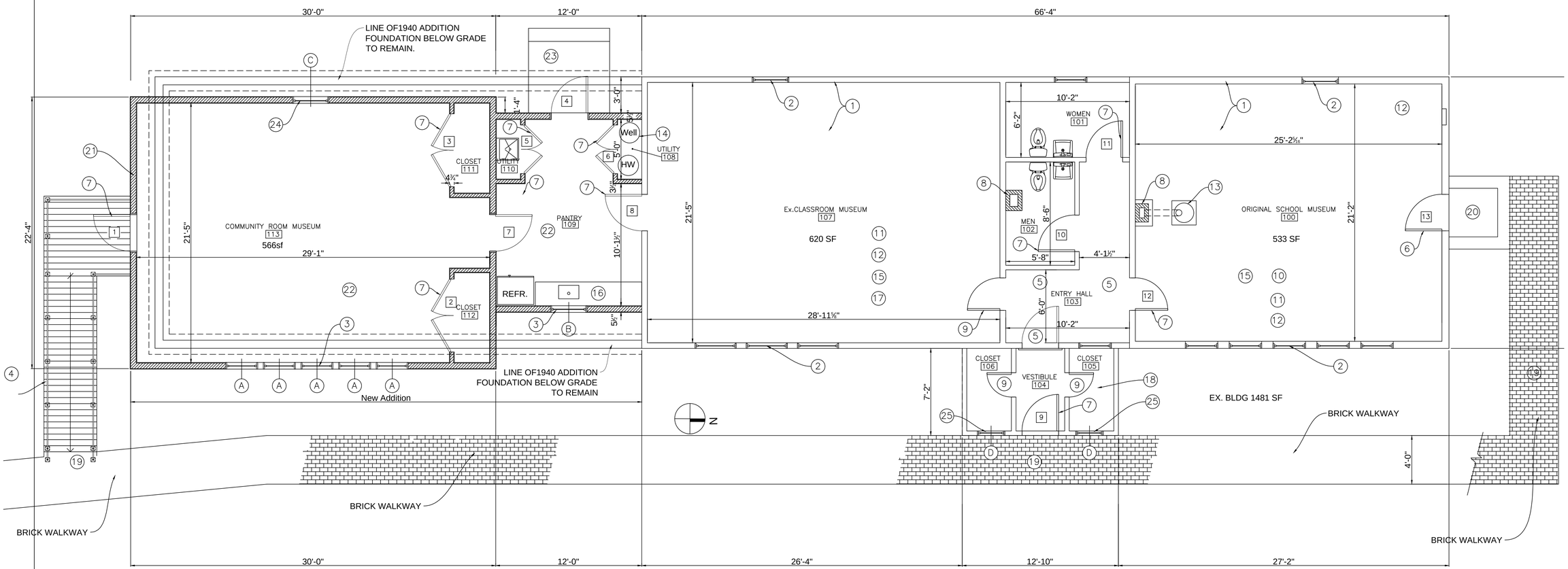

WALL LEGEND

- NEW WALL
- EXISTING WALL
- DEMOLISH

FLOOR PLAN NOTES:

1. EXISTING WOOD WALL, FLOOR AND ROOF FRAMING TO BE EVALUATED BY STRUCTURAL ENGINEER. DETERIORATED OR DAMAGED FRAMING TO BE REPLACED WITH IN KIND FRAMING AND REINFORCED PER STRUCTURAL ENGINEERING DESIGN.
2. EXISTING WOOD WINDOWS AND TRIM, RESTORE TO ORIGINAL CONDITION. ANY DAMAGED, MISSING OR DETERIORATED PARTS TO BE REPLACED WITH IN KIND MATERIALS, TYPICAL ALL WINDOWS
3. NEW WOOD DOUBLE HUNG WINDOW(S) AND TRIM TO MATCH ORIGINALS.
4. NEW WOOD ADA RAMP AND LANDING WITH STEEL HANDRAILS
5. EXISTING WOOD PANEL DOOR WITH TWO OVER TWO LITES, WOOD FRAME AND TRIM TO BE RESTORED.
6. NEW WOOD PANEL DOOR WITH TWO OVER TWO LITES, FRAME AND TRIM TO MATCH EXISTING ENTRY DOOR.
7. NEW WOOD PANEL DOOR, FRAME AND TRIM TO MATCH ORIGINAL DOOR.
8. EXISTING MASONRY CHIMINEYS TO BE REPAIRED.
9. EXISTING ORIGINAL WOOD PANELED DOOR, FRAME AND TRIM TO BE RESTORED.
10. EXISTING FLOOR IN THIS AREA HAS TWO LAYERS OF WOOD FLOORING. REMOVE NON ORIGINAL FLOOR AND REPAIR ORIGINAL FLOORING. PORTIONS OF EXISTING FLOOR TO BE REMOVED TO ALLOW FOR INSPECTION OF EXISTING FLOOR FRAMING.
11. IF ORIGINAL CEILING IS PRESENT IT IS TO BE REPAIRED AND OR REPLACED WITH IN KIND CEILING..
12. EXISTING WALL FINISHES ABOVE ORIGINAL WOOD WAINSCOT DO NOT APPEAR TO BE ORIGINAL. A SMALL PORTION OF WALL FINISH TO BE REMOVED TO DETERMINE IF ORIGINAL WALL FINISH IS PRESENT. IF ORIGINAL WALL FINISHES ARE PRESENT THEY ARE TO BE REPAIRED AND RESTORED TO ORIGINAL CONDITION. ANY NEW WALL FINISHES TO MATCH ORIGINAL.
13. EXISTING WOOD STOVE, FLUE PIPING TO BE RESTORED.
14. NEW WELL WATER EXPANSION TANK, MOP SINK AND HOT WATER HEATER, SEE MECHANICAL DRAWINGS.
15. EXISTING SURFACE MOUNTED LIGHT FIXTURES TO BE REWIRED AND TO REMAIN. SEE ELECTRICAL DRAWINGS.
16. NEW PANTRY CABINETS, SINK AND REFRIGERATOR.
17. REMOVE NON HISTORIC WOOD FLOORING IN THIS ROOM TO DETERMINE IF ORIGNAL WOOD FLOORING EXISTS. PORTIONS OF EXISTING FLOOR IF PRESENT TO BE REMOVED TO ALLOW FOR INSPECTION OF EXISTING FLOOR FRAMING.
18. EXISTING CONCRETE SLAB TO REMAIN.
19. NEW BRICK WALKWAY ON 4" CRUSHED STONE ON APPROVED SUBGRADE.
20. EXISTING ORIGINAL CONCRETE STOOP TO REMAIN.
21. NEW 2 x 6 WOOD FRAMED WALLS WITH 5.5" BATT INSULATION.
22. NEW T&G HARDWOOD FLOORING TO MATCH EXISTING.
23. NEW CONCRETE STOOP
24. NEW WOOD WINDOW TO MATCH EXISTING WEST WALL AWNING WINDOWS.

PROPOSED FLOOR PLAN
1/4 = 1' – 0"

1

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PROPOSED FLOOR PLAN

Date: April 22, 2020

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QUINCE ORCHARD SCHOOL
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
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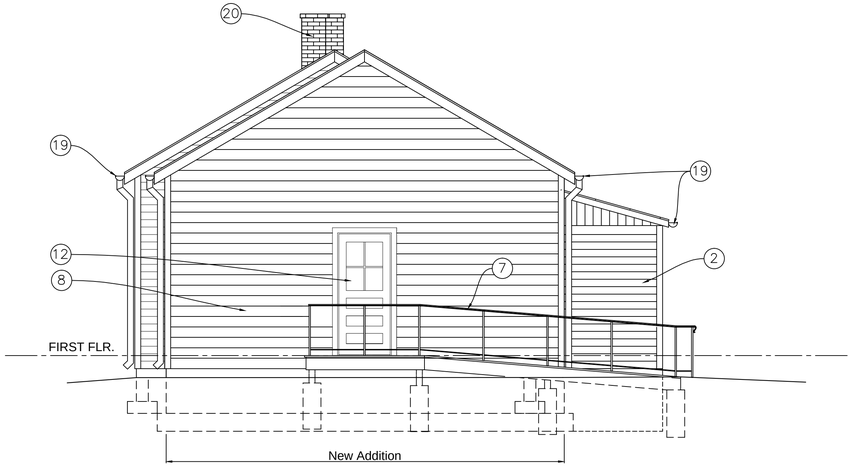
Drawing Number
A1.0



PROPOSED SOUTH ELEVATION
1/4 = 1' – 0"

2

ELEVATION NOTES:

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6. NEW WOOD TWO OVER TWO WINDOW. TRIM TO MATCH EXISTING.
7. NEW WOOD ADA RAMP AND LANDING WITH STEEL HANDRAILS
8. NEW FIBER CEMENT SIDING, AND 1 x 4 WOOD CORNER BOARDS.
9. NEW WOOD FASCIA, RAKE AND SOFFIT.
10. NEW CONCRETE FOUNDATION WALL AND FOOTING .
11. NEW WOOD TWO PANEL DOOR WITH SIX LITES, WOOD FRAME AND TRIM TO MATCH ORIGINAL.
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16. LINE OF NEW RAMP CONCRETE PIER FOOTINGS.
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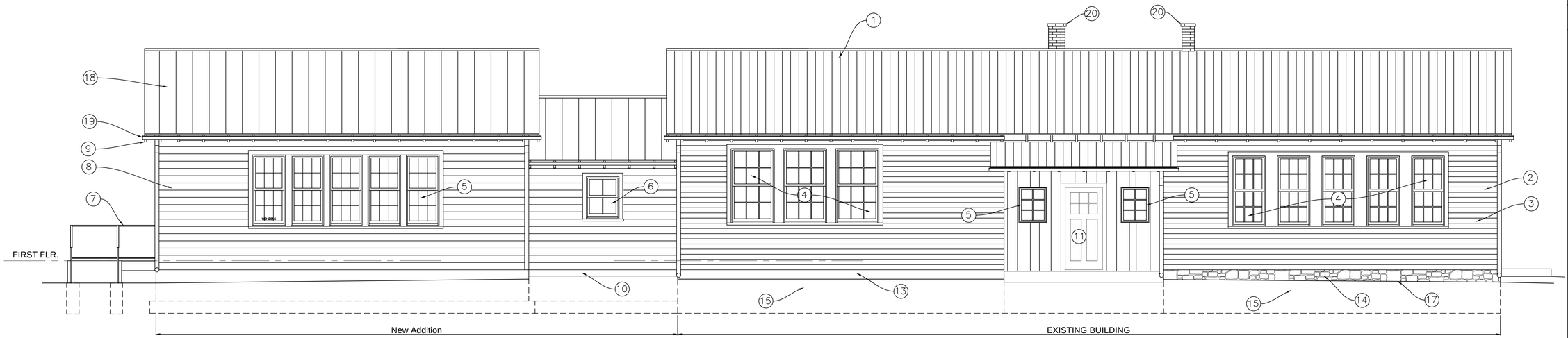
18. NEW METAL LOW SEAM ROOFING.
19. NEW HALF ROUND GUTTERS AND ROUND DOWNSPOUTS.
20. EXISTING MASONRY CHIMINEYS TO BE REPAIRED.

PROPOSED ELEVATION NOTES
1/4 = 1' – 0"

3



CONTRACTOR NOTE:
1. A MOCK UP OF THE REBUILT FIELD STONE FOUNDATION WALL TO BE REVIEWED AND APPROVED BY OWNER AND THE MARYLAND HISTORICAL TRUST.

PROPOSED EAST ELEVATION
1/4 = 1' – 0"

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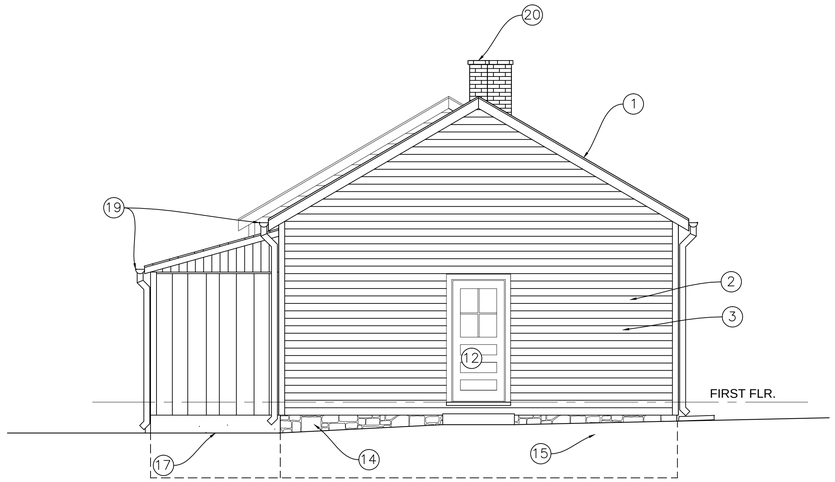

CONTRACTOR NOTE:
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PROPOSED NORTH ELEVATION
1/4 = 1' – 0"

2

ELEVATION NOTES:

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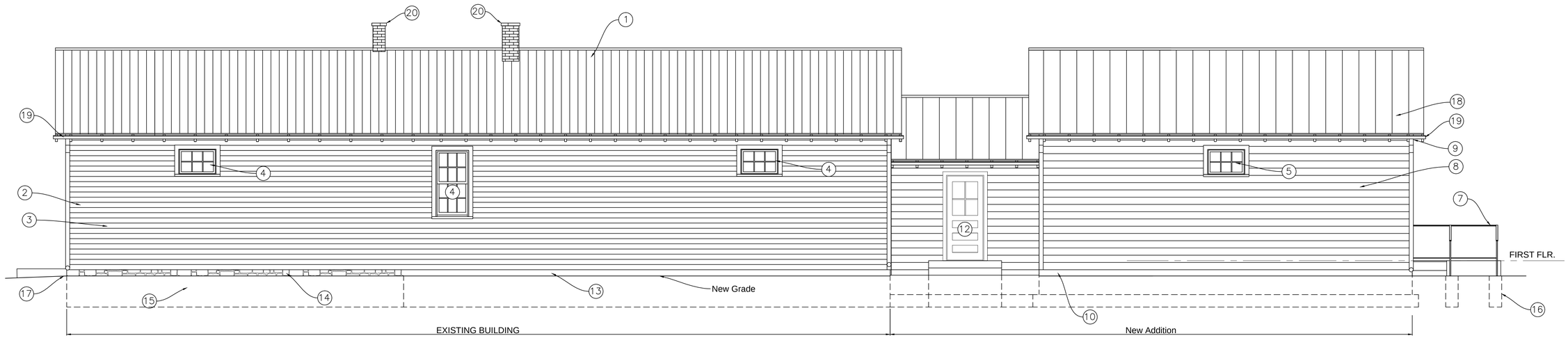
PROPOSED ELEVATION NOTES
1/4 = 1' – 0"

3



CONTRACTOR NOTE:
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PROPOSED WEST ELEVATION
1/4 = 1' – 0"

1

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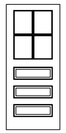
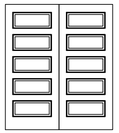


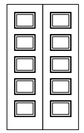
1

3'-0" x 7'-0" x 1 3/4"
Solid Wood Paneled Self Closing Door w/ Tempered Insulating True Divided Glass Lites, with Wood Frame.



2

3'-0" x 7'-0" x 1 3/4"
Solid Wood Paneled Self Closing Door w/ Tempered Insulating Glass lites, with Wood Frame.

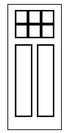


3

3'-0" x 7'-0" x 1 3/4"
Solid Wood Paneled Self Closing Door w/ Tempered Insulating Glass lites, with Wood Frame.

4

3'-0" x 7'-0" x 1 3/4"
Solid Wood Paneled Self Closing Door w/ Tempered Insulating Glass lites, with Wood Frame.



5

3'-0" x 7'-0" x 1 3/4"
Solid Wood Paneled Self Closing Door w/ Tempered Insulating Glass lites, with Wood Frame.

DOOR , FRAME & HARDWARE NOTES:

1. ALL DOOR HARDWARE TO MEET ADA STANDARDS
2. LOCKS SHALL COMPLY WITH NFPA 101 7.2.2.5.3
3. PROVIDE WEATHERSTRIPPING ON ALL SIDES AND BOTTOM OF ALL EXTERIOR DOORS.
4. NEW FOUR PANEL SOLID CLEAR FIRE DOOR
5. FABRICATE AND INSTALL NEW ADA COMPLIANT WOOD SILL AT DOOR NO. 13,
6. FIELD VERIFY ROUGH OPENINGS.
7. TRIM TO MATCH WINDOWS, PRIME & PAINT DOOR AND FRAME AND TRIM.
8. DOOR HARDWARE SHALL BE AS MANUFACTURED BY BALDWIN HARDWARE INC.
9. ENTRANCE DOOR AND COMPLY WITH THE BUILDING, FIRE CODE AND ADA.
10. DOOR HARDWARE FINISH SHALL BE OIL RUBBED BRONZE.

HARDWARE SETS :

NO. 1
HINGES - BALDWIN # 1041. (3 PER DOOR)
LEVER HANDLE - BALDWIN ESTATE LEVER # 5106.
ROSES - BALDWIN 5017
LOCK - BALDWIN 8231
1- ALUMINUM THRESHOLD ADA
1- WEATHERSTRIP KIT

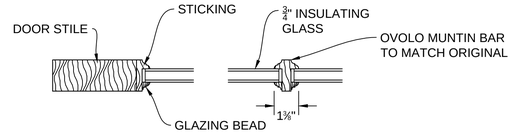
NO. 2
HINGES - BALDWIN # 1041. (3 PER DOOR)
FLUSH BOLTS - BALDWIN # 0600 ON INACTIVE LEAF
LEVER HANDLES - BALDWIN ESTATE LEVER # 5106.
ROSES - BALDWIN 5017
LOCK - BALDWIN 8231

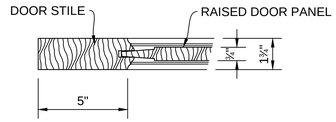
NO. 3
HINGES - BALDWIN # 1041. (3 PER DOOR)
LEVER HANDLE - BALDWIN ESTATE LEVER # 5106.
ROSES - BALDWIN 5017
LOCK - BALDWIN 0419 PRIVACY LATCH WITH EMERGENCY RELEASE TRIM.

NOTE: Door Lockset hardware to be ADA compliant lever set AND lock bolts to be readily openable from the egress side without the use of a key.

DOOR SCHEDULE
1/4 = 1' - 0"

3





DOOR DETAIL
3" = 1' - 0"

4

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DOOR AND WINDOW SCHEDULES

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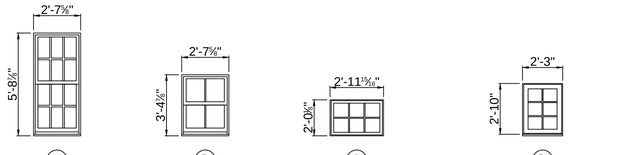
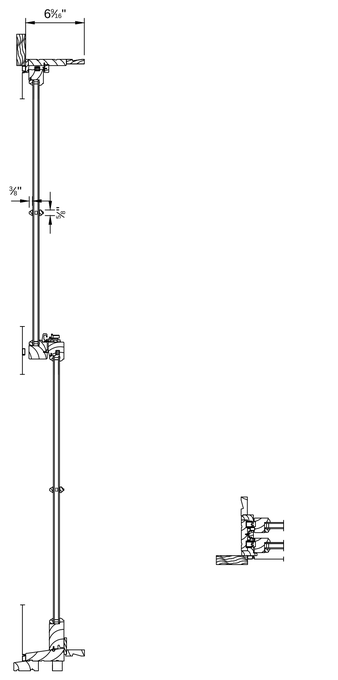
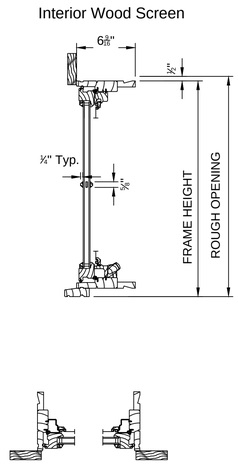
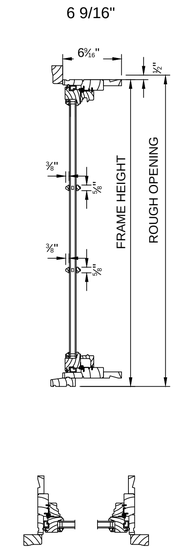


WINDOW SCHEDULE
1/4 = 1' - 0"

2







WINDOW DETAILS
1 1/2" = 1' - 0"

1

Quince Orchard School Addition
April 22, 2020 TjT Architects

Part 1 General

1.1 Section Includes

A. Wood Double Hung & Awning windows complete with hardware, glazing, weather strip, insect screen, simulated divided lite, jamb extension, and standard anchors, trim, and attachments

1.2 Related Sections

A. Section 01 33 23 – Submittal Procedures, Shop Drawings, Product Data and Samples

B. Section 01 62 00 – Product Options

C. Section 01 65 00 – Product Delivery

D. Section 01 66 00 – Storage and Handling Requirements

E. Section 01 71 00 – Examination and Preparation

F. Section 01 73 00 - Execution

G. Section 01 74 00 – Cleaning and Waste Management

H. Section 01 76 00 – Protecting Installed Construction

I. Section 06 22 00 – Millwork: Wood trim other than furnished by window manufacturer

J. Section 07 92 00 – Joint Sealant: Sill sealant and perimeter caulking

K. Section 09 90 00 – Painting and Coasting: Paint and stain other than factory-applied finish

1.3 References

A. American Society for Testing Materials (ASTM):

1. E283: Standard Test method for Rate of Air Leakage through Exterior Windows, Curtain Walls and Doors

2. E330: Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls and Door by Uniform Static Air Pressure Difference

3. E547: Standard Test Method for Water Penetration of Exterior Windows, Curtain Walls and Doors by Cyclic Static Air Pressure Differential

4. E2190: Specification for Sealed Insulated Glass Units

5. C1036: Standard Specification for Flat Glass

6. E2068: Standard Test Method for Determination of Operating Force of Sliding Windows and Doors

B. American Architectural Manufacturer's Association/Window and Door Manufacturer's Association (AAMA/WDMA/CSA):

1. AAMA/WDMA/CSA 101/I.S.2/A440-08, North American Fenestration, Standard/Specification for window, doors and skylights

2. AAMA/WDMA/CSA 101/I.S.2/A440-11,NAFS 2011 – North American Fenestration, Standard/Specification for windows, doors and skylights

C. WDMA I.S.4: Industry Standard for Water Repellant Preservative Treatment for Millwork

D. Window and Door Manufacturer's Association (WDMA): 101/I.S.2 WDMA Hallmark Certification Program

E. Sealed Insulating Glass Manufacturer's Association/Insulating Glass Certification Council (SIGMA/IGCC)

F. American Architectural Manufacturer's Association (AAMA): 2605: Voluntary Specification for High Performance Organic Coatings on Architectural Extrusions and Panels

G. National Fenestration rating Council (NFRC):

1. 101: Procedure for Determining Fenestration Product thermal Properties

2. 200: Procedure for Determining Solar Heat Grain Coefficients at Normal Incidence

H. Window Covering Manufacturer's Association

1. A100.1: Standard for safety of corded covering products

1.4 System Description

A. Design and Performance Requirements:

Product	Air Tested to psf	Water Tested to psf	Structural Tested to psf	Certification Rating	Design Pressure (DP)	Overall Width		Overall Height	
						in	mm	in	mm
Ultimate Wood Double Hung Window 3644	1.57	6	60	LC-PG40-H	40	41 3/8	(1051)	97	(2464)
Ultimate Wood Awning (Full Frame)	1.57	7.5	75	LC-PG50-AP	50	40"		48 1/16"	

1.5 Submittals

A. Shop Drawings: Submit shop drawings to architect for review and approval

B. Product Data: Submit catalog data to architect for review and approval

C. Quality Control Submittals: Certificates: submit manufacturer's certification indicating compliance with specified performance and design requirement.

1.6 Quality Assurance

1. Requirements: comply with local code for IBC [International Building Code]

1.7 Delivery

A. Deliver in original packaging and protect from weather

1.8 Storage and Handling

A. Prime and seal wood surfaces, including to be concealed by wall construction, if more than thirty (30) days will expire between delivery and installation

B. Store window units in an upright position in a clean and dry storage area above ground to protect from weather

1.9 Warranty

Complete and current warranty information is available at marvin.com/warranty. The following summary is subject to the terms, condition, limitations and exclusions set forth in the Marvin Windows and Door Limited Warranty and Products in Coastal Environments Limited Warranty Supplement:

A. Clear insulating glass with stainless steel spacers is warranted against seal failure caused by manufacturing defects and resulting in visible obstruction through the glass for twenty (20) years from the original date of purchase. Glass is warranted against stress cracks caused by manufacturing defects from ten (10) years from the original date of purchase.

B. Factory applied interior finish is warranted to be free from finish defects for a period of five (5) years from the original date of purchase.

C. Hardware and other non-glass components are warranted to be free from manufacturing defects for ten (10) years from the original date of purchase.

Part 2 Products

1.10 Manufactured Units

A. Description: Ultimate Wood Double Hung, as Manufactured by Marvin Windows and Doors, Warroad, Minnesota.

B. Description: Factory-assembled Ultimate Wood Awning, operating exterior top pivoting awning as manufactured by Marvin Windows and Doors, Warroad, Minnesota.

1.11 Frame Description

A. Non Finger-Jointed Pine, Mahogany or Vertical Grain Douglas Fir

1. Kiln-dried to moisture content no greater than 12 percent at the time of fabrication

2. Water repellant, preservative treated in accordance with ANSI/WDMA I.S.4.

B. Frame thickness: Double Hung -11/16” (17mm) head and side jambs and 1 3/16” for Awning.

C. Frame depth: Frame depth had an overall 5 21/32” jamb (144mm). 4 9/16” (116mm) jamb depth from the nailing fin plane to the interior face of the frame for new construction.

D. Frame bevel: 8 degree bevel on sill and subsill

E. Subsill: 1 3/32” (28mm)

1.12 Sash Description

A. Interior: Non Finger-Jointed Pine or Mahogany or Vertical Grain Douglas Fir

1. Kiln-dried to moisture content no greater than twelve (12) percent at the time of fabrication.

2. Water repellant preservative treated with accordance with WDMA I.S.4.

B. Sash thickness: 1 5/8” (41mm) for operable units for Double Hung and 1 ¾” and 2 for Awning

C. Operable sash tilt to interior for cleaning or removal at double hung.

D. Interior Sash Sticking

1. Standard: Ovolo for Double Hung and Awning

1.13 Glazing

A. Select quality complying with ASTM C1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E2190.

B. Glazing method: Insulating glass

C. Glazing seal: Silicone glazed

D. Glass Type: Clear, Low E2 with Argon

1.14 Finish

A. Interior/Exterior: Treated bare wood

1. Prime: factory-applied enamel primer. Available on Pine product only.

B. Interior Finish options:

1. Painted Interior Finish. Available on Pine product only.

1.15 Hardware

A. Double Hung Windows

1. Balance System: Coil spring block and tackle with nylon cord and fiber filled nylon clutch
2. Jamb Carrier: Vinyl extrusion with wood inserts
3. Color: beige
4. Lock: High pressure zinc die-cast cam lock and keeper
5. Finish: Phosphate coated and electrostatically painted Satin Taupe, Bronze, White, Brass, Satin Chrome, Satin Nickel, Antique Brass, Oil Rubbed Bronze
6. Check rail guide
7. Optional Window Operating Control Device

B. Awning hardware:

1. Hinges: Two hinges that connect the stiles of the sash to the jambs of the frame. Hinges are steel coated with E-Gard ™ and the hinge track is stainless steel. Hinges designed to support up to a 210 lb sash.
2. Handles: The standard operating handle is a folding handle, zinc painted with the standard folding cover being molded plastic. Available colors: standard , Oil Rubbed Bronze (plated),

3. Locks: Uses a multipoint sequential concealed locking system in both jambs. Lock handles are removable, non-handed and are available in the same finishes as the handles. Standard tie bars and cams – steel coated with E-Gard ™. Standard keepers – steel coated with E-Gard ™. Keeper features a roller for reduce average lock force and dies not easily disengage with the cam even under severe loading.

1.16 Weather Strip

A. Double Hung Operating units:

1. Continuous, leaf weather strip at head jamb, parting stop, dual durometer bulb at check rail, foam bulb type dual durometer weather strip on vertical sash edge; dual durometer bulb weather strip at bottom rail

B. Awning units:

C. Weather strip at the frame is a hollow foamed material bent around 90 degree corner to allow for seamless corner joints

1. Color: Beige

D. Sash weather strip: Bulb shaped glass filled material

1. Color: White.

1.17 Jamb Extension

A. Provide factory-applied Jamb extensions for wall thickness indicated on drawings

B. Finish: Match interior frame finish

1.18 Insect Screen

A. Factory-installed full screen..

1. Screen Mesh: Charcoal fiberglass,

B. Aluminum frame finish:

1. Color: Stone White,

1.19 Simulated Divided Lites (SDL)

A. 5/8” (16mm) wide, internal spacer bar

B. Muntins: Pine, Mahogany, or Vertical Grain Douglas Fir

C. Muntins adhere to glass with closed-cell copolymer acrylic foam tape

D. Sticking:

1. Standard: Ovolo

E. Finish: Match panel finish

1.20 Accessories and Trim

A. Installation Accessories:

1. Factory installed vinyl nailing/drip cap

B. Exterior Wood Moulding:

1. Profile: Flat Casing 5/4 x 4

2. Finish: Match exterior frame finish

Part 3 Execution

1.21 Examination

A. Verification of Condition: Before installation, verify openings are plumb, square and of proper dimensions. Report frame defects or unsuitable conditions to the General contractor before proceeding.

B. Acceptance of Condition: Beginning on installation confirms acceptance of existing conditions.

1.22 Installation

A. Assemble and install window unit(s) according to manufacturer’s instruction and reviewed shop drawing.

B. Install sealant and related backing materials at perimeter of unit or assembly in accordance with Section 07 92 00 Joint Sealants. Do not use expansive foam sealant.

C. Install accessory items as required.

D. Use finish nails to apply wood trim and mouldings.

1.23 Field Quality Control

A. Remove visible labels and adhesive residue according to manufacturer’s instruction.

B. Unless otherwise specified, air leakage resistance tests shall be conducted at a uniform static pressure of 75 Pa (~1.57 psf). The maximum allowable rate of air leakage shall not exceed 2.3 L/sm^2 (~0.45 cfm/ft^2).

C. Unless otherwise specified, water penetration resistance testing shall be conducted per AAMA 502 and ASTM E1105 at 2/3 of the fenestration products design pressure (DP) rating using “Procedure B” – cyclic static air pressure difference. Water penetration shall be defined in accordance with the test method(s) applied.

1.24 Cleaning

A. Remove visible labels and adhesive residue according to manufacturer’s instruction.

B. Leave windows and glass in a clean condition. Final cleaning as required in Section 01 74 00.

1.25 Protecting Installed Construction

A. Protecting windows from damage by chemicals, solvents, paint or other construction operations that may cause damage.

End of Section