

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	2309 Linden Lane, Silver Spring	Meeting Date:	4/22/2020
Resource:	Contributing Resource (Linden Historic District)	Report Date:	4/15/2020
Applicant:	Hibash Chabuk (Paul Treseder, Architect)	Public Notice:	4/8/2020
Review:	HAWP	Tax Credit:	N/A
Case Number:	36/02-20A	Staff:	Michael Kyne
PROPOSAL:	Accessory structure addition		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Linden Historic District
 STYLE: Vernacular Gothic
 DATE: c. 1893

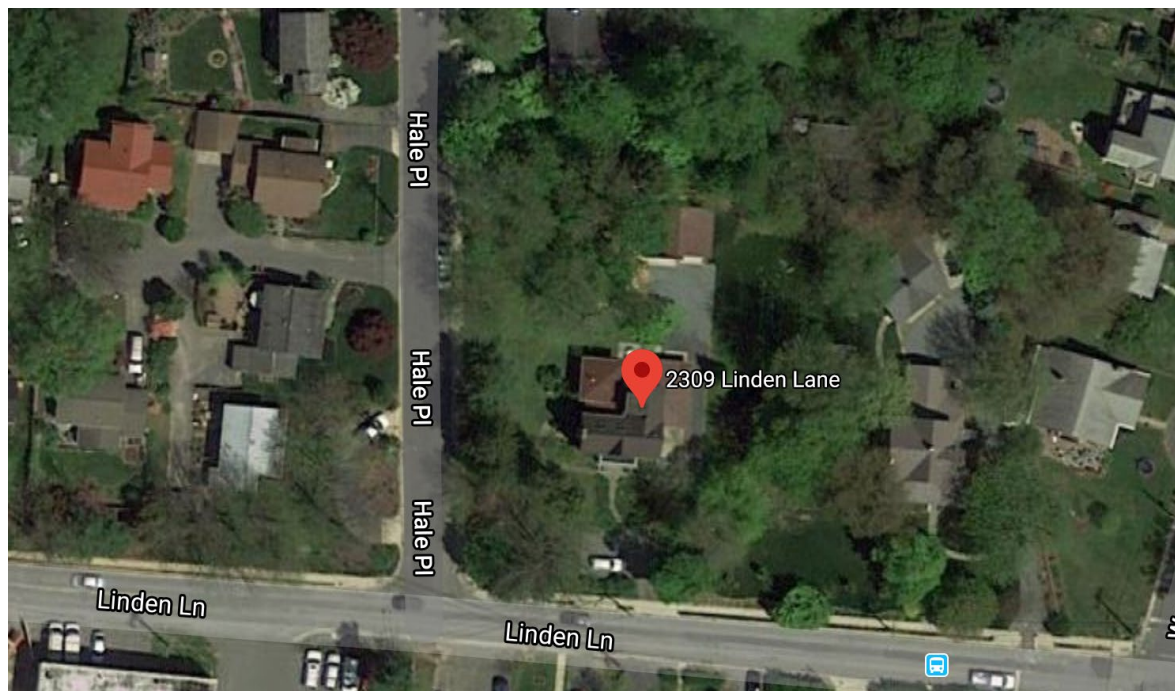


Fig. 1: Subject property.

PROPOSAL:

The applicant proposes to construct a 133 sf addition to an existing 660 sf garage, which was constructed in 2015.

APPLICABLE GUIDELINES:

In accordance with the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), the Commission uses several documents to assist it in developing its decision when reviewing a Historic Area Work Permit application for an undertaking within the Clarksburg Historic District. As established by section 1.5 of the Regulations, these documents include *section 24A-8 of the Montgomery County Code* (Chapter 24A), the *Secretary of the Interior's Standards and Guidelines for Rehabilitation* (Standards), the guidance provided in the *Approved and Adopted Clarksburg Master Plan & Hyattstown Special Study Area (Clarksburg Master Plan)*, and the *Vision of Clarksburg: A Long Range Preservation Plan* (Vision). The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION:

The subject property is a c. 1893 Vernacular Gothic-style house within the Linden Historic District. The house is on a corner lot, fronting on Linden Lane to the south and with Hale Place to the west (left). There is an existing 660 sf garage in the northeast (rear/right) corner of the property, which was constructed in 2015. The applicants propose to construct a 133 sf addition at the west (left) side of the garage, resulting in a 793 sf garage. The proposed garage addition will have wooden German lap siding, wood SDL windows, and a standing seam metal roof to match the existing garage.

Staff supports the applicants' proposal, finding that the proposal will not remove or alter character-defining features of the subject property, in accordance with *Standards #2*. Additionally, the proposed addition would not result in an outbuilding that would be out of size, scale, or character with the existing house or surrounding District in conformance with *Standard #9*.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#9* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#9*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: paul.tresedor@verizon.net Contact Person: PAUL TRESEDER
Daytime Phone No.: 301-367-2190

Tax Account No.: _____
Name of Property Owner: H. BASIL CHABUK Daytime Phone No.: 301-254-5607
Address: 2309 LINDEN LAKE SILVER SPRING MD 20910
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: PAUL TRESEDER Daytime Phone No.: 301-367-2190

LOCATION OF BUILDING/PREMISE

House Number: 2309 ~~LINDEN LAKE~~ Street: LINDEN LAKE
Town/City: SILVER SPRING Nearest Cross Street: HALE PLACE
Lot: 27 Block: 4 Subdivision: LINDEN FOREST
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☒ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☒ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B Construction cost estimate: \$ 35,000

1C If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

MARCH 5, 2020
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED PAGE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED PAGE

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address H. BASRI CHABUK 2309 LINDEN LANE SILVER SPRING, MD. 20910	Owner's Agent's mailing address PAUL TRESEDER 6320 WISCASSET RD. BETHESDA, MD. 20816
Adjacent and confronting Property Owners mailing addresses	
JANE BROWN 2303 LINDEN LANE SILVER SPRING, MD. 20910	JUDY NELSON 2308 LINDEN LANE SILVER SPRING, MD. 20910
WILLIE & CARRIE PARHAM 2310 LINDEN LANE SILVER SPRING, MD. 20910	H. BASRI CHABUK 2306 LINDEN LANE SILVER SPRING, MD. 20910
SUE PRESLEY 9400 HALE PLACE SILVER SPRING, MD 20910	PATRICK & SUSAN BANE 9402 HALE PLACE SILVER SPRING, MD. 20910
DENA LEIBMAN & JOANNA TORES 9407 HALE PLACE SILVER SPRING, MD 20910	SALAR SIABEL 9412 HALE PLACE SILVER SPRING, MD. 20910



HAWP application for 2309 Linden Lane, Silver Spring, Maryland

1. Description of the resource and its environmental setting

The existing house is a contributing resource in the Linden Lane historic district. It sits on a large 22,480 SF corner lot, facing Linden Lane. The original 2 story house was built around 1900, and was expanded with one story additions on the side and rear in 2008 (HPC case #36/02-08A). A freestanding garage/workshop was added in the rear corner of the lot in 2015 (HPC case #), with architectural elements referencing the original house. (HAWP # 694459)

2. Proposed work

The owner is proposing to expand the garage in the corner of the lot with an ell on the west side of the main structure, with a gable facing Hale Place. This addition contains a bathroom and small kitchen, to enable the building to be used as an in-law apartment. The original garage is 660 SF, and the proposed addition is 133 SF, for a total of 793 SF. This proposed footprint is 41% of the footprint of the main house. The height to the ridge of the existing garage is 20', and the height to the top of the ridge of the addition is 18'. The roof of the addition is designed to match the pitch and material of the main garage. The eave/gutter line of the ell is also slightly lower than that of the garage, to indicate its subordinate character. The siding of the addition will be yellow pine German lap, matching the garage. The windows will be wood, double hung, with simulated divided lites. (The west window will be re-used from the existing west wall of the garage).

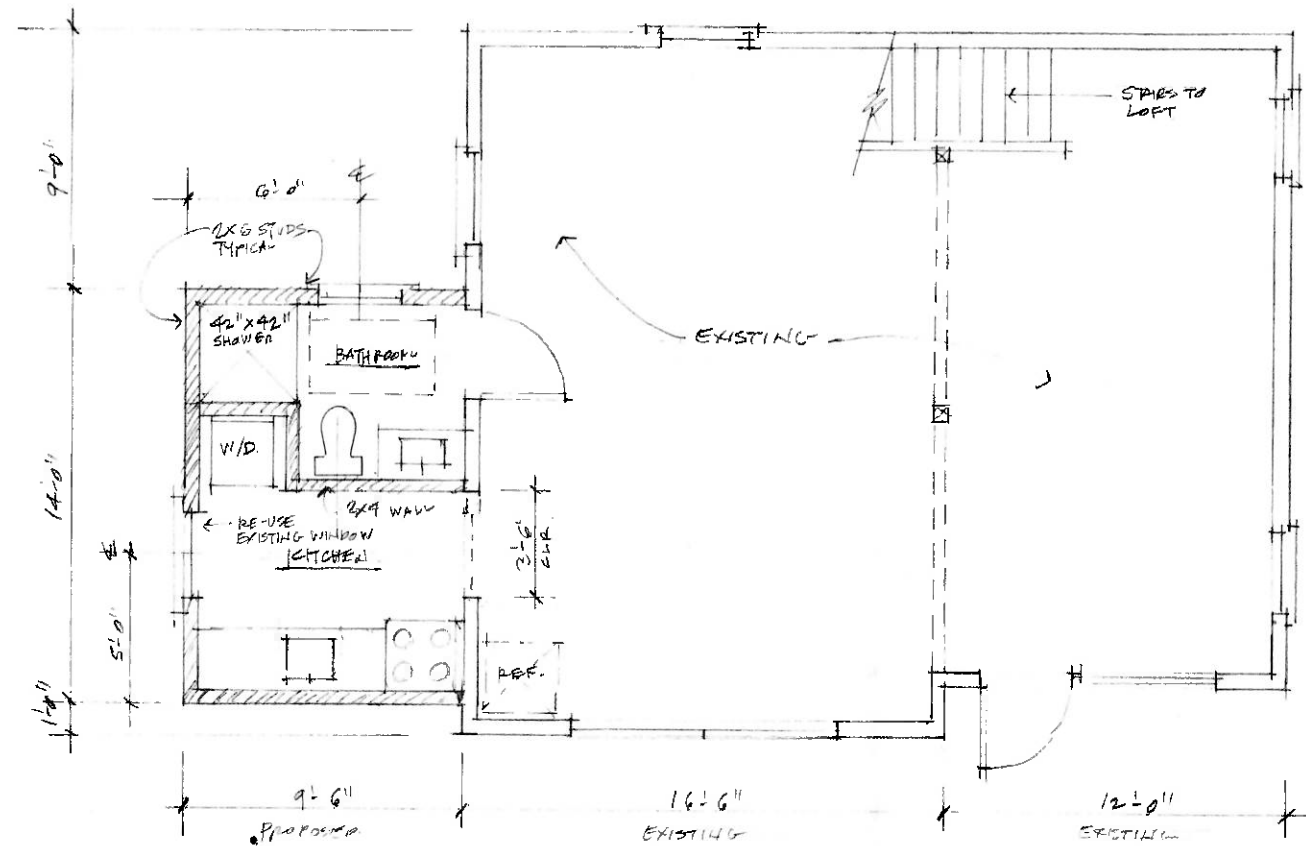




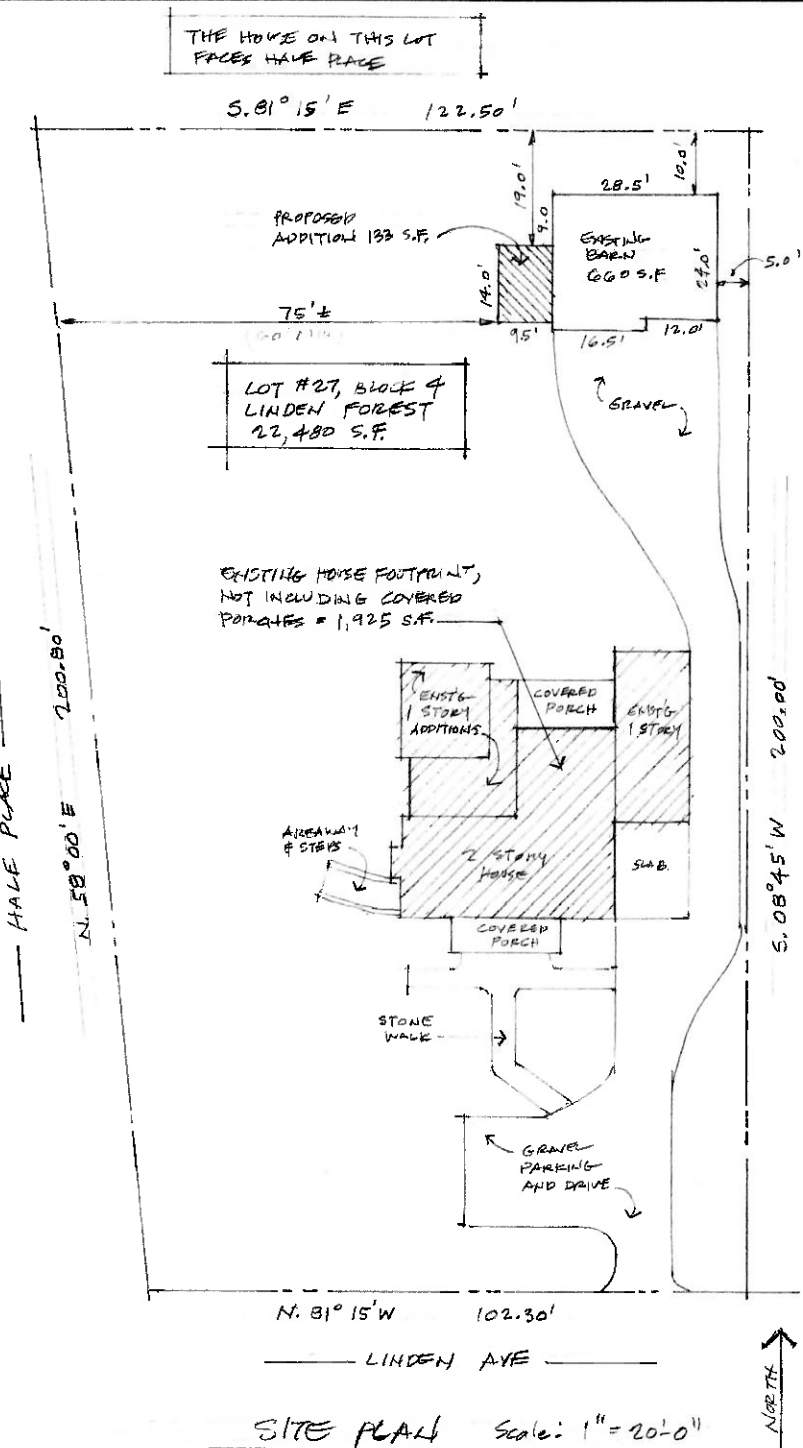








FLOOR PLAN. Scale: 1/4" = 1'-0"



SITE PLAN Scale: 1" = 20'-0"

ZONING NOTES

1. THE HEIGHT TO THE RIDGE OF THE ADDITION IS 18.0' (SEE SH.#3)
2. THE FOOTPRINT OF THE PROPOSED ADDITION PLUS THE EXISTING ACCESSORY STRUCTURE = 793 SF, WHICH IS 41% OF THE FOOTPRINT OF THE MAIN STRUCTURE.
3. THE PROPOSED TOTAL LOT COVERAGE OF THE MAIN STRUCTURE AND ACCESSORY STRUCTURE, NOT INCLUDING PORCHES, IS 12%.
4. SETBACKS AS NOTED ON SITE PLAN ABOVE.

GARAGE EXTENSION FOR
2309 LINDEN LANE, SILVER SPRING, MD.

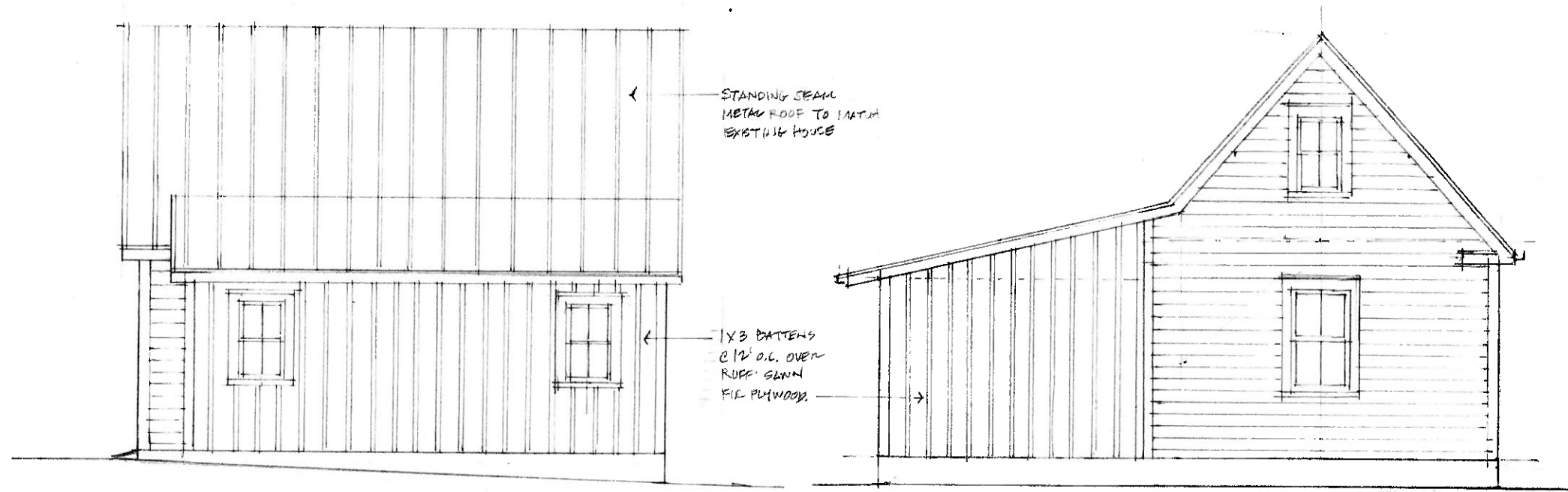


6320 Wilcassee Road
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301-320-1580
Fax - 301-320-1581
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

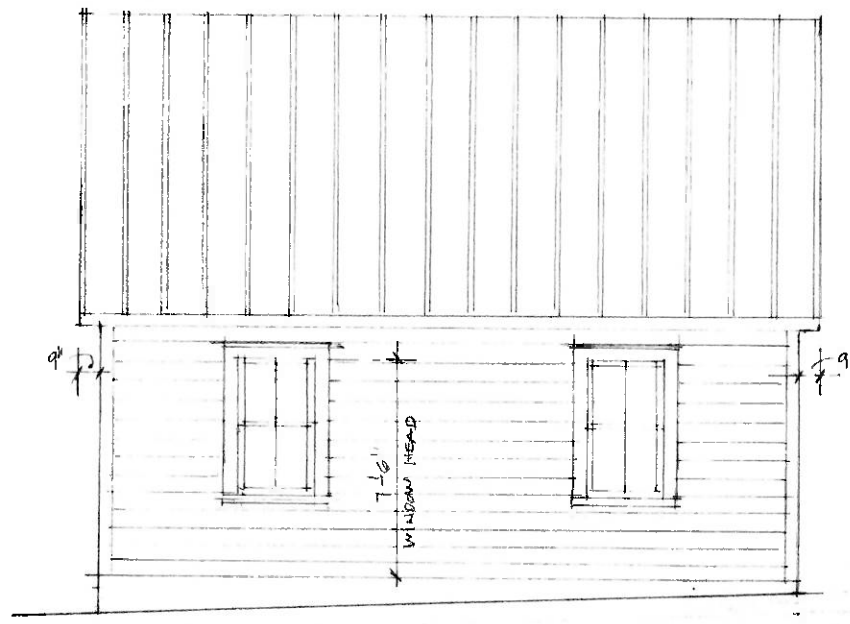
DATE
SCALE 1" = 20'-0"
DRAWN PT
JOB CHAPUK
SHEET

1
OF 13 SHEETS

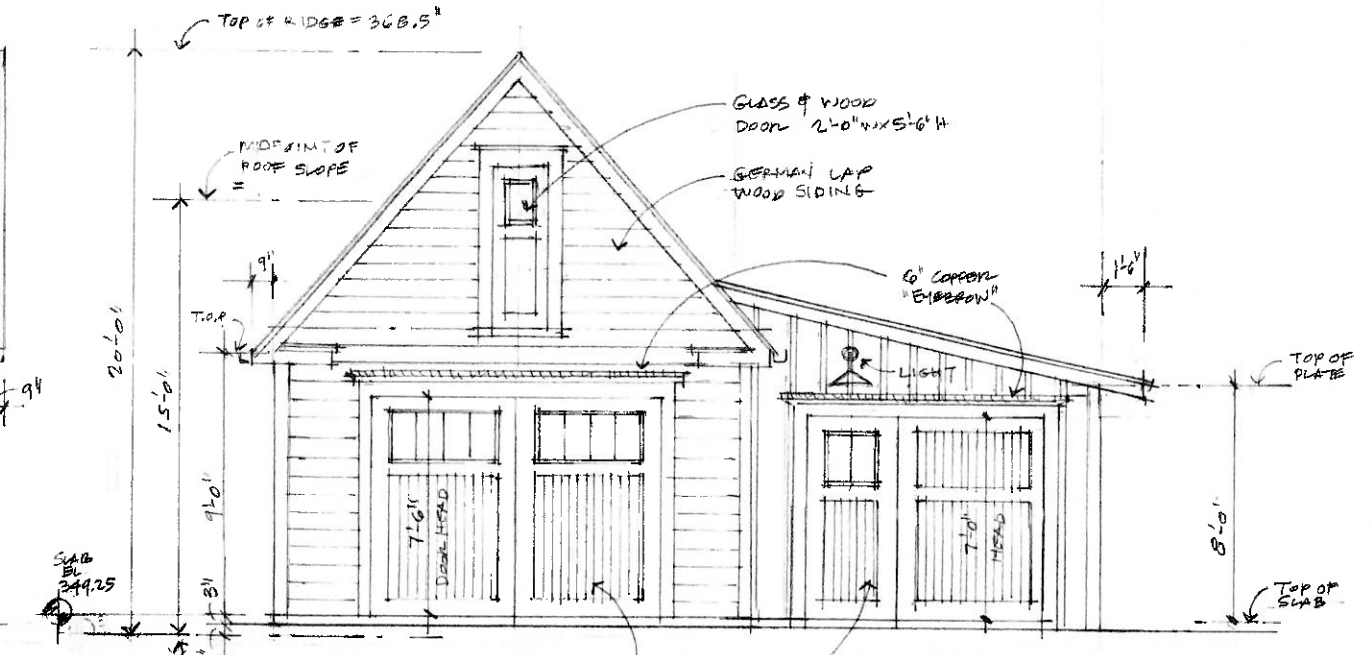


EAST ELEVATION
EXISTING

NORTH ELEVATION
EXISTING



WEST ELEVATION
EXISTING



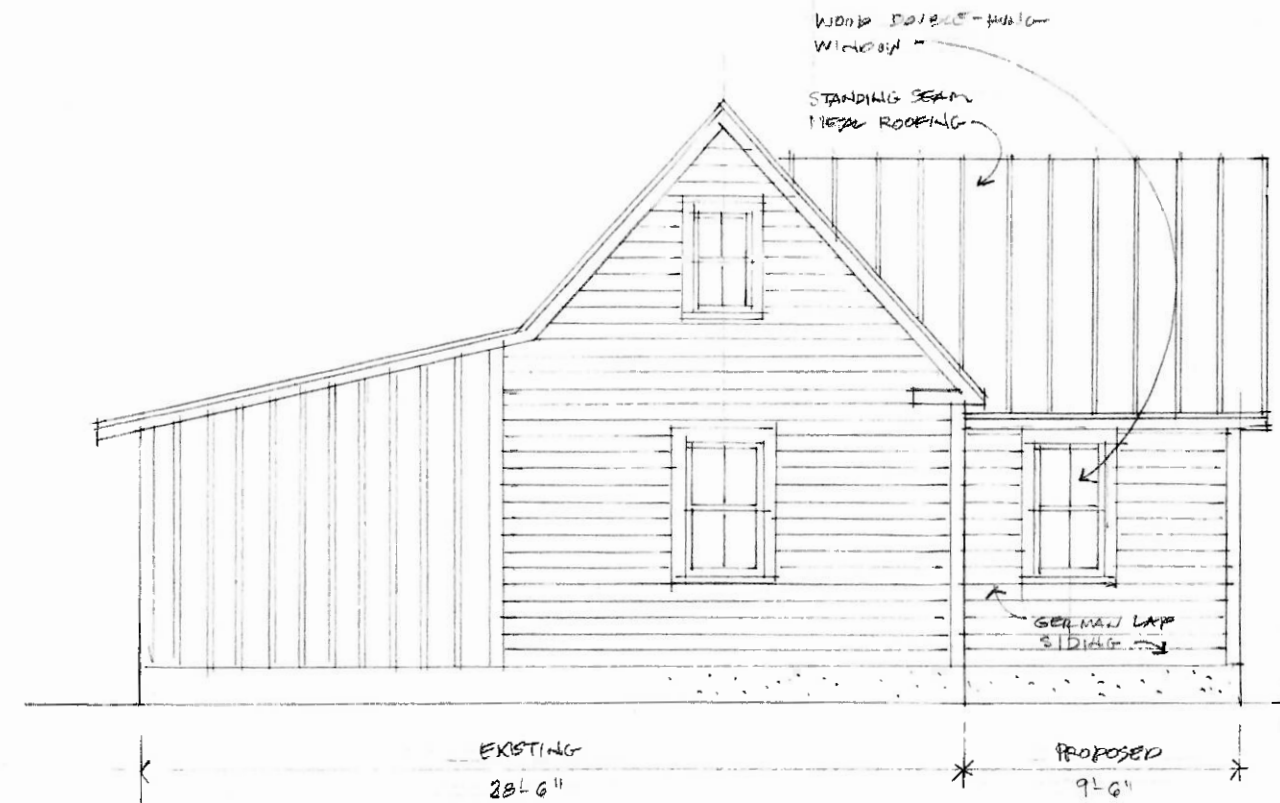
SOUTH ELEVATION
EXISTING



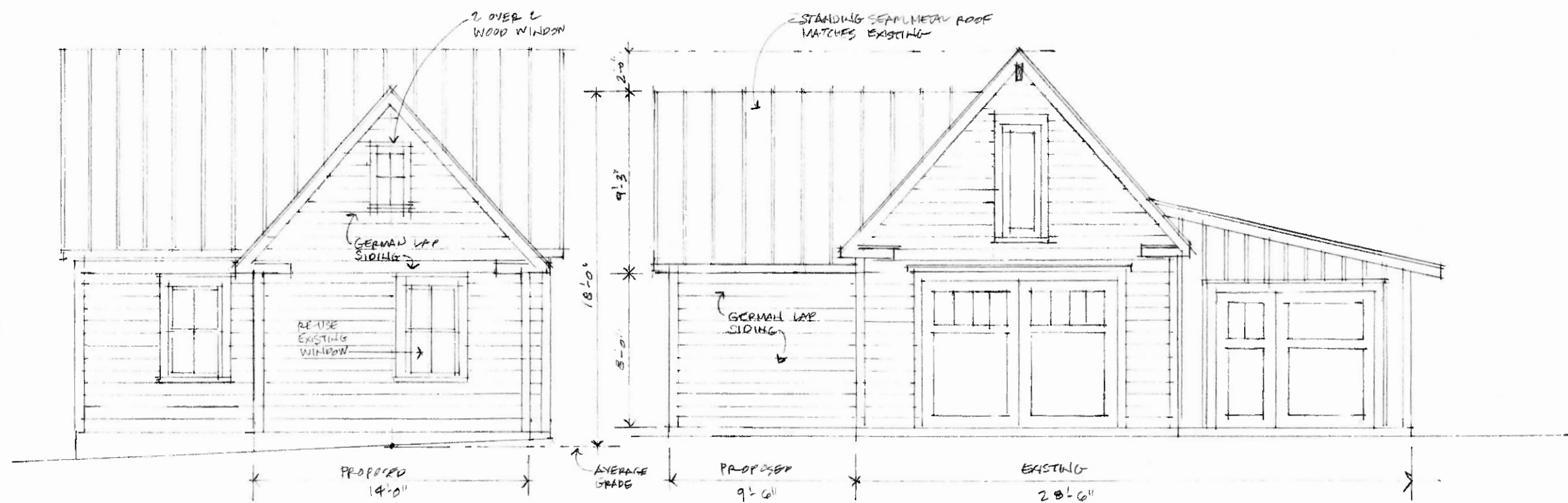
6320 Wisconsin Road
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Paul Treseder
Architect AIA

Date	12.30.14
Scale	1/4" = 1'-0"
Drawn	PT
Job	CHABUK
Sheet	2
Of	14 Sheets



NORTH ELEVATION.



WEST ELEVATION.

SOUTH ELEVATION.



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Paul Treseder
Architect AIA

DATE
SCALE
DRAWN
JOB
SHEET

15 OF 15 SHEETS