

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10 Laurel Parkway, Chevy Chase	<b>Meeting Date:</b>	5/27/2020
<b>Resource:</b>	Non-Contributing Resource <b>Chevy Chase Village Historic District</b>	<b>Report Date:</b>	5/20/2020
<b>Applicant:</b>	Allison Marvis (V.W. Fowles, Architect, Martin Locraft, Agent)	<b>Public Notice:</b>	5/13/2020
		<b>Tax Credit:</b>	N/A
<b>Review:</b>	HAWP	<b>Staff:</b>	Michael Kyne
<b>Case Number:</b>	35/13-20Q		
<b>PROPOSAL:</b>	Building addition and other alterations		

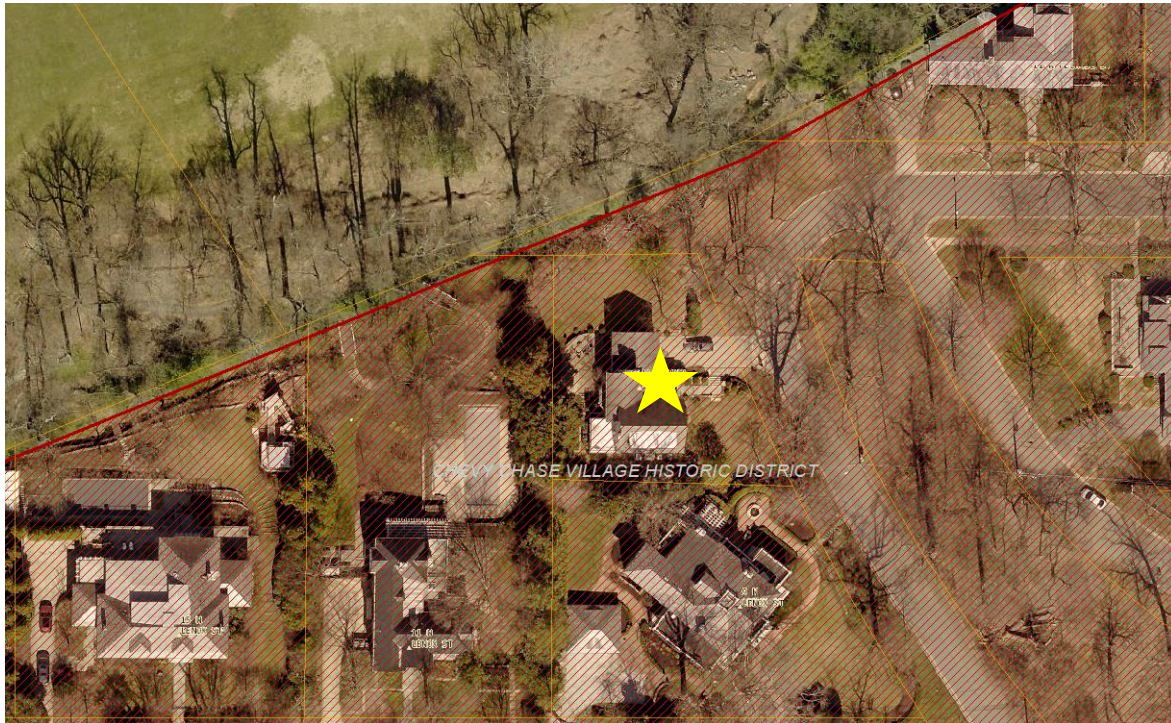
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**STAFF RECOMMENDATION:**

Staff recommends that HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Non-Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Modern Split-Level  
**DATE:** 1957



*Fig. 1: Subject property, as marked by yellow star.*

## **BACKGROUND:**

The applicant previously appeared before the Commission for a preliminary consultation at the January 8, 2020 HPC meeting with a proposal for a building addition and other alterations. The Commission expressed support for the applicant's proposal, due the house's setback and the relative lack of visibility and/or compatibility of the proposed alterations.<sup>1</sup>

## **PROPOSAL:**

The applicant proposes the following work items at the subject property:

- Replace the existing double-hung windows with aluminum-clad casement windows.
- Install shutters on the front (east) elevation.
- Remove an existing chimney at the rear (west) elevation.
- Construct a new two-story addition in the rear/left (southwest) corner of the house.
- Construct a colonnade at the rear (west) elevation.
- Reconstruct an existing octagonal bay on the rear (west) elevation.
- Construct new retaining walls and steps at the rear (west) side of the house.
- Construct a new patio at the rear (west) side of the house.

## **APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Historic District***

The *Guidelines* state the following regarding Non-Contributing Resources:

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside of the district's primary period of historical importance. HAWP application for exterior alterations, changes, and/or additions to these type of resources should receive the most lenient level of design review.

Most alteration and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

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<sup>1</sup> January 8, 2020 HPC staff report: <https://montgomeryplanning.org/wp-content/uploads/2019/12/II.A-10-Laurel-Parkway-Chevy-Chase.pdf>

January 8, 2020 HPC meeting audio/video transcript:

[http://mncppc.granicus.com/MediaPlayer.php?publish\\_id=753b3f60-32f4-11ea-a240-0050569183fa](http://mncppc.granicus.com/MediaPlayer.php?publish_id=753b3f60-32f4-11ea-a240-0050569183fa)

***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION:**

The subject property is a c. 1957 modern split-level Non-Contributing Resource within the Chevy Chase Village Historic District. The property is at the edge of the historic district, with one adjacent Contributing Resource (9 West Lenox Street to the south), one adjacent Outstanding Resource (11 West Lenox Street to the west), and two confronting Contributing Resources (8 West Melrose Street to the east and 11 West Melrose Street to the northeast).

The applicant proposes the following work items at the subject property:

- Replace the existing double-hung windows with aluminum-clad casement windows.
- Install shutters on the front (east) elevation.
- Remove an existing chimney at the rear (west) elevation.
- Construct a new two-story addition in the rear/left (southwest) corner of the house.
- Construct a colonnade at the rear (west) elevation.
- Reconstruct an existing octagonal bay on the rear (west) elevation.
- Construct new retaining walls and steps at the rear (west) side of the house.
- Construct a new patio at the rear (west) side of the house.

The applicant previously appeared before the Commission for a preliminary consultation at the January 8, 2020 HPC meeting with a proposal for a building addition and other alterations. The Commission expressed support for the applicant's proposal, due the house's setback and the relative lack of visibility and/or compatibility of the proposed addition and alterations.

The applicant has made several revisions to the previous proposal, including the slight relocation and/or alteration of fenestration and the increase of the footprint of the proposed two-story addition in the rear/left (southwest) corner of the house. At the January 8, 2020 preliminary consultation, the proposed addition was 21'-½" wide and 13'-10 ¾" deep, with a 3'-10 ¾" projection beyond the south (left) side of the house. In the current submission, the proposed addition is 21'-9 ½" wide and 14'-6" deep, with a 5' projection beyond the south (left) side of the house. Despite the increased overall footprint and projection, staff finds that the proposed addition will remain minimally visible from the public right-of-way, at most.

In accordance with the *Guidelines*, proposals for additions and alterations to Non-Contributing Resources should receive the most lenient level of design review. As stated, "[t]he only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole."

Staff supports the applicant's proposal, finding that the proposed work items will not affect the streetscape, landscape, or the character of the historic district as a whole, in accordance with the *Guidelines*. In accordance with the *Standards*, the proposal will not remove or alter character-defining features of the subject property or historic district.

After full and fair consideration of the applicant's submission staff finds the proposal, as revised, as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*, and *Chevy Chase Village Historic District Guidelines* outlined above.



**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for *Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:  
HAWP# 912321  
DATE ASSIGNED \_\_\_\_\_

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

**APPLICANT:**

Name: Allison Marvin  
Address: 10 Laurel Parkway  
Daytime Phone: 301-654-2027

E-mail: allison.marvin@gmail.com  
City: Chevy Chase, MD Zip: 20815  
Tax Account No.: 00455793

**AGENT/CONTACT (if applicable):**

Name: Martin Locraft c/o Fowlkes Studio  
Address: 1711 Connecticut Ave. NW, Suite 204  
Daytime Phone: 202-905-5913

E-mail: martin@fowlkesstudio.com  
City: Washington, DC Zip: 20009  
Contractor Registration No.: N/A

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property N/A

Is the Property Located within an Historic District? Yes/District Name Chevy Chase Village  
No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> New Construction    | <input checked="" type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence                          | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition          | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation  | <input type="checkbox"/> Roof                           | <input checked="" type="checkbox"/> Window/Door          |
|  |   | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Martin Locraft

2020-04-30

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing 2-1/2 story single family residence. Grade drops from south to north, and from east to west, creating a walk-out basement condition. Property backs up to Chevy Chase Club, and has an unimproved "paper street" to the north. Existing landscaping features include a rear patio and stone steps from the lower grade to an existing screened porch at the first floor level.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Existing screened porch is to be demolished and replaced with a new structure that includes a master bathroom above. Existing angled bay window in the dining room is to be replaced with a squared off, more contemporary version. A loggia is to be added at rear grade to create a covered gathering area off the existing basement. All windows in the house are to be replaced with French casement units, except in the master bedroom suite, where larger, fixed glazing is to be installed for views to the northwest. Additional work is to be done on the interior, including re-configuration of an office area and kids' bedrooms. Fixtures and finishes are to be replaced in the attic, but spaces are to remain the same.



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
*County Executive*

Mitra Pedoeem  
*Director*

## HAWP APPLICATION

Application Date: 4/30/2020

Application No: 912321  
AP Type: HISTORIC  
Customer No: 1370642

### Comments

In addition to the scope of work above, we propose to replace all existing windows with French casements. Interior renovation to include re-configuration of second floor. Structural modifications limited to rear wall of master suite and proposed addition at the southwest corner.

### Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner  
This application does not violate any covenants and deed restrictions

### Primary Applicant Information

Address 10 LAUREL PKWY  
CHEVY CHASE, MD 20815  
Othercontact Locraft (Primary)

### Historic Area Work Permit Details

Work Type ADD  
Scope of Work Addition to include re-build of existing screened porch with new master bathroom above, and new rear bay and window configurations within the master suite.



GENERAL NOTES

1. THE AIA "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, HEREINAFTER REFERRED TO AS "GENERAL CONDITIONS", IS HEREBY MADE PART OF THE CONTRACT DOCUMENTS, THE SAME AS IF BOUND HEREIN.

2. THESE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE PREPARED TO BE USED EXCLUSIVELY FOR THIS PROJECT. THESE CONTRACT DOCUMENTS ARE NOT TO BE USED BY ANY ENTITY FOR THE PURPOSES OF BIDDING, PRICING, PERMITTING, AND/OR CONSTRUCTION OF ANY OTHER PROJECT EXCEPT AS DELINEATED HEREIN NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE DESIGNER.

3. DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN DRAWINGS, CONTACT DESIGNER FOR RESOLUTION BEFORE PROCEEDING.

4. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISHED FACE OF CONSTRUCTION, EXCEPT AS NOTED.

5. FLOOR TOLERANCE: GC TO IMMEDIATELY VERIFY SLOPE AND REPORT ANY DEVIATION OVER A 1/4 INCH SLOPE IN 10 FEET TO THE DESIGNER PRIOR TO COMMENCING WORK. ANY LEVELING REQUIRED GREATER THAN 1 1/4 INCH SLOPE IN 10 FEET SHALL BE THE RESPONSIBILITY OF THE GC.

6. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF DESIGNER UNLESS NOTED (±).

7. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF LARGER SCOPE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.

8. CUT AND FIT COMPONENTS FOR ALTERATION OF EXISTING WORK AND INSTALLATION OF NEW WORK. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.

9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE RECEIVED PRIOR TO RELATED WORK BEING STARTED. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.

10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE CONTRACTOR AND SUB-CONTRACTOR SHALL COORDINATE AND SHOW THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS WITH THE DESIGNER IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.

11. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ALL MECHANICAL, TELEPHONE, ELECTRICAL AND PLUMBING (TO INCLUDE ALL PIPING, DUCT WORK, STRUCTURAL MEMBERS AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS IN CONFLICT SHALL BE DETERMINED AND REVIEWED WITH DESIGNER PRIOR TO PROCEEDING WITH CONSTRUCTION.

12. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS, INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS, METHODS, AND TRADES TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.

13. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATION AND INSTALLATION PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY DESIGNER, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.

14. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.

15. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

16. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNERS OR DESIGNER'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION; NOR WILL PRESENCE OF INSPECTORS ON WORK RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN REQUIRED TIME GUARANTEES, AS SPECIFIED IN THE CONSTRUCTION CONTRACT, SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

17. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDINGLY. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.

18. THE CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.

19. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER SYMBOL, TO TITLE OF A SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECTS AS THOUGH PRINTED IN CONTRACT DOCUMENTS.

20. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.

21. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY.

22. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNERS MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OF HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.

23. THE DESIGNER, ACTING AS THE OWNER'S DESIGNATED AGENT FOR DESIGN OF THIS PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE BY THE DESIGNER. THIS FUNCTION OF THE DESIGNER WILL APPLY BOTH TO CONTRACT AS INITIALLY SIGNED, AND TO THE CHANGES TO CONTRACT BY MODIFICATION DURING PROGRESS OF WORK.

24. ONLY WHERE INDICATED "EQUAL TO" OR "SUBSTITUTIONS" FOR SPECIFIED MATERIALS, OR FOR LONG LEAD TIME CONSIDERATION SHALL SUBSTITUTIONS BE CONSIDERED BY THE DESIGNER FOR ACCEPTANCE. REFERENCES TO MAKES, BRANDS, MODELS, ETC., IS TO ESTABLISH TYPE AND QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE WHEN MADE ACCORDINGLY TO PROCEDURES FOR SUBSTITUTIONS.

25. EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK, AND SCHEDULE WORK, TO MINIMIZE DISTURBANCES TO ADJACENT SPACES AND/OR STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.

26. ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS, WHEN POSSIBLE. UPON COMPLETION OF THE WORK, REMOVE ALL DEBRIS FROM THE BUILDING CREATED BY WORK PROVIDED UNDER THIS CONTRACT AND LEAVE ALL AREAS CLEAN.

MATERIAL SPECIFICATIONS

FOUNDATIONS:

- No footings shall be placed in water or frozen ground. Protect footings from frost after they are placed.
- At intersection between new and existing walls, step new footing to match existing. Drill and grout 2-#5 bars x 1'-6" into existing footing.
- Do not place fill against foundation walls unless adequately braced.
- Fill and backfill should be free of deleterious organic materials.
- All exterior footings shall be placed a minimum of 2'-0" below final grade.

CONCRETE MASONRY WORK:

- All concrete masonry shall conform to the "National Concrete Masonry Association" specifications and the Masonry Standards Joint Committee specifications.
- Concrete block work shall be of lightweight aggregate and conform to the following standards:
  - Solid Block: ASTM C90, Grade NI (F'm: 1900 PSI on gross area)
  - Hollow Block: ASTM C90, Grade NI (F'm: 1900 PSI on net area)
- Fill all voids solid in piers and directly under bearing locations and all below-grade foundation walls.
- Mortar shall be ASTM C270, Type M for below-grade and Type M or S for above-grade work.
- The net area compressive strength of new masonry assemblies, f'm, shall meet or exceed 1500 PSI.
- Unless noted otherwise, all grout shall be course-type, and shall meet ASTM C476-02 and its compressive shall exceed f'm or 2000 PSI, whichever is greater.
- Where grouted cells do not exceed 4" in diameter, fine grout shall be used.
- Horizontal reinforcing: #3 gauge truss type Duro-wall or equal, spaced @ 16" OC vertically and above lintels.
- Vertical reinforcing: #4 spaced at 48" OC and at the edges of all walls openings, intersections and corners.
- Provide fabricated corner sections at all corners and intersections.
- All block dimensions noted on structural plans are nominal dimensions.

WOOD STRUCTURAL PANEL SHEATHING:

- Provide structural, I-C-D plywood or structural OSB sheathing with bond classifications appropriate to the end use, "Exterior" (permanent exposure), or "Exposure I" (construction exposure only)
- Floor sheathing: nom 3/4" T&G plywood or OSB w/ nom 3/8" thick plywood or OSB, 3/4" span rating, APA Sturd-floor. Glue and screw sheathing to floor joists.
- All floor sheathing shall be glued and screwed to floor joists using an APA approved adhesive.
- Wall sheathing: Plywood or OSB, nom 5/8" thick 3/4" span rating.
- Roof sheathing: Plywood nom 3/4" thick, 3/4" span rating.
- Use Ply Clips or other edge support as required for sheathing.
- Leave 1/8" space at all plywood panel end joints and 1/2" space all plywood panel edge joints except when using T&G panels.
- Unless specified otherwise, wall sheathing shall be fastened to shearwall stud framing with 6d common nails @ 4" O.C. at each sheet perimeter and 12" OC elsewhere. Provide 2x6 blocking at all free edges.

FRAMING LUMBER

- Framing lumber shall have each piece grade stamped, shall be surface dry (except studs shall be kiln-dried) and shall conform to the following species and grade:
  - Plates and Joists: Hem-Fir #2 or Spruce-Pine-Fir #2
  - Beams, Girders and Headers: Hem-Fir #1 or Spruce-Pine-Fir #1
  - Studs and Plates: Hem-Fir stud grade or Spruce-Pine-Fir stud grade.
- Preservative-treated wood: Provide treated Southern Pine #2 lumber complying with ACO-D (Carbonate), Copper Azole (CA-8), or Sodium Borate (SDB) (DOT) with NaSC2) at all lumber in contact with concrete or masonry, or as otherwise indicated on architectural or structural drawings. ACZA treatment is not permitted. Treated lumber and/or plywood shall bear the label of an accredited agency showing 0.40 PCF retention. Where lumber and/or plywood is cut or drilled after treatment, the treated surface shall be field-treated with copper naphthenate (the concentration of which shall contain a minimum of 2% copper metal) by repeated brushing, dipping or soaking until the wood absorbs no more preservative.
- All wood framing including details for bridging, blocking, freestopping, etc., shall conform to the latest edition of the "National Design Specification for Wood Construction" and its supplements and shall be installed in accordance with the NFPA "Manual for House Framing."
- Fastening shall be in accordance with the most restrictive of: the International Building Code (latest edition), the 1992 CBO for 1 and 2 family dwellings, or the manufacturer's recommended fastening schedules.
- All flush framed connections shall be made with approved galvanized steel joist or beam hangers, minimum 18 gauge, installed according to manufacturer's recommendations.
- Stud bearing walls are to be 2x4 @ 16" OC at the interior and 2x6 @ 16" OC at the exterior unless otherwise noted on plan.
- Lap all plates at corners and at the intersection of partitions.
- Stagger all top and bottom plate splices a minimum of 32 inches.
- Use double studs @ ends of wall and ends of wall openings.
- At the ends of all beams, headers and girders provide a built up or solid post whose width is at least equal to the width of the member it is supporting and whose depth is 4" (nom.) at interior walls and 6" (nom.) at exterior walls.
- Use double trimmers and headers at all floor openings where beams are not designated.
- All light-gauge hangers supporting preservative-treated wood shall meet or exceed G185 (1.85 oz / 2 zinc per sq ft). Alternatively, stainless steel connectors may be used. Fasteners shall match the selected hanger finish and material.
- Where joist orientation is parallel to the exterior stud or foundation walls, provide full section blocking for 3 bays @ 4'-0" OC max. Where sheathing is not continuously fastened to top or bottom of joist, provide 18" GA x 11/2" x12 (min.) flat tension straps between aligned blocking members.
- All sill plates shall be PT and anchored to foundation walls with 1/2" diam headed anchor bolts (ASTM F1554) @ 4'-0" OC and within 12" of all sill plate splices. (Min 7" embed.).

ENERGY CONSERVATION

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED IN THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE:

INSULATION

ROOF:	R-49 (CLOSED CELL ICYNENE FOAM IN JOIST BAYS + 1" RIGID FOAM ON ROOF DECK)
FRAME WALLS:	R-20
FLOOR OVER UNCOND. SPACE:	R-19 (NA)
BASEMENT WALLS:	R-10
SLAB PERIMETER:	R-10, FOR DEPTH OF 2'
GLAZING:	U=0.35

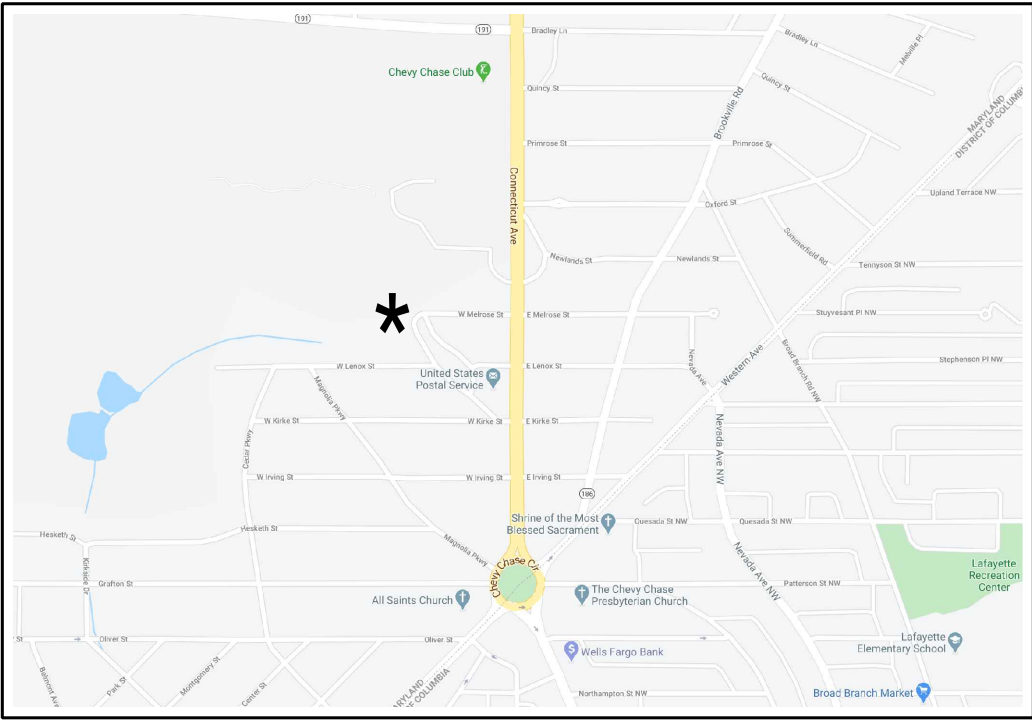
AIR INFILTRATION

WINDOWS: NOT TO EXCEED 0.5 CFM OF SASH CRACK.  
SWING DOORS: NOT TO EXCEED 1.25 CFM/SF OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES. FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINTS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FROM SEALER OR SIMILAR SEALANT.

TABLE R602.4.1.1  
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA <sup>a</sup>	INSULATION INSTALLATION CRITERIA
General Requirements	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope shall contain a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling / attic	The air barrier in any dropped ceiling/soffits shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to recessed/attic attic spaces shall be sealed.	The insulation in any dropped ceiling/soffits shall be aligned with the air barrier.
Walls	Junctions of the foundation and sill plate shall be sealed. Junctions of the top plate and top of exterior walls shall be sealed. Knee walls shall be sealed.	Corners and headers shall be insulated. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door joints and framing, and its light and framing shall be sealed.	Room joints shall be insulated.
Room joints	Room joints shall include the air barrier.	Insulation shall be installed to maintain permanent contact with underside of subfloor decking.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	When provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Direct shafts, utility penetrations, and fire shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and RC rated.
Plumbing and wiring		Plumbing insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower / tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical / phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes, or air sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Fireplace	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.



LOCATION MAP

2



EXTERIOR VIEW - FRONT

1

SCOPE OF WORK: INTERIOR RENOVATION OF EXISTING 2-1/2 STORY SINGLE-FAMILY DETACHED HOME, WITH ADDITION TO INCLUDE RE-BUILT SCREENED PORCH ON THE FIRST FLOOR AND NEW MASTER BATHROOM ON THE SECOND FLOOR

PROJECT DATA

10 LAUREL PARKWAY  
CHEVY CHASE, MD 20815

SQUARE LOT:	42
ZONING DISTRICT:	R-40
LOT AREA:	18
FLOORS:	12,287 SQ. FT.
CONSTRUCTION (EXISTING):	2-1/2 + BASEMENT
CONSTRUCTION (PROPOSED):	MASONRY AND WOOD FRAME
	NO CHANGE

TABLE OF CONTENTS

001	COVER SHEET
002	CONTEXT PHOTOS
CIV001	PROPOSED SITE PLAN
D000	DEMOLITION PLANS
A000	BASEMENT PLAN
A001	FIRST FLOOR PLAN
A002	SECOND FLOOR PLAN
A003	ATTIC PLAN
A004	ROOF PLAN
A100	EAST ELEVATION
A101	SOUTH ELEVATION
A102	WEST ELEVATION
A103	NORTH ELEVATION
A200	BUILDING SECTION
A500	DOOR & WINDOW SCHEDULES

APPLICABLE BUILDING CODES

2018 International Residential Code with Montgomery County Amendments  
2018 International Energy Conservation Code  
2015 International Existing Building Code  
2012 International Green Construction Code  
2018 International Mechanical Code  
2018 International Plumbing Code  
2012 International Property Maintenance Code  
2018 International Fuel Gas Code

HISTORIC PRESERVATION

HISTORIC DISTRICT: CHEVY CHASE VILLAGE (SECTION 2)

SEE SUPPORTING DOCS FOLDER FOR CORRESPONDENCE WITH THE VILLAGE MANAGER AND BOARD

FIRE PROTECTION / SMOKE ALARMS

IRC R314.4:  
SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND, WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.

IRC R313.2: EXCEPTION:  
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR ADDITIONS OR ALTERATIONS TO EXISTING BUILDINGS THAT ARE NOT ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM

LOCAL DESIGN LOAD CRITERIA

TYPE:	CRITERIA:
Live load - Floor or Roof Area	40 PSF
Ground and Non-drift Snow Load	30 PSF
Wind Speed (3 Sec Gust Method)	115 MPH
Short Period MAP Value	29.4% g
Frost Depth	30 in. / 610 mm
Earthquake Spectral Response Acceleration	at short periods: 0.1 at 1 second period: 0.053
Residential Seismic Design Category	B
Weathering Probability for Concrete	severe
Termite Infestation Probability	moderate to heavy
Decay Probability	slight to moderate
Ice Shield Underlayment Required	yes
Winter Design Temperature	13 degrees F / -10.6 degrees C
Air Freezing Index	300
Mean Annual Temperature	55 degrees F / 12.8 degrees C

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LAUREL PARKWAY

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Scope:

INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:

Allison & Chris Marvin  
10 Laurel Parkway  
Chevy Chase, MD 20815

Builder:

TBD

Issue Date:

2020 MARCH 27  
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2020 APRIL 30

PRELIMINARY FRAMING  
PRE-STRU. CLIENT CALL  
INTERNAL REVIEW  
UPDATED FRAMING  
FRAMING CHECK SET  
HAWP APPLICATION

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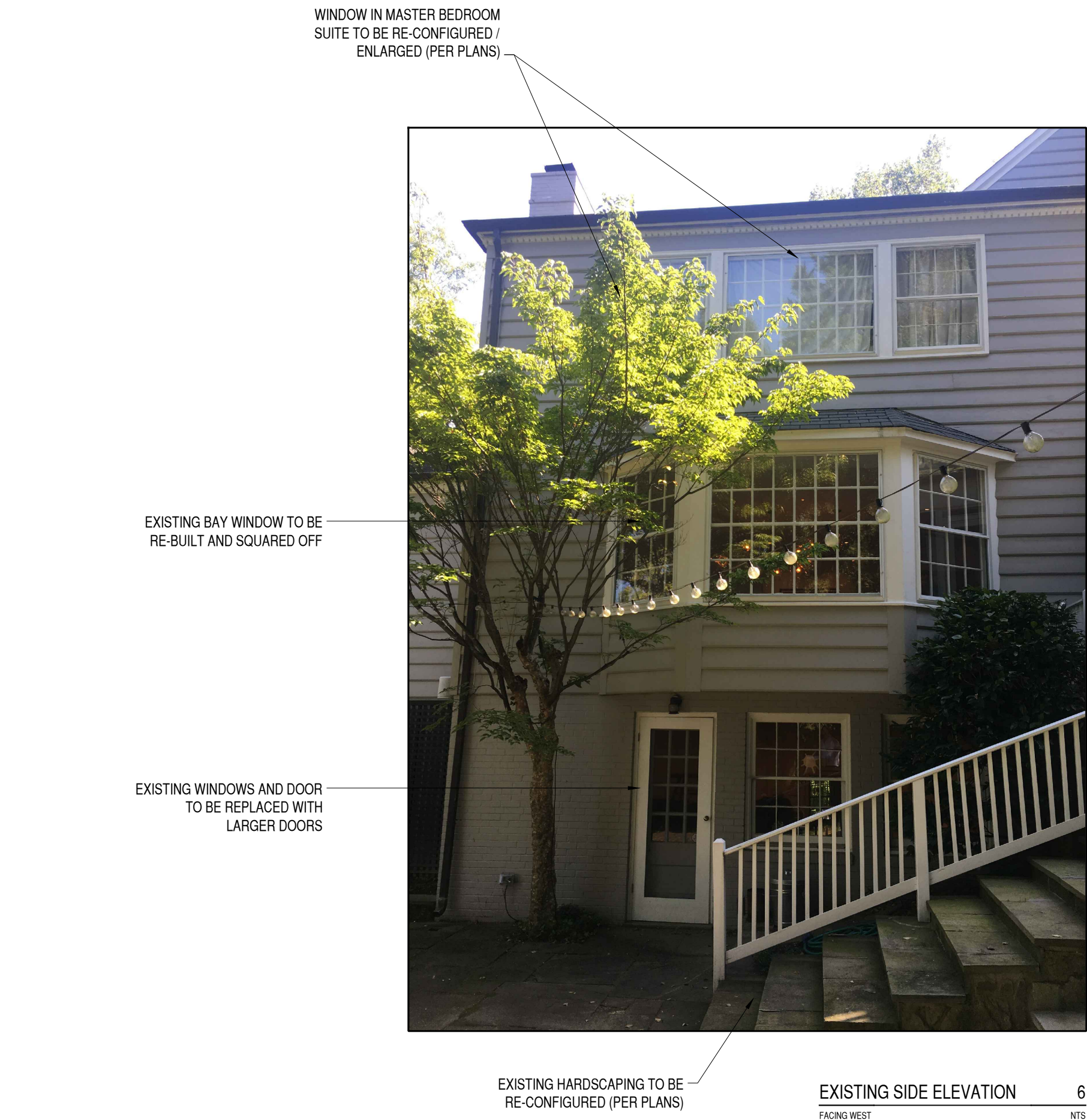
title:

COVER SHEET

number:

001





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## LAUREL PARKWAY

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### Scope:

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HAWP APPLICATION

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title: CONTEXT PHOTOS

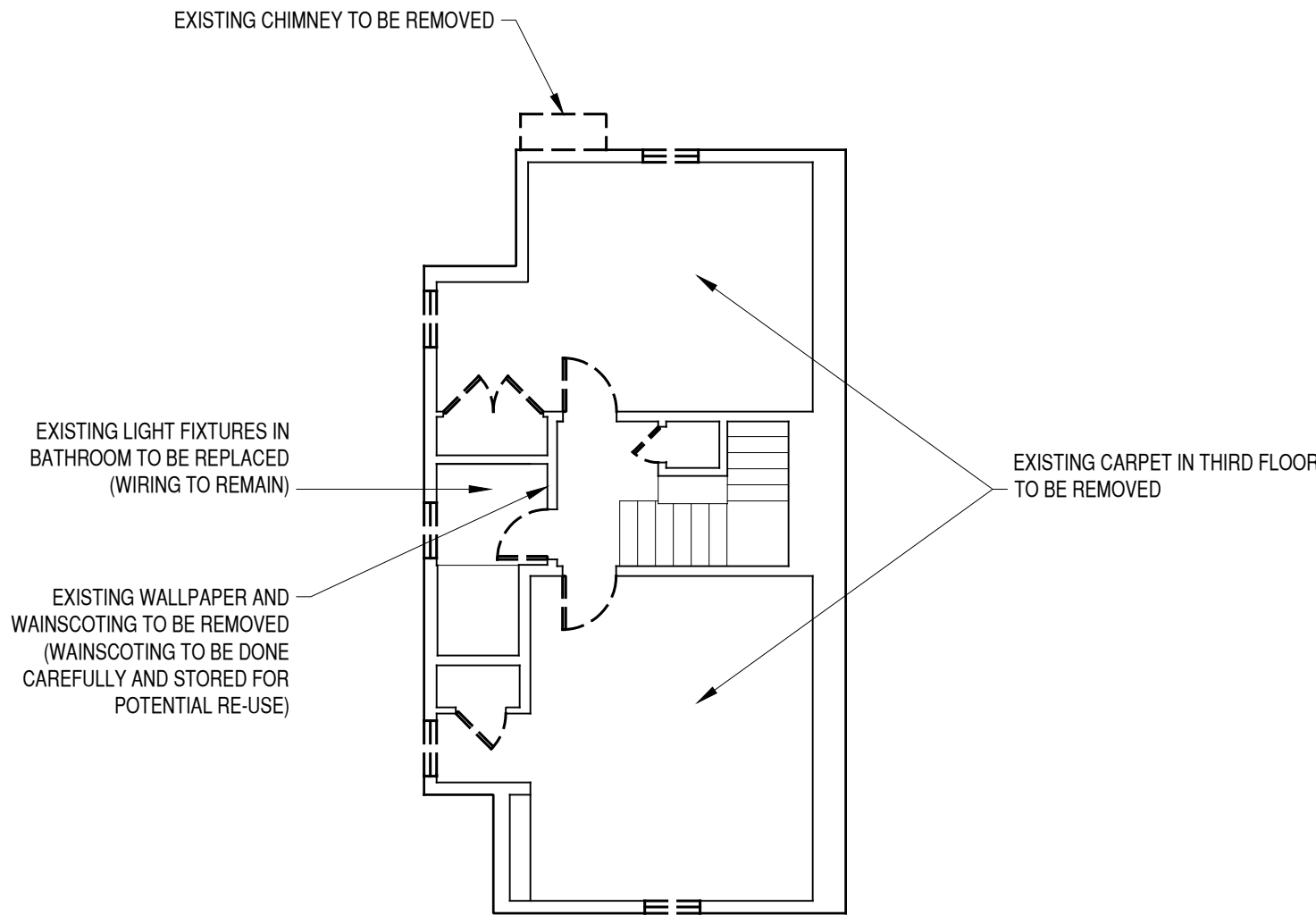
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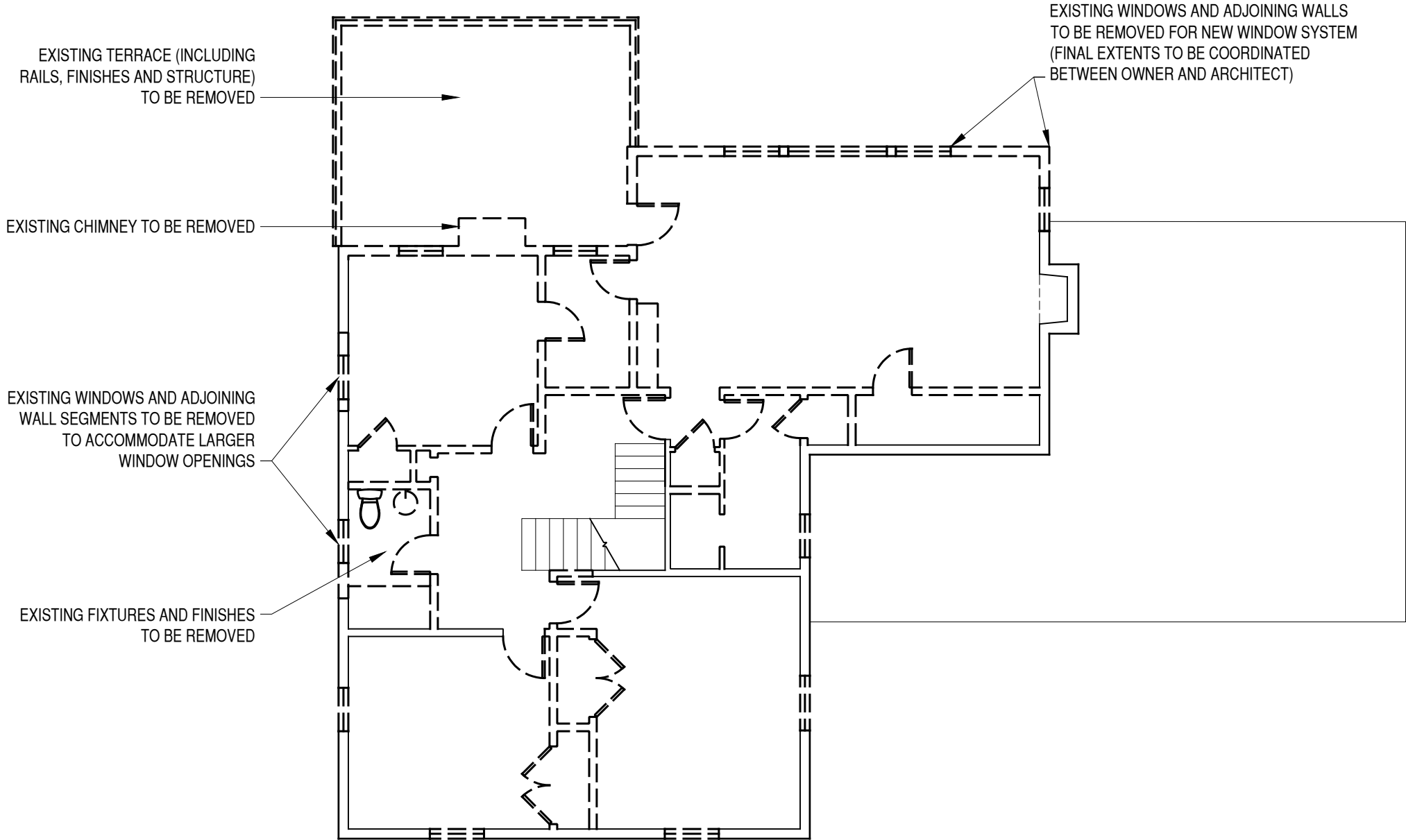


- DEMO NOTES
- TURN OFF ALL CIRCUITS AND REMOVE EXISTING LIGHT FIXTURES
  - TURN OFF ALL PLUMBING LINES
  - PROVIDE ALLOWANCE FOR RELOCATING DUCTWORK, ELECTRICAL OR PLUMBING IN WALLS SCHEDULED TO BE DEMOLISHED. INCLUDE MISC. PATCHING AND REPAIR FOR WALLS AND CEILINGS. BREAK OUT ALLOWANCE AS OUTLINED IN GENERAL CONDITIONS
  - USE PLASTIC DUST BARRIERS TO SEGREGATE THE WORK AREA FROM ANY LIVING SPACES NOT AFFECTED BY WORK. USE BLUE TAPE WHEN FIXING TO WALLS, CEILINGS OR EXISTING CABINETRY
  - FIX AIR CONDITIONER FILTERS OVER SUPPLY AND RETURN AIR VENTS IN AFFECTED AREAS TO MINIMIZE THE DISPERSAL OF DUST THROUGHOUT THE HOUSE
  - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AS WELL AS APPLIANCES, CABINETRY, CARPET AND PAD AS INDICATED
  - WHERE TRIM IS REMOVED OR WALLS DEMOLISHED, ADJOINING WALL AND CEILING SURFACES ARE TO BE MADE GOOD AND READY FOR PAINTING
  - WHERE EXTERIOR BRICK WALLS ARE REMOVED, ADJOINING WALLS ARE TO BE PATCHED, APPROPRIATELY WATERPROOFED AND RE-POINTED AS NECESSARY
  - ALL EXISTING WINDOWS TO BE REMOVED AND REPLACED UNLESS OTHERWISE NOTED
  - ALL INTERIOR DOORS AND FRAMES TO BE REMOVED AND REPLACED ON FLOORS 1-3, UNLESS OTHERWISE NOTED
  - CONTRACTOR RESPONSIBLE FOR SHORING UP ANY WALLS TO BE REMOVED THAT COMPROMISE BEARING CONDITIONS

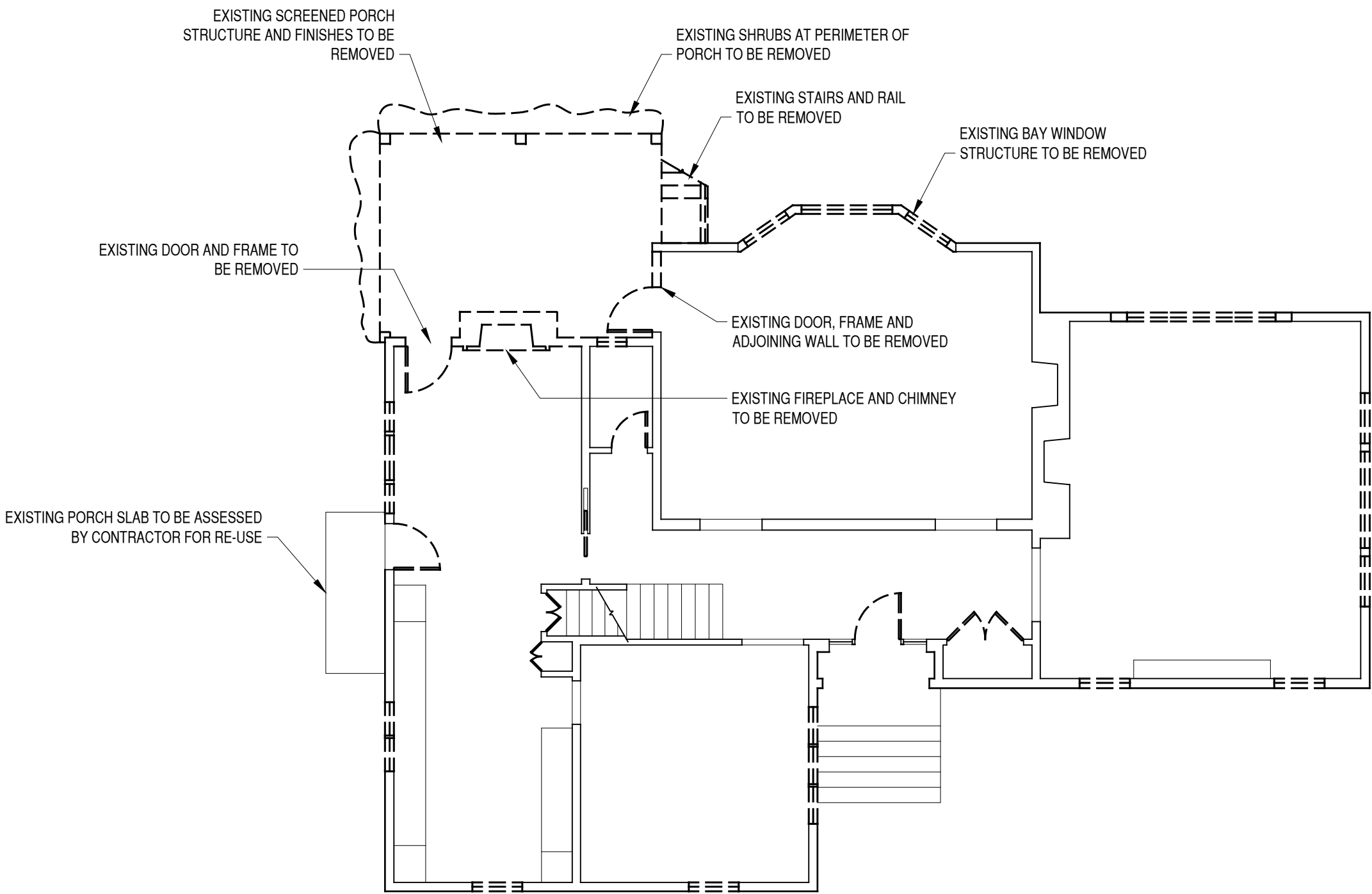
[---] WALLS TO BE REMOVED



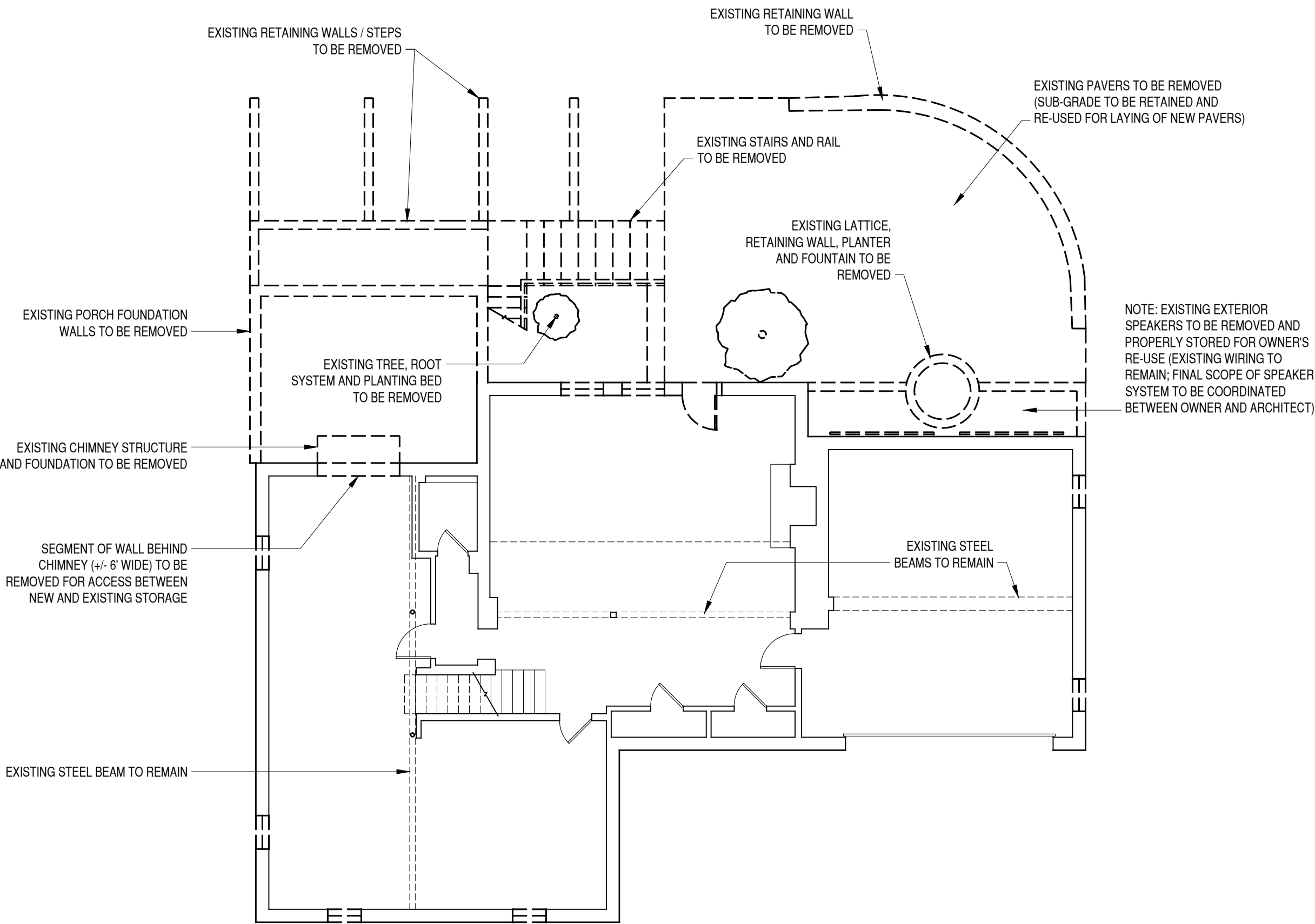
THIRD FLOOR  
DEMOLITION PLAN 1/8" = 1'-0" 4



SECOND FLOOR  
DEMOLITION PLAN 1/8" = 1'-0" 3



FIRST FLOOR  
DEMOLITION PLAN 1/8" = 1'-0" 2



BASEMENT  
DEMOLITION PLAN 1/8" = 1'-0" 1



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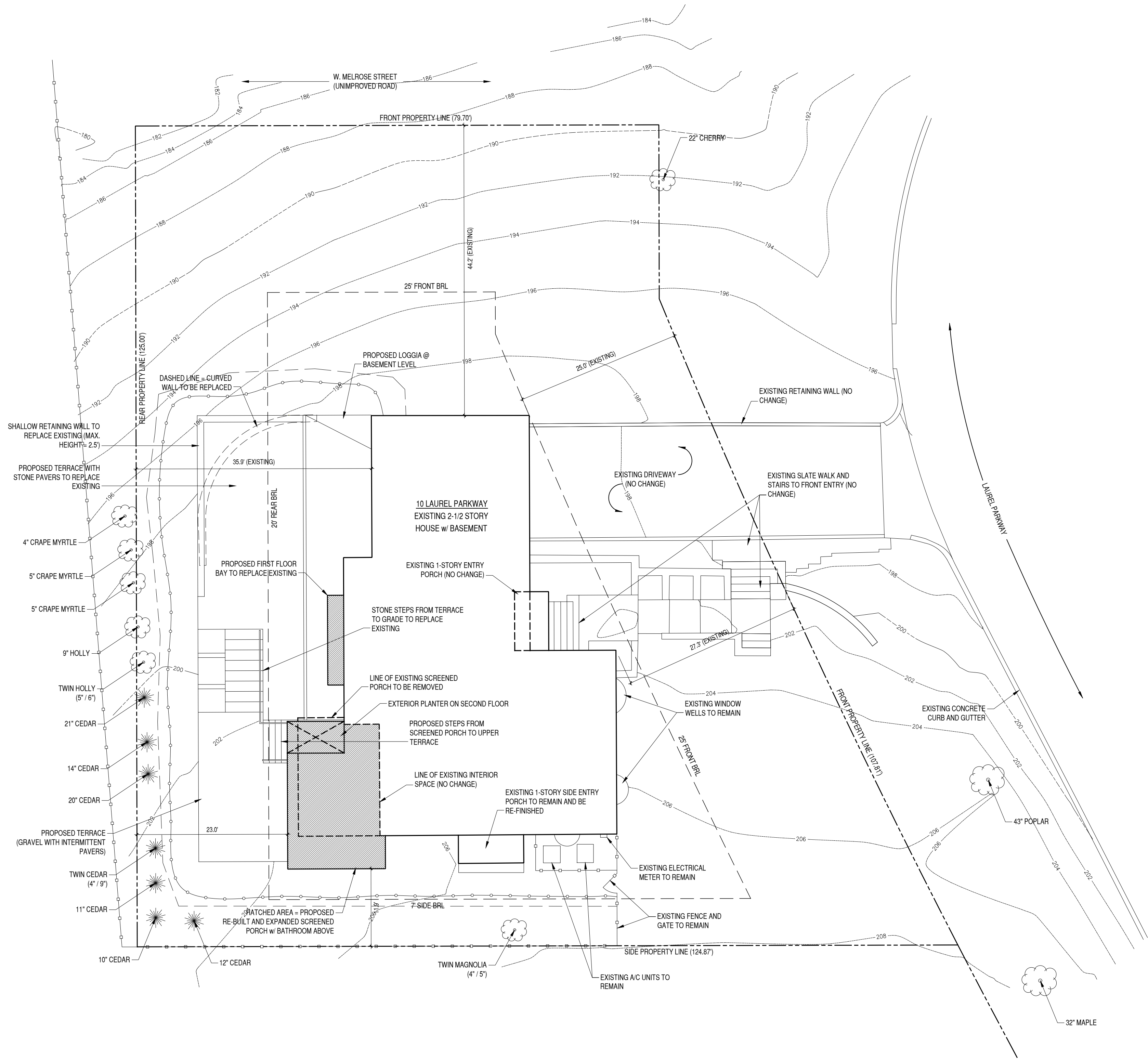
PRELIMINARY FRAMING  
PRE-STRU. CLIENT CALL  
INTERNAL REVIEW  
UPDATED FRAMING  
FRAMING CHECK SET  
HAWP APPLICATION

scale: 1/8" = 1'-0"

title: DEMOLITION PLANS

number:

D000



PROJECT NARRATIVE:

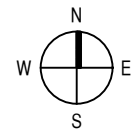
INTERIOR RENOVATION OF EXISTING 2-1/2 STORY SINGLE-FAMILY DETACHED HOME, WITH ADDITION TO INCLUDE RE-BUILT SCREENED PORCH ON THE FIRST FLOOR AND NEW MASTER BATHROOM ON THE SECOND FLOOR

LOT INFORMATION:

LOT SIZE: 12,287 SQ. FT.  
ALLOWABLE LOT COVERAGE: 2,912 SQ. FT. (23.7%)

EXISTING BUILDING FOOTPRINT: 2,238 SQ. FT.  
EXISTING BUILDING LOT OCCUPANCY: 18.2%  
PROPOSED BUILDING FOOTPRINT: 2,687 SQ. FT. (INCL. LOGGIA)  
PROPOSED BUILDING LOT OCCUPANCY: 21.9%

EXISTING BUILDING HEIGHT TO REMAIN UNCHANGED



KEY:

PROPERTY LINE

LIMIT OF DISTURBANCE

SILT FENCE

EXISTING FENCE

SITE PLAN

1

PROPOSED 1" = 10'-0"

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scale:

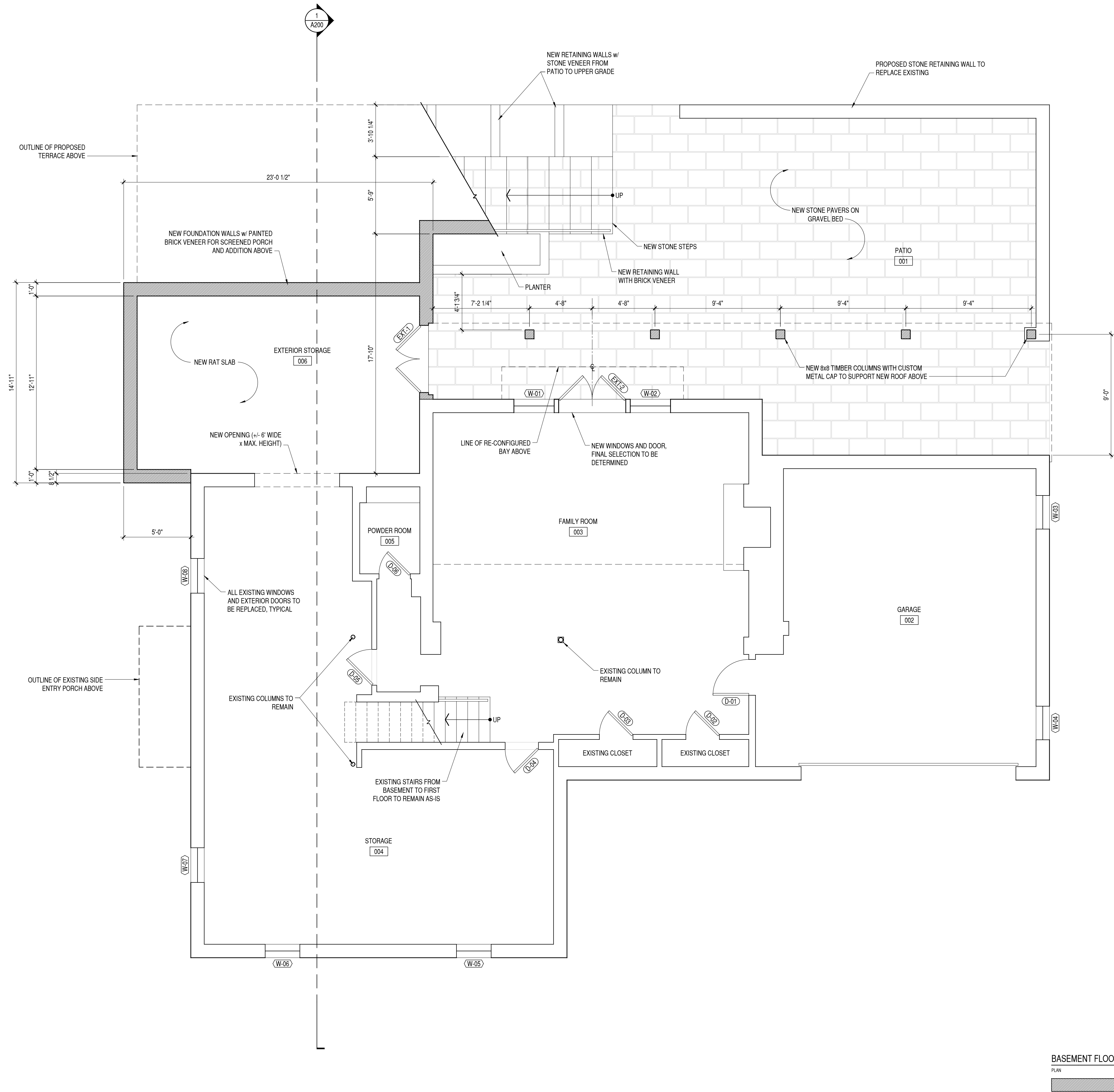
1" = 10'

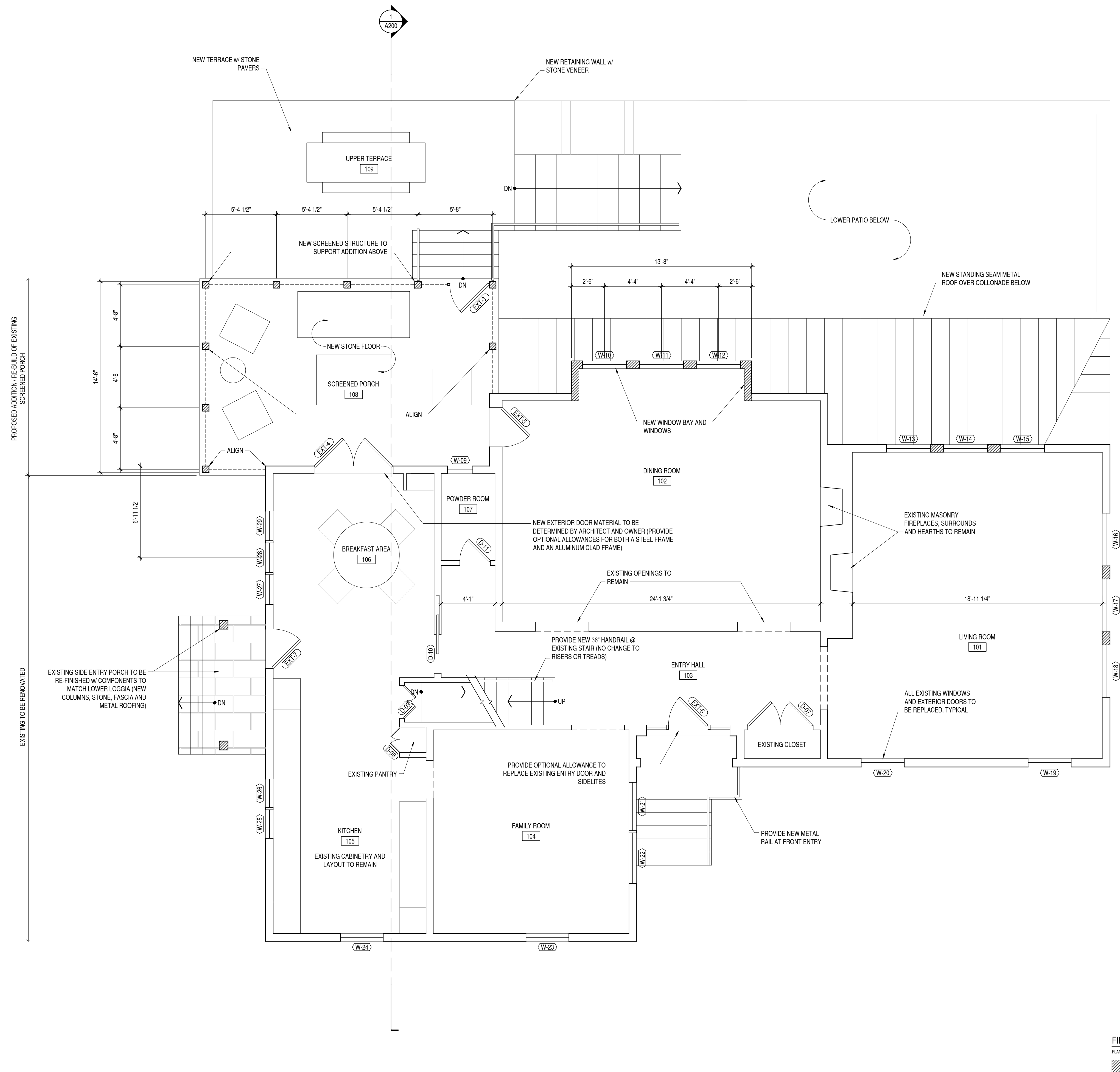
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SITE PLAN

number:

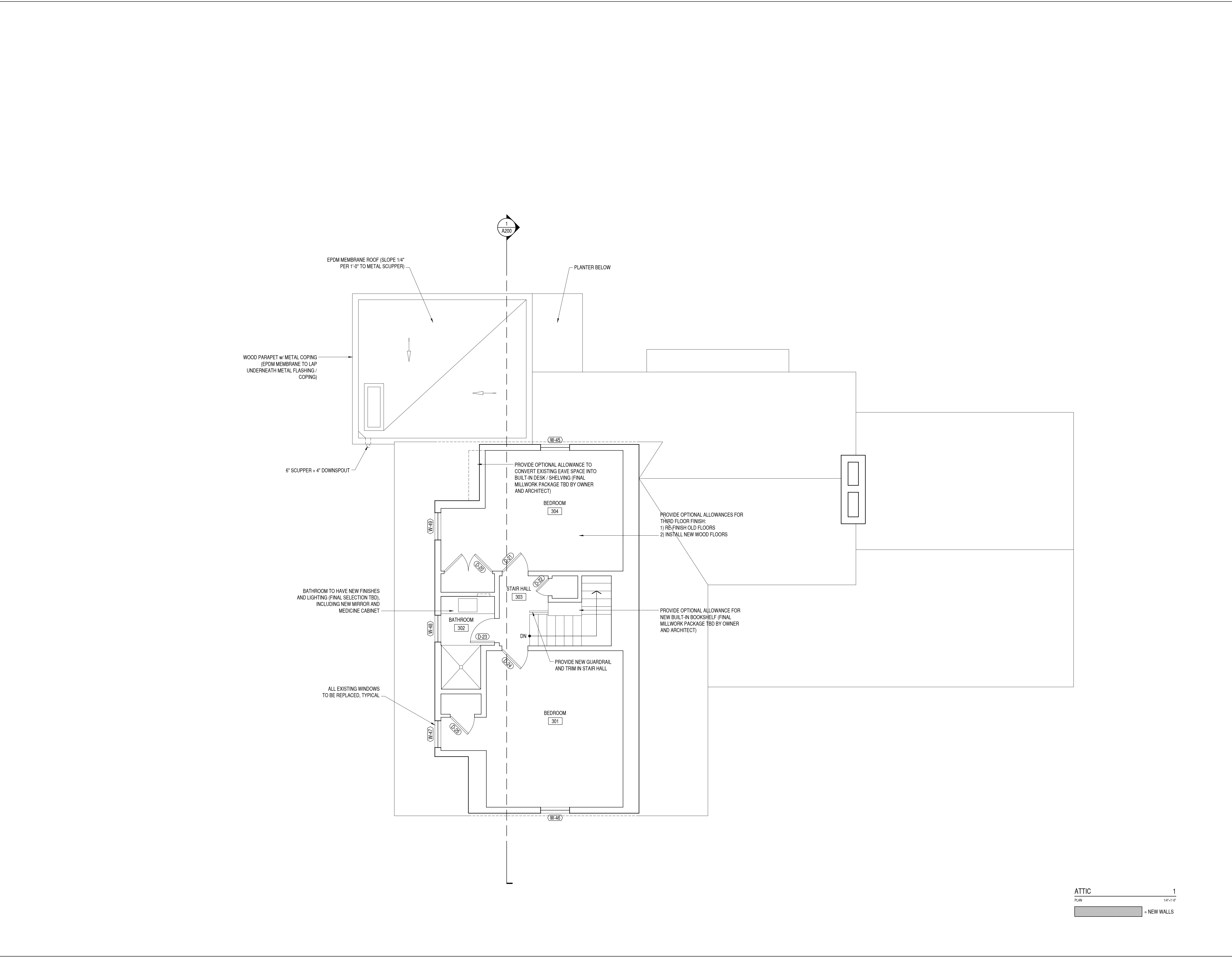
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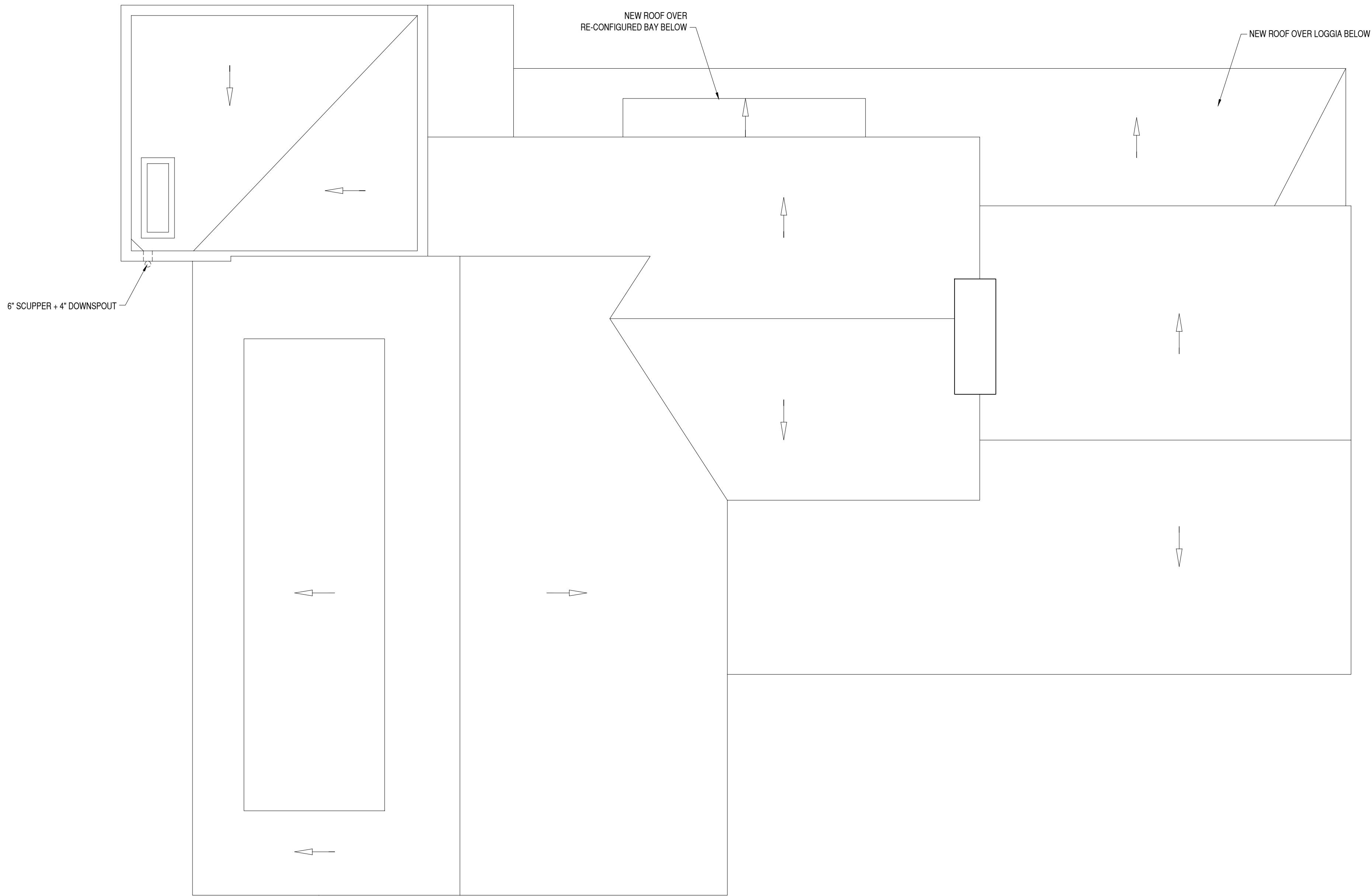




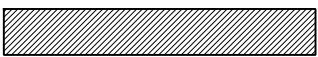








ROOF 1  
PLAN 1/4" = 1'-0"

 = NEW WALLS



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HAWP APPLICATION

scale: 1/4" = 1'-0"

title: ROOF PLAN

number:

A004



EAST FRONT ELEVATION 1  
PROPOSED 1/4"=1'-0"



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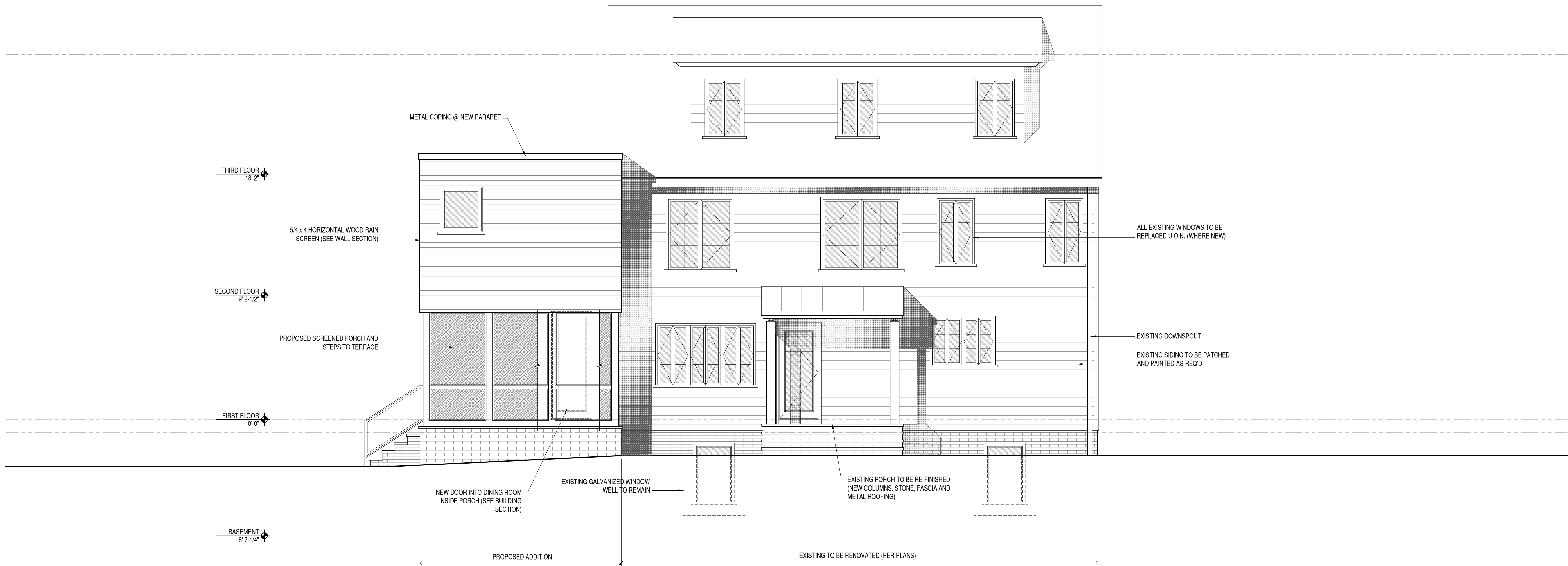
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title:

EAST ELEVATION

number:

A100



SOUTH / SIDE ELEVATION 1  
PROPOSED 1/4" = 1'-0"

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INTERNAL REVIEW  
UPDATED FRAMING  
FRAMING CHECK SET  
HAWP APPLICATION

scale:  
1/4" = 1'-0"

title:  
SOUTH ELEVATION

number:

A101





WEST / REAR ELEVATION 1  
PROPOSED 1/4" = 1'-0"

LAUREL PARKWAY

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PRE-STRU. CLIENT CALL  
INTERNAL REVIEW  
UPDATED FRAMING  
FRAMING CHECK SET  
HAWP APPLICATION

scale: 1/4" = 1'-0"

title:

WEST ELEVATION

number:

A102



NORTH / SIDE ELEVATION 1  
PROPOSED 1/4"=1'-0"



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Builder:

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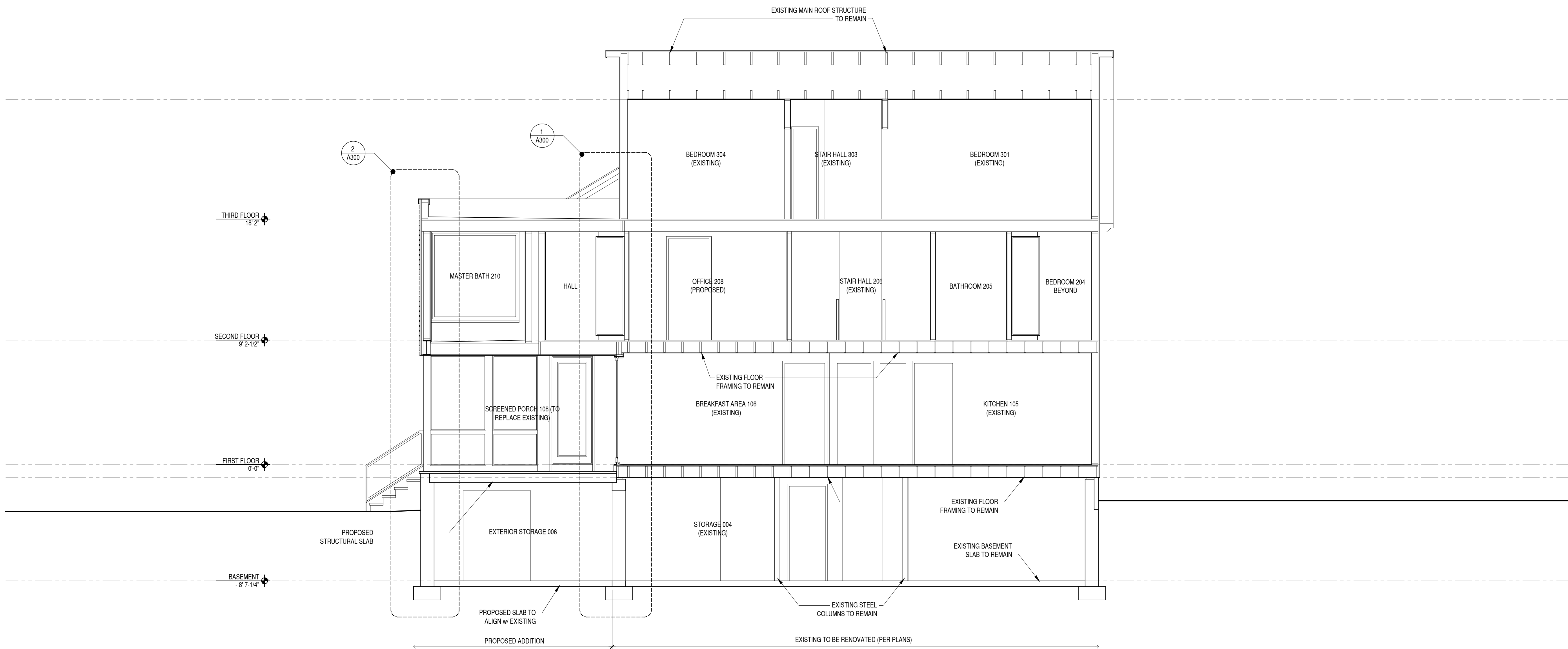
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PRE-STRU. CLIENT CALL  
INTERNAL REVIEW  
UPDATED FRAMING  
FRAMING CHECK SET  
HAWP APPLICATION

scale: 1/4" = 1'-0"

title: NORTH ELEVATION

number:

A103



SOUTH / SIDE ELEVATION 1  
PROPOSED 1/4"=1'-0"



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## LAUREL PARKWAY

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FRAMING CHECK SET  
HAWP APPLICATION

scale: 1/4" = 1'-0"

title:

BUILDING SECTION

number:

A200



WINDOW & EXTERIOR DOOR SCHEDULE											
NO.	LOCATION	TYPE	UNIT SIZE		SILL A.F.F.	FINISH/COLOR	MANUFACTURER	U VALUE	SHGC	EX. OPENING (V.I.F.)	NOTES
			WIDTH	HEIGHT							
W-01	Family Room 003	Fixed	3'-0"	7'-0"	0'-0"	Alum. Clad / Black	Loewen	0.31	0.19		Sidelite
W-02	Family Room 003	Fixed	3'-0"	7'-0"	0'-0"	Alum. Clad / Black	Loewen	0.31	0.19		Sidelite
W-03	Garage 002	Fixed	2'-7"	4'-4 1/2"	2'-10"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-04	Garage 002	Fixed	2'-7"	4'-4 1/2"	2'-10"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-05	Storage 004	Fixed	2'-7"	4'-4 1/2"	2'-6"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-06	Storage 004	Fixed	2'-7"	4'-4 1/2"	2'-6"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-07	Storage 004	Fixed	2'-7"	4'-4 1/2"	2'-6"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-08	Storage 004	Fixed	2'-7"	4'-4 1/2"	2'-6"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-09	Powder Room 107	Casement	1'-11"	4'-4 1/2"	2'-7"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-10	Dining Room 102	French Casement	3'-4"	6'-1"	1'-4 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-11	Dining Room 102	French Casement	3'-4"	6'-1"	1'-4 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-12	Dining Room 102	French Casement	3'-4"	6'-1"	1'-4 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-13	Living Room 101	French Casement	3'-4"	5'-2"	2'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-14	Living Room 101	French Casement	3'-4"	5'-2"	2'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-15	Living Room 101	French Casement	3'-4"	5'-2"	2'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-16	Living Room 101	French Casement	4'-0"	6'-0"	1'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-17	Living Room 101	French Casement	4'-0"	6'-0"	1'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-18	Living Room 101	French Casement	4'-0"	6'-0"	1'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-19	Living Room 101	French Casement	3'-3"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-20	Living Room 101	French Casement	3'-3"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-21	Family Room 104	French Casement	3'-10"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19		
W-22	Family Room 104	French Casement	3'-10"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19		
W-23	Family Room 104	French Casement	3'-3"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-24	Kitchen 105	French Casement	3'-3"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-25	Kitchen 105	French Casement	2'-2"	3'-5 1/2"	4'-0 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-26	Kitchen 105	French Casement	2'-2"	3'-5 1/2"	4'-0 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-27	Breakfast Area 106	French Casement	2'-3"	4'-5"	2'-6 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-28	Breakfast Area 106	French Casement	2'-3"	4'-5"	2'-6 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-29	Breakfast Area 106	French Casement	2'-3"	4'-5"	2'-6 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-30	Master Bath 210	Fixed	6'-5"	6'-6"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-31	Master Hall 207	Casement (inswing?)	3'-10"	6'-6"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-32	Master Hall 207	Fixed	5'-5"	6'-0"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-33	Master Suite 201	Fixed	5'-5"	6'-0"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-34	Master Suite 201	Fixed	5'-5"	6'-0"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-35	Master Suite 201	Casement	5'-2"	6'-0"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Egress
W-36	Laundry 203	French Casement	2'-7"	3'-5"	3'-4 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-37	Bedroom 204	French Casement	3'-3"	4'-4 1/2"	2'-5 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-38	Bedroom 204	French Casement	3'-3"	4'-4 1/2"	2'-5 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-39	Bedroom 204	French Casement	3'-3"	4'-4 1/2"	2'-5 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-40	Bedroom 204	French Casement	2'-5"	4'-8"	2'-3"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-41	Bathroom 205	French Casement	2'-5"	4'-8"	2'-3"	Alum. Clad / Black	Loewen	0.31	0.19		
W-42	Stair Hall 206	French Casement	5'-8"	5'-2"	1'-10"	Alum. Clad / Black	Loewen	0.31	0.19		
W-43	Office 208	French Casement	4'-8"	5'-2"	1'-10"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-44	Master Bath 210	Fixed	3'-2"	3'-4"	4'-8"	Alum. Clad / Black	Loewen	0.31	0.19		
W-45	Bedroom 304	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	Egress
W-46	Bedroom 301	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	Egress
W-47	Bedroom 301	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	Tempered glazing
W-48	Bathroom 302	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-49	Bedroom 304	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
EXT-1	Exterior Storage 006	Double Inswing	5'-0"	6'-8"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		
EXT-2	Family Room 003	Double Outswing	5'-0"	7'-0"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		
EXT-3	Screened Porch 108	Inswing	3'-0"	8'-5"	N/A	Alum. Clad / Black	Custom	0.31	0.19		Screened door
EXT-4	Breakfast Area 106	Double Outswing	6'-0"	8'-0"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		
EXT-5	Dining Room 102	Inswing	3'-0"	8'-0"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		
EXT-6	Entry Hall 103	Inswing	6'-4"	7'-0"	N/A	Mahogany	Custom	0.31	0.19		**Includes sidelites, VIF**
EXT-7	Breakfast Area 106	Inswing	3'-0"	7'-0"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		
NOTE: ALL WINDOW AND DOOR SIZES TO BE REVIEWED WITH ARCHITECT. UNITS NOT LISTED ARE EXISTING AND ARE TO REMAIN AS-IS.											

INTERIOR DOOR SCHEDULE											
NO.	LOCATION	TYPE	SWING	SIZE		MANUFACTURER	MATERIAL	FINISH	HDWR	SPECIFICATION	NOTES
				WIDTH	HEIGHT						
D-01	Family Room 003	Single	In	2'-8"	7'-0"	TruStile or eq.	Solid Core	Painted			
D-02	Family Room 003 Closet	Single	Out	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-03	Family Room 003 Closet	Single	Out	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-04	Storage 004	Single	In	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-05	Storage 004	Single	In	2'-8"	7'-0"	TruStile or eq.	Wood	Painted			
D-06	Powder Room 007	Single	In	2'-4"	7'-0"	TruStile or eq.	Wood	Painted			
D-07	Entry Hall 103 Closet	Double	Out	5'-0"	7'-6"	TruStile or eq.	Wood	Painted			
D-08	Kitchen 107 Pantry	Double	Out	1'-11"	7'-6"	TruStile or eq.	Wood	Painted			Millwork?
D-09	Kitchen 107 Stair Access	Double	In	2'-6"	7'-6"	TruStile or eq.	Wood	Painted			
D-10	Breakfast Space 106	Single Pocket	N/A	3'-0"	7'-6"	TruStile or eq.	Wood	Painted			
D-11	Powder Room 107	Single	In	2'-4"	7'-6"	TruStile or eq.	Wood	Painted			
D-12	Master Hall 207	Single Barn	N/A	5'-2"	8'-0"	TruStile or eq.	Wood	Painted			Full-height and full hall width (VIF)
D-13	Master Suite 201	Single Pocket	N/A	3'-8"	8'-0"	TruStile or eq.	Wood	Painted			Full-height and full hall width (VIF)
D-14	Laundry 204	Single	In	2'-10"	7'-6"	TruStile or eq.	Wood	Painted			
D-15	Bedroom 204	Single	In	2'-8"	7'-6"	TruStile or eq.	Wood	Painted			
D-16	Bathroom 205	Single	In	2'-6"	7'-6"	TruStile or eq.	Wood	Painted			
D-17	Office 208	Single Pocket	N/A	3'-0"	7'-6"	TruStile or eq.	Wood	Painted			
D-18	Bathroom 209	Single	In	2'-6"	7'-6"	TruStile or eq.	Wood	Painted			
D-19	Master Bathroom 210	Single	In	2'-4"	7'-6"	TruStile or eq.	Wood	Painted			
D-20	Bedroom 304 Closet	Double	Out	4'-8"	7'-0"	TruStile or eq.	Wood	Painted			
D-21	Bedroom 304	Single	In	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-22	Stair Hall 303 Closet	Single	Out	1'-8"	7'-0"	TruStile or eq.	Wood	Painted			
D-23	Bathroom 302	Single	In	2'-4"	7'-0"	TruStile or eq.	Wood	Painted			
D-24	Bedroom 301	Single	In	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-25	Bedroom 301 Closet	Single	Out	2'-4"	7'-0"	TruStile or eq.	Wood	Painted			
NOTE: INTERIOR DOORS NOT REMAINING IN EXISTING LOCATIONS TO BE SALVAGED AND RE-USED ELSEWHERE, IF POSSIBLE.											
ALL INTERIOR DOORS TO BE ORDERED UNBORED											



LAUREL PARKWAY

10 LAUREL PARKWAY  
CHEVY CHASE, MARYLAND 20815

Scope:  
  
INTERIOR RENOVATION OF EXISTING 2-STORY  
SINGLE-FAMILY DETACHED HOME TO INCLUDE  
SCREENED PORCH ADDITION

Owner:  
  
Allison & Chris Marvin  
10 Laurel Parkway  
Chevy Chase, MD 20815

Builder:  
  
TBD

Issue Date:  
  
2020 MARCH 27  
2020 MARCH 31  
2020 APRIL 10  
2020 APRIL 21  
2020 APRIL 28  
2020 APRIL 30  
  
PRELIMINARY FRAMING  
PRE-STRU. CLIENT CALL  
INTERNAL REVIEW  
UPDATED FRAMING  
FRAMING CHECK SET  
HAWP APPLICATION

scale:  
  
NONE

title:  
  
DOOR & WINDOW  
SCHEDULES

number:

A500