

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	23 West Irving Street, Chevy Chase	Meeting Date:	6/24/2020
Resource:	Contributing Resource (Chevy Chase Village Historic District)	Report Date:	6/17/2020
Applicant:	Mike Friedman (VW Fowles, Architect)	Public Notice:	6/10/2020
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/13-20V	Staff:	Michael Kyne
PROPOSAL:	Partial demolition and exterior rehabilitation		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1914

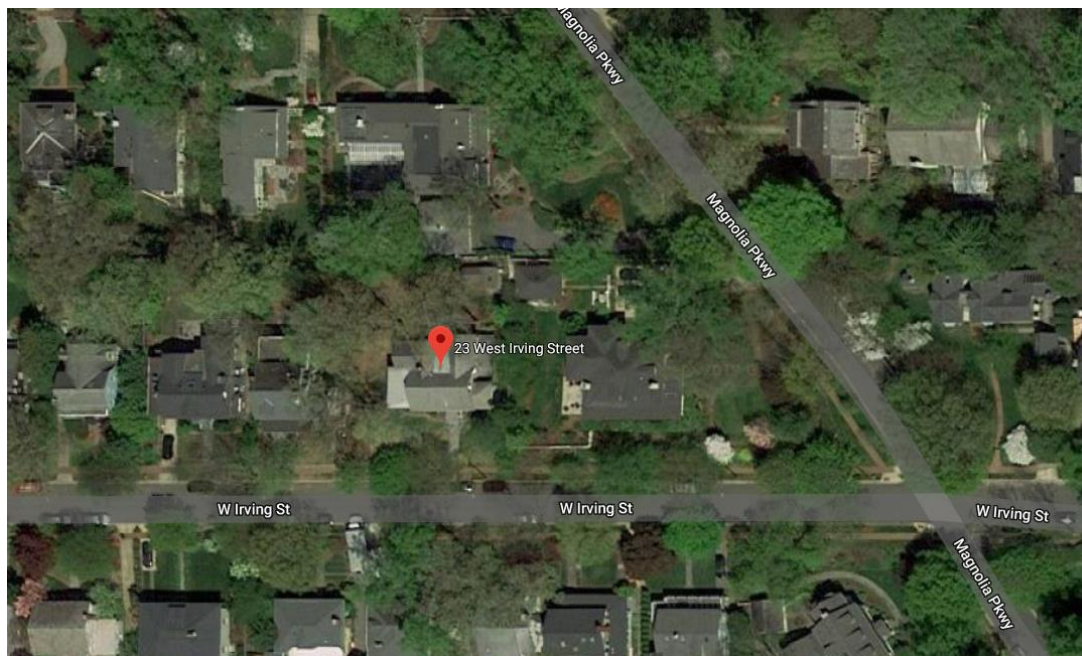


Fig. 1: Subject property.

BACKGROUND:

The applicants previously appeared before the Commission for a preliminary consultation at the December 18, 2019 HPC meeting.¹

PROPOSAL:

The applicant proposes the following work items at the subject property:

- Removal of the existing one-story addition at the east (right) side of the historic house (behind the existing bump out) and construct an open porch in its place.
- Removal of the existing basement stairs along the east elevation of the house and replacement with reoriented stone basement stairs.
- Installation of steel windows and doors at the east (right) side of the historic house.
- Replacement of three paired windows and one set of doors (two first-floor windows, one first floor set of doors, and one second-floor window) at the north (rear) of the historic house with steel windows.
- Removal of an existing accessory shed at the northeast (rear/right) corner of the property.
- Replacement of the existing path along the east side of the property with a new stone path, which will connect the subject property with the adjacent property to the east (16 Magnolia Parkway).

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The *Guidelines* break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

¹ Link to the December 18, 2019 HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=d7f65486-2283-11ea-a240-0050569183fa

Link to the December 18, 2019 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2019/12/II.A-23-West-Irving-Street-Chevy-Chase.pdf>

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state basic policies should be adhered to, including:

- Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Sheds should be subject to moderate scrutiny if visible from the public right-of-way, otherwise they should be subject to lenient scrutiny.

Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The subject property is a c. 1914 Colonial Revival-style Contributing Resource within the Chevy Chase Village Historic District. The 1998 Master Plan amendment notes that there is a modern two-story addition at the west (left, as viewed from the front) side of the historic house. There is also a two-story bump out at the southeast (front/right) corner of the historic house and a one-story addition on the east side of the historic house behind the bump out. The southeast bump out is likely original, as it appears in the 1916 Sanborn Fire Insurance Map (see below).

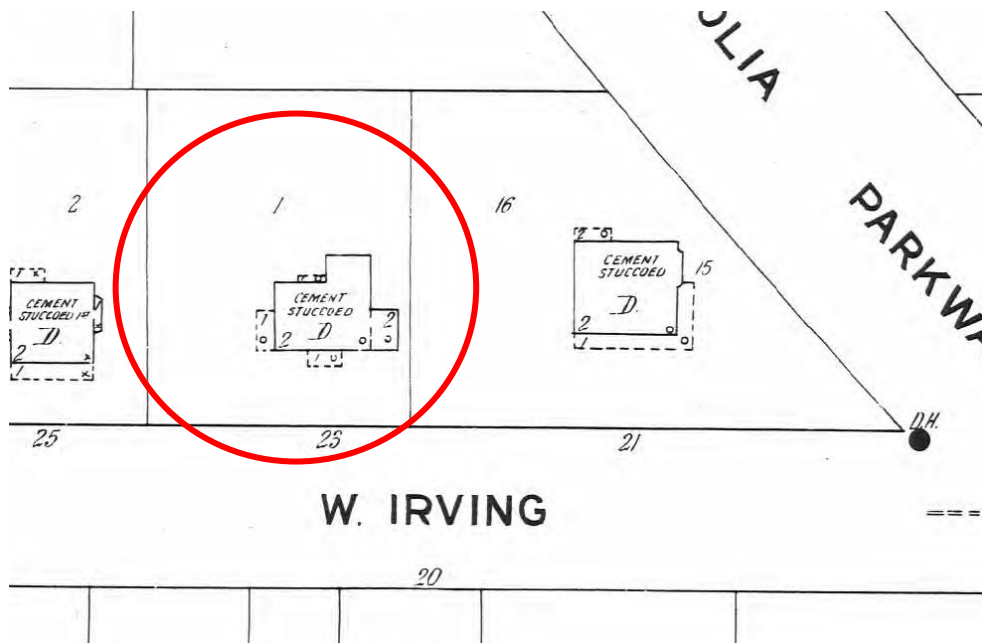


Fig. 2: 1916 Sanborn Fire Insurance Map, with subject property circled in red.

The applicants previously appeared before the Commission for a preliminary consultation at the December 18, 2019 HPC meeting. The Commission expressed the following concerns/recommendations at the preliminary consultation:

- The Commission did not support the previously proposed removal of the second story of the bump out on the east (right) side of the historic house.
- The Commission was supportive of the proposed removal of the one-story addition on the east (right) side of the historic house behind the existing bump out.
- The Commission provided mixed feedback regarding both the material (steel) and pattern of the proposed new fenestration on the east (right) side and north (rear). While there was a preference for a more traditional material and configuration, the Commission acknowledged that the proposed fenestration would only affect existing additions and/or be minimally visible from the public rights-of-way, at best.

The applicant has returned with a HAWP application for the following work items:

- Removal of the existing one-story addition at the east (right) side of the historic house behind the existing bump out and construction of an open porch in its place.
- Removal of the existing basement stairs along the east (right) side of the historic house and replacement with reoriented stone basement stairs.
- Installation of steel windows and doors at the east (right) side of the historic house.
- Replacement of three paired windows and one set of doors (two first-floor windows, one first floor set of doors, and one second-floor window) at the north (rear) of the historic house with steel windows.
- Removal of an existing accessory shed at the northeast (rear/right) corner of the property.
- Replacement of the existing path along the east side of the property with a new stone path, which will connect the subject property with the adjacent property to the east (16 Magnolia Parkway).

Staff supports the applicant's proposal, finding the proposed revisions generally consistent with the Commission's recommendations at the December 18, 2019 preliminary consultation. Aside from the removal of the second story of the bump out on the east (right) side of the historic house (which has been

removed from the proposal), the primary issue at the preliminary consultation was the proposed fenestration alterations at the east (right) side and north (rear) of the house. However, staff finds the proposed fenestration alterations to be consistent with the *Guidelines*.

As noted by the Commission, the proposed fenestration alterations will be minimally visible from the public rights-of-way, at best. The *Guidelines* state that “[d]esign review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.” Additionally, the *Guidelines* state that “[a]lterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review [scrutiny]. Most changes to rear of the properties should be approved as a matter of course.” Per the *Guidelines*:

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

Given the limited visibility of the proposed fenestration alterations from the public rights-of-way, staff also finds that they will not detract from character-defining features of the subject property or surrounding streetscape, in accordance with *Standards* #2 and #9. Further, because the proposed fenestration alterations will only affect existing additions, staff finds that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. This is consistent with *Standard* #10.

After full and fair consideration of the applicant’s submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior’s Standards for Rehabilitation* #2, #9, and #10 and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b), (c), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior’s Standards for *Rehabilitation* #2, #9 and #10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff’s discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 915515
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Michael Friedman
Address: 16 Magnolia Parkway
Daytime Phone: 202-758-5528

E-mail: captainhaddock@comcast.net
City: Chevy Chase Zip: 20815
Tax Account No.: 00457108

AGENT/CONTACT (if applicable):

Name: Fowlkes Studio (Contact: Sean Haislip)
Address: 1711 Connecticut Avenue NW
Daytime Phone: 757-817-1087

E-mail: sean@fowlkesstudio.com
City: Washington, DC Zip: 20009
Contractor Registration No.: N/A

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property N/A

Is the Property Located within an Historic District? Yes/District Name Chevy Chase Village
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|---|---|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input checked="" type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sean P. Haislip

03 June 2020

Signature of owner or authorized agent

Date

7

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing 2-story single family residence. Grade rises from south to north, and from west to east. Property is adjacent to owner's primary residence, 16 Magnolia Parkway. Existing landscaping features include a rear patio and a shed near the rear property line.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Existing 1st floor kitchen to be demolished along east elevation, and replaced with a new covered porch structure. New kitchen east kitchen wall will align with existing exterior wall for 2nd floor above. New steel frame glazing is proposed to be installed on the rear and side elevations of the 1st floor (north and east). Existing basement stairs along east elevation are to be demolished and replaced with a reoriented set of stone stairs. Asides from the new steel framed windows, and windows along east porch, all other windows and exterior doors are to remain as existing (or replaced to match). No substantial work will be completed on the front (south) elevation of the house. A new stone path is to replace the existing path along the east side of the property and to serve a connecting path on the owner's adjacent property, 16 Magnolia Parkway. Shed located in rear yard is to be demolished in its entirety. Exterior mechanical units to be relocated to west side of house. New landscape features and plantings are to be installed per landscape architect's drawings. Additional work is to be done on the interior; including re-configuration of basement gyms, new 1st floor pottery studio, and a new 1st floor kitchen. New mechanical, plumbing and electrical work to be completed for the basement and 1st floor. Secondary stair to 2nd floor to be removed with a floor infill added accordingly. No new work is proposed in the attic.



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

HAWP APPLICATION

Application Date: 6/3/2020

Application No: 915515
AP Type: HISTORIC
Customer No: 1374636

Comments

No significant alternations are proposed for the front of the house. New glazing proposed for the east and north elevations (side and rear). New porch proposed for east elevation. A majority of the interior renovations will occur on the 1st floor and basement levels.

Affidavit Acknowledgement

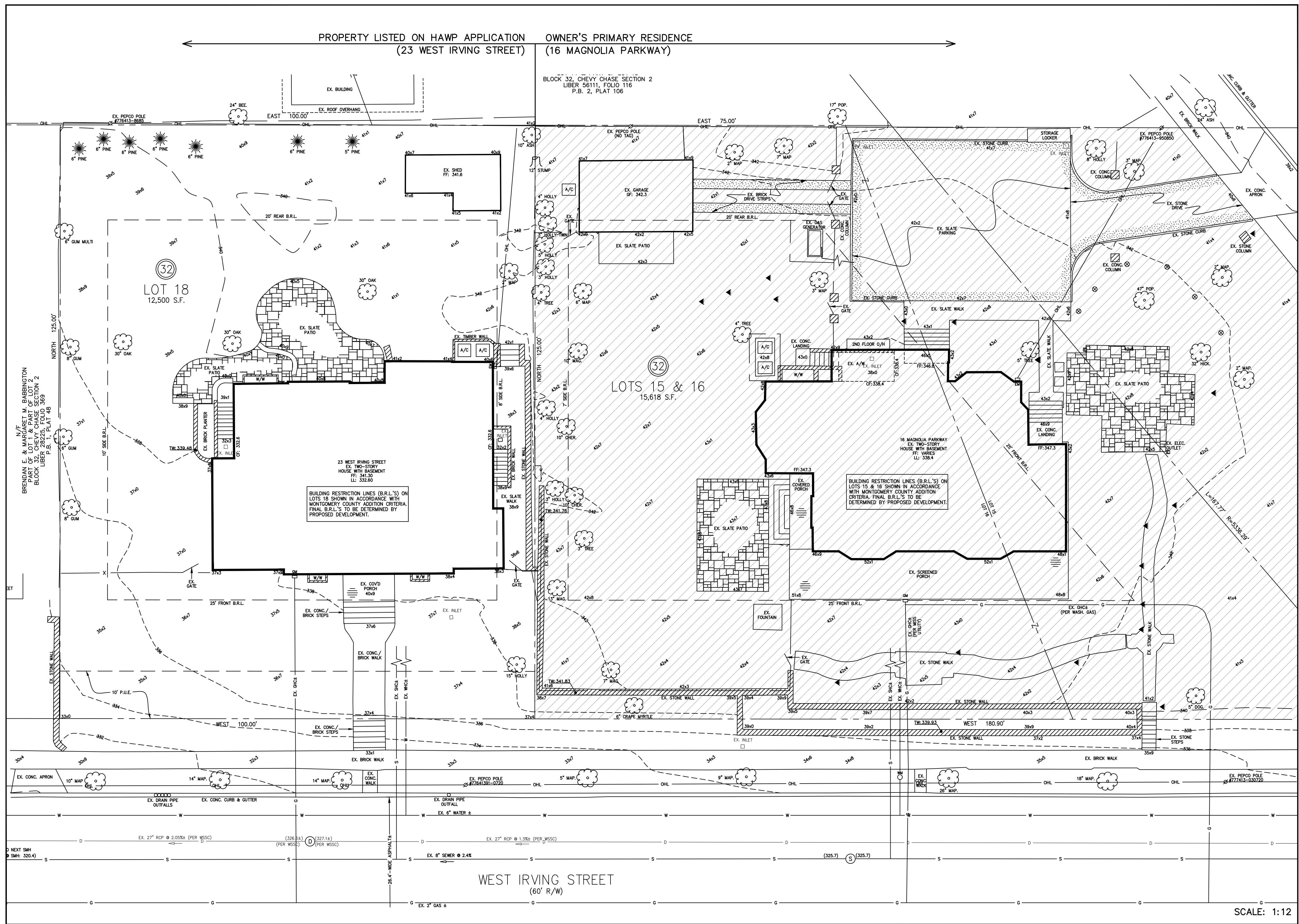
The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 23 W IRVING ST
CHEVY CHASE, MD 20815
Othercontact Fowlkes Studio (Primary)

Historic Area Work Permit Details

Work Type ADD
Scope of Work Renovation & addition to existing 2-story house (w/ basement) at 23 West Irving St. Chevy Chase, MD.



GENERAL NOTES

1. the AIA "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, HEREINAFTER REFERRED TO AS "GENERAL CONDITIONS", IS HEREBY MADE PART OF THE CONTRACT DOCUMENTS, THE SAME AS IF BOUND HEREIN.
2. THESE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE PREPARED TO BE USED EXCLUSIVELY FOR THIS PROJECT. THESE CONTRACT DOCUMENTS ARE NOT TO BE USED BY ANY ENTITY FOR THE PURPOSES OF BIDDING, PRICING, PERMITTING, AND OR CONSTRUCTION OF ANY OTHER PROJECT EXCEPT AS DELINEATED HEREIN NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE DESIGNER.
3. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN DRAWINGS, CONTACT DESIGNER FOR RESOLUTION BEFORE PROCEEDING.
4. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISHED FACE OF CONSTRUCTION, EXCEPT AS NOTED.
5. FLOOR TOLERANCE: GO TO IMMEDIATELY VERIFY SLOPE AND REPORT ANY DEVIATION OVER A 1/4 INCH SLOPE IN 10 FEET TO THE DESIGNER PRIOR TO COMMENCING WORK. ANY LEVELING REQUIRED GREATER THAN 1/4 INCH SLOPE IN 10 FEET SHALL BE THE RESPONSIBILITY OF THE GC.
6. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF DESIGNER UNLESS NOTED (±).
7. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF LARGER SCOPE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
8. CUT AND FIT COMPONENTS FOR ALTERATION OF EXISTING WORK AND INSTALLATION OF NEW WORK, PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.
9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE RECEIVED PRIOR TO RELATED WORK BEING STARTED. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.
10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE CONTRACTOR AND SUB-CONTRACTOR SHALL COORDINATE AND SHOW THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS WITH THE DESIGNER IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
11. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ALL MECHANICAL, TELEPHONE, ELECTRICAL AND PLUMBING (TO INCLUDE ALL PIPING, DUCT WORK, STRUCTURAL MEMBERS AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS IN CONFLICT SHALL BE DETERMINED AND REVIEWED WITH DESIGNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
12. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS, INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS, METHODS, AND TRADES TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.
13. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATION AND INSTALLATION PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY DESIGNER, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.
14. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.
15. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
16. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNERS OR DESIGNERS FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION NOR WILL PRESENCE OF INSPECTORS ON WORK RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN REQUIRED TIME GUARANTEES, AS SPECIFIED IN THE CONSTRUCTION CONTRACT, SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
17. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDINGLY. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.
18. THE CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.
19. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER SYMBOL, TO TITLE OF A SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATION, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS, SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECTS AS THOUGH PRINTED IN CONTRACT DOCUMENTS.
20. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.
21. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY.
22. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNERS MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OF HIS OBLIGATIONS FROM HIS OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.
23. THE DESIGNER, ACTING AS THE OWNER'S DESIGNATED AGENT FOR DESIGN OF THIS PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE BY THE DESIGNER. THIS FUNCTION OF THE DESIGNER WILL APPLY BOTH TO CONTRACT AS INITIALLY SIGNED, AND TO THE CHANGES TO CONTRACT BY MODIFICATION DURING PROGRESS OF WORK.
24. ONLY WHERE INDICATED "EQUAL TO" OR "SUBSTITUTIONS" FOR SPECIFIED MATERIALS, OR FOR LONG LEAD TIME CONSIDERATION SHALL SUBSTITUTIONS BE CONSIDERED BY THE DESIGNER FOR ACCEPTANCE. REFERENCES TO MAKES, BRANDS, MODELS, ETC., IS TO ESTABLISH TYPE AND QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE WHEN MADE ACCORDINGLY TO PROCEDURES FOR SUBSTITUTIONS.
25. EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK, AND SCHEDULE WORK, TO MINIMIZE DISTURBANCES TO ADJACENT SPACES AND/OR STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.
26. ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS, WHEN POSSIBLE. UPON COMPLETION OF THE WORK, REMOVE ALL DEBRIS FROM THE BUILDING CREATED BY WORK PROVIDED UNDER THIS CONTRACT AND LEAVE ALL AREAS CLEAN.

BUILDING CODE INFORMATION

BUILDING USE GROUP: R-3 (IBC 310.5); PERMITS MATTER OF-RIGHT MODERATE DEVELOPMENT OF GENERAL RESIDENTIAL USES, INCLUDING SINGLE FAMILY DWELLINGS, FLATS, AND APARTMENT BUILDINGS, TO A MAXIMUM LOT OCCUPANCY OF 60% (20% FOR PUBLIC RECREATION AND COMMUNITY CENTERS), A MAXIMUM FAR OF 1.8, AND A MAXIMUM HEIGHT OF FIFTY (50) FEET (80 FEET FOR SCHOOLS AND 45 FEET FOR PUBLIC RECREATION AND COMMUNITY CENTERS). REAR YARD REQUIREMENTS ARE NOT LESS THAN FIFTEEN (15) FEET.

CONSTRUCTION TYPE (IBC CHAPTER 6: V-B (TABLE 601)) - SEE FIRE SEPARATION DETAILS.
FIRE PROTECTION (R101 IRC 2010); SMOKE DETECTORS HARDWIRED INTERCONNECTED WITH BATTERY BACKUP. NO SPRINKLERS NECESSARY FOR ONE FAMILY DWELLING UNIT IN EXISTING BUILDING.

APPLICABLE BUILDING CODES

- 2013 INTERNATIONAL BUILDING CODE
- 2013 INTERNATIONAL ENERGY CONSERVATION CODE
- 2013 INTERNATIONAL FIRE CODE
- 2013 INTERNATIONAL MECHANICAL CODE
- 2013 INTERNATIONAL PLUMBING CODE
- 2011 NATIONAL ELECTRICAL CODE

MATERIAL SPECIFICATIONS

- FOUNDATIONS:
1. NO FOOTINGS SHALL BE PLACED IN WATER OR FROZEN GROUND. PROTECT FOOTINGS FROM FROST AFTER THEY ARE PLACED.
 2. AT INTERSECTION BETWEEN NEW AND EXISTING WALLS, STEP NEW FOOTING TO MATCH EXISTING. DRILL AND GROUT 2 #5 BARS X 1'-6" INTO EXISTING FOOTING.
 3. DO NOT PLACE FILL AGAINST FOUNDATION WALLS UNLESS ADEQUATELY BRACED.
 4. FILL AND BACKFILL SHOULD BE FREE OF FLEETTERIOUS ORGANIC MATERIALS.
 5. ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINAL GRADE.

- CONCRETE MASONRY WORK:
1. ALL CONCRETE MASONRY SHALL CONFORM TO THE "NATIONAL CONCRETE MASONRY ASSOCIATION" SPECIFICATIONS AND THE MASONRY STANDARDS JOINT COMMITTEE SPECIFICATIONS.
 2. CONCRETE BLOCK WORK SHALL BE OF LIGHTWEIGHT AGGREGATE AND CONFORM TO THE FOLLOWING STANDARDS:
SOLID BLOCK: ASTM C90, GRADE NI (F.M. 1900 PSI ON GROSS AREA)
HOLLOW BLOCK: ASTM C90, GRADE NI (F.M. 1900 PSI ON NET AREA)
FILL ALL VOIDS SOLD IN PERS AND DIRECTLY UNDER BEARING LOCATIONS AND ALL BELOW-GRADE FOUNDATION WALLS.
 3. MORTAR SHALL BE ASTM C270, TYPE M FOR BELOW-GRADE AND TYPE M OR S FOR ABOVE-GRADE WORK.
 4. THE NET AREA COMPRESSIVE STRENGTH OF NEW MASONRY ASSEMBLIES, F.M. SHALL MEET OR EXCEED 1500 PSI.
 5. UNLESS NOTED OTHERWISE, ALL GROUT SHALL BE COURSE-TYPE AND SHALL MEET ASTM C476-02 AND ITS COMPRESSIVE SHALL EXCEED F.M. OR 2000 PSI, WHICHEVER IS GREATER.
 6. WHERE GROUTED CELLS DO NOT EXCEED 4" IN DIAMETER, FINE GROUT SHALL BE USED.
 7. HORIZONTAL REINFORCING: #9 GUAGE TRUSS TYPE DUK-D-WALL OR EQUAL, SPACED @ 16" OC VERTICALLY AND ABOVE LINTELS.
 8. VERTICAL REINFORCING: #4 SPACED AT 48" OC AND AT THE EDGES OF ALL WALLS OPENINGS, INTERSECTIONS AND CORNERS.
 9. PROVIDE FABRICATED CORNER SECTIONS AT ALL CORNERS AND INTERSECTIONS.
 11. ALL BLOCK DIMENSIONS NOTED ON STRUCTURAL PLANS ARE NOMINAL DIMENSIONS.

- WOOD STRUCTURAL PANEL SHEATHING:
1. PROVIDE STRUCTURAL I-C O D PLYWOOD OR STRUCTURAL I OSB SHEATHING WITH BOND CLASSIFICATIONS APPROPRIATE TO THE END USE. "EXTERIOR" (PERMANENT EXPOSURE), OR "EXPOSURE 1" (CONSTRUCTION EXPOSURE ONLY).
 2. FLOOR SHEATHING: NOM ? TAG PLYWOOD OR OSB W NOM 3/8" THICK PLYWOOD OR OSB, # SPAN RATING, APA STURD-I-FLOOR, GLUE AND SCREW SHEATHING TO FLOOR JOISTS.
 3. ALL FLOOR SHEATHING SHALL BE GLUED AND SCREWED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE.
 4. WALL SHEATHING: PLYWOOD OR OSB, NOM ? THICK # SPAN RATING.
 5. ROOF SHEATHING: PLYWOOD NOM ? THICK, # SPAN RATING.
 6. USE PLY CLIPS OR OTHER EDGE SUPPORT AS REQUIRED FOR SHEATHING.
 7. LEAVE 1/2" SPACE AT ALL PLYWOOD PANEL END JOINTS AND 1/2" SPACE ALL PLYWOOD PANEL EDGE JOINTS EXCEPT WHEN USING T&G PANELS.
 8. UNLESS SPECIFIED OTHERWISE, WALL SHEATHING SHALL BE FASTENED TO SHEARWALL STUD FRAMING WITH 4D COMMON NAILS @ 4" O.C. AT EACH SHEET PERIMETER AND 12" OC ELSEWHERE. PROVIDE 2X6 BLOCKING AT ALL FREE EDGES.

- FRAMING LUMBER
1. FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACE DRY (EXCEPT STUDS SHALL BE KILN-DRIED) AND SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADE:
RAFTERS AND JOISTS: HEM-FIR #2 OR SPRUCE-PINE-FIR #2
BEAMS, GIRDERS AND HEADERS: HEM-FIR #1 OR SPRUCE-PINE-FIR #1
STUDS AND PLATES: HEM-FIR STUD GRADE OR SPRUCE-PINE-FIR STUD GRADE.
 2. PRESERVATIVE-TREATED WOOD: PROVIDE TREATED SOUTHERN PINE #2 LUMBER COMPLYING WITH ACC-D (CARBONATE), COPPER AZOLE (CA-B), OR SODIUM BORATE (SB) (DOT) WITH NAF-200 AT ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY, OR AS OTHERWISE INDICATED ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. ACZA TREATMENT IS NOT PERMITTED. TREATED LUMBER AND/OR PLYWOOD SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY SHOWING 0.40 PCF RETENTION. WHERE LUMBER AND/OR PLYWOOD IS CUT OR DRILLED AFTER TREATMENT, THE TREATED SURFACE SHALL BE RE-TREATED WITH COPPER NAPHTHATE. THE CONCENTRATION OF WHICH SHALL CONTAIN A MINIMUM OF 2% COPPER METAL BY REPEATED BRUSHING, DIPPING OR SOAKING UNTIL THE WOOD ABSORBS NO MORE PRESERVATIVE.
 3. ALL WOOD FRAMING INCLUDING DETAILS FOR BRIDGING, BLOCKING, FIRESTOPPING, ETC., SHALL CONFORM TO THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA "MANUAL FOR HOUSE FRAMING."
 4. FASTENING SHALL BE IN ACCORDANCE WITH THE MOST RESTRICTIVE OF: THE INTERNATIONAL BUILDING CODE (LATEST EDITION), THE 1992 CABO FOR 1 AND 2 FAMILY DWELLINGS, OR THE MANUFACTURER'S RECOMMENDED FASTENING SCHEDULES.
 6. STUD BEARING WALLS ARE TO BE 2X6 @ 16" OC AT THE INTERIOR AND 2X6 @ 16" OC AT THE EXTERIOR UNLESS OTHERWISE NOTED ON PLAN.
 7. LAP ALL PLATES AT CORNERS AND AT THE INTERSECTION OF PARTITIONS.
 8. STAGGER ALL TOP AND BOTTOM PLATE SPLICES A MINIMUM OF 32 INCHES.
 9. USE DOUBLE STUDS @ ENDS OF WALL AND ENDS OF WALL OPENINGS.
 10. AT THE ENDS OF ALL BEAMS, HEADERS AND GIRDERS PROVIDE A BUILT UP OR SOLID POST WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH IS 4" (NOM.) AT INTERIOR WALLS AND 6" (NOM.) AT EXTERIOR WALLS.
 11. USE DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNATED.
 12. ALL LIGHT GAUGE HANGERS SUPPORTING PRESERVATIVE-TREATED WOOD SHALL MEET OR EXCEED 0.168 (1.85 OZ F ZINC PER SQ FT). ALTERNATIVELY, STAINLESS STEEL CONNECTORS MAY BE USED. FASTENERS SHALL MATCH THE SELECTED HANGER FINISH AND MATERIAL.
 13. WHERE JOIST ORIENTATION IS PARALLEL TO THE EXTERIOR STUD OR FOUNDATION WALLS, PROVIDE FULL SECTION BLOCKING FOR 3 BAYS @ 4'-0" OC MAX. WHERE SHEATHING IS NOT CONTINUOUSLY FASTENED TO TOP OR BOTTOM OF JOIST, PROVIDE 16" GA X 1 1/2" X 1/2" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
 14. ALL SILL PLATES SHALL BE PT AND ANCHORED TO FOUNDATION WALLS WITH 1/2" DIAM HEADED ANCHOR BOLTS (ASTM F1554) @ 4'-0" OC AND WITHIN 12" OF ALL SILL PLATE SPLICES. (MIN 7 EMBED.).

ENERGY CONSERVATION

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED THE DISTRICT OF COLUMBIA RESIDENTIAL ENERGY CODE (DCMR 12).

INSULATION	
ROOF:	R-49 (CLOSED CELL ISONENE FOAM IN JOIST BAYS)
FRAME WALLS:	R-20
FLOOR OVER UNCOND. SPACE:	R-19
BASEMENT WALLS:	R-10
SLAB PERIMETER:	R-10, FOR DEPTH OF 2
GLAZING:	U=0.35

AIR INFILTRATION
WINDOWS: NOT TO EXCEED 0.5 CFM OF SASH CRACK.
SWING DOORS: NOT TO EXCEED 1.25 CFM/SF OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES.
FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINTS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FILL SEALER OR SIMILAR SEALANT.

TABLE R402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION		
COMPONENT	AIR BARRIER CRITERIA ^a	INSULATION INSTALLATION CRITERIA
General Requirements	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope shall contain a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling / attic	The air barrier in any dropped ceiling/offit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/offit shall be aligned with the air barrier.
Walls	Junctions of the foundation and sill plate shall be sealed. Corners and headers shall be insulated. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.	
Windows, skylights and doors	The space between window/door jams and framing, and skylights and framing shall be sealed.	
Rim joints	Rim joints shall include the air barrier.	Rim joints shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Insulation shall be installed to maintain permanent contact with underside of subfloor decking.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air-tight and IC-rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower / tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical / phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes, or air sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Fireplace	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.	

a. In addition, inspection of big walls shall be in accordance with the provisions of IRC-408.

FIRE PROTECTION/SMOKE ALARMS

IRC R201.4:
SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND, WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.

IRC R313.2, EXCEPTION:
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR ADDITIONS OR ALTERATIONS TO EXISTING BUILDINGS THAT ARE NOT ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM.

PROJECT DATA

RENOVATION AND ADDITION OF 2-STORY HOUSE WITH BASEMENT.

23 WEST IRVING STREET
CHEVY CHASE, MD
OWNERS: MIKE FRIEDMAN & ADENA FRIEDMAN
OWNER CONTACT: 202-758-5518

BLOCK: 32
LOT: 18
ZONING DISTRICT: R-60

BUILDING SQ. FT.
EXISTING = 2,472 SF
PROPOSED = 2,570 SF
LOT AREA = 12,610 SF
FLOORS: 2 + BASEMENT
CONSTRUCTION (EXISTING): WOOD FRAME
CONSTRUCTION (PROPOSED): WOOD FRAME
DESCRIPTION: RENOVATION AND ADDITION OF 2-STORY HOUSE, WITH NEW LANDSCAPING THROUGHOUT PROPERTY.

TABLE OF CONTENTS

C 000	COVER SHEET
C 001	EXISTING PHOTOS
CIV 001	SITE PLAN
D 000	DEMOLITION PLANS
A 001	BASEMENT PLAN
A 002	FIRST FLOOR PLAN
A 003	SECOND FLOOR PLAN
A 004	ROOF PLAN
A 100	SOUTH ELEVATION
A 101	EAST ELEVATION
A 102	NORTH ELEVATION
S 001	FOUNDATION & FIRST FLOOR FRAMING PLAN
S 002	SECOND FLOOR FRAMING PLAN
S 003	ROOF FRAMING PLAN
M 001	MECHANICAL NOTES
M 002	BASEMENT MECHANICAL PLAN
M 003	FIRST FLOOR MECHANICAL PLAN
E 000	BASEMENT ELECTRICAL PLAN
E 001	FIRST FLOOR ELECTRICAL PLAN
P 001	BASEMENT PLUMBING PLAN
P 002	FIRST FLOOR PLUMBING PLAN
P 003	SECOND FLOOR PLUMBING PLAN

LOCAL DESIGN LOAD CRITERIA

TYPE:	CRITERIA:
LIVE LOAD - FLOOR OR ROOF AREA	40 PSF
GROUND AND NON-DRIFT SNOW LOAD	30 PSF
WIND SPEED (3 SEC GUST METHOD)	90 MPH
SHORT PERIOD MAP VALUE	20.4% G
FROST DEPTH	4 IN. 60 INM
EARTHQUAKE SPECTRAL RESPONSE ACCELERATION	AT SHORT PERIODS: 0.1
	AT 1 SECOND PERIOD: 0.053
RESIDENTIAL SEISMIC DESIGN CATEGORY	B
WEATHERING PROBABILITY FOR CONCRETE	SEVERE
TERMINATE INFESTATION PROBABILITY	MODERATE TO HEAVY
DECAY PROBABILITY	SLIGHT TO MODERATE
ICE SHEILD UNDERLAYMENT REQUIRED	YES
WINTER DESIGN TEMPERATURE	15 DEGREES F, 9 DEGREES C
AIR FREEZING INDEX	1500 DEGREES F, 815 DEGREES C
MEAN ANNUAL TEMPERATURE	50 DEGREES F, 10 DEGREES C



LOCATION MAP

23 WEST IRVING STREET, CHEVY CHASE, MD 20815



1711 Connecticut Ave. NW 204
Washington, DC 20009
(202) 758 - 5518

WEST IRVING

23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:

Renovation and addition of two-story home with a basement.

Owner:

Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:

To be determined

Issue Date:

- 2020 May 4
- 2020 May 20
- 2020 May 21
- 2020 May 29
- 2020 June 3

SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:

NTS

title:

COVER SHEET

number:

C000



NO CHANGE PROPOSED TO WEST FLANK

FRONT ELEVATION 1
23 WEST IRVING STREET, CHEVY CHASE, MD NTS



NO CHANGE PROPOSED TO EAST FLANK



2-STORY FLANKING STRUCTURE TO REMAIN

SINGLE STORY ADDITION TO BE REPLACED WITH OPEN PORCH

REAR ELEVATION 1
23 WEST IRVING STREET, CHEVY CHASE, MD NTS



NEW GLAZING PROPOSED ON REAR ELEVATION



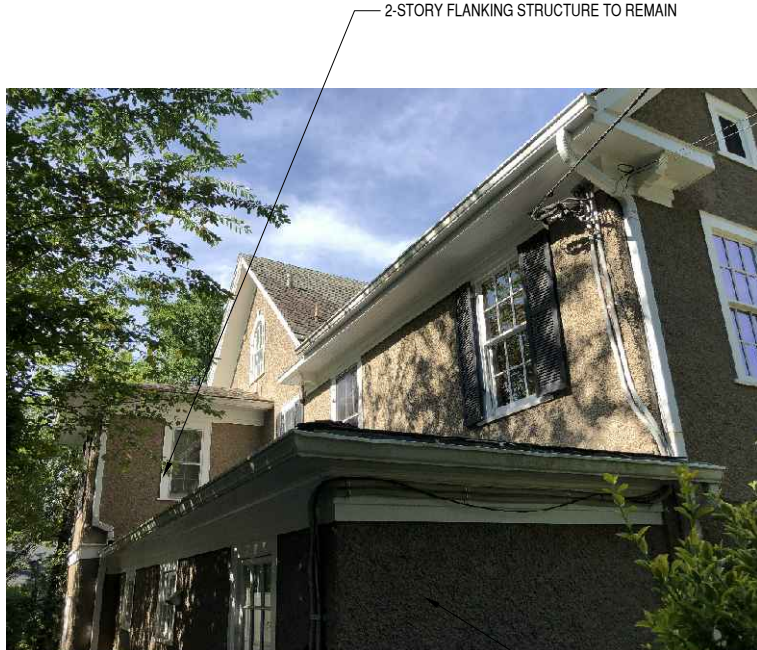
NO CHANGE PROPOSED TO WEST ELEVATION



2-STORY FLANKING STRUCTURE TO REMAIN

SINGLE STORY ADDITION TO BE REPLACED WITH OPEN PORCH

EAST ELEVATION 1
23 WEST IRVING STREET, CHEVY CHASE, MD NTS



2-STORY FLANKING STRUCTURE TO REMAIN

SINGLE STORY ADDITION TO BE REPLACED WITH OPEN PORCH



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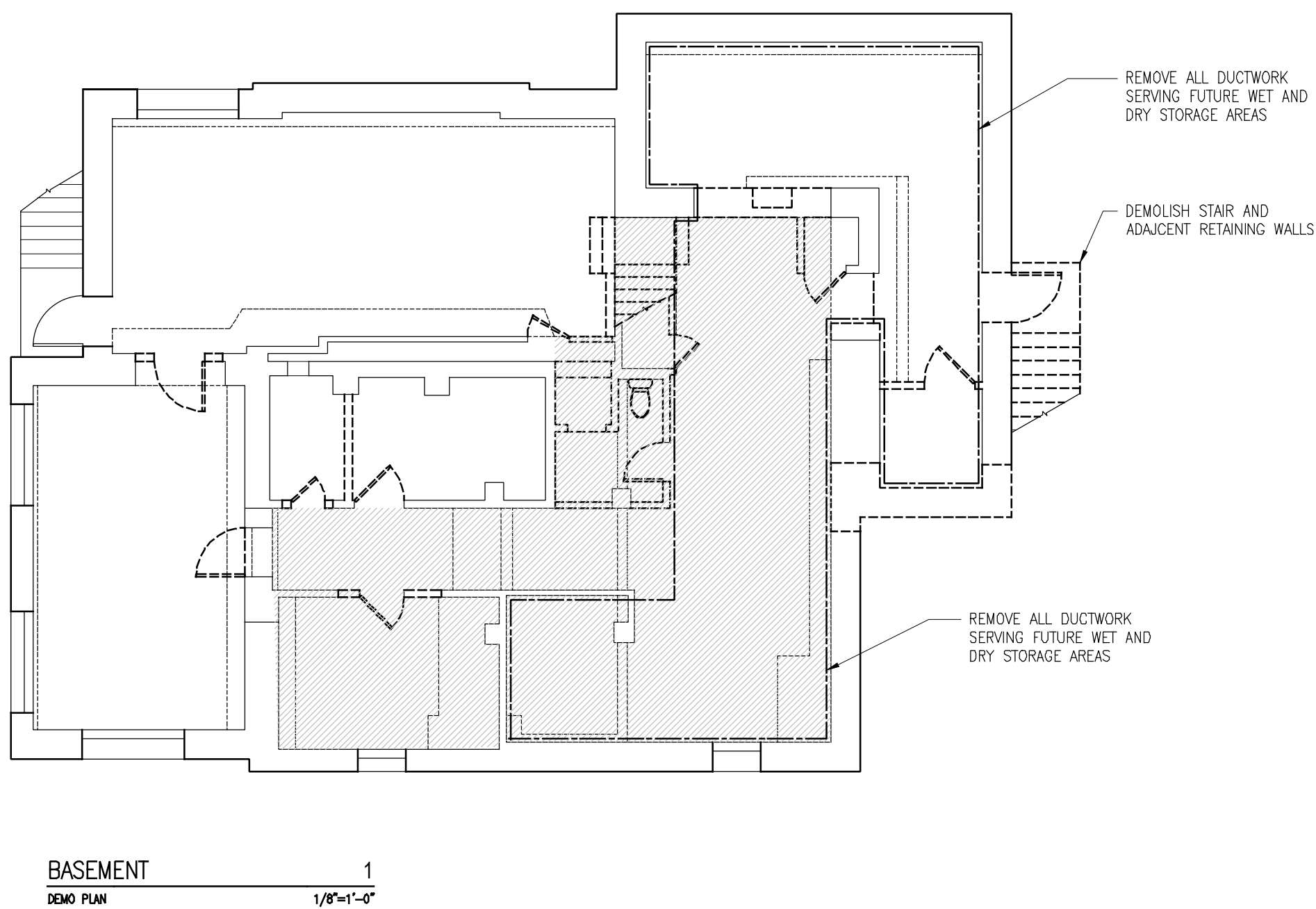
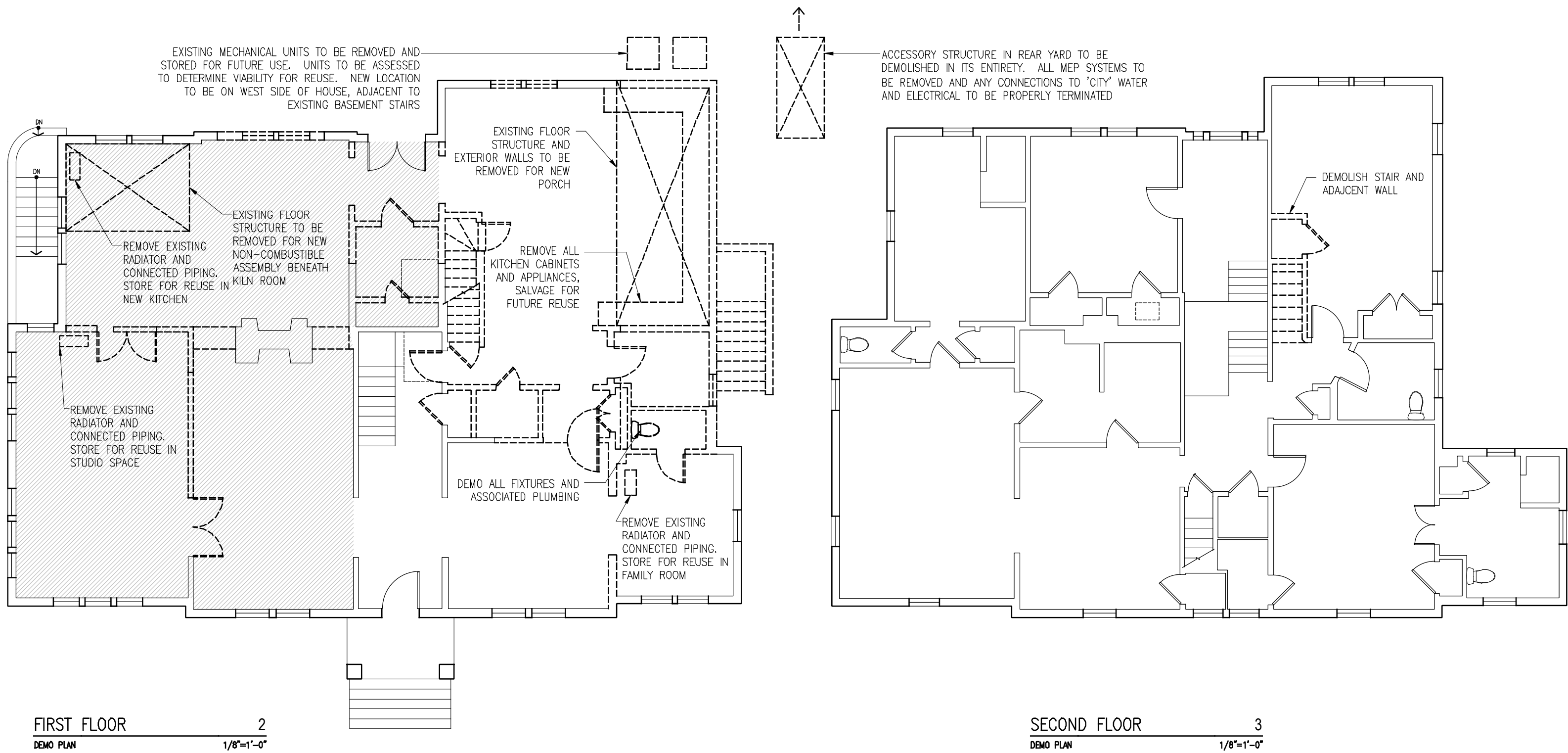
Builder:
To be determined

Issue Date:
2020 May 4 SD Set
2020 May 20 Mechanical Revisions
2020 May 21 Porch Revisions
2020 May 29 Structural SD
2020 June 3 HAWP Submission

scale:
NTS

title:
EXISTING PHOTOS

number:
C001



DEMO NOTES

- TURN OFF ALL CIRCUITS AND REMOVE EXISTING LIGHT FIXTURES
- TURN OFF ALL PLUMBING LINES
- PROVIDE ALLOWANCE FOR RELOCATING DUCTWORK, ELECTRICAL OR PLUMBING IN WALLS SCHEDULED TO BE DEMOLISHED. INCLUDE MISC. PATCHING AND REPAIR FOR WALLS AND CEILINGS. BREAK OUT ALLOWANCE AS OUTLINED IN GENERAL CONDITIONS
- USE PLASTIC DUST BARRIERS TO SEGREGATE THE WORK AREA FROM ANY LIVING SPACES NOT AFFECTED BY WORK. USE BLUE TAPE WHEN FIXING TO WALLS, CEILINGS OR EXISTING CABINETRY
- FIX AIR CONDITIONER FILTERS OVER SUPPLY AND RETURN AIR VENTS IN AFFECTED AREAS TO MINIMIZE THE DISPERSAL OF DUST THROUGHOUT THE HOUSE
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AS WELL AS APPLIANCES, CABINETRY, CARPET AND PAD AS INDICATED
- WHERE TRIM IS REMOVED OR WALLS DEMOLISHED ADJOINING WALL AND CEILING SURFACES ARE TO BE MADE GOOD AND READY FOR PAINTING.
- WHERE EXTERIOR BRICK WALLS ARE REMOVED, ADJOINING WALLS ARE TO BE PATCHED, APPROPRIATELY WATERPROOFED, AND REPOINTED
- ALL EXISTING WINDOWS TO BE REMOVED AND REPLACED, UNLESS OTHERWISE NOTED
- EXISTING FLOORS TO BE REMOVED FROM 1ST AND BASEMENT, UNLESS OTHERWISE NOTED
- ACCESSORY STRUCTURE IN REAR YARD TO BE DEMOLISHED IN ENTIRETY

[Dashed line] = TO BE DEMOLISHED

[Hatched area] = NEW FLOORING MATERIAL

FOWLKES **STUDIO**

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HAWP Submission

scale:
1/8" = 1'-0"

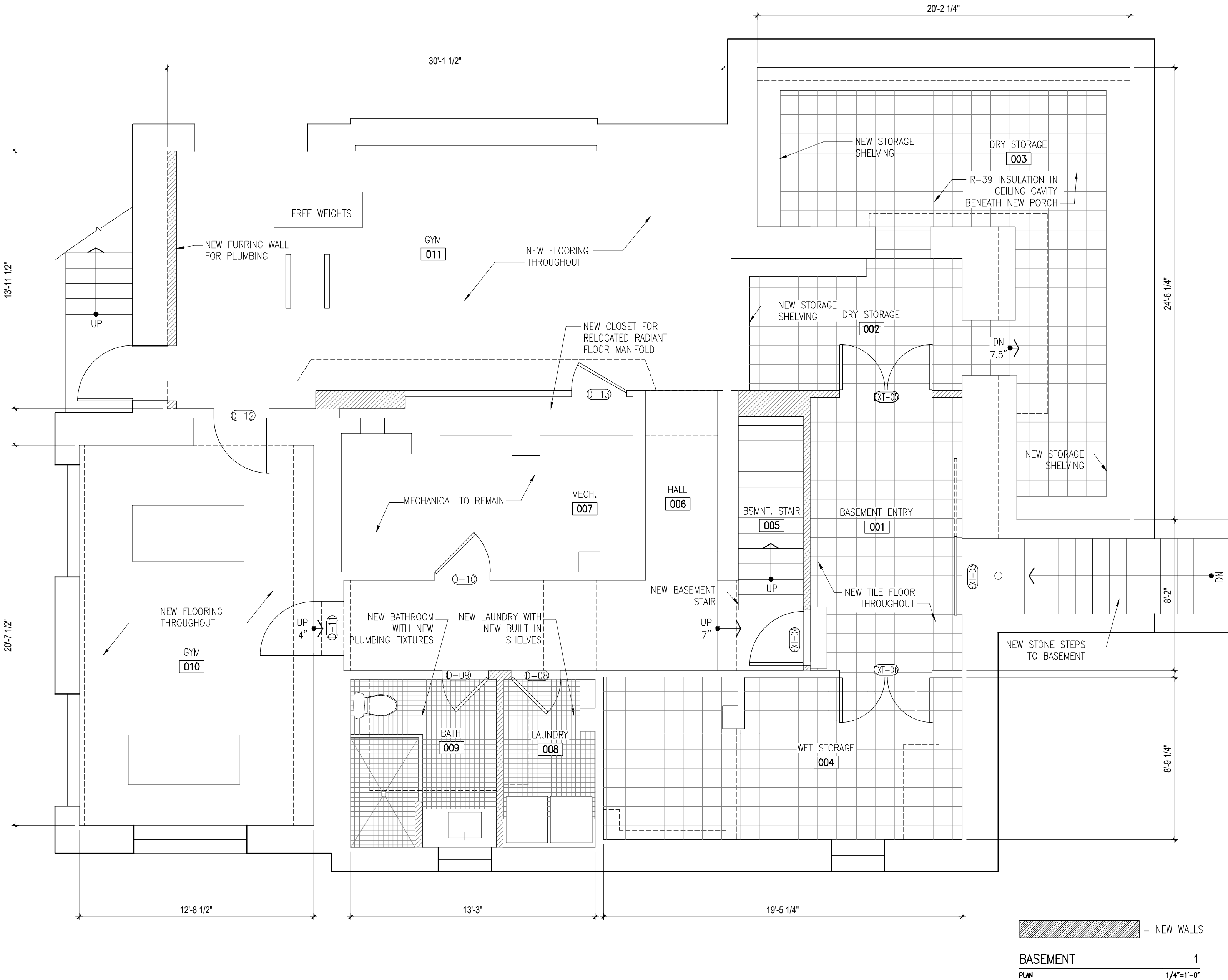
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DEMOLITION PLANS

number:

D001

NEW WORK NOTES

- REPLACE EXISTING WINDOWS AND FRAMES, WHERE NOTED ON PLANS AND ELEVATIONS
- PROVIDE NEW PLUMBING FIXTURES FOR ALL BATHROOMS ON BASEMENT, AND 1ST FLOOR, UNLESS OTHERWISE NOTED
- PROVIDE NEW LIGHTING FIXTURES FOR BASEMENT, 1ST FLOOR, AND EXTERIOR, UNLESS OTHERWISE NOTED. FINAL LIGHT FIXTURES TO BE DETERMINED BY OWNER AND ARCHITECT
- PROVIDE NEW ELECTRICAL FITTINGS (I.E. OUTLETS, DIMMERS, AND SWITCHES) FOR BASEMENT, AND 1ST FLOOR, UNLESS OTHERWISE NOTED



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SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:
1/4" = 1'-0"

title:
BASEMENT PLAN

number:

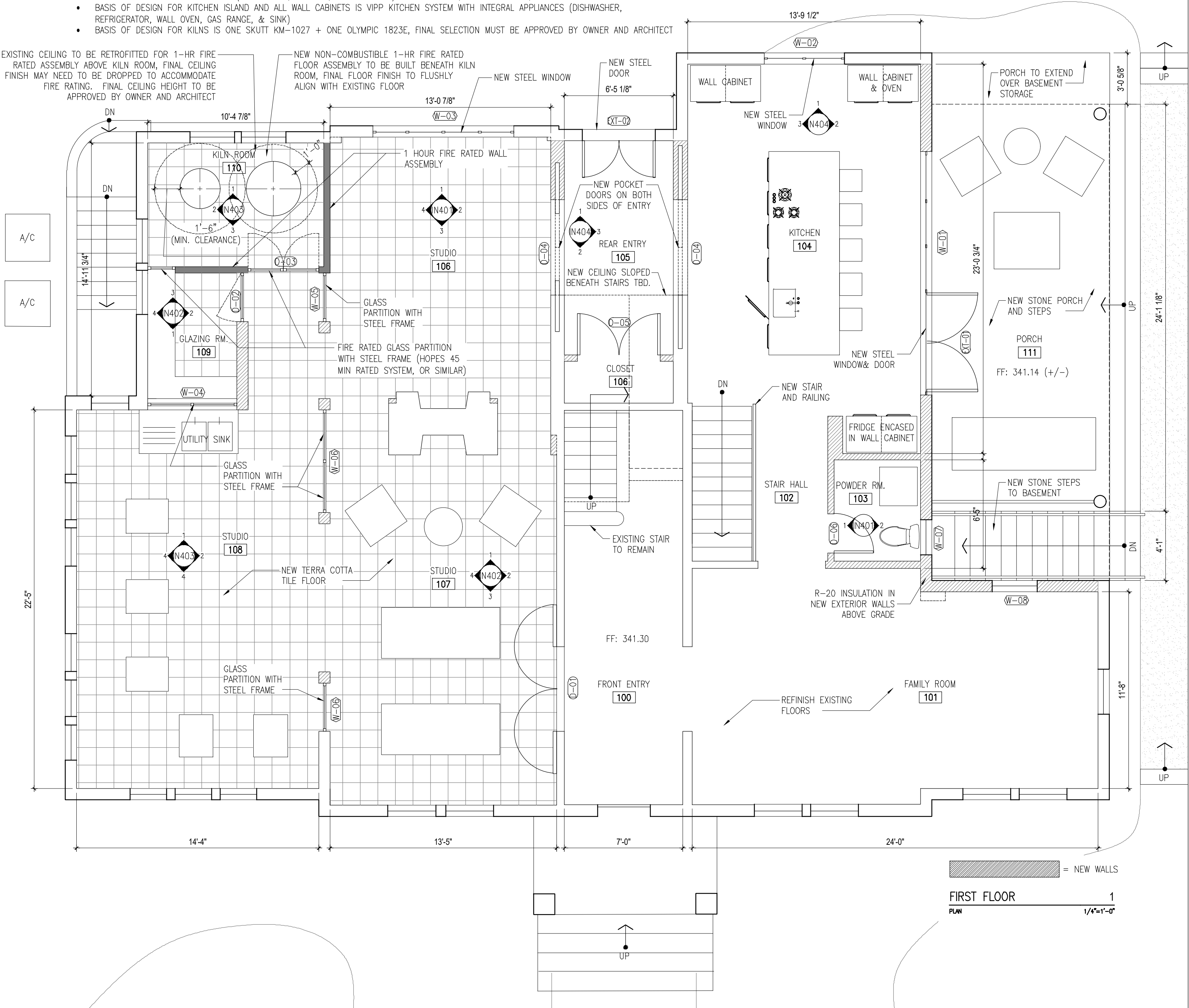
A001

NEW WORK NOTES

- REPLACE EXISTING WINDOWS AND FRAMES, WHERE NOTED ON PLANS AND ELEVATIONS
- PROVIDE NEW PLUMBING FIXTURES FOR ALL BATHROOMS ON BASEMENT, AND 1ST FLOOR, UNLESS OTHERWISE NOTED
- PROVIDE NEW LIGHTING FIXTURES FOR BASEMENT, 1ST FLOOR, AND EXTERIOR, UNLESS OTHERWISE NOTED. FINAL LIGHT FIXTURES TO BE DETERMINED BY OWNER AND ARCHITECT
- PROVIDE NEW ELECTRICAL FITTINGS (I.E. OUTLETS, DIMMERS, AND SWITCHES) FOR BASEMENT, AND 1ST FLOOR, UNLESS OTHERWISE NOTED
- BASIS OF DESIGN FOR KITCHEN ISLAND AND ALL WALL CABINETS IS VIPP KITCHEN SYSTEM WITH INTEGRAL APPLIANCES (DISHWASHER, REFRIGERATOR, WALL OVEN, GAS RANGE, & SINK)
- BASIS OF DESIGN FOR KILNS IS ONE SKUTT KM-1027 + ONE OLYMPIC 1823E, FINAL SELECTION MUST BE APPROVED BY OWNER AND ARCHITECT

EXISTING CEILING TO BE RETROFITTED FOR 1-HR FIRE RATED ASSEMBLY ABOVE KILN ROOM, FINAL CEILING FINISH MAY NEED TO BE DROPPED TO ACCOMMODATE FIRE RATING. FINAL CEILING HEIGHT TO BE APPROVED BY OWNER AND ARCHITECT

NEW NON-COMBUSTIBLE 1-HR FIRE RATED FLOOR ASSEMBLY TO BE BUILT BENEATH KILN ROOM, FINAL FLOOR FINISH TO FLUSHLY ALIGN WITH EXISTING FLOOR



FOWLKES **STUDIO**

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To be determined

Issue Date:

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2020 May 20
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Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:
1/4" = 1'-0"

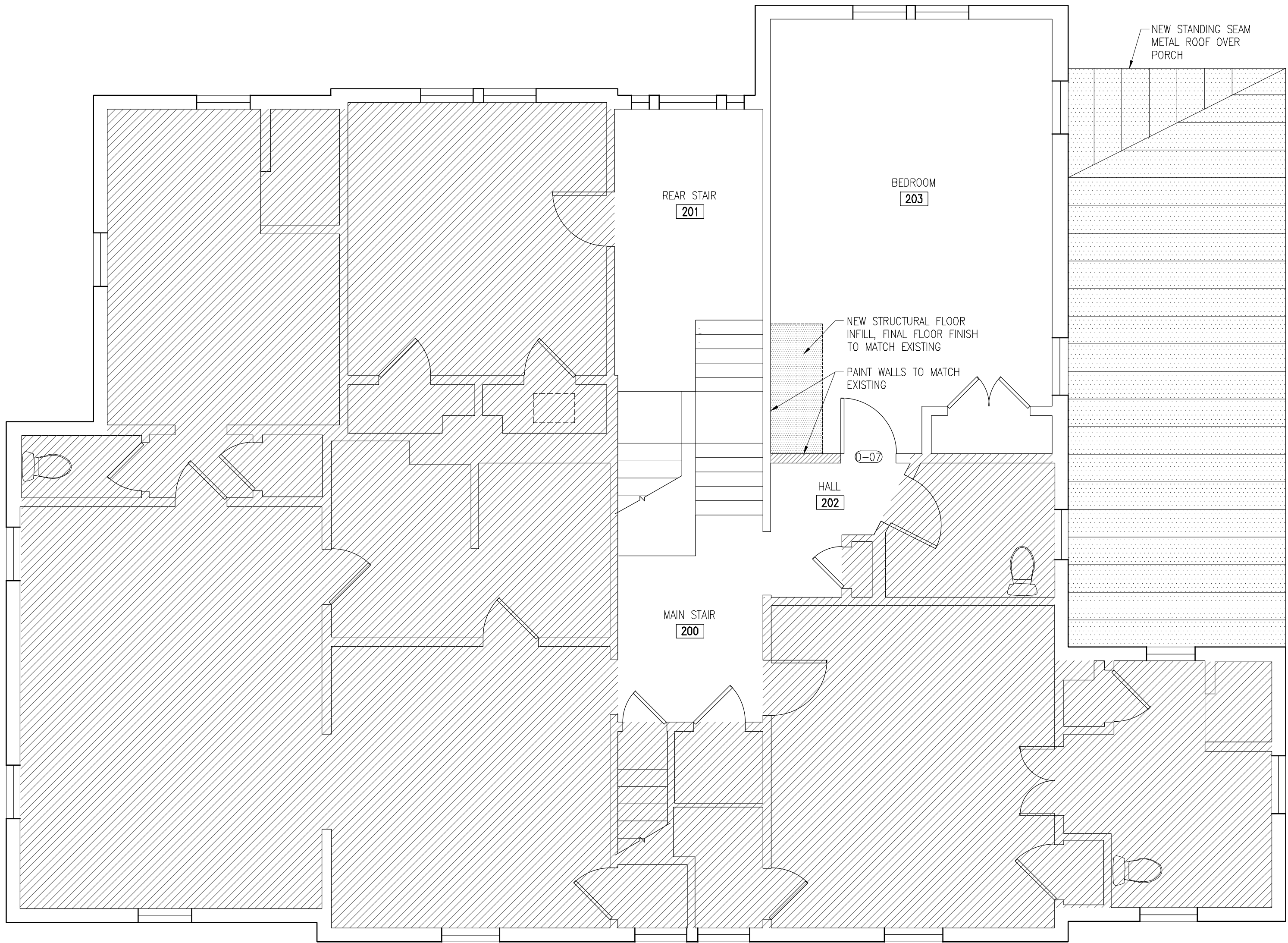
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FIRST FLOOR PLAN

number:

A002

NEW WORK NOTES

- REPLACE EXISTING WINDOWS AND FRAMES, WHERE NOTED ON PLANS AND ELEVATIONS
- PROVIDE NEW PLUMBING FIXTURES FOR ALL BATHROOMS ON BASEMENT, AND 1ST FLOOR, UNLESS OTHERWISE NOTED
- PROVIDE NEW LIGHTING FIXTURES FOR BASEMENT, 1ST FLOOR, AND EXTERIOR, UNLESS OTHERWISE NOTED. FINAL LIGHT FIXTURES TO BE DETERMINED BY OWNER AND ARCHITECT
- PROVIDE NEW ELECTRICAL FITTINGS (I.E. OUTLETS, DIMMERS, AND SWITCHES) FOR BASEMENT, AND 1ST FLOOR, UNLESS OTHERWISE NOTED



 = NEW WALLS

SECOND FLOOR
PLAN 1
1/4"=1'-0"

FOWLKES
STUDIO

FS

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WEST IRVING
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Builder:
To be determined

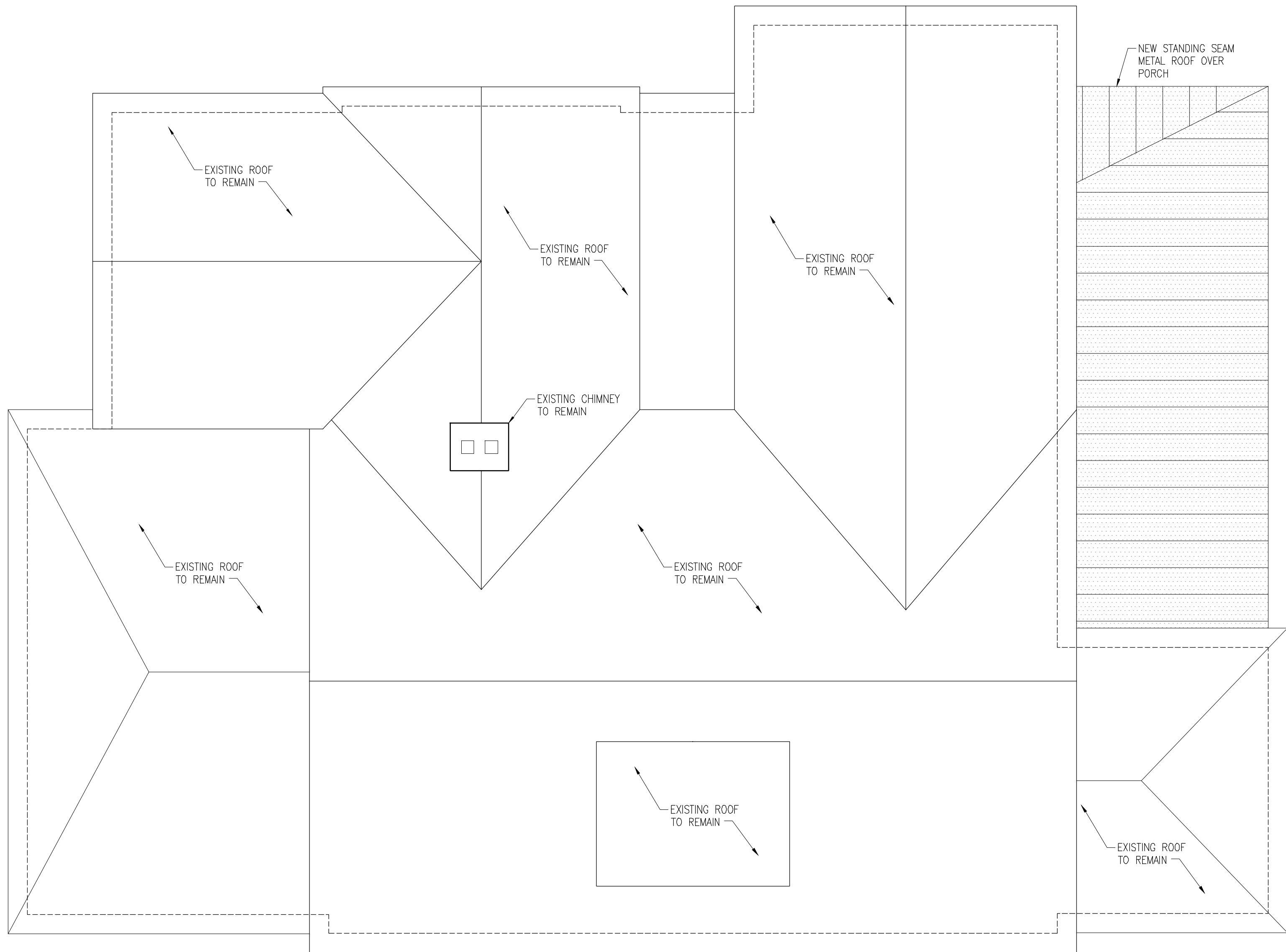
Issue Date:
2020 May 4
2020 May 20
2020 May 21
2020 May 29
2020 June 3

SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:
1/4" = 1'-0"

title:
2ND FLOOR PLAN

number:
A003



ROOF
PLAN

1
1/4"=1'-0"



WEST IRVING
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Chevy Chase, MD 20815

Builder:
To be determined

Issue Date:
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2020 May 29
2020 June 3

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Porch Revisions
Structural SD
HAWP Submission

scale:
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title:
ROOF PLAN

number:
A004



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WEST IRVING

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Chevy Chase, MD 20815

Builder:

To be determined

Issue Date:

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2020 June 3

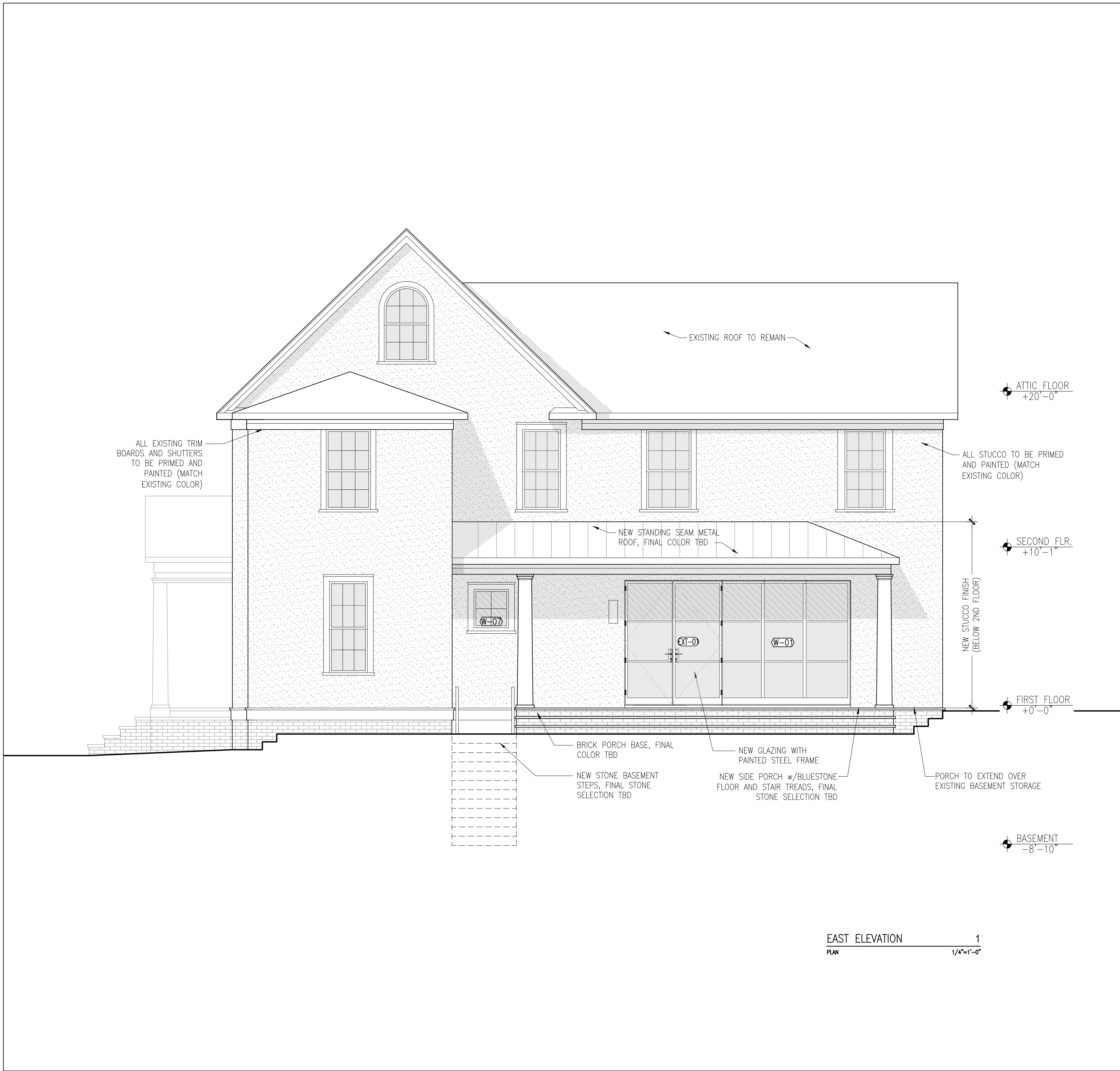
SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:
1/4" = 1'-0"

title:
SOUTH ELEVATION

number:

A100



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Chevy Chase, MD 20815

Builder:
To be determined

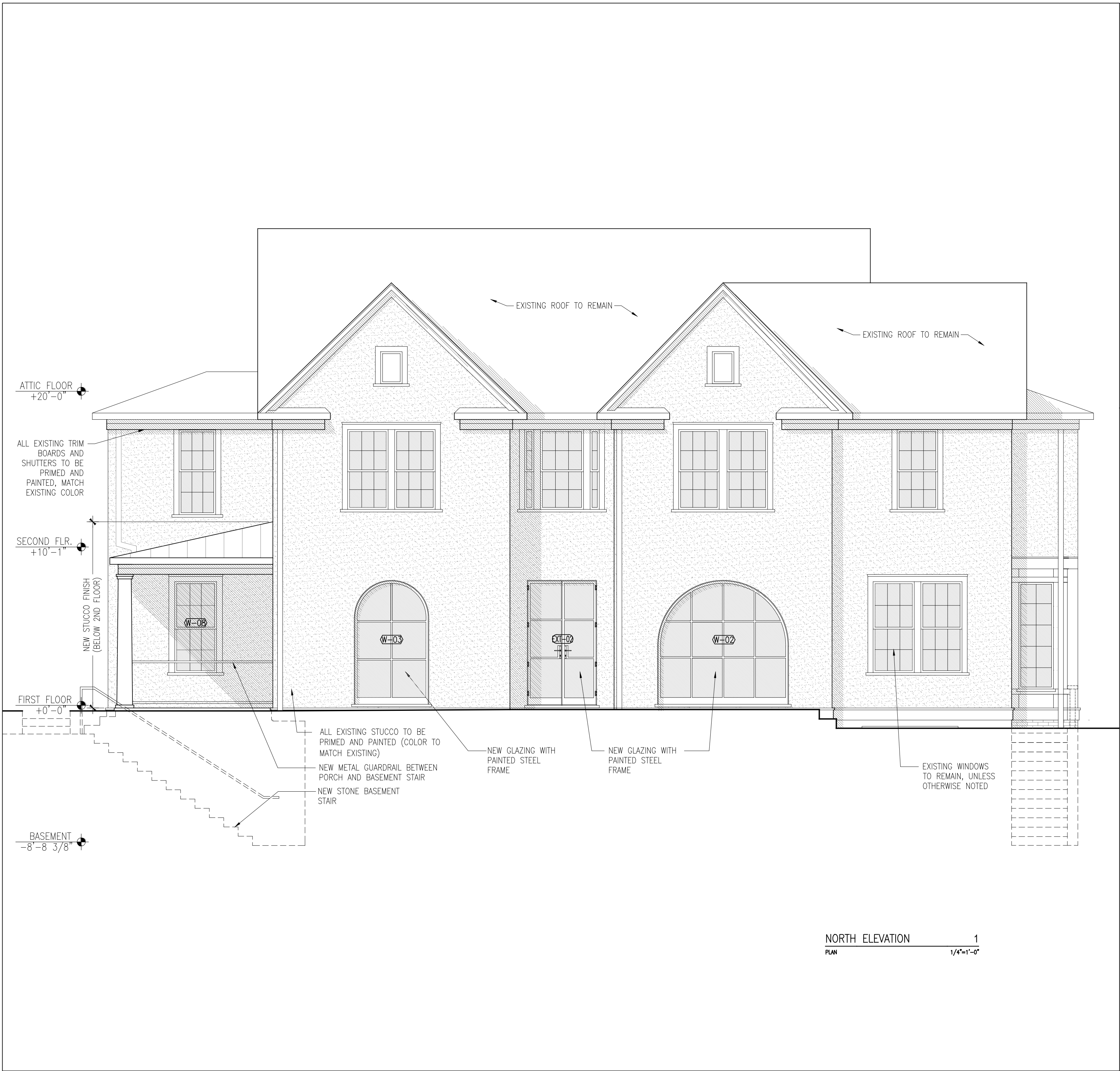
Issue Date:
2020 May 4
2020 May 20
2020 May 21
2020 May 29
2020 June 3

SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:
1/4" = 1'-0"

title:
EAST ELEVATION

number:
A101



FOWLKES **STUDIO** **FS**

1711 Connecticut Ave. NW 204
Washington, DC 20009
(202) 758 - 5518

WEST IRVING

23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:

Renovation and addition of two-story home with a basement.

Owner:

Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:

To be determined

Issue Date:

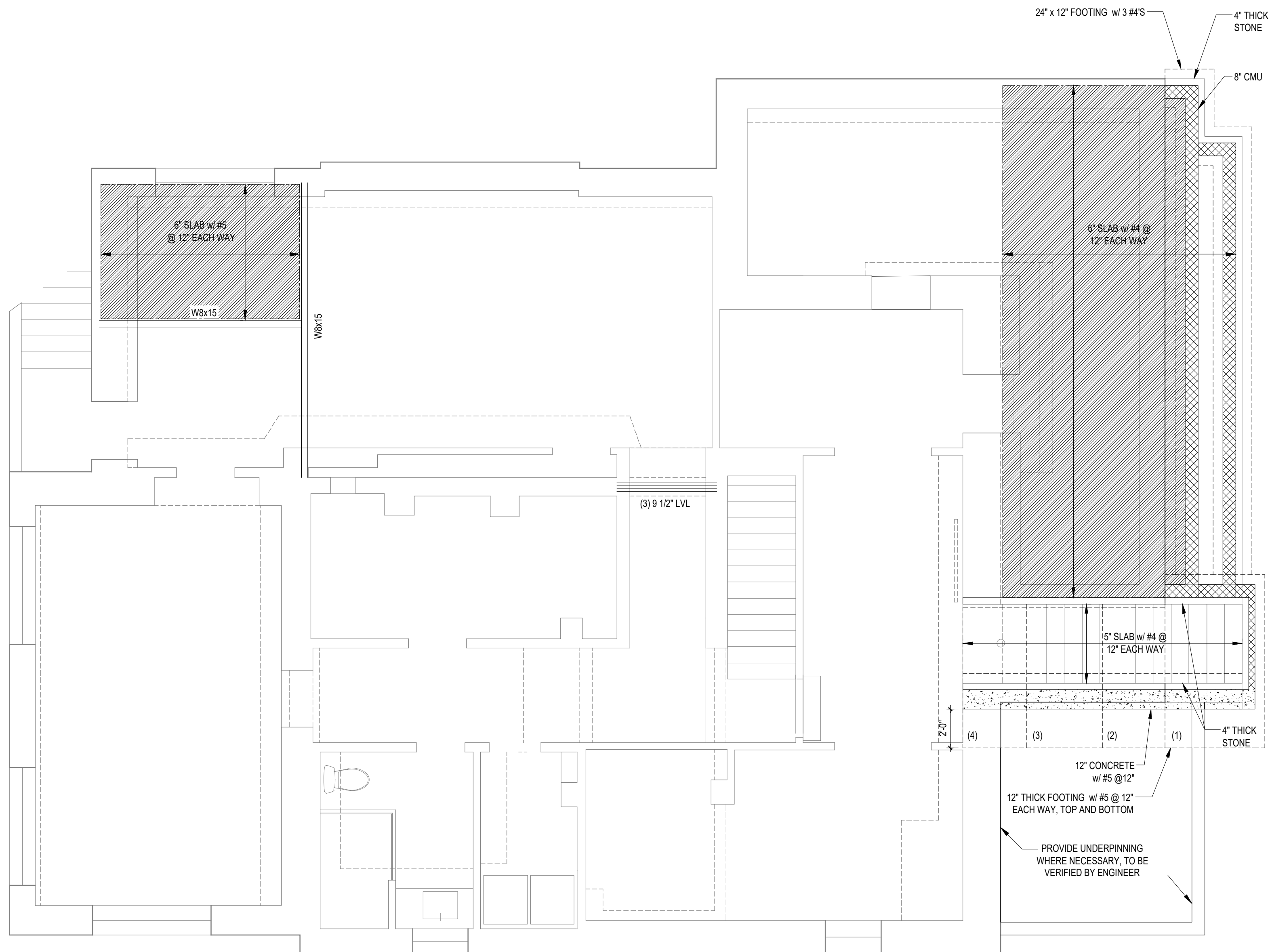
2020 May 4
2020 May 20
2020 May 21
2020 May 29
2020 June 3

SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:
1/4" = 1'-0"

title:
NORTH ELEVATION

number:
A102



WEST IRVING
23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:
Renovation and addition of two-story home with a basement.

Owner:
Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:
To be determined

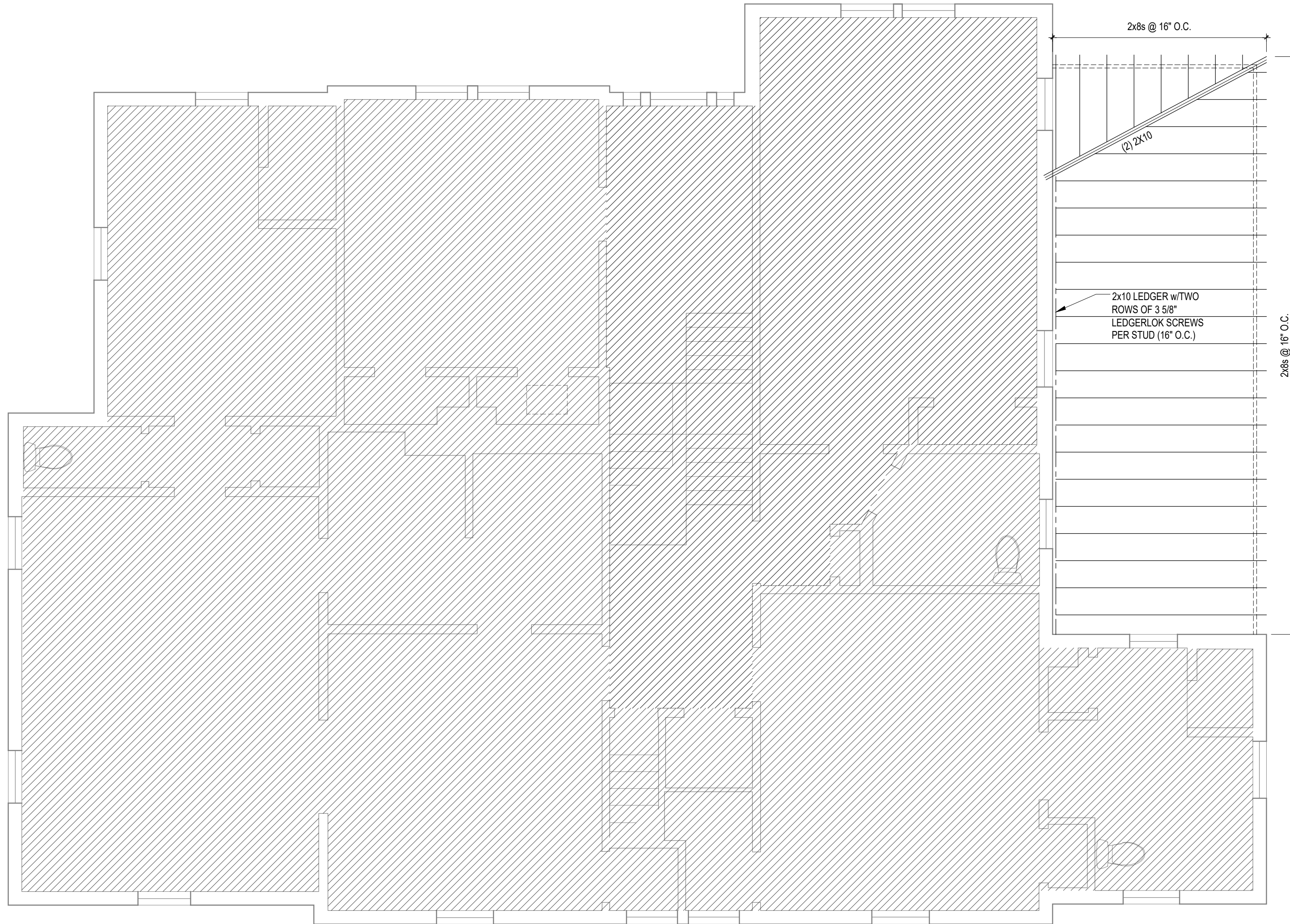
Issue Date:
2020 May 4
2020 May 20
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2020 May 29
2020 June 3

SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:
1/4" = 1'-0"

title:
1ST FLOOR FRAMING
& FOUNDATION PLAN

number:
S001



FOWLKES
STUDIO

FS

1711 Connecticut Ave. NW 204
Washington, DC 20009
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WEST IRVING
23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:
Renovation and addition of two-story home with a basement.

Owner:

Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:

To be determined

Issue Date:

2020 May 4
2020 May 20
2020 May 21
2020 May 29
2020 June 3

SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale: 1/4" = 1'-0"

title: **ROOF FRAMING PLAN**

number: **S003**

MECHANICAL NOTES:

- ALL HORIZONTAL DUCTS TO RUN IN JOIST BAYS UNLESS OTHERWISE NOTED
- CIRCULATING HOT WATER SYSTEM HAS AUTO CONTROL
- HOT WATER PIPES (HVAC LINE PIPING) TO BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3 & APPLIED TO THE FOLLOWING:
 - PIPING LARGER THAN 3/4" NOMINAL DIA.
 - PIPING FROM THE WATER HEATER TO KITCHEN OUTLETS
 - PIPING LOCATED OUTSIDE CONDITIONED SPACES
 - BURIED PIPING
 - PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
 - PIPING LOCATED UNDER A FLOOR SLAB
 - SUPPLY & RETURN PIPING IN RECIRCULATING SYSTEMS OTHER THAN DEMAND RECIRCULATING SYSTEMS
- PIPING WITH RUN LENGTHS GREATER THAN
- THE MAXIMUM RUN LENGTHS FOR THE NOMINAL
- PIPE DIAMETER GIVEN IN TABLE R403.4.2
- CONTRACTOR TO VERIFY INSTALLATION OF PROGRAMMABLE THERMOSTAT ON FORCED AIR FURNACE
- ALL JOINTS AND SEAMS OF AIR DUCTS AND AIR HANDLER TO BE SEALED WITH MASTIC
- ALL NEW SUPPLY DUCTS/TRUNK LINES FROM ATTIC ARE TO BE INSULATED TO GREATER THAN OR EQUAL TO R-8. ALL OTHER DUCTS IN UNCONDITIONED SPACES OR OUTSIDE THE BUILDING ENVELOPE TO BE GREATER THAN OR EQUAL TO R-6
- OUTDOOR AIR INTAKES AND EXHAUSTS ARE VENTED THROUGH BACK DRAFT DAMPERS WHEN THE VENTILATION SYSTEM IS NOT OPERATING
- BUILDING LEAKAGE TEST TO BE PERFORMED AS REQUIRED BY IECC402.4.1.2. LEAKAGE RATE SHALL NOT EXCEED 5 AIR CHANGES PER HOUR. A WRITTEN REPORT OF RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL UPON REQUEST
- DUCT LEAKAGE TEST TO BE PERFORMED AS REQUIRED BY IECC 403.2.2. TOTAL DUCT LEAKAGE SHALL BE EQUAL 8 CFM/100SQ. FT. WITH AIR HANDLER INSTALLED. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL UPON REQUEST
- BUILDING CAVITIES ARE NOT TO BE USED AS DUCTS OR PLENUMS
- FOAM INSULATION (RUBATEX INSUL-TUB 180) SHALL BE USED TO ON OUTSIDE HVAC LINE-SET PIPING TO SHIELD FROM EFFECTS OF WEATHER. ADHESIVE TAPE SHALL NOT BE PERMITTED
- AIR HANDLERS SHALL HAVE A MFR'S DESIGNATION FOR AN AIR LEAKAGE OF NO MORE THAN 2 PERCENT OF THE DESIGN AIR FLOW RATE WHEN TESTED IN ACCORDANCE WITH ASHRAE 193
- TOILET EXHAUSTS AIRFLOW RATE TO MEET A CAPACITY OF 50 CFM INTERMITTEN OR 20 CFM CONTINUOUS. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES, 3 FEET FROM OPERABLE AND INOPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE. OPENINGS SHALL COMPLY WITH SECTIONS R303.5.2 AND R303.6
- GAS VENTS SHALL COMPLY WITH SECTIONS G2427.6.1 THROUGH G2427L6.11 IRC 2012
- AIR FOR COMBUSTION, VENTILATION AND DILATION OF FLUE GASES FOR APPLIANCES INSTALLED IN BUILDINGS SHALL BE PROVIDED BY APPLICATION OF ONE OF THE METHODS PRESCRIBED IN SECTIONS G2407.5 THROUGH 2407.9. DIRECT VENT APPLIANCES, GAS APPLIANCES SHALL BE PROVIDED WITH COMBUSTION, VENTILATION AND DILUTION AIR IN ACCORDANCE WITH THE APPLIANCE MFR'S INSTRUCTIONS
- BATH FANS TO HAVE A MINIMUM AIRFLOW OF 80CFM AND OPERATE AT A MINIMUM EFFICACY OF 3.1
- RANGE HOOD TO HAVE A MINIMUM AIRFLOW OF 300CFM AND OPERATE AT A MINIMUM EFFICACY OF 2.8
- PROVIDE 90CFM MECHANICAL VENTILATION PER SECTION M1507.3 OF THE 2012 IRC

*** ABOVE NOTES TO APPLY TO ANY MODIFICATIONS OF EXISTING DUCTWORK ***



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WEST IRVING

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CHEVY CHASE, MD 20815

Scope:

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Owner:

Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:

To be determined

Issue Date:








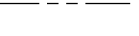


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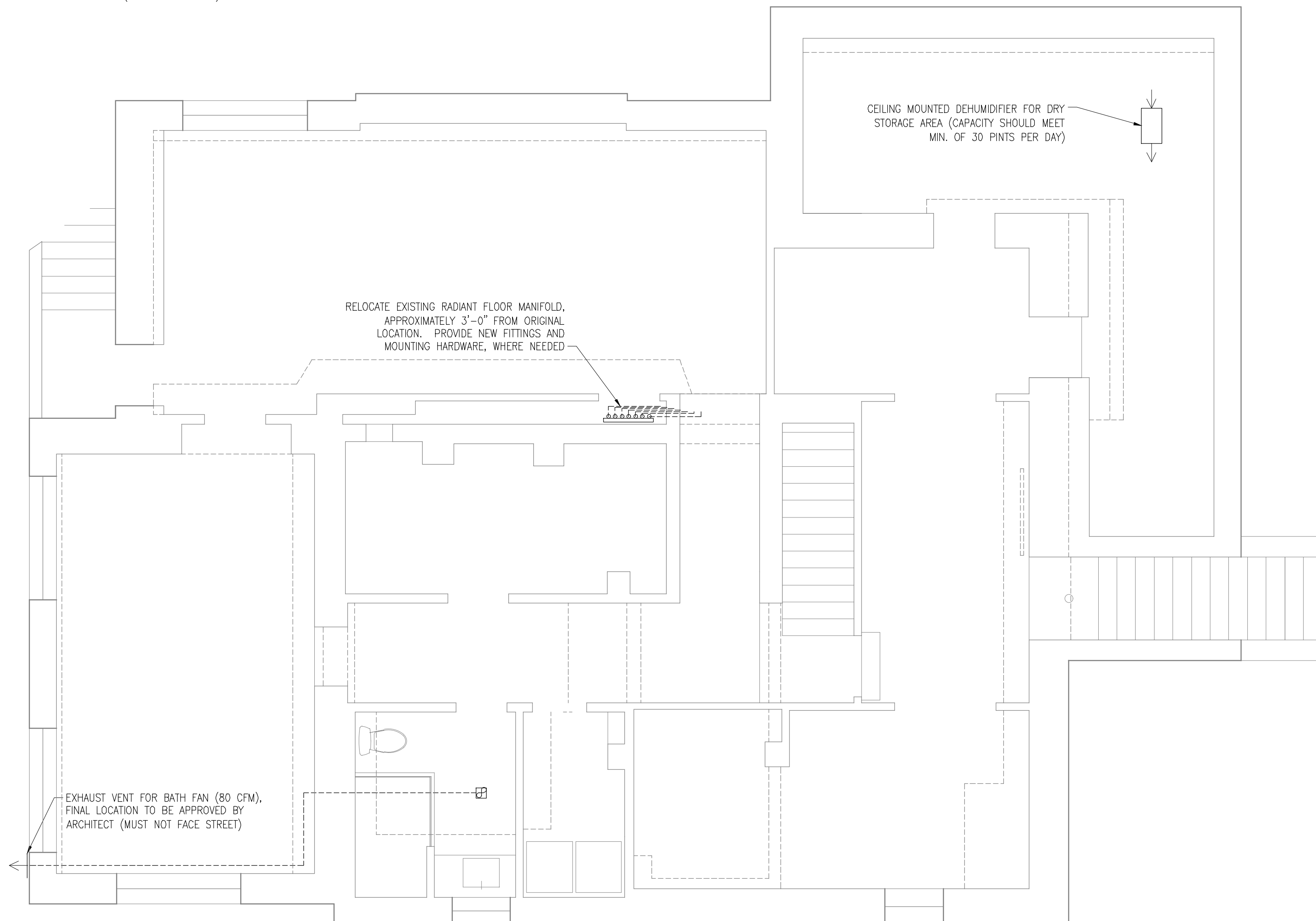
scale:
NTS

title:
MECHANICAL NOTES

number:

M001

- KEY:
- | | | | |
|---|-------------------------|---|------------------------------|
|  | VERTICAL DUCT (SUPPLY) |  | VENT (WALL) |
|  | VERTICAL DUCT (RETURN) |  | EXHAUST LINE |
|  | HORIZONTAL DUCT |  | EXHAUST FAN |
|  | FLEX DUCT |  | EXISTING DUCT LINE TO REMAIN |
|  | VENT (FLOOR OR CEILING) |  | PROGRAMMABLE THERMOSTAT |



BASEMENT
PLAN

1
1/4"=1'-0"



WEST IRVING
23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:
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Owner:
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16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:
To be determined

Issue Date:

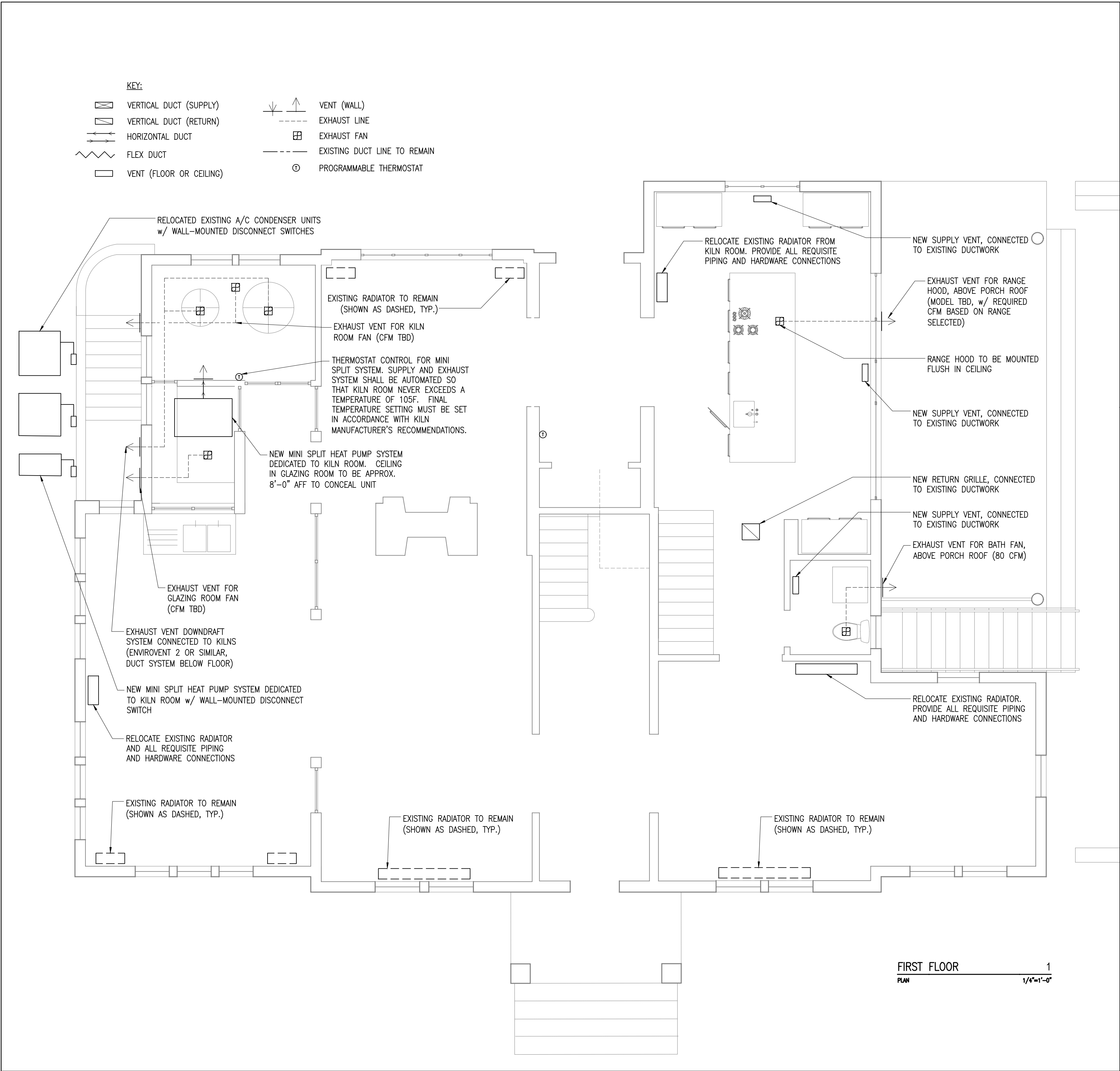
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2020 June 3	HAWP Submission

scale:
1/4" = 1'-0"

title:
BASEMENT
MECHANICAL PLAN

number:

M002



1711 Connecticut Ave. NW 204
Washington, DC 20009
(202) 756-5516

FOWLKES

STUDIO

WEST IRVING

23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:

Renovation and addition of two-story home with a basement.

Owner:

Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:

To be determined

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Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:

1/4" = 1'-0"

title:

1ST FLOOR
MECHANICAL PLAN

number:

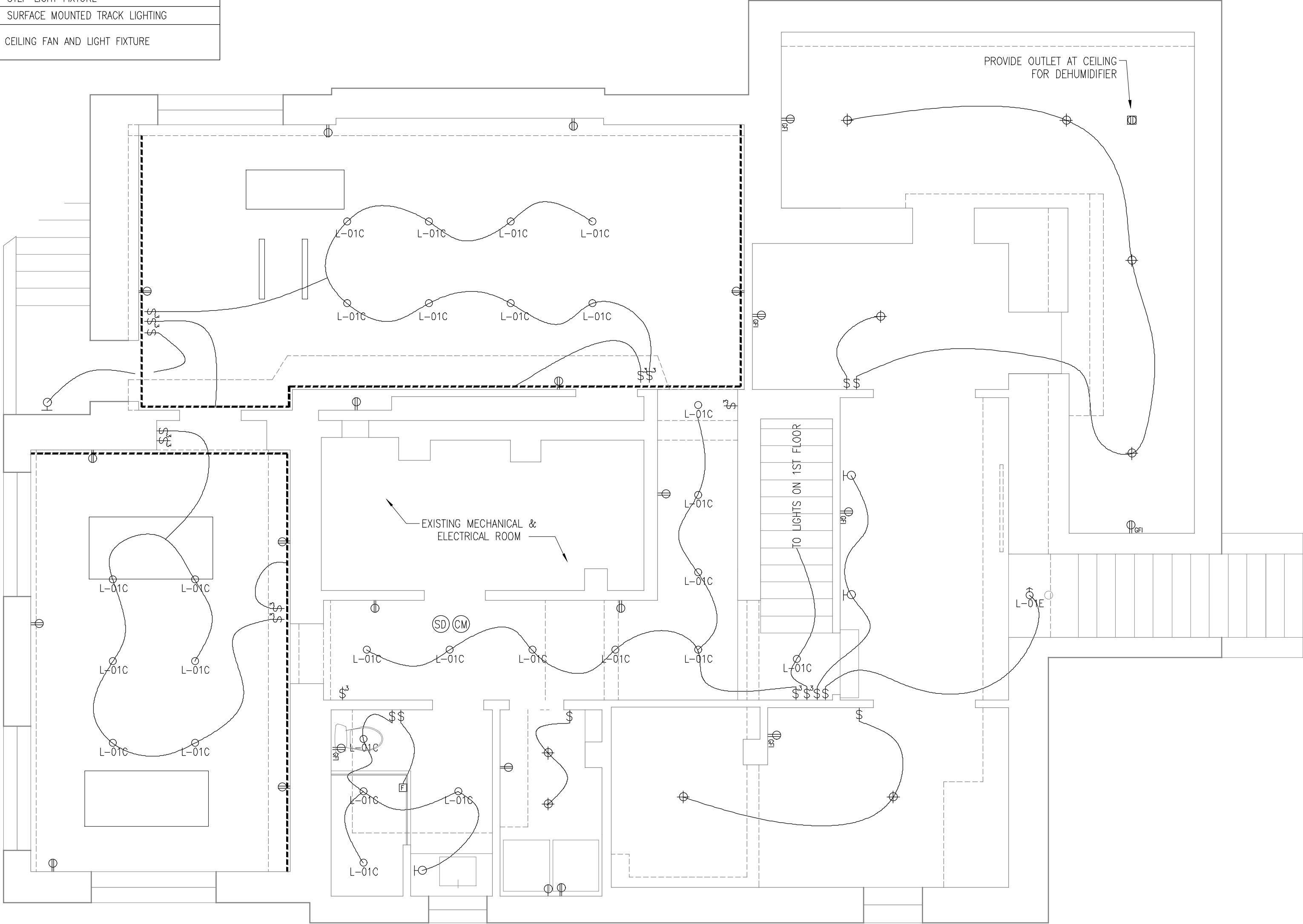
M003

27

LIGHTING SYMBOL LEGEND	
	RECESSED DOWNLIGHT
	WALL SCONCE
	CEILING-MOUNTED FIXTURE
	PENDANT FIXTURE
	DAMP-PROOF SHOWER LIGHT
	LINEAR CEILING MOUNTED LIGHT
	LINEAR LED
	UNDER CABINET STRIP LIGHT
	EXTERIOR FLOOD LIGHT
	STEP LIGHT FIXTURE
	SURFACE MOUNTED TRACK LIGHTING
	CEILING FAN AND LIGHT FIXTURE

POWER SYMBOL LEGEND	
	WALL-MOUNTED SWITCH
	WALL-MOUNTED THREE-WAY SWITCH
	WALL-MOUNTED DUPLEX RECEPTACLE
	WALL-MNTD DUPLEX RECEPTACLE - DEDICATED GFI
	DEDICATED APPLIANCE RECEPTICAL
	SMOKE DETECTOR (HARDWIRED W/ BATT. BACKUP)
	CARBON MONOXIDE ALARM
	FLOOR RECEPTACLE
	EXHAUST FAN

NOTES
-ALL RECESSED LIGHTS TO BE IC RATED
SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE EQUAL TO/LESS THAN 2.0 CFM LEAKAGE AT 75 PA.
-CONTRACTOR TO VERIFY THAT 75% OF LAMPS SHALL CONTAIN ONLY HIGH EFFICIENCY. ALL RECESSED LIGHTS TO BE LED NICOR LED DLR4 RETROFIT UNLESS OTHERWISE NOTED
-ALL LIGHTS SHALL BE SMOOTHLY DIMMABLE. FINAL LIGHTS AND DIMMERS MUST BE CHECKED FOR COMPATIBILITY BEFORE PROCURED TO PROJECT SITE.
-ALL RECEPTACLE OUTLETS IN HABITABLE SPACES OF DWELLING TO BE AFCI PROTECTED; EXCEPTIONS SPACES ARE THOSE WHERE GFCI TYPES ARE REQ. PER ARTICLE 210.12 OF NEC
-RECEPTACLE OUTLETS IN COUNTER TOP SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 2 FEET MEASURED HORIZONTALLY FROM RECEPTACLE OUTLET IN THAT SPACE PER NEC 210.52 B(3)C(1). INSTALL FIRST RECEPTACLE WITHIN 2' OF EDGE OF COUNTER OR SINK, THEN THE NEXT WITH 4' OF FIRST. RECEPTACLES INSTALLED WITHIN CABINETS DO NOT COUNT AS ONE OF THE REQ'D RECEPTACLES
-COUNTERTOP SPACES SEPARATED BY RANGES, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER TOP SPACES AND NEED NOT COMPLY WITH REQ'S OF NEC 210.52.
-RECEPTACLE OUTLETS IN HABITABLE ROOMS SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET PER NEC 210.52.



BASEMENT
PLAN 1
1/4"=1'-0"



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WEST IRVING

23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:
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Owner:
Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:
To be determined

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Mechanical Revisions
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scale:
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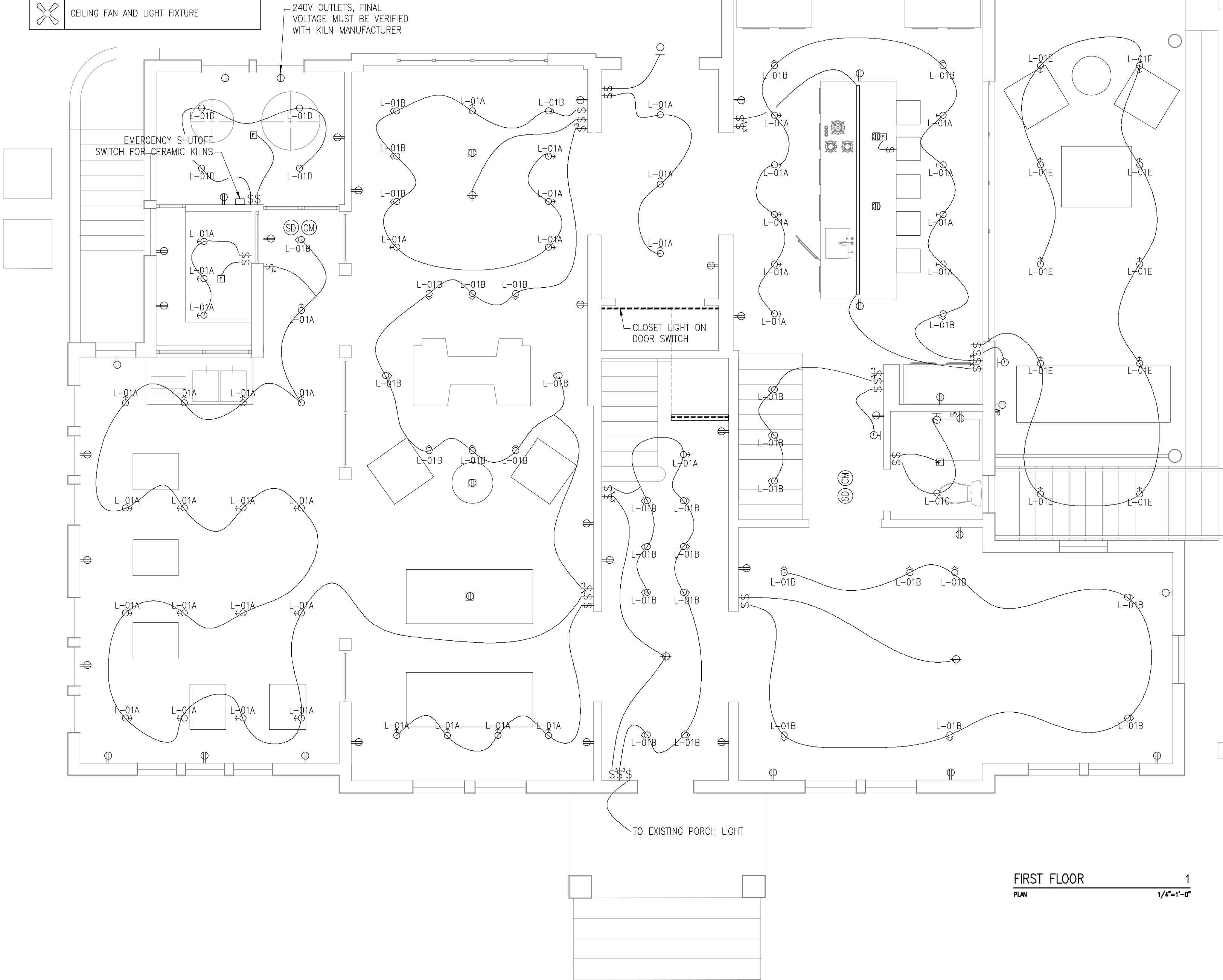
title:
BASEMENT
ELECTRICAL PLAN

number:
E001

LIGHTING SYMBOL LEGEND	
	RECESSED DOWNLIGHT
	WALL SCONCE
	CEILING-MOUNTED FIXTURE
	PENDANT FIXTURE
	DAMP-PROOF SHOWER LIGHT
	LINEAR CEILING MOUNTED LIGHT
	LINEAR LED
	UNDER CABINET STRIP LIGHT
	EXTERIOR FLOOD LIGHT
	STEP LIGHT FIXTURE
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	WALL-MOUNTED THREE-WAY SWITCH
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	WALL-MNTD DUPLEX RECEPTACLE - DEDICATED GFI
	DEDICATED APPLIANCE RECEPTICAL
	SMOKE DETECTOR (HARDWIRED W/ BATT. BACKUP)
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	FLOOR RECEPTACLE
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FOWLKES **STUDIO**

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WEST IRVING

23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:

Renovation and addition of two-story home with a basement.

Owner:

Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:

To be determined

Issue Date:

2020 May 4
2020 May 20
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2020 June 3

SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale:
1/4" = 1'-0"

title:
**1ST FLOOR
ELECTRICAL PLAN**

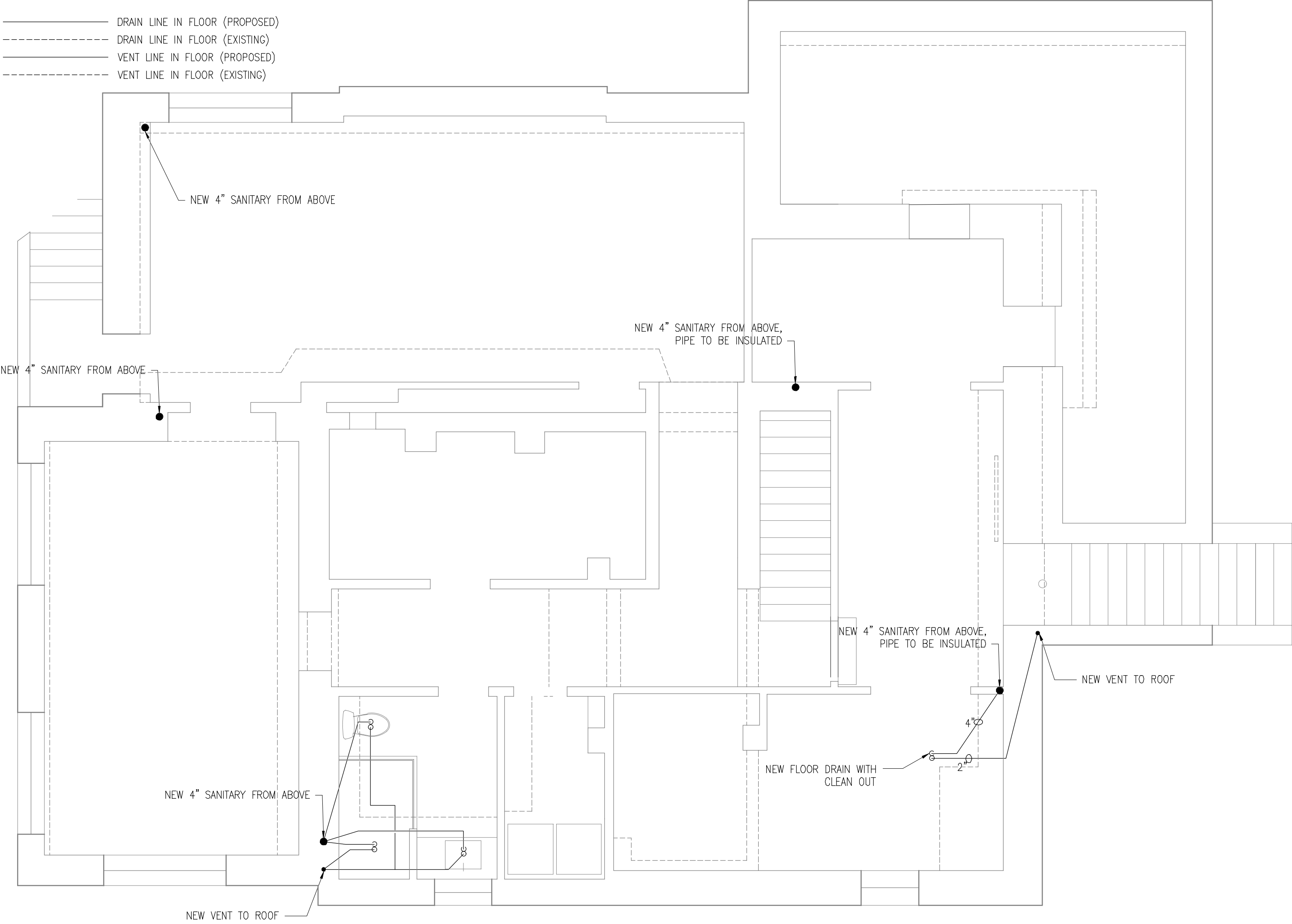
number:

E002

PLUMBING NOTES:

- INSTALL WORK IN STRICT ACCORDANCE WITH APPLICABLE LOCAL AND NATIONAL CODES
- CONTRACTOR TO MAKE ON SITE INSPECTION TO DETERMINE FULLY THE EXISTING CONDITIONS.
- LOCATION OF EQUIPMENT, PIPING AND OTHER PLUMBING WORK IS INDICATED DIAGRAMMATICALLY BY DRAWINGS. DETERMINE EXACT LOCATION ON SITE, SUBJECT TO STRUCTURAL CONDITIONS AND OTHER TRADES. OBTAIN ARCHITECT'S APPROVAL PRIOR TO ANY SUBSTANTIAL CHANGE OR ANY CHANGE, WHICH REQUIRES NEW SOFFITING OR ALTERATION OF INDICATED SOFFITING OR PIPING CONCEALMENT
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND THE REST PRODUCTS OF REPUTABLE MANUFACTURER. OBTAIN ARCHITECRS WRITTEN APPROVAL FOR CHANGES AND SUBSTITUTIONS
- PIPING THROUGH EXTERIOR WALLS AND FOUNDATIONS SHALL BE WITH SLEEVES TWO PIPE SIZES LARGER THAN SERVICE LINE. SEAL OPENING WATERNGHT WITH LEAD AND OAKUM
- THE CONTRACTOR IS TO GUARANTEE ALL MATERIAL, LABOR AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION. GUARANTEE TO INCLUDE FREE WARRANTY MAINTENANCE FOR THE FIRST YEAR OF SYSTEM OPERATION
- THE CONTRACTOR IS TO COORDINATE WITH OTHER TRADES FOR EQUIPMENT, DUCT AND PIPING PLACEMENT. ALERT GENERAL CONTRACTOR OR ARCHITECT IMMEDIATELY IN CASE OF CONFLICT
- HOT WATER PIPES TO BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3

- DRAIN LINE IN FLOOR (PROPOSED)
- - - - - DRAIN LINE IN FLOOR (EXISTING)
- VENT LINE IN FLOOR (PROPOSED)
- - - - - VENT LINE IN FLOOR (EXISTING)



BASEMENT
PLAN 1
1/4"=1'-0"



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WEST IRVING

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CHEVY CHASE, MD 20815

Scope:

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To be determined

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scale:
1/4" = 1'-0"

title:
BASEMENT
PLUMBING PLAN

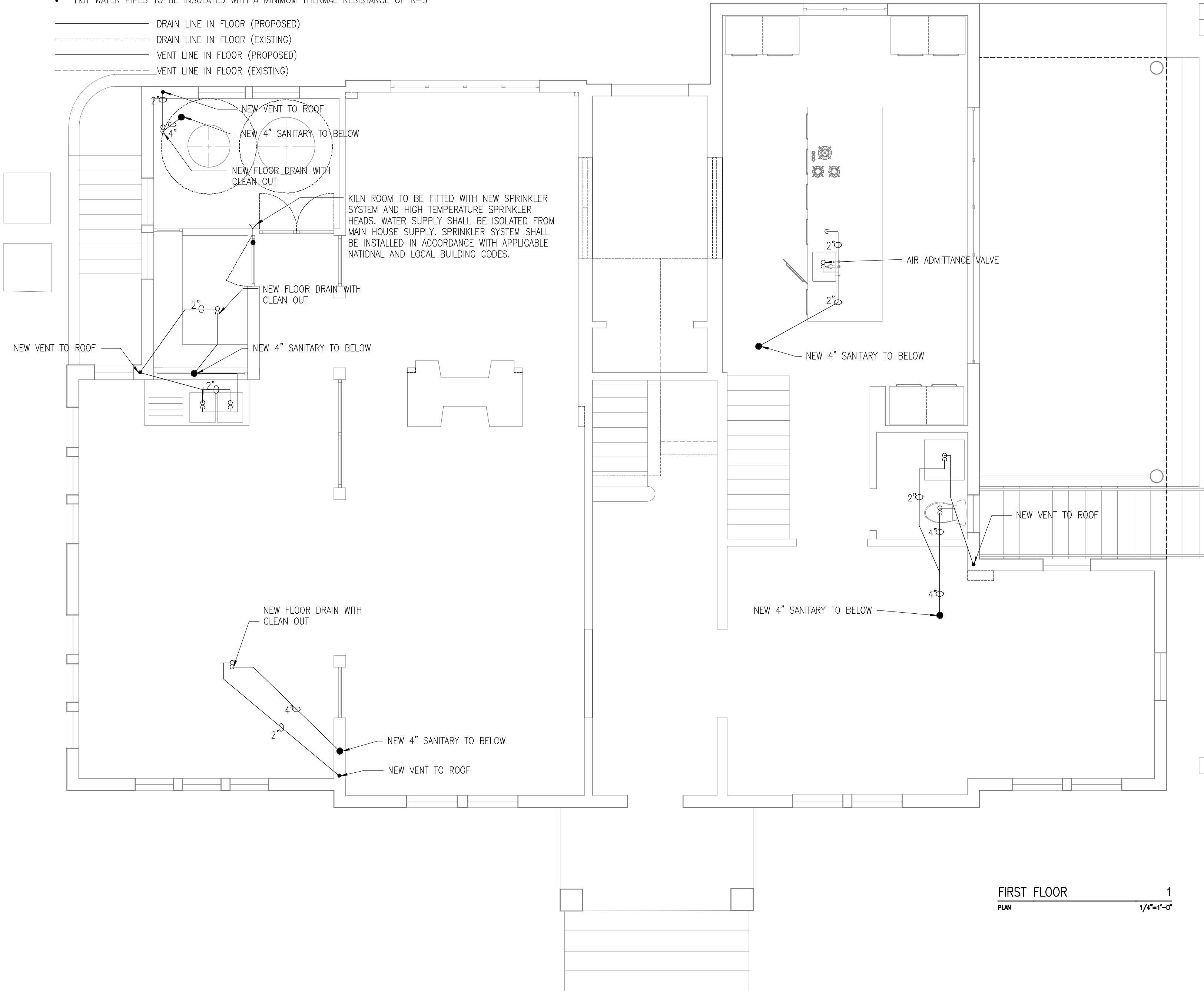
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P001

PLUMBING NOTES:

- INSTALL WORK IN STRICT ACCORDANCE WITH APPLICABLE LOCAL AND NATIONAL CODES
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- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND THE BEST PRODUCTS OF REPUTABLE MANUFACTURER. OBTAIN ARCHITECT'S WRITTEN APPROVAL FOR CHANGES AND SUBSTITUTIONS
- PIPING THROUGH EXTERIOR WALLS AND FOUNDATIONS SHALL BE WITH SLEEVES TWO PIPE SIZES LARGER THAN SERVICE LINE. SEAL OPENING WATERIGHT WITH LEAD AND OAKUM
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- THE CONTRACTOR IS TO COORDINATE WITH OTHER TRADES FOR EQUIPMENT, DUCT AND PIPING PLACEMENT. ALERT GENERAL CONTRACTOR OR ARCHITECT IMMEDIATELY IN CASE OF CONFLICT
- HOT WATER PIPES TO BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3

- DRAIN LINE IN FLOOR (PROPOSED)
- - - - - DRAIN LINE IN FLOOR (EXISTING)
- VENT LINE IN FLOOR (PROPOSED)
- - - - - VENT LINE IN FLOOR (EXISTING)



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Chevy Chase, MD 20815

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To be determined

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SD Set
Mechanical Revisions
Porch Revisions
Structural SD
HAWP Submission

scale: 1/4" = 1'-0"

title: **1ST FLOOR
PLUMBING PLAN**

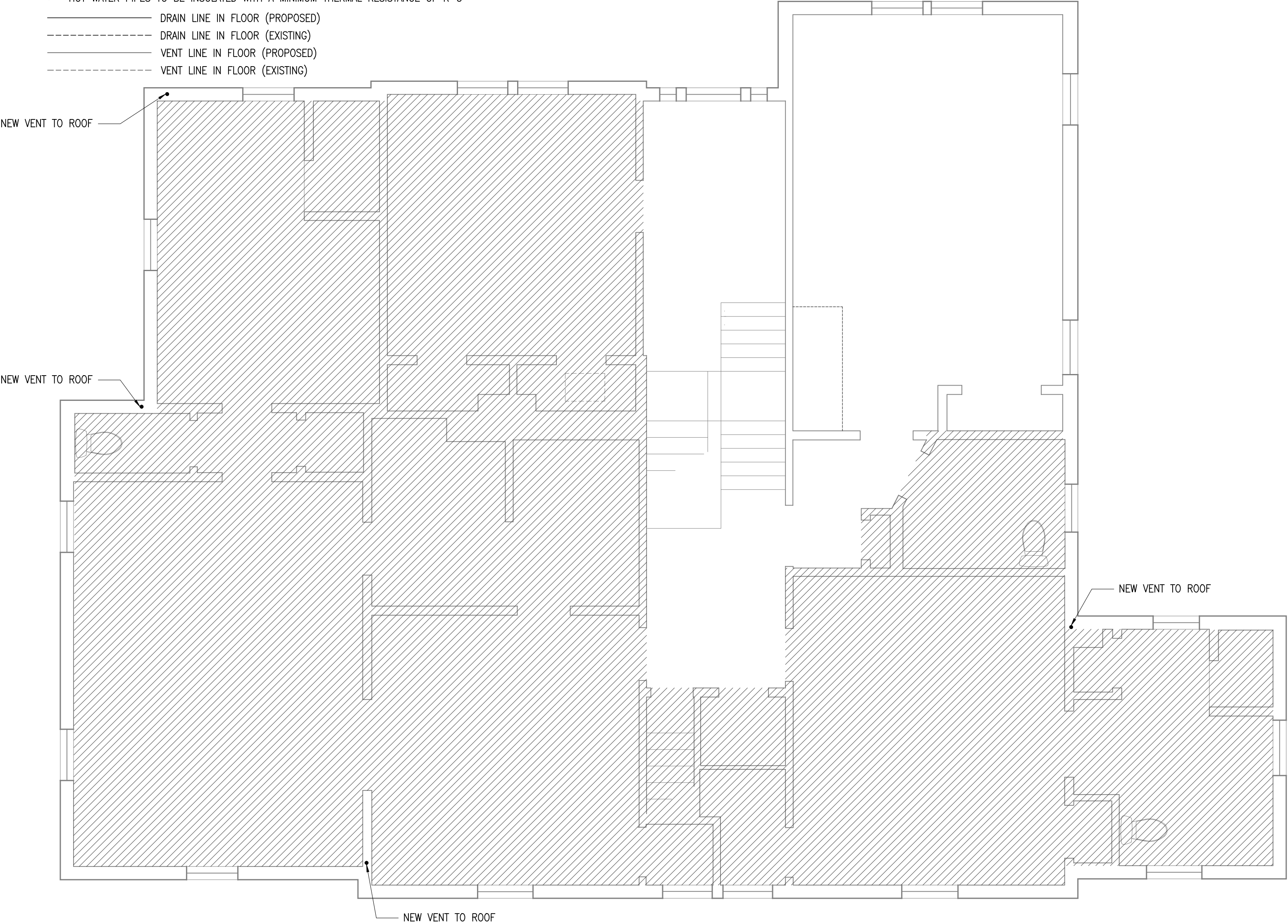
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P002

PLUMBING NOTES:

- INSTALL WORK IN STRICT ACCORDANCE WITH APPLICABLE LOCAL AND NATIONAL CODES
- CONTRACTOR TO MAKE ON SITE INSPECTION TO DETERMINE FULLY THE EXISTING CONDITIONS.
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- DRAIN LINE IN FLOOR (PROPOSED)
- DRAIN LINE IN FLOOR (EXISTING)
- VENT LINE IN FLOOR (PROPOSED)
- VENT LINE IN FLOOR (EXISTING)



SECOND FLOOR
PLAN 1
1/4"=1'-0"



1711 Connecticut Ave. NW 204
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(202) 756 - 5515

WEST IRVING

23 WEST IRVING ST.
CHEVY CHASE, MD 20815

Scope:

Renovation and addition of two-story home with a basement.

Owner:

Mike Friedman & Adena Friedman
16 Magnolia Parkway
Chevy Chase, MD 20815

Builder:

To be determined

Issue Date:

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scale: 1/4" = 1'-0"

title: 2ND FLOOR
PLUMBING PLAN

number:

P003