

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	2309 Linden Lane, Silver Spring	<b>Meeting Date:</b>	4/22/2020
<b>Resource:</b>	Contributing Resource (Linden Historic District)	<b>Report Date:</b>	4/15/2020
<b>Applicant:</b>	Hibash Chabuk (Paul Treseder, Architect)	<b>Public Notice:</b>	4/8/2020
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	36/02-20A	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Accessory structure addition		

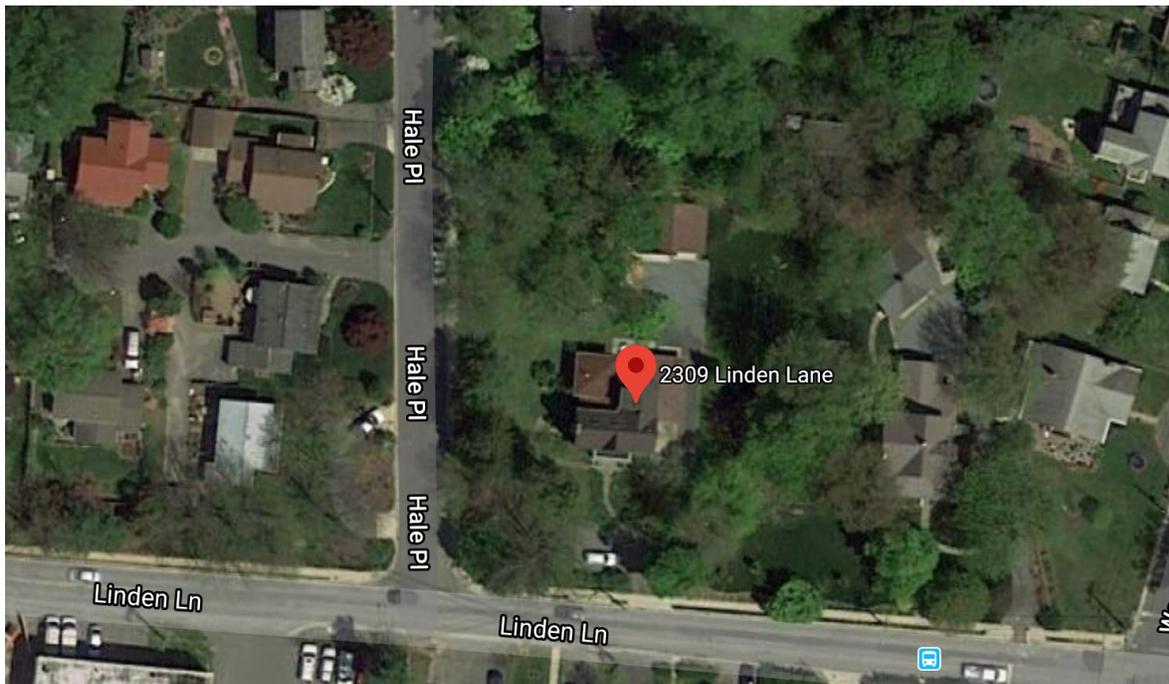
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**STAFF RECOMMENDATION:**

Staff recommends that the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Linden Historic District  
**STYLE:** Vernacular Gothic  
**DATE:** c. 1893



*Fig. 1: Subject property.*

**PROPOSAL:**

The applicant proposes to construct a 133 sf addition to an existing 660 sf garage, which was constructed in 2015.

**APPLICABLE GUIDELINES:**

In accordance with the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), the Commission uses several documents to assist it in developing its decision when reviewing a Historic Area Work Permit application for an undertaking within the Clarksburg Historic District. As established by section 1.5 of the Regulations, these documents include *section 24A-8 of the Montgomery County Code* (Chapter 24A), the *Secretary of the Interior's Standards and Guidelines for Rehabilitation (Standards)*, the guidance provided in the *Approved and Adopted Clarksburg Master Plan & Hyattstown Special Study Area (Clarksburg Master Plan)*, and the *Vision of Clarksburg: A Long Range Preservation Plan (Vision)*. The pertinent information in these documents is outlined below.

**Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

***Secretary of Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**STAFF DISCUSSION:**

The subject property is a c. 1893 Vernacular Gothic-style house within the Linden Historic District. The house is on a corner lot, fronting on Linden Lane to the south and with Hale Place to the west (left). There is an existing 660 sf garage in the northeast (rear/right) corner of the property, which was constructed in 2015. The applicants propose to construct a 133 sf addition at the west (left) side of the garage, resulting in a 793 sf garage. The proposed garage addition will have wooden German lap siding, wood SDL windows, and a standing seam metal roof to match the existing garage.

Staff supports the applicants' proposal, finding that the proposal will not remove or alter character-defining features of the subject property, in accordance with *Standards #2*. Additionally, the proposed addition would not result in an outbuilding that would be out of size, scale, or character with the existing house or surrounding District in conformance with *Standard #9*.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#9* outlined above.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#9*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: paul.tresedor@verizon.net Contact Person: PAUL TRESEDER  
Daytime Phone No.: 301-367-2190

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: H. BASM CHABUK Daytime Phone No.: 301-254-5607  
Address: 2309 LINDEN LAKE SILVER SPRING MD 20910  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: PAUL TRESEDER Daytime Phone No.: 301-367-2190

**LOCATION OF BUILDING/PREMISE**

House Number: 2309 ~~LINDEN LAKE~~ Street: LINDEN LAKE  
Town/City: SILVER SPRING Nearest Cross Street: HALE PLACE  
Lot: 27 Block: 4 Subdivision: LINDEN FOREST  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT/ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |   |                                  |   |  |                                    |   |  |                               |                               |
|---|----------------------------------|---|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable      | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____             |  |                               |                               |

1B Construction cost estimate: \$ 35,000  
1C If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent  
MARCH 5, 2020 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

907209

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*SEE ATTACHED PAGE*

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- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*SEE ATTACHED PAGE*

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

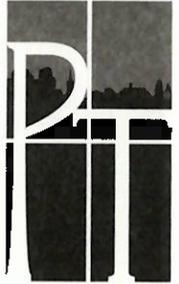
**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>          H. BASRI CHABUK          2309 LINDEN LANE          SILVER SPRING, MD. 20910</p>	<p><b>Owner's Agent's mailing address</b>          PAUL TRESEDER          6320 WISCASSET RD.          BETHESDA, MD. 20816</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>JANE BROWN          2303 LINDEN LANE          SILVER SPRING, MD. 20910</p>	<p>JUDY NELSON          2308 LINDEN LANE          SILVER SPRING, MD. 20910</p>
<p>WILLIE &amp; CARRIE PARHAM          2310 LINDEN LANE          SILVER SPRING, MD. 20910</p>	<p>H. BASRI CHABUK          2306 LINDEN LANE          SILVER SPRING, MD. 20910</p>
<p>SUE PRESLEY          9400 HALE PLACE          SILVER SPRING, MD 20910</p>	<p>PATRICK &amp; SUSAN BANE          9402 HALE PLACE          SILVER SPRING, MD. 20910</p>
<p>DENA LEIBMAN &amp;          JOANNA TORES          9407 HALE PLACE          SILVER SPRING, MD 20910</p>	<p>SALAR SIABEL          9412 HALE PLACE          SILVER SPRING, MD. 20910</p>



## HAWP application for 2309 Linden Lane, Silver Spring, Maryland

### 1. Description of the resource and its environmental setting

The existing house is a contributing resource in the Linden Lane historic district. It sits on a large 22,480 SF corner lot, facing Linden Lane. The original 2 story house was built around 1900, and was expanded with one story additions on the side and rear in 2008 (HPC case #36/02-08A). A freestanding garage/workshop was added in the rear corner of the lot in 2015 (HPC case # \_\_\_\_\_), with architectural elements referencing the original house. (HAWP # 694459)

### 2. Proposed work

The owner is proposing to expand the garage in the corner of the lot with an ell on the west side of the main structure, with a gable facing Hale Place. This addition contains a bathroom and small kitchen, to enable the building to be used as an in-law apartment. The original garage is 660 SF, and the proposed addition is 133 SF for a total of 793 SF. This proposed footprint is 41% of the footprint of the main house. The height to the ridge of the existing garage is 20', and the height to the top of the ridge of the addition is 18'. The roof of the addition is designed to match the pitch and material of the main garage. The eave/gutter line of the ell is also slightly lower than that of the garage, to indicate its subordinate character. The siding of the addition will be yellow pine German lap, matching the garage. The windows will be wood, double hung, with simulated divided lites. (The west window will be re-used from the existing west wall of the garage).

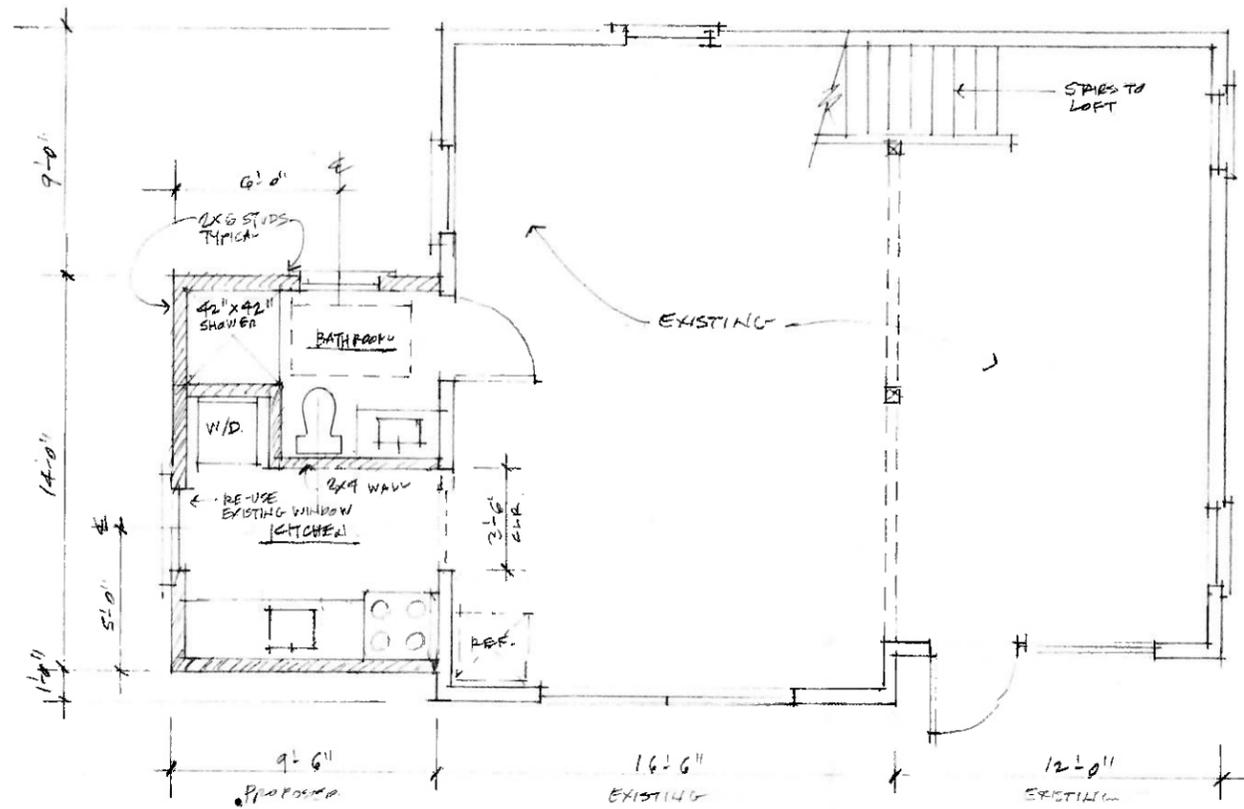




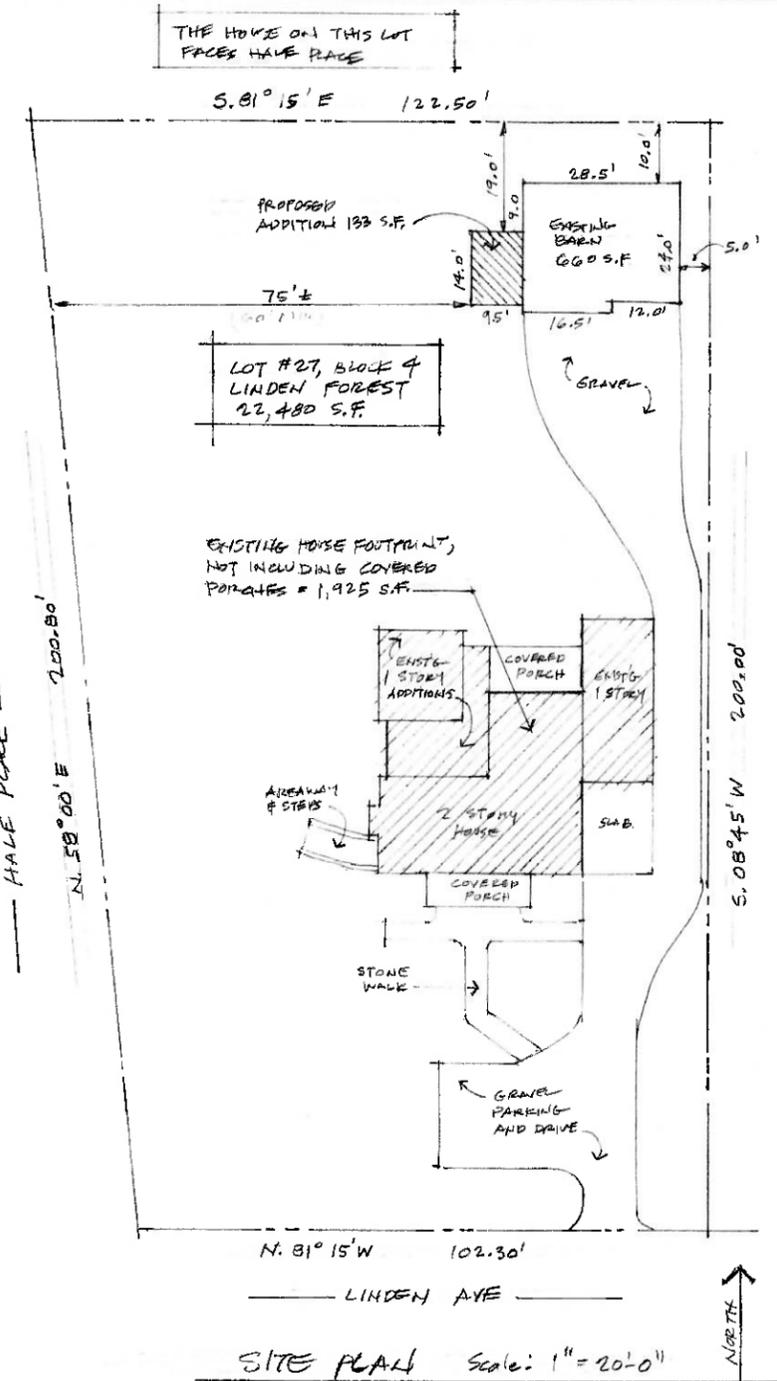








FLOOR PLAN Scale: 1/4" = 1'-0"



SITE PLAN Scale: 1" = 20'-0"

ZONING NOTES

1. THE HEIGHT TO THE RIDGE OF THE ADDITION IS 18.0' (SEE SH.#3)
2. THE FOOTPRINT OF THE PROPOSED ADDITION PLUS THE EXISTING ACCESSORY STRUCTURE = 793 SF, WHICH IS 4% OF THE FOOTPRINT OF THE MAIN STRUCTURE.
3. THE PROPOSED TOTAL LOT COVERAGE OF THE MAIN STRUCTURE AND ACCESSORY STRUCTURE, NOT INCLUDING PORCHES, IS 12%.
4. SETBACKS AS NOTED ON SITE PLAN ABOVE.

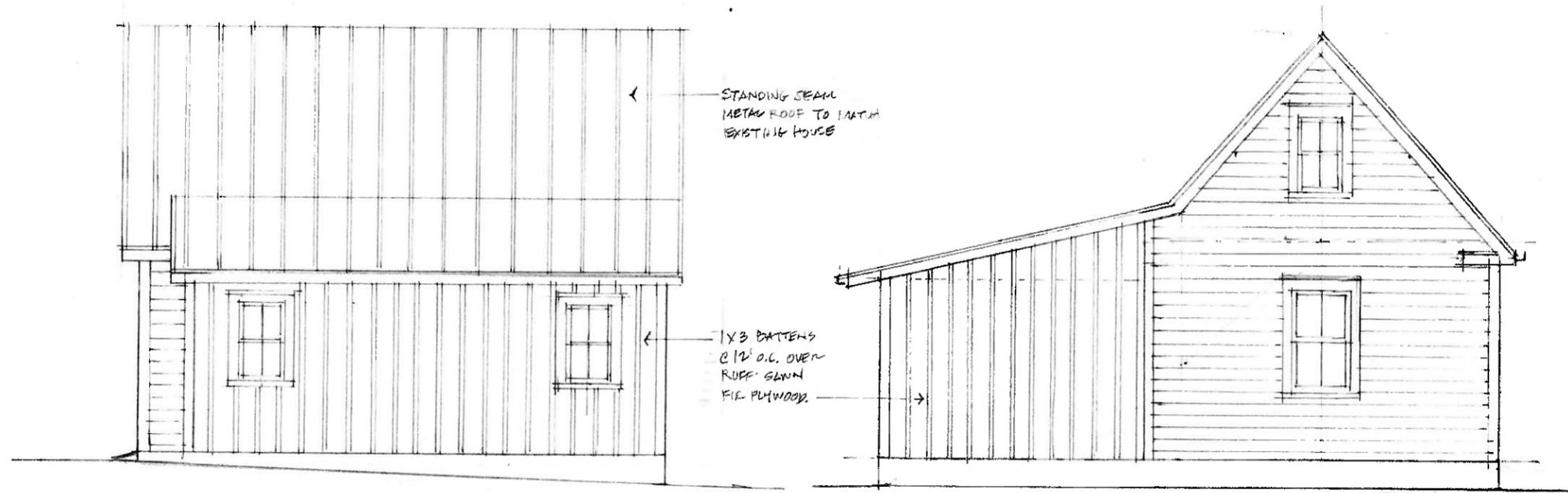
GARAGE EXTENSION FOR  
2309 LINDEN LAKE, SILVER SPRING, MD.



6320 Wilcassee Road  
Bethesda, MD 20816  
301-320-1580  
Fax - 301-320-1581  
Paul.Treseder@verizon.net

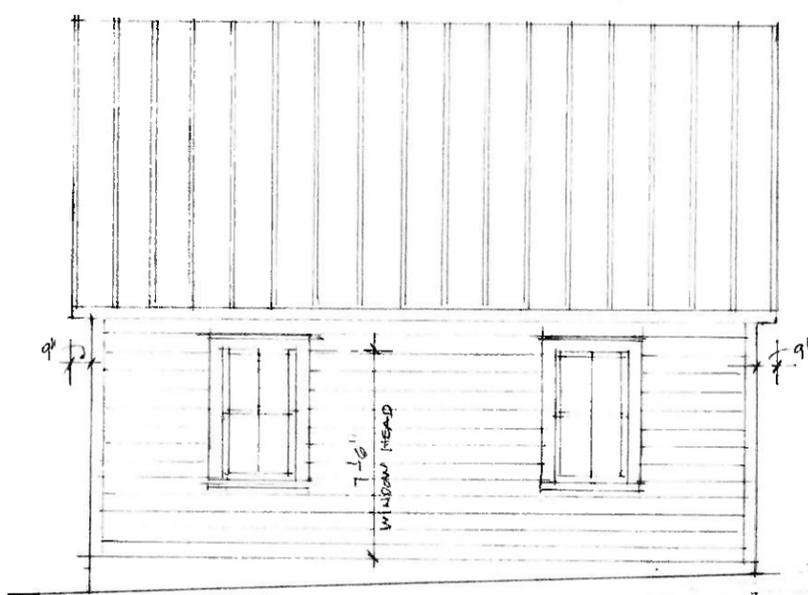
**Paul Treseder**  
ARCHITECT AIA

DATE	
SCALE	1" = 20'-0"
DRAWN	PT
JOB	CHAPUK
SHEET	1
OF 13 SHEETS	

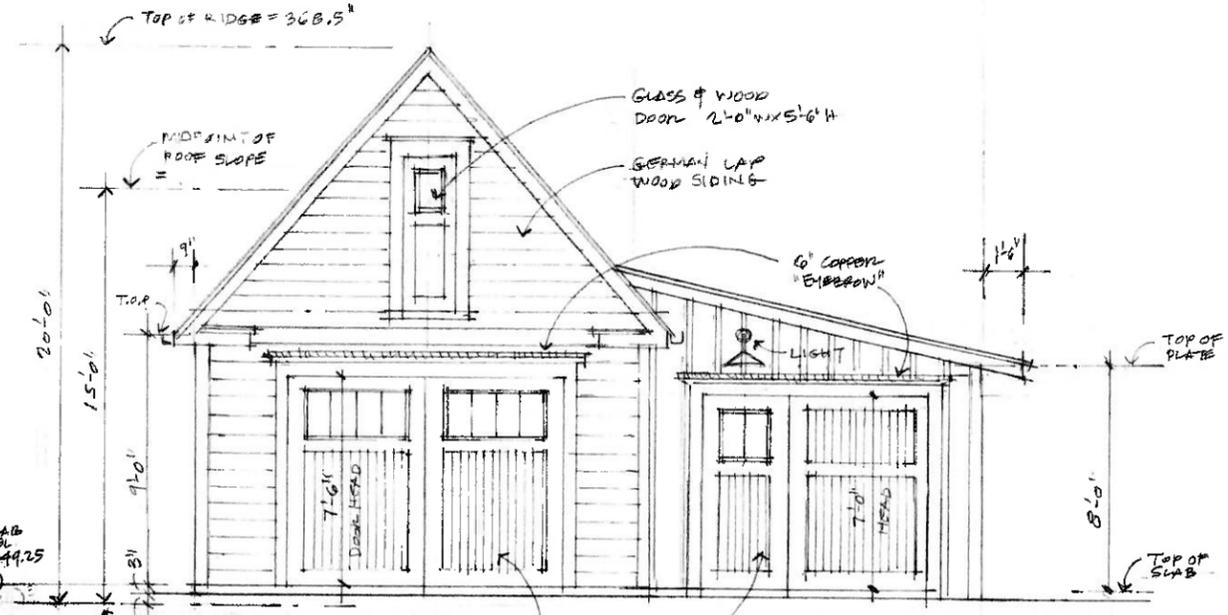


EAST ELEVATION  
EXISTING

NORTH ELEVATION  
EXISTING



WEST ELEVATION  
EXISTING



SOUTH ELEVATION  
EXISTING

SLAB  
BL  
344.25

CUSTOM-MADE  
OUTSLING WOOD DOORS  
NOTE: USE TEMPERED GLASS  
IN ALL LITES.



6320 Wisconsin Road  
Bethesda, MD 20816  
301-320-1590  
301-320-1591  
Paul.Treseder@verizon.net

**Paul Treseder**  
Architect AIA

Date 12.30.14

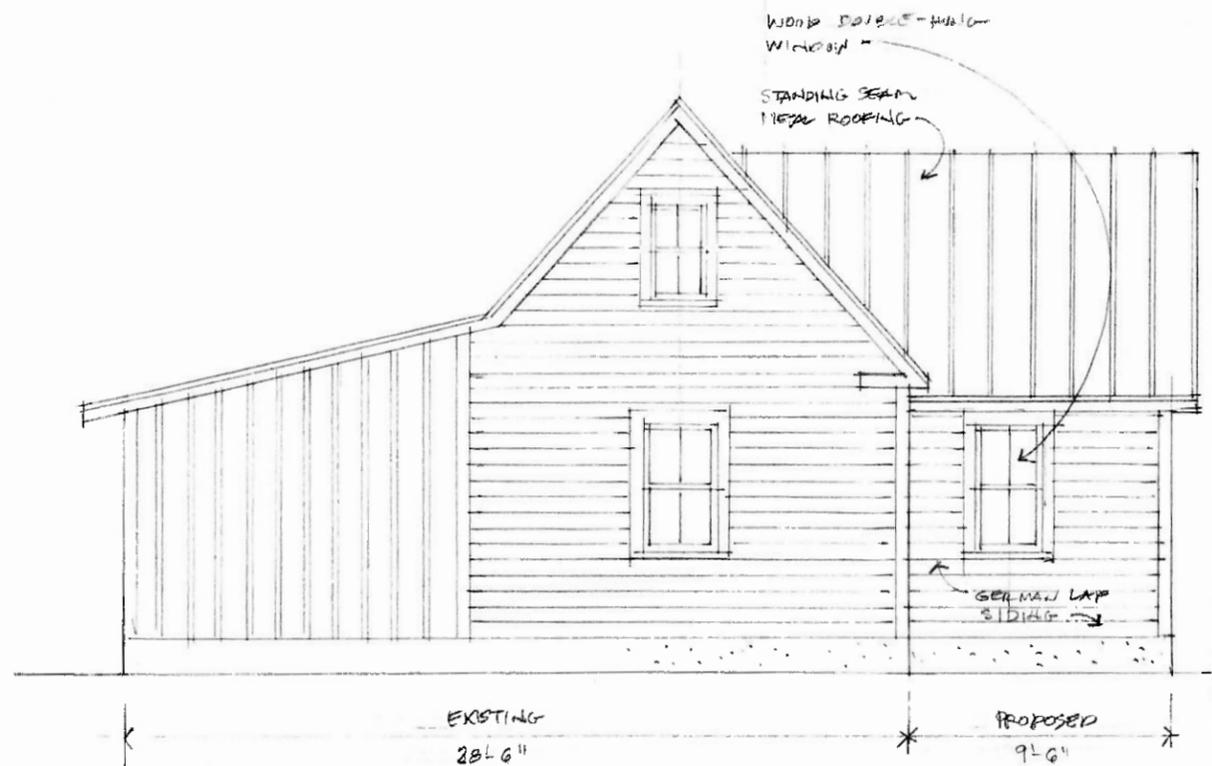
Scale 1/4" = 1'-0"

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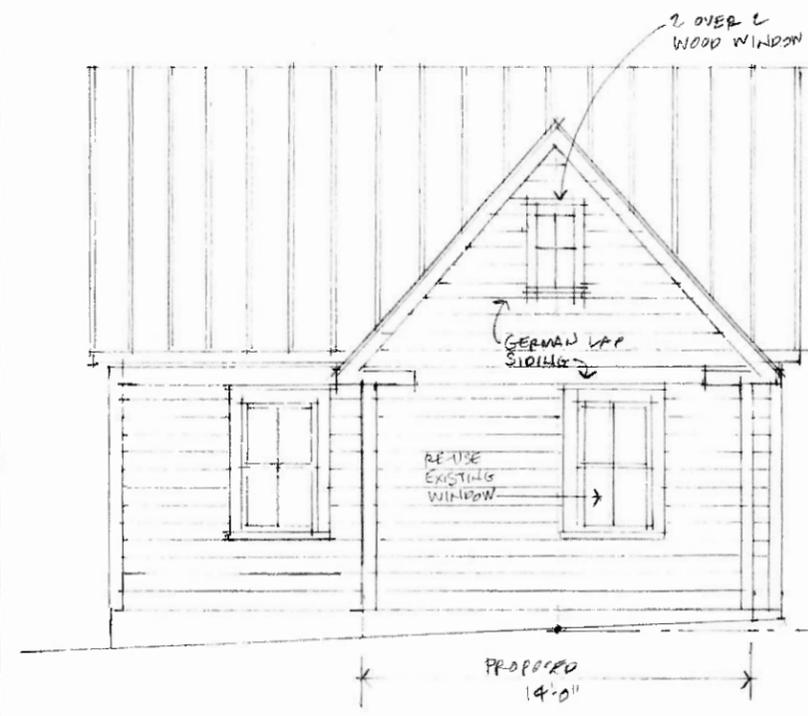
Job CHABUK

Sheet 2

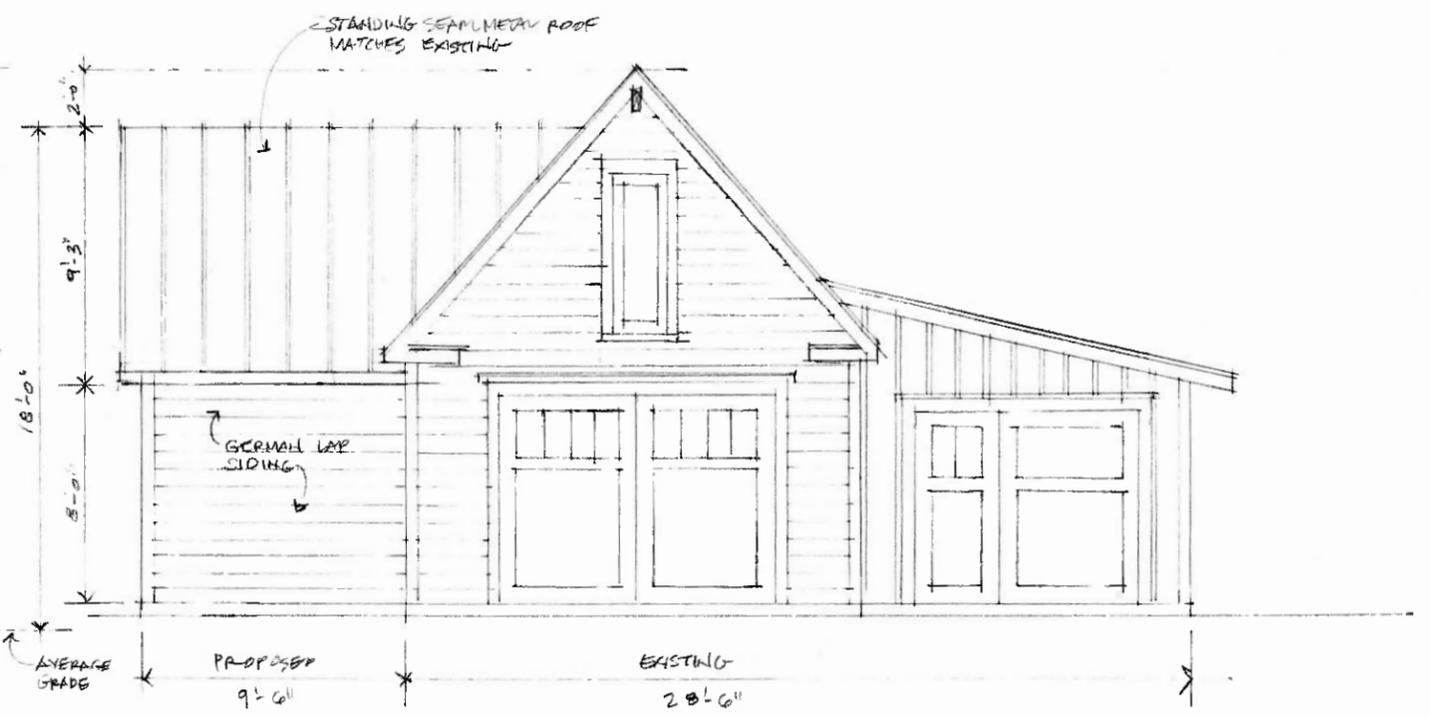
Of 14 Sheets



NORTH ELEVATION.



WEST ELEVATION.



SOUTH ELEVATION.



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 Beltsville, MD 20816  
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 Paul.Treseder@verizon.net

**Paul Treseder**  
 Architect AIA

DATE
SCALE
DRAWN
JOB
SHEET

15 SHEETS  
 3