

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3914 Washington Street, Kensington	Meeting Date:	3/25/2020
Resource:	Primary-Two (Contributing) Resource Kensington Historic District	Report Date:	3/18/2020
Applicant:	Karin Tetzlaff Averbeck	Public Notice:	3/11/2020
Review:	Preliminary Review	Staff:	Dan Bruechert
Proposal:	Building addition, dormer alteration, porch restoration, and accessory structure		

RECOMMENDATION

Staff recommends that the applicant revise their design based on the feedback provided by the HPC and return for a second preliminary consultation.

PROPERTY DESCRIPTION

SIGNIFICANCE: Primary-Two (Contributing) Resource to the Kensington Historic District
STYLE: Craftsman
DATE: 1911-1924



Figure 1: The property at 3914 Washington Street, Kensington.

PROPOSAL

The applicant proposes to:

- Construct a rear addition;
- Make modifications to the front dormer;
- Make alterations to the front porch; and
- Install an accessory structure.

APPLICABLE GUIDELINES

Kensington Historic District Guidelines

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

The *Vision* identifies the following, as those features that help define the character of Kensington's built environment:

- Building Setbacks: Residential and Commercial Patterns
- Rhythm of Spacing between Buildings
- Geographic and Landscape Features
- Scale and Building Height
- Directional Expression of Building
- Roof Forms and Material
- Porches
- Dominant Building Material
- Outbuildings
- Integrity of Form, Building Condition, and Threats
- Architectural Style

The *Amendment* notes that:

The district is architecturally significant as a collection of late 19th and early 20th century houses exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle,

Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a one-story front gable craftsman with an enclosed front porch. There is also a non-historic addition to the right rear of the property. The applicant proposes alterations in four areas: construct a rear addition, make modifications to the front dormer, make alterations to the front porch, and install an accessory structure. Staff request HPC feedback on the items so the applicant can return for a second preliminary consultation.

Building Addition

The small bungalow has been added on to the right and rear of the house. The applicant proposes constructing a modestly sized one-and-a-half-story addition to the rear in the location of an existing rear deck and adjacent to the non-historic rear addition. The modifications associated with the rear addition include raising the roof at the rear and installing a monitor roof and a gable dormer to either side of the roof within the historic mass.

Staff finds that constructing a building addition in the proposed location is appropriate, however, there are a number of outstanding issues that Staff request HPC feedback on:

- Should the addition be detailed to match the existing house or should it be more differentiated?
- Should the addition be inset from the historic massing or does the limited sightline allow for a co-planer addition?
- Are the side gable dormers an appropriate addition or do they change the roofline too much?
- Is the proposed monitor roof acceptable or is there another recommended treatment to make the attic space occupiable?

Staff notes that appropriately scaled drawings showing floorplans, all four building elevations, a roof plan, and details on proposed materials will be required for the next preliminary consultation as well as for a complete HAWP submission.

Front Porch Alterations

The historic hipped-roof front porch was enclosed for additional living space and wrapped in siding to match many of the details found elsewhere on the house. The applicant proposes to remove the siding windows and doors and enclose the porch in windows to make a “4-season” porch. No specifications for the windows were included with the preliminary submission, but the concept plan shows a Craftsman-style multi-lite window with a solid bulkhead.

Staff’s position is that the best result would be to uncover the front porch and rehabilitate it to an appearance that is compatible with a c.1920s construction. The feasibility of that change depends on whether the historic front wall is still installed or was taken down. If the front wall is in place, Staff would recommend a restoration of the front porch and would consider a larger addition at the rear.

Detailed architectural drawings, including window specifications, must be submitted for future consultations. At this time, Staff requests the HPC provides the applicant with guidance on:

- The appropriateness of uncovering the non-historic siding and enclosing the porch in glass;
- If the concept is acceptable, if the materials and design are appropriate or if a more open character is desirable?

Front Dormer Alterations

The applicant proposes installing three windows under the front gable. The proposed configuration is a four-over-one sash window flanked by smaller fixed four-lite windows to either side. The applicant provided a number of images of historic and contemporary bungalows with windows in the second story. Staff is concerned that the new windows will introduce too much glass in the gable to the point where they overwhelm the front elevation. The *Guidelines* that accompany the Secretary of the Interior’s Standards recommend against the introduction of new fenestration in the façade (see below). Staff supports the alteration to the porch, but not to the dormer because the porch has been previously altered while the front gable retains its architectural integrity.

WINDOWS	
RECOMMENDED	NOT RECOMMENDED
Alterations and Additions for a New Use	
Adding new window openings on rear or other secondary, less-visible elevations, if required by a new use. The new openings and the windows in them should be compatible with the overall design of the building but, in most cases, not duplicate the historic fenestration.	<p>Changing the number, location, size, or glazing pattern of windows on primary or highly-visible elevations which will alter the historic character of the building.</p> <p>Cutting new openings on character-defining elevations or cutting new openings that damage or destroy significant features.</p> <p>Adding balconies at existing window openings or new window openings on primary or other highly-visible elevations where balconies never existed and, therefore, would be incompatible with the historic character of the building.</p>
Replacing windows that are too deteriorated to repair using the same sash and pane configuration, but with new windows that operate differently, if necessary, to accommodate a new use. Any change must have minimal visual impact. Examples could include replacing hopper or awning windows with casement windows, or adding a realigned and enlarged operable portion of industrial steel windows to meet life-safety codes.	Replacing a window that contributes to the historic character of the building with a new window that is different in design (such as glass divisions or muntin profiles), dimensions, materials (wood, metal, or glass), finish or color, or location that will have a noticeably different appearance from the historic windows, which may negatively impact the character of the building.
Installing impact-resistant glazing, when necessary for security, so that it is compatible with the historic windows and does not damage them or negatively impact their character.	Installing impact-resistant glazing, when necessary for security, that is incompatible with the historic windows and that damages them or negatively impacts their character.
Using compatible window treatments (such as frosted glass, appropriate shades or blinds, or shutters) to retain the historic character of the building when it is necessary to conceal mechanical equipment, for example, that the new use requires be placed in a location behind a window or windows on a primary or highly-visible elevation.	Removing a character-defining window to conceal mechanical equipment or to provide privacy for a new use of the building by blocking up the opening.

Figure 2: Selection from *The Guidelines for the Treatment of Historic Properties*.

Staff recommends any window introduced into the original massing of the house be wood to be compatible with the historic house and surrounding district.

Staff further request HPC guidance on:

- The appropriateness of introducing windows on this elevation;
- The appropriateness of the multi-lite configuration.

Accessory Structure

The applicant proposes installing a pre-fabricated 8' × 16' (eight-foot by sixteen-foot) shed in the rear corner of the lot. The shed will have wood siding, wood-clad sash windows, and architectural shingles.

Staff finds that the shed will be in the preferred location and will not be visible from the public right-of-way, due to the lot slope and because it will be installed at the rear of the property. Staff has no additional comments regarding the proposed shed and would recommend approval with a completed HAWP application.

STAFF RECOMMENDATIONS

For the next submission Staff recommends the applicant provide:

- Elevation drawings for all four elevations and a roof plan, showing existing conditions and

- proposed alterations(to scale);
- Floor plans both existing and proposed (to scale);
- Proposed materials for the exterior including;
- Siding;
- Windows; and
- Doors.

Staff recommends that the applicant revise their design based on the feedback provided by the HPC and return for a second preliminary consultation.

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

906988

Contact Email: kaverbeck@gmail.com

Contact Person: Karin Tetzlaff Averbek

Daytime Phone No: 301-222-3710

Tax Account No: _____

Name of Property Owner: Karin Tetzlaff Averbek

Daytime Phone No: 301-222-3710

Address: 3914 Washington Street, Kensington, MD 20895

Contractor: tbd, self

Phone No: _____

Contractor Registration No: _____

Agent for Owner: _____

Daytime Phone No: _____

LOCATION OF BUILDING/PREMISE

House Number: 3914

Street: Washington Street

Town/City: Kensington

Nearest Cross Street: Connecticut Ave.

Lot: 42 Block: 13

Subdivision: Kensington Park

Liber: _____ Folio: _____

Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

☒ Construct ☒ Extend ☒ Alter/Renovate

☐ A/C

☒ Slab

☒ Room Addition

☒ Porch

☒ Deck

☒

Shed

☐ Move

☒ Install

☐ Wreck/Raze

☐ Solar

☐ Fireplace

☐ Woodburning Stove

☐ Single Family

☐ Revision

☐ Repair

☐ Revocable

☐ Fence/Wall (complete Section 4)

☐ Other: _____

1B. Construction cost estimate: \$ 70,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☒ Other: none

2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: none

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line

☐ Entirely on land of owner

☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Karin Tetzlaff Averbek

Feb 29 2020

Signature of owner or authorized agent

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Craftsman cottage style house, built ca. 1909 in the historic Town of Kensington, and included on the historic registry for the Town. Lot is a historic 50 ft wide by 200 ft long, in a residential neighborhood which includes single, double, and triple lots. Most houses in the neighborhood have additions and sheds. Currently, this house is much smaller than most houses in the neighborhood.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

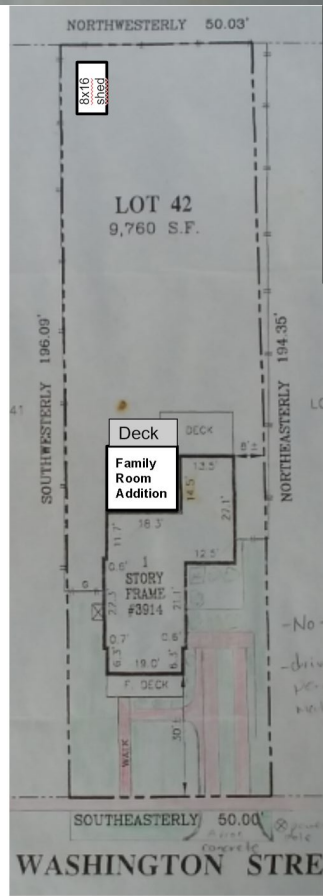
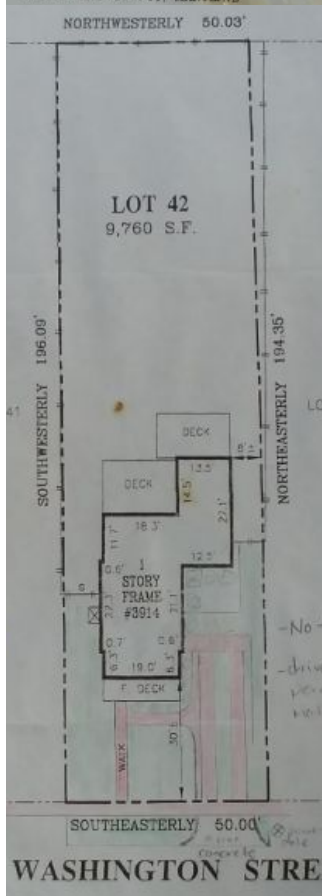
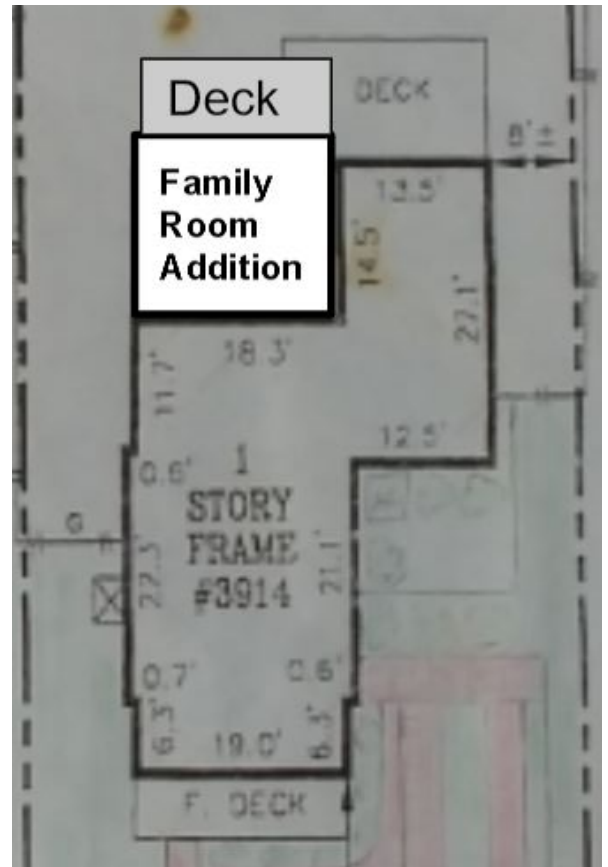
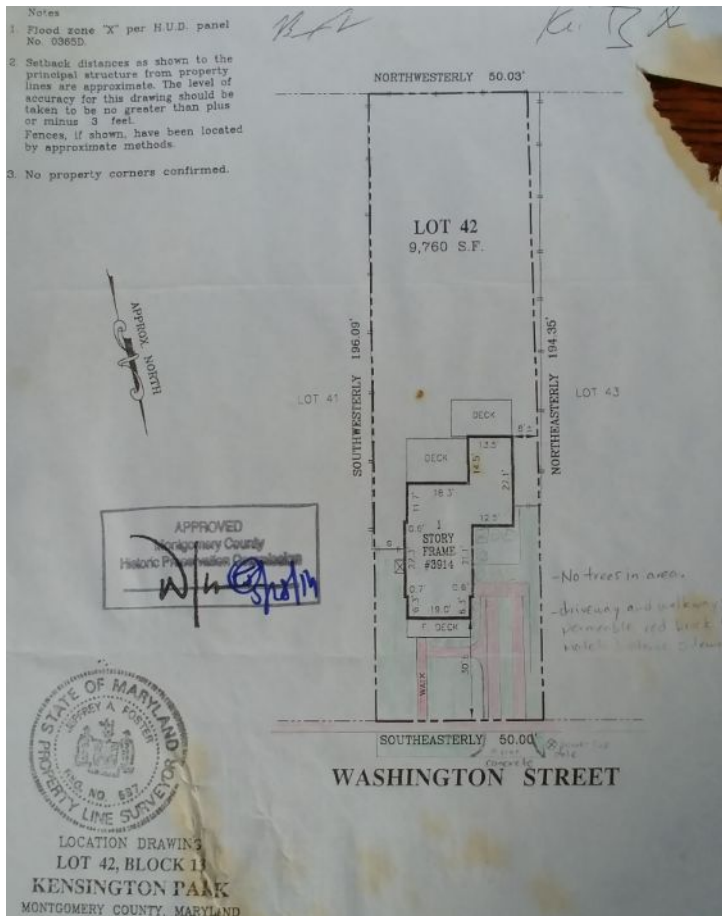
Project includes several components:

- 1) Addition of craftsman-styled windows and dormers in original portion of house, consistent with typical historic expansion into attic for craftsman cottages. Typically homes like this, with a gable end in front and a hipped porch roof, had windows above the porch roof, in the gable end (see pics below).
- 2) Garden shed in backyard, in back left corner of lot, consistent with a historic "outbuilding" common on historic lots.
- 3) Addition of family room on rear of structure, in place of current deck, and new deck behind addition. Design of addition is consistent with the historical design of the house. Addition will extend back as a single story at ground level, and will include a lower level not visible from the street due to the downward slope of the lot behind the house. Original structure and primary roof line will be preserved.
- 4) Restoration of front porch to 4 season porch. Front porch was enclosed with siding in the 1970s. Remove the siding and replace with porch-styled windows all around.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site must include:

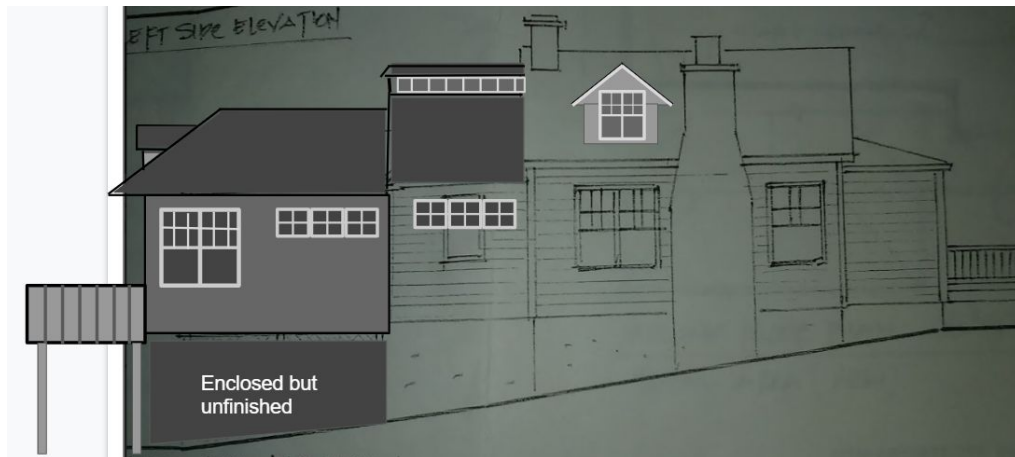
- the scale, north arrow, and date
- Dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.



3. PLANS AND ELEVATIONS



BEFORE



AFTER



Shed design

4. MATERIALS SPECIFICATIONS

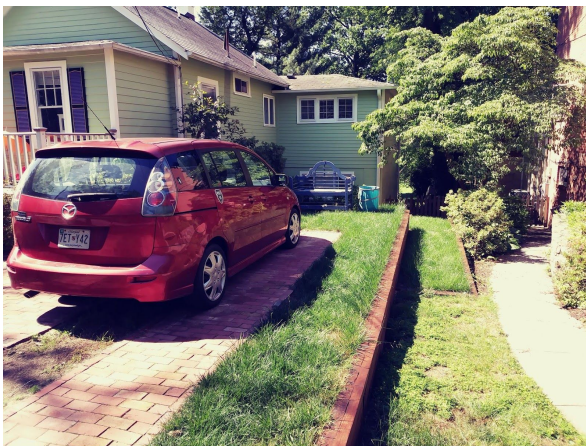
General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

All narrow wood siding, painted to match house. Trim will be consistent with original house. Windows wood clad double-hung. Architectural shingles (re-roof entire house).

5. PHOTOGRAPHS



Upper back deck to be replaced by Family Room Addition



Example of monitor roof.

In this period, gable front homes with hipped porch typically had windows in the end gable.



I love these historic houses and am committed to respectful restoration and renovation. The Kensington house is my 3rd Arts & Crafts renovation project..

This was my first house, in Minneapolis, MN.



And this was my second house, in Rochester NY.

Both were built in the same period as my Kensington house.



6. TREE SURVEY
No trees affected.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS
For ALL projects, provide an accurate list of

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Karin Tetzlaff Averbeck 3914 Washington St Kensington, MD 20895	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Stablow Family 3912 Washington St Kensington, MD 20895	Rakis/O'Connell Family 3916 Washington St Kensington, MD 20895
Fitzpatrick Family 3913 Washington St Kensington, MD 20895	Kensington Baptist Church 10100 Connecticut Ave Kensington, MD 20895

Building Permit Application

Revised: November 2017



Town of Kensington
3710 Mitchell Street
Kensington, MD 20895

301-949-2424 (Office)
301-949-4925 (Fax)
Town@tok.md.gov

Town Permit No.:

Attention Department of Permitting Services (DPS): Please be advised that the following applicant has applied for a Building Permit with the Town of Kensington, and they must return this form to Town Hall, along with all approved County Permits to complete the Permitting process.

Town Release: M. Hoffman Fee Paid: \$ 188.88 Date: March 2, 2020

Bond, if applicable: \$ N/A Bond Paid: _____ Bond Released: _____

The Staff signature only releases the permit for DPS review and does not represent an approval of the permit application by the Town. All County permits must be submitted before Town review and approval.

Please ensure that you submit a complete application, as incomplete applications will not be reviewed. If you have any questions about the permitting process, please contact the Town Office.

Location of Proposed Work:

Owner: Karin Averbeck Phone or Email: Kaverbeck@gmail.com

Property Address: 3914 Washington Street

Historic Area Work Permit Required: ☒ Yes ☐ No

Contractor (If Applicable): _____

Phone and Email: _____

Proposed Work (Please check all that apply):

☒ Addition ☐ Alteration/Repair ☐ Demolition/Raze ☐ Fence ☒ Shed

☐ Other (Please Specify): _____

Filing Requirements (Building Permit)

1. Full set of construction drawings/building plans.
2. Building Site Plan.
3. Building location survey or plat showing location of fence, if applicable.
4. Application Fee and Performance Bond, if applicable.
5. Guards or Barriers 5 feet out from the drip line of all trees located within the public right-of-way.
6. Signs advertising the contractor/project may not exceed a total of ten (10) square feet in area and must be placed at least five (5) feet behind the property line. Signs may not be placed within the public right-of-way or illuminated.

I hereby certify that I have completed the aforesaid application to the best of my knowledge with correct information, and that I understand all of the requirements outlined within, and will conform to the regulation of the Town of Kensington Code, and the Montgomery County Zoning Code.

Applicant Signature: _____ Date: _____

Building Permit Application

Revised: November 2017

General Information

1. The Town will review this application within ten (10) business days. Upon completion of the review, the applicant may be notified of additional requirements such as deposits, bonds, fees, insurance, limitations on work, additional plans, etc.
2. This permit shall become invalid if the authorized work is not started within twelve (12) months from the date issued, or if the authorized work is suspended for a period of six months after work has commenced; once issued, the permit fee is not refundable.
3. Any false or misleading information in this application may result in the rejection of this application and/or revocation of the building permit.
4. Town building permits are revocable at anytime for violations of law or any special condition of the permit.
5. The permittee is required to notify and receive proper clearance from all utilities before commencing any underground construction.
6. The permittee is required to abide by all local noise ordinances.
7. No dirt or construction debris will be permitted on public streets or sidewalks at any time.
8. It is prohibited to block sidewalks during construction, unless a corresponding right-of-way permit has been approved.
9. To commence work prior to issuance of a permit is a violation of the law and subject to a fine.
10. **Parking Compliance:** Is adequate on-site parking available for the construction crews? If no, please provide a plan for parking which minimizes inconvenience to neighboring residents and/or businesses. If any road closures will be required due to deliveries, equipment or other reasons, the contractor is responsible for directing vehicular and pedestrian traffic.

Construction/Project Details:

Estimated Start Date: _____ Estimated End Date: _____

Estimated Cost of Project: \$ _____ Mont. Co. Permit: # _____

Approved (Conditions, if necessary): _____

Denied for the following reasons: _____

Building Inspector: _____ Date: _____

Town Manager: _____ Date: _____