

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	8017 Hampden Lane., Bethesda	<b>Meeting Date:</b>	3/25/2020
<b>Resource:</b>	Contributing Resource <b>Greenwich Forest Historic District</b>	<b>Report Date:</b>	3/18/2020
<b>Applicant:</b>	Mark and Marjorie Kramer Mark Kramer, Architect	<b>Public Notice:</b>	3/11/2020
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Case Number:</b>	35/165-20B	<b>Staff:</b>	Dan Bruechert
<b>PROPOSAL:</b>	Entrance Removal, Rear Addition, Tree Removal		

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**RECOMMENDATION**

Staff recommends the HPC **approve with one condition** the HAWP application:

1. Two trees from the species identified in the *Design Guidelines* need to be planted on the site.  
Review of the trees and their locations need to be submitted and verified by Staff prior to issuing the HAWP approval memo.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Greenwich Forest Historic District  
**STYLE:** Tudor Revival  
**DATE:** 1933



Figure 1: 8017 Hampden Lane.

## **BACKGROUND**

On February 26, 2020, the HPC heard a preliminary consultation on the proposal to demolish a non-historic rear addition, construct a new two-story addition, and remove the existing porch covering and construct a new porch. Feedback from the HPC was positive for the rear addition, with the general recommendation that the addition should be inset to retain the northeast corner of the house. The HPC recommended the applicant revise the proposal for a new shed roof over the porch to reduce the apparent mass of the new feature. The applicant undertook revisions consistent with the HPC recommendations and has returned for a HAWP.

## **PROPOSAL**

The applicant proposes to remove the existing entrance and install a new porch covering, and to construct a rear addition. The applicant is proposing to remove one tree for the new construction.

## **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Greenwich Forest Historic District, decisions are guided by the Greenwich Forest Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (the Standards).

### ***Greenwich Forest Historic District Design Guidelines***

#### ***A. Principles***

The preservation of the following essential elements of Greenwich Forest is the highest priority in making decisions concerning applications for *work permits*. These Principles are not meant to stop or create unreasonable obstacles to normal maintenance, reasonable modifications, and the evolving needs of residents.

- A1. Greenwich Forest was conceived of, built, and to a great degree preserved as a park-like canopied forest with gentle topographic contours, in which the presence of houses and hardscape are understated relative to the natural setting. The removal of mature trees and the significant alteration of topographic contours on private property, the *Greenwich Forest Triangle*, and the public right-of-way in Greenwich Forest should be avoided whenever possible. The Greenwich Forest Citizens Association (GFCA) will continue to support the replacement of trees. In order to protect mature trees and the natural setting of Greenwich Forest, and to limit runoff into the Chesapeake Bay, the creation of extensive new impermeable hardscape surfaces should be avoided whenever possible.
- A2. The houses in Greenwich Forest create an integrated fabric well-suited to its forest setting. These Guidelines are intended to preserve this environment by ensuring that approved *work permits* include appropriate safeguards that protect the following three essential elements of this fabric.
  - a. An array of revival American *architectural styles* that, taken together, make a significant statement on the evolution of suburban building styles (see Appendix 2).
  - b. The *scale and spacing* of houses and their *placement* relative to adjacent houses and the public right-of-way. The original developers made decisions on these three elements to understate the presence of structures relative to the forest. For example, minimum side setbacks at the time were 7' but placement and spacing produced distances between houses that far exceeded the minimum 14'. Additions and new houses have, in almost all cases, preserved generous space between houses and minimized visual crowding with plantings.
  - c. High quality building materials and high level of craftsmanship.

- A3. The neighborhood needs to evolve to meet the needs of its residents while maintaining the charm and architectural integrity that have been maintained since the 1930s. Introducing new *architectural styles* that are not already present in the neighborhood will detract from its integrated fabric.
- A4. A *contributing house* may not be torn down and replaced unless there is significant/extensive damage that would create an undue hardship to preserve the original structure (see D2). Extreme damage like this may be the result of a fallen tree, fire, flood, other natural disaster, or accident.
- A5. A *non-contributing house* may be torn down and replaced as long as the *replacement* house replicates the *architectural style* of its predecessor or the style of one of the contributing houses in Greenwich Forest (see Appendix 2).

#### *B. Balancing Preservation and Flexibility*

Greenwich Forest represents a period in the evolution of Montgomery County worthy of preservation, but it has also changed in response to the needs of residents since it was created in the 1930s. These Guidelines seek a reasonable compromise between preservation and the needs of residents in several ways.

- B1. Most of the houses in the Greenwich Forest Historic District are designated “*contributing*” because they contribute to the architectural and historic nature of the district. *Contributing structures* are shown in the map of the districts. These Guidelines are more specific for *contributing structures*.
- B2. Other houses in the district are designated *non-contributing* either because (1) they were built more recently than *contributing houses* with other *architectural styles* (see Appendix 3) or (2) their original features have been significantly altered by subsequent modifications. *Non-contributing structures* are shown on the map of the District. The Guidelines provide greater flexibility for owners of *non-contributing houses*.
- B3. These Guidelines reflect the reality that nearly all houses in Greenwich Forest have been modified since their construction. Owners are not expected to return their houses to their original configurations. The modifications they are permitted to make under these Guidelines are based on the current reality in the neighborhood, provided that those modifications are consistent with the Principles in these Guidelines.
- B4. Property owners have additional flexibility under these Guidelines to make more extensive changes to the parts of their houses that are less *visible from the public rights-of-way* in front of their houses. The Guidelines accomplish this by stipulating different levels of review for specific elements on different parts of houses.

*Levels of review* means the nature of review applicable to a proposed modification. The three levels of review are:

- *Limited scrutiny* is the least rigorous level of review. With this level, the scope or criteria used in the review of applications for work permits is more limited and emphasizes the overall structure rather than materials and architectural details. The decision-making body should base its review on maintaining compatibility with the design, texture, *scale*, *spacing*, and *placement* of surrounding houses and the impact of the proposed change on the streetscape.
- *Moderate scrutiny* is a higher level of review than *limited scrutiny* and adds consideration of the preservation of the property to the requirements of *limited scrutiny*. Alterations should be designed so the altered structure does not detract from the fabric of Greenwich Forest while affording homeowners reasonable flexibility. Use of compatible new materials or materials that replicate the original, rather than original building materials, should be permitted. Planned changes should be compatible with the structure’s existing architectural designs.

- *Strict scrutiny* is the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the requirements of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.

D4. *Additions*: Additions to *contributing* and *non-contributing houses* are allowed. The style of an *addition* must be compatible and in keeping with the prevailing styles of that house. The style of the *addition* must be compatible with the style of the original house, unless the owner wishes to change the *architectural style* of both the house and addition to another style of a *contributing house* in Greenwich Forest (see Changes to *architectural style*, below). *Additions to contributing houses* must preserve as a recognizable entity the outline of the original house (not including subsequent additions). Side additions to *contributing houses* are allowed, but the limits of the original *façade* must be demarcated by stepping back the front plane of the addition and by a change in the addition's roofline. Rear *additions to contributing houses* are allowed within limitations on height and setbacks (see D5).

D5. *Guidelines on dimensions*: The total lot coverage of a house may not exceed 25% of the lot area, and accessory buildings may not exceed 5% of the lot area. The area of an accessory building may be increased by 2%, to 7% of total lot coverage, if the lot coverage of the house and the accessory buildings added together does not exceed 30% of lot area.

Additions should try to preserve ample spacing between houses (see Principle 2b). For example, visual crowding between houses could be minimized by placing an addition toward the back of a property, placing an addition on the side of a property with greater distance to the adjacent house (especially when a side lot abuts the rear setback of an adjacent corner house), or by screening additions with plantings. The total of the two side lot setbacks must be at least 18', with no less than 7' on one side. Rear lot setbacks must be at least 25', though decks no higher than 3' from the ground may extend to an 11' setback.

The elevation of the main or predominant ridgeline(s) of a *contributing house* as viewed from the front may not be increased. To avoid excessive increases in the visual mass of houses, the elevation of any separate ridgelines of an addition to the rear of the house may not be more than 3' above that of the main ridgeline.

D7. *Building materials*: Replacement of roofs, siding, and trim with original materials is strongly recommended and is considered maintenance that will not require an application for a work permit. Use of non-original "like materials" such as architectural asphalt shingles requires a work permit to ensure that they match the scale, texture, and detail of the original materials and are consistent with the overall design of the existing house. For example, homeowners wishing to replace slate or tile roofs may use alternative materials that match the scale, texture, and detail of the roof being replaced. If an original slate or tile roof had been replaced with non-original material before July 1, 2011, the homeowner may replace the existing roof in kind or with another material consistent with the architectural style of that house.

D10. *Porches*: The addition of front porches is permitted if they are compatible with the architectural style of the house. Enclosures of existing side and rear porches have occurred throughout Greenwich Forest and they are permitted, subject to the decision-making body's review of the work permit, to ensure that they are compatibly designed.<sup>1</sup>

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<sup>1</sup> Porches visible from the public right-of-way are subject to Strict Scrutiny.



D15. Tree removal: The preservation of the large mature trees in Greenwich Forest is a high priority of these Guidelines, but there are circumstances in which removal may be unavoidable. Trees smaller than 8" in diameter (measured at 5' height) may be removed without an application for a work permit. Larger trees may be removed without an application for a work permit if a certified arborist provides documentation to the decision-making body stating that the tree is dead, diseased, dying, or a hazard (e.g., a threat to public safety or the structural integrity of the house). Each tree removed for these reasons should be replaced by one tree in the manner described below.

In planning landscape modifications, additions, and replacement houses, homeowners may propose the removal of trees with diameters greater than 8" (measured at 5' height). If there is an obvious alternative siting that would avoid removal of mature trees, the application for a work permit should include a brief explanation of why that alternative was rejected. In such cases, the functional needs of the homeowner should be respected. If applications propose the removal of trees larger than 8" in diameter (measured at 5' height), the site plan for the proposed modification must include the installation of two replacement trees for each tree removed as a result of the modification. These proposals are subjected to strict scrutiny (see Appendix 1) to ensure that homeowners have not overlooked viable options that would avoid tree removal and that the plan for installing new trees adheres to the following guidelines. Each tree removed from the forest canopy must be replaced with two trees chosen from canopy species already established in the region (e.g., White Oak, Nuttall Oak, Scarlet Oak, Greenspire Linden, American Beech, Ash, and Tulip Poplar). If the forest canopy is well established over the site, one of the two replacement trees can be chosen from an understory species that is already established in the region (October Glory Red Maple, Red Sunset Red Maple, Black Gum, and Sycamore). Ornamental trees such as American Dogwood, Serviceberry or Amelanchier, and Eastern Redbud are native and desirable plantings,

D17. Windows, dormers, and doors: Door and window replacements are acceptable, as long as the replacements are compatible with the architectural style of the house. Replacement windows with true or simulated divided lights are acceptable, but removable ('snap-in') muntins are not permitted on front-facing windows of contributing houses. Front-facing dormer additions to third floors are permitted on non-contributing houses and on contributing houses, if such additions do not involve raising the main roof ridgeline (as specified in D5) and if the addition is compatible in scale, proportion, and architectural style of the original house.

**Appendix 1**  
**Levels of Review Applicable to Contributing Properties**

	Work Permit Required?	Limited scrutiny	Moderate Scrutiny	Strict Scrutiny
Additions	Yes		Rear additions and non-forward-facing portions of side additions	Front-facing portions of additions that extend beyond the sides of the existing structure
Replacement of houses	Yes			X
Changes to architectural style	Yes			X
Guidelines on dimensions	Yes			X
Building materials	Yes		X	
Driveways and parking areas	Yes, except for replacement or minor reconfiguration		X	
Fences	Yes		X	
Porches	Yes		If not visible from right-of-way	If visible from right-of-way
Runoff control	Yes			X
Satellite dishes	Yes	To confirm that installation is not visible from right-of-way		
Skylights	Yes	To confirm that installation is not visible from right-of-way		
Solar panels	Yes	To confirm that installation is not visible from right-of-way		
Tree removal	Yes			X
Walkways and patios	No for replacement or minor reconfiguration	Review of runoff control only		
Windows, dormers, and doors	Yes	If not visible from right-of-way		If visible from right-of-way
Interior modifications	No			
Routine maintenance	No			

**Montgomery County Code, Chapter 24A Historic Resources Preservation**

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Secretary of the Interior's Standards for Rehabilitation**

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

## **STAFF DISCUSSION**

The work proposed includes removal and replacement of the historic entrance and the construction of a new rear addition.

### **Entrance Removal and Construction**

The historic front entry has a standing seam copper roof supported by wrought copper brackets. The applicant proposes removing this entrance and installing a new porch with a gable roof porch, supported by wood posts and brackets - copying the design and dimensions from the front elevation of the garage. The post and brackets motif is found throughout the historic district.



*Figure 2: The front elevation of the subject property, note the timbering on the one-story section.*

The *Design Guidelines* state that alterations to porches visible from the right-of-way are to be reviewed under strict scrutiny. Strict scrutiny as defined in the *Design Guidelines* focuses on preserving the integrity of significant architectural features. The *Guidelines* also allow for the addition of front porches that are compatible with the historic character of the house.

At the preliminary consultation, the HPC was virtually uniform in finding that the existing porch covering could be removed without negatively impacting the character of the historic building or surrounding district. Staff concurs with this assessment and recommends that the HPC approve the removal of the existing copper porch covering.

In place of the existing covering, the applicant proposes to install a new front-gable porch supported by wood posts with brackets. The gable roof will be covered in shingle that matches the historic house. The footprint of the porch will not be altered.

Staff finds that the front gable is a more compatible form than the previously proposed shed roof. The front gable slope will match the slope in the larger, 2<sup>nd</sup>-floor gable above the paired windows. Staff additionally

finds the proposed materials (wood, architectural shingle, and siding) are all compatible with materials found throughout the house. Staff supports the approval of the proposed porch.

### **Rear Addition**

At the rear of the house, there is a non-historic, one-story rear addition. This section of the house is not visible from the public right-of-way and its removal will not impact the historic character of the house. The HPC voiced their support for the removal of this feature as it is not historic and its removal will not have an impact on the surrounding district.

In place of the existing one-story addition, the applicant proposes installing a new two-story rear addition with a full basement. The siding of the proposed addition will match the siding found on the second floor of the historic house. The asphalt shingle roofing will match the roofing installed on the historic house. The rear deck will be wood, and because it is so close to grade a railing is not required.

The Greenwich Forest *Design Guidelines* offer significant flexibility when it comes to additions to contributing and non-contributing resources. Additions to contributing resources must “preserve as a recognizable entity the outline of the original house...” and the house must be a matching style, and the addition’s ridgeline must be lower than the historic principle ridgeline. The *Guidelines* also place a maximum lot coverage of 25%. Staff finds that the proposed addition is the same style as the historic house, as required and that the roof ridgelines are lower than the historic side gable, as required.

The proposed addition has only been slightly modified from the proposal presented at the preliminary consultation. The addition will be clad in siding to match the 2<sup>nd</sup>-floor of the historic house. The windows will be aluminum-clad wood Pella windows and doors, and the roof will be covered in architectural shingles that match the existing roofing. Staff finds that the materials are compatible with the historic house. Staff additionally finds that the addition is designed to match the Tudor Revival style of the historic house, as required by the *Design Guidelines*.

A general requirement of additions to historic houses is that the addition remains within the wall plane of the historic massing. That is not the case in Greenwich Forest and side additions and (side projecting additions) are allowed provided the setback between the two houses is at least 18’ (eighteen feet). At the Preliminary Consultation hearing, the majority of the HPC indicated that the side projection was acceptable under the *Design Guidelines* and that the change would not have a significant impact on the surrounding district because the projection is more than 60’ (sixty feet) from the right-of-way.

The applicant made two changes to the design based on the feedback of the HPC. First, the north wall of the addition is inset 1’ (one foot) from the north wall of the historic house, expressing the historic footprint, as required by the *Design Guidelines*. The applicant further reduced the rear gable by an additional 6” (six inches). The rear gable roof is now 3’ (three feet) lower than the principal, historic side gable. Staff finds that these changes are positive alterations and bring the house into compliance with the *Design Guidelines*.

To the east of the proposed addition, there is a large tree that will be impacted by the excavation of the basement. At the preliminary consultation, the applicant indicated that damage to this tree was unavoidable. Staff concurs with the assessment that the tree is likely to be damaged by the basement excavation and that it is safer to remove the tree. The *Design Guidelines* are explicit in requiring the planting of two canopy trees (or if the canopy is well established on site then planting two understory species) from an identified list of desirable species. The species and placement for the new trees was not provided with the HAWP application. As this requirement will not impact the design of the building addition, Staff recommends the HPC delegate review and approval of the two new tree species to Staff and dictate that the approval memo not be issued until this information is submitted.



Staff Recommends approval of the rear addition.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with one condition** the HAWP application:

1. Two trees from the species identified in the *Design Guidelines* need to be planted on the site.

Review of the trees and their locations need to be submitted and verified by Staff prior to issuing the HAWP approval memo;  
under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and (d), and the Greenwich Forest Historic District Design Guidelines; having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, 9, and 10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.

# 9/14/89



**HISTORIC PRESERVATION COMMISSION**  
301/563-3400

DPS - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: kramerarch@att.net Contact Person: Mark Kramer  
Tax Account No.: 00495862 Daytime Phone No.: 301-652-5700 (office)  
Name of Property Owner: Mark & Marjorie Kramer Daytime Phone No.: 301-938-3942 (cell)  
Address: 8017 Hampden Lane, Bethesda, MD. 20814  
Contractor: owner Phone No.: see above  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Mark Kramer, Architect Daytime Phone No.: 301-652-5700

## LOCATION OF BUILDING/STREET

House Number: 8017 Street: HAMPDEN LANE  
Town/City: BETHESDA Nearest Cross Street: LAMBETH ROAD  
Lot: 4 Block: K Subdivision: GREENWICH FOREST  
Liber: 40051 Folio: 186 Parcel: \_\_\_\_\_

## PART ONE: TYPE OF BUILDING ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

☒ Construct ☒ Extend ☒ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

☐ A/C ☐ Slab ☒ Room Addition ☒ Porch ☒ Deck ☐ Shed  
☐ Solar ☒ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # N.A.

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXISTING ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE OR RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches N.A.

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mark A. Kramer

Signature of owner or authorized agent

Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**MARK & MARJORIE KRAMER**  
**APPLICANT**

8017 HAMPDEN LANE  
BETHESDA, MD. 20814

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing residence is a two- story frame and stone residence within the GREENWICH FOREST historical district. The style of the existing residence is a TUDOR-COLONIAL architecture and the overall site is level with significant trees. The roof was already replaced and approved by the Historical Review Board.

The proposed additions are to replace the small front door element and replace the rear sun room with a new structure.

The proposed front porch would be an open porch structure with architectural column details to match the adjacent details.

The proposed rear addition will be a two story structure with a full basement and will not impact the appearance of the existing residence at the street. The siding and roof will match the color and texture of the existing building.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

**MARK & MARJORIE KRAMER**

**APPLICANT**

8017 HAMPDEN LANE  
BETHESDA, MD. 20814

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Mark & Margi Kramer 8017 Hampden Lane Bethesda, MD. 20814	Owner's Agent's mailing address Kramer Architects, Inc. Attn: Mark Kramer 7960-D OLD GEORGETOWN RD. BETHESDA, MD. 20814
Adjacent and confronting Property Owners mailing addresses	
Matt & Laurie Adams 8013 Hampden Lane Bethesda, MD. 20814	Mark & Jocie Cogan 8021 Hampden Lane Bethesda, MD. 20814
John Wyckoff 8012 Westover Road Bethesda, MD. 20814	Alex & Ken Walker 8008 Westover Road Bethesda, MD. 20814
Raymond & Karen Paretsky 8016 Hampden Lane Bethesda, MD. 20814	Scott & Denise Feldstein 8012 Hampden Lane Bethesda, MD. 20814

**MARK & MARJORIE KRAMER**  
**APPLICANT**  
 8017 HAMPDEN LANE  
 BETHESDA, MD. 20814




8017 HAMPDEN LANE - BETHESDA, MARYLAND 20814

## ARCHITECTURAL SITE PLAN



GRAPHIC SCALE

0 5 10 20



1 INCH = 10 FT.

A-1  
1 OF 17

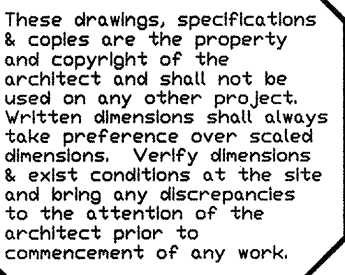


RAD. = 2805.0' ARC = 75.06' PROPERTY LINE


HAMPDEN LANE

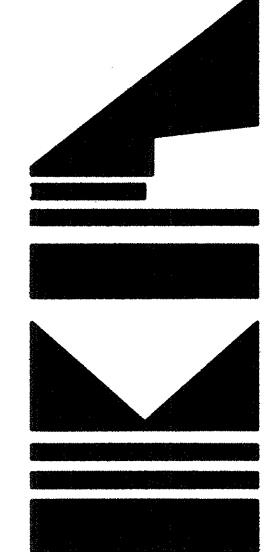
A-2  
2 OF 17

PROJECT:  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

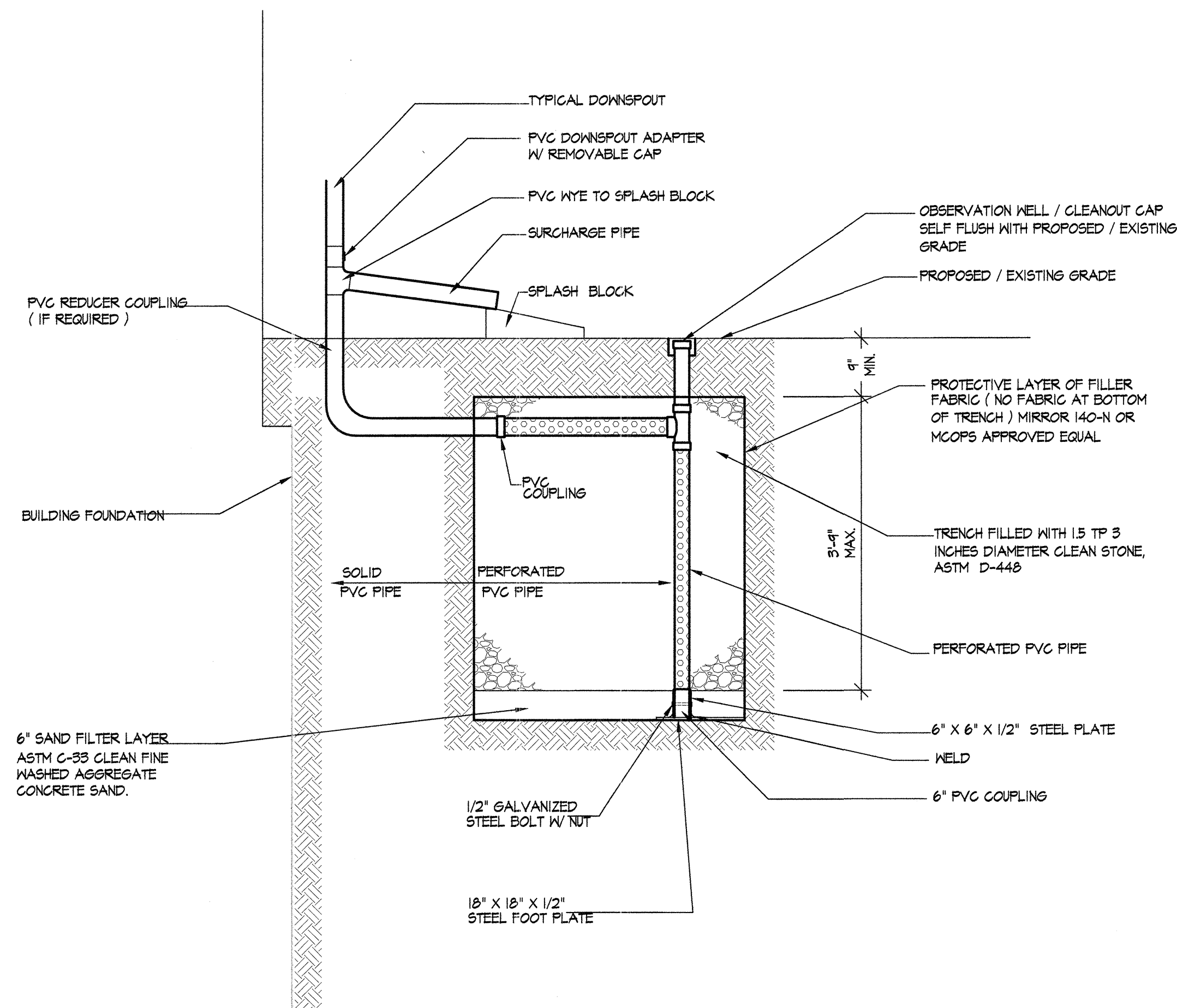


**PROFESSIONAL CERTIFICATION:**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND.  
License #4040-A  
Expiration Date: 11. 07. 2020

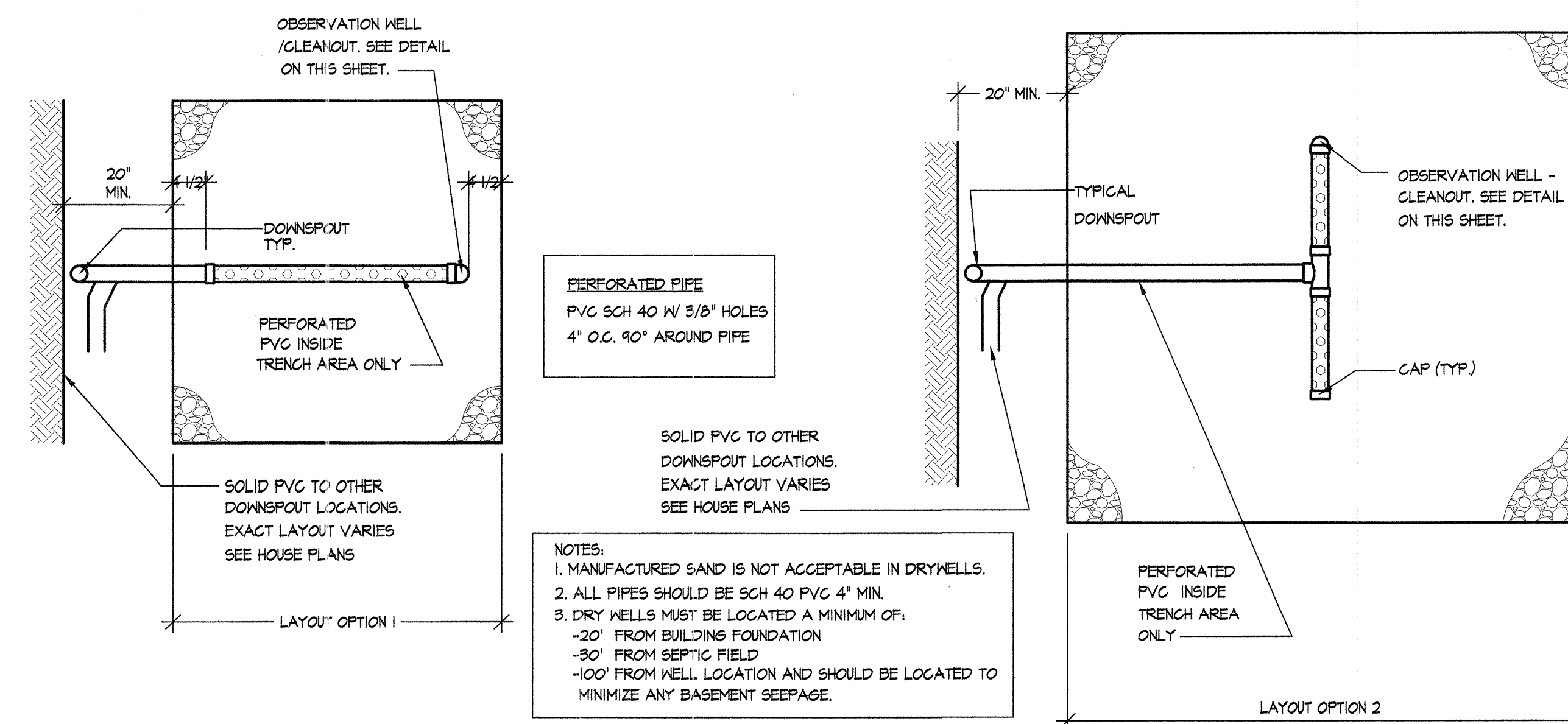
**ARCHITECTURAL REGISTRATION BOARD**  
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**STATE OF MARYLAND**



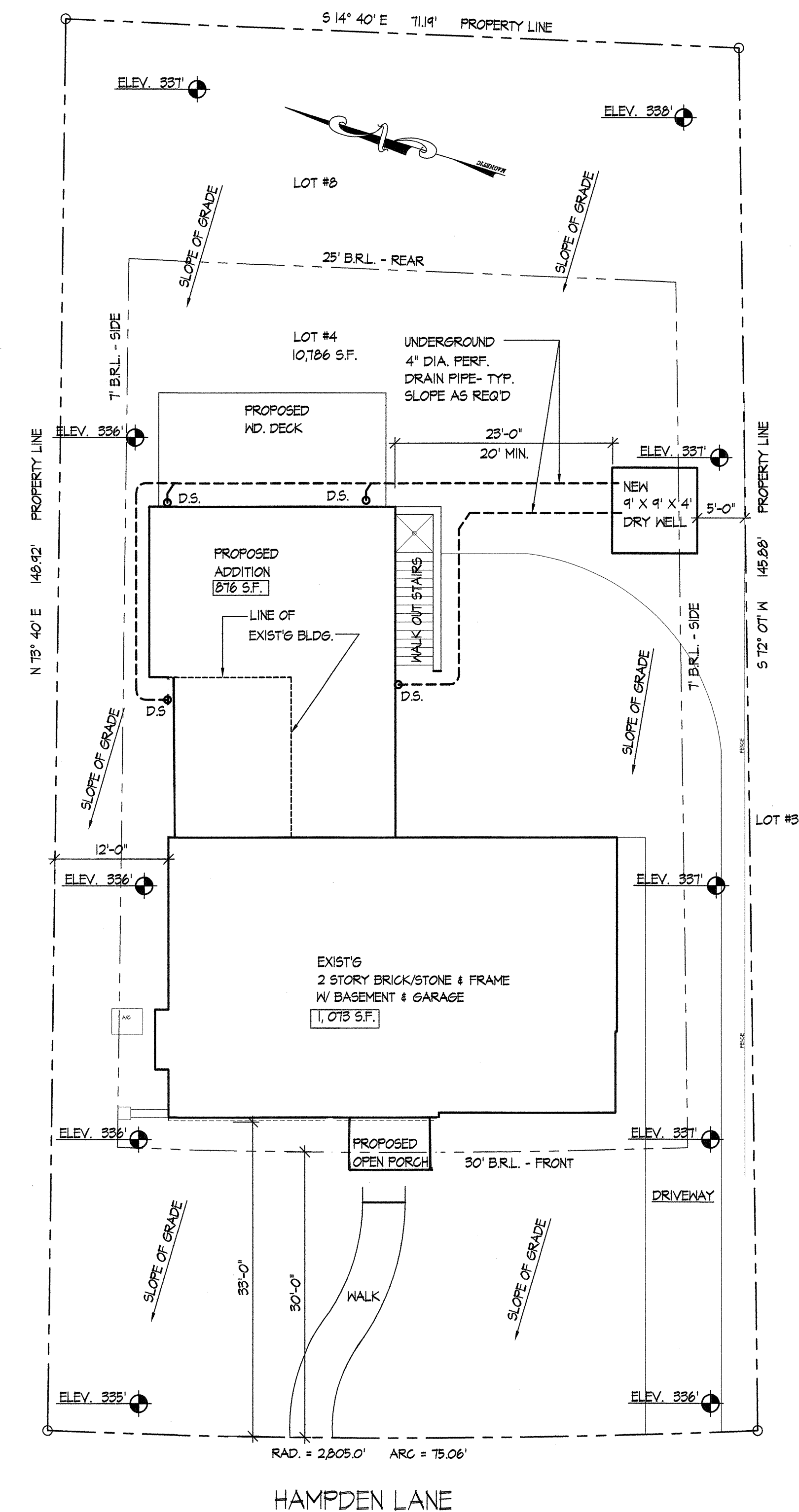
**KRAMER  
ARCHITECTS INC.**  
7960-D Old Georgetown Road, Bethesda, Md. 20814  
Phone: (301) 652-5700 Fax: (301) 913-9254



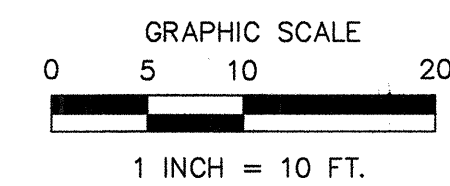
**2 DRYWELL DETAIL**  
SCALE: NO SCALE



**3 DRYWELL LAYOUT PLAN**  
SCALE: NO SCALE

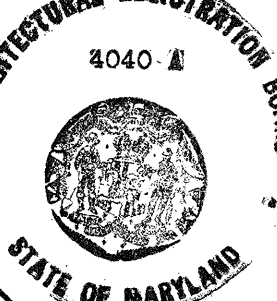


**1 RESIDENCE DRYWELL PLAN**  
SCALE: NO SCALE



These drawings, specifications, & copies are the property and copyright of the architect and shall not be used on any other project. Written dimensions shall always take preference over scaled dimensions. Verify dimensions & exist conditions at the site and bring any discrepancies to the attention of the architect prior to commencement of any work.

**PROFESSIONAL CERTIFICATION:**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND. License #4040-A. Expiration Date 11.07.2020



**PROJECT:**  
HAMPDEN LANE  
8011 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

**SHEET TITLE:**  
WATER DRAINAGE  
CONTROL PLAN

**REVISIONS**  
3-10-2020

Date:  
Permit: 2-10-2020  
Bids:  
Scale:  
AS NOTED  
Project Number  
1913

**A-3**  
3 of 17



# KRAMER ARCHITECTS INC.

# GENERAL

# CONTRACT

# SPECIFICATION

(These general specifications are to be used in coordination with the drawings and as they apply to the work of the project described)

**INSTRUCTIONS TO BIDDERS:** All bidders will be notified by the Architect concerning the bid due date and place.

**CONDITIONS OF THE CONTRACT:** All bidders are notified that AIA Document A201 General Conditions of the Contract for Construction, latest edition are hereby made a part of this specification.

**CONTRACT TIME AND LIQUIDATION DAMAGES:** The contract time in which the General Contractor agrees to complete his work is of considerable importance and will be one consideration in determining the acceptable bidder.

**FAMILIARITY WITH THE WORK:** Before submitting proposal, Contractor shall carefully examine the proposed Contract Documents, inspect the site of the project, acquaint himself with all governing laws, all conditions which may affect the performance of the work. The act of submitting proposal means that the Contractor has so familiarized himself, and therefore, no concession will be granted because of any claim or misunderstanding or lack of information.

**EXTENT OF SITE:** For purposes of this contract, the construction site shall be defined as that area located within the contract limit lines as shown on site plan of drawings.

## TEMPORARY CONSTRUCTION AND FACILITIES

1. **Scope of Work:** The work required under this section consists of providing all temporary construction and facilities necessary to complete the Work as indicated on drawings and described in the specifications. The term: Contractor, is used to indicate the General Contractor on this project.

2. **Temporary Electricity during Construction:** The contractor shall make the necessary arrangements and provide all electric service and lighting required during the entire construction period.

3. **Cold Weather Protection and Temporary Heat:** The Contractor shall provide cold weather protection and temporary heat as necessary to carry on the work expeditiously during inclement weather, to protect all work and materials against injury from dampness and cold.

## SITE WORK

1. **SCOPE OF WORK:** The work related to driveways, concrete walks and steps, all patios, terraces and related items as applicable to the project necessary to complete the Work as outlined on the drawings.

2. **ACCEPTANCE OF SITE:** The contractor shall inspect the site prior to starting his work for proper grades, soft spots, etc. This Contractor shall be responsible for fine grading the subgrade under all areas before placing finished surface.

## EXCAVATIONS, FILLING AND GRADING

1. **SCOPE OF WORK:** The work required under this section consists of all clearing, grubbing, excavating, filling, rough grading, finished grading and related items necessary to complete the Work. All excavated material that cannot be used as backfill for the new building shall be removed from the site or distributed only with the owners approval, upon the site. The Contractor shall clear only that portion within the contract limit lines.

2. **PROTECTION OF TREES:** The Contractor shall be responsible for the protection of tops, trunks, and roots of existing trees on the project that are to remain.

3. **EXCAVATION FOR BUILDING:** Excavate to elevations and dimensions indicated: allow for additional space as required for construction operations and inspecting foundations.  
A. Suitable bearing for foundations: (Assumed 3,000psf) If suitable bearing is not encountered at the depth indicated on drawings for foundations, the Contractor shall notify the Architect for further information.

B. Drainage: Contractor shall control the grading around bldg. so that ground is pitched to prevent water from running into the excavated areas or damaging the structure.

C. Footings: All footings shall be placed on permanently undisturbed soil not less than 2 feet 6 inches below adjacent exterior grade. Use a ratio of 1 vertical to 2 horizontal when necessary to step continuous wall footings. Vertical steps to be 1 foot 4 inch maximum.

D. Frost protection: Do not place footings or slabs on frozen ground. When freezing is expected, do not excavate to the full depth indicated, unless the footings or slabs can be placed immediately after the excavation has been completed. Protect the bottoms so excavated from frost if concrete is delayed.

4. **FILL UNDER FLOOR SLAB ON GRADE:** Where fill is required to raise the subgrade for concrete floor slabs to the elevations indicated on drawings, such fills shall be of earth or bank run gravel, placed and compacted as specified.

5. **BACKFILLING FOR BUILDING:** Backfill against foundation walls only after the approval of the Architect. Place and compact backfill so as to minimize settlement and avoid damage to the walls and to waterproofing and other work in place. Deposit backfill in layers not more than 8 inches thick. Place the fill material in successive horizontal layers, in loose depth as specified, for the full width of the cross section. The finished subgrade shall be brought to elevations indicated and sloped to drain water away from the building walls. A grade of ½ inch per foot minimum for at least 10 feet from building walls.

## CONCRETE WORK

1. **SCOPE OR WORK:** Furnish all materials, labor, equipment and appliances, and perform all operations in connection with installation of concrete work, complete, as shown on the drawings or herein specified, subject to the conditions of the Contract.

2. **COMPLIANCE WITH STANDARD AND INDUSTRY SPECIFICATIONS:** Any material or operation specified by reference to the published specs of a manufacturer, ASTM, ACI, The Portland Cement Assoc, The Concrete Reinforcing Steel Institute, the local code or other published standard shall comply.

3. **MATERIALS:** All concrete is to be ready mixed and placed in accordance with Building Code requirements for reinforced concrete (ACI 318). Concrete shall have a minimum compressive strength at 28 days equal to 3,000 psi (Class "B" mix minimum 5 bag mixture).

Reinforcing steel: Reinforcing bars to be deformed billet steel bars which conform to the American Society for Testing and material designations as follows: Reinforcing bars & Bar Deformations are to be ASTM A615, Welded Steel Fabric to be ASTM A185 (Lap edges of welded wire mesh 6" in each direction). Reinforcing bars to be protected with a minimum of 1 inch concrete top and bottom @ slabs.

## CONCRETE WORK (CONT.)

Expansion Joint Fillers: ½" inch asphalt impregnated fiberboard conforming to ASTM D1751. Joint fillers to extend full slab depth.

Perimeter Insulation: Cellular 2 inch thick, conforming to ASTM C343. Refer to drawings for details as to widths.

4. **PLACING REINFORCEMENT:** Place reinforcement accurately in position shown, securely fasten and support to prevent displacement before or during pouring. Cleaning, bending, placing and splicing of reinforcement shall be done in accordance with requirements of ACI-318. Mesh reinforcement in slabs shall have sides and ends lapped not less than one mesh.

5. **WEATHER CONDITIONS:** Concrete when deposited shall have a temp. not below 50 deg. F. for 7 days after placing. Cooling of the concrete to outside temperature shall be at a rate not faster than one degree each hour for the first day and 2 degrees each hour thereafter until the outside temperature is reached. The methods of heating the materials and protecting the concrete produced with heated aggregates, heated water or both, shall not exceed 90 deg. F. at any time during its production or transportation.

A. The use of salt, chemicals or other foreign materials shall not be mixed with the concrete for the purpose of preventing freezing.  
B. Admixtures intended to accelerate the hardening of the concrete to produce higher than normal strength at early periods will not be permitted unless specified, or prior approval is obtained from the Architect.

6. **FLOOR SLABS ON EARTH:** Concrete floor slabs on earth shall be placed over a well compacted subgrade. Over subgrade place porous fill: thickness of porous fill shall be 4 inches unless otherwise shown. Roll or tamp fill until thoroughly compacted. Over porous fill lay vapor barrier, lap joints 6 inches and seal with tape. Turn paper up on walls approximately 4 inches. Provide welded wire mesh as spec. Immediately place concrete of required thickness and strike off at proper levels to receive finishes specified. Set continuous expansion joint strips where edge of slab abuts vertical surface. Provide a standard integral monolithic steel trowel finish for all concrete slabs, unless spec. otherwise on drawings.

## STRUCTURAL AND MISCELLANEOUS STEEL

1. **SCOPE OF WORK:** The work required under this section consists of all structural steel, steel erection, miscellaneous steel, painting and related items necessary to complete the Work indicated on the draw.

2. **COMPLIANCE WITH STANDARD AND INDUSTRY SPECIFICATIONS:** Any material or operation specified shall comply with ASTM, ANSI, AWS or other published standard. All structural steel members are to be fabricated and erected in accordance with the AISC (American Institute of Steel Construction) Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings.

Unless otherwise noted, provide one angle for each 4" thickness of wall or partition with 3-½" leg horizontal for openings in masonry as follows:

Openings to 3'-0" L 3 -½ x 3 x ¼  
Openings 3'-1" to 6'-0" L 4 x 3 - ½ x ¾  
Openings 6'-1" to 7'-11" L 5 x 3 - ½ x ¾  
Openings 8'-0" to 8'-5" L 6 x 3 - ½ x ¾  
Provide a minimum of 6" bearing for angle lintels and 8" at beams

## MASONRY

1. **SCOPE OF WORK:** The Work under this section consists of all masonry work and related items necessary to complete the Work indicated on the drawings and described in the spec.

2. **MATERIALS:** Building Brick: Brick shall be made from clay or shale and conform to ASTM Spec c62. For foundations, work below grade and work in contact with earth, use Grade SW. Use Grade MW for exterior walls above grade and Grade NW for interior walls and for back up of walls faced with facing brick. All materials to be used are to meet: ASTM or published standards accepted by ASTM.

A. Facing brick: Brick shall conform to ASTMc 216, Grade SW. Refer to drawings for allowance for brick bidding purposes.  
B. Concrete masonry units: Shall conform to applicable ASTM specifications. Use c90 for hollow load bearing units. Use load bearing tupe units for load bearing partition, walls and all other locations where concrete masonry units are indicated on drawings.  
C. Joint Reinforcement: Steel reinforcement for use in horizontal bed joints of concrete masonry units and other locations as hereinafter specified shall be prefabricated type formed of zinc-coated cold drawn steel wire conforming to ASTM Spec. A116 for class 2 coating. Side wires shall be formed of no.9 gauge or larger and be deformed; cross rods shall be of no.12 gauge or larger, smooth or deformed wire, butt welded to side wires. The following manufacturer is recommended: DUR-O-WALL  
D. Reinforcing rods: Shall be ASTM Spec. A15 or A16 for all rods for lintels and other reinforcement

3. **STORAGE OF MATERIALS:** Store materials under cover in a dry place and in a manner to prevent damage or intrusion of foreign matter. During freezing weather protect all masonry units with tarpaulins. Store concrete masonry units under covers that will permit circulation of air and prevent excessive moisture absorption. Reinforcement shall be free from rust, ice or other foreign materials prior to installation. Concrete masonry units shall be protected against wetting prior to use.

4. **MORTAR AND MIXING PROCEDURE:** See drawings for color of mortar to be used with bricks. Masonry cement to conform to accepted practice for masonry. Mix all cementitious materials and sand in a mechanical batch mixer for a minimum of 5 minutes. Adjust the consistency of the mortar to the satisfaction of the mason. All mortar shall be used within 2 ½ hours of the initial mixing. It shall not be used after is has begun to set.

5. **PRECAUTIONS AND GENERAL REQUIREMENTS:** Do not lay masonry when the temperature of the outside air is below 40 degrees F. unless suitable means as approved by the Architect are provided. No antifreeze ingredient shall be used in the mortar.

6. **LAYING BRICK:** Lay brick plumb, level and true to line in full beds of mortar. Lay brick in running bond, Coursing shall be done with story rod laid so that 3 courses equal 8 inches. Completely access panels, loose lintels and fireplace metal and other work at locations on drawings and as specified.

7. **LAYING CONCRETE MASONRY:** Set units plumb and true to line. All units shall be laid with level horizontal joints. Units shall be laid in running bond. Joints of interior concrete masonry units that will be exposed or painted shall be cut flush and tooled.

## WATERPROOFING AND TILE DRAINS

1. **SCOPE OF WORK:** The Work required of this section consists of all weatherproofing (dampproofing), tile foundation drains and related items necessary to complete the Work indicated on the drawings.

2. **METALLIC WATERPROOFING:** Provide waterproofing on outside face of all masonry walls that enclose building. Extend waterproofing from tops of footings to 3 inches above grade. Provide at all locations indicated on drawings. Contractor to inspect surfaces to receive waterproofing and dampproofing specified.

A. Application on masonry surfaces: First coat shall be composed of 1 part portland cement, 2 parts screened sand by volume and 15 lbs. of metallic compound to each bag of cement. Mix to troweling consistency and apply to a thickness of ¾ inch.  
B. Guarantee: Contractor shall furnish owner with a guarantee in which he agrees to correct and repair at his own expense any leaks, excepting structural defect leaks, which occur at areas where waterproofing was under his contract.

3. **INTERIOR DAMPROOFING:** Apply dampproofing on inside face of all exterior masonry walls that are furred and finished. Material shall be an asphalt base material and suitable for application by spray. Deliver material to the project site in sealed containers with manufacturer's label on each container. Apply dampproofing in strict accordance with manufacturer's instructions. Surfaces shall be thoroughly covered with an unbroken coating and left free from runs and sags at normal temperatures. Make a watertight seal between dampproofing and flashings that are turned up on side of wall.

4. **FOUNDATION DRAINS:** Lay drain tile or pipe level on a bed of gravel. Be sure that backfill has been well compacted before gravel is placed. Lay tile with a ¼ inch wide open butt joints. Cover tile with continuous strips of heavy burlap or felt.

## ROOFING AND SHEET METAL

1. **SCOPE OF WORK:** The work required under this section consists of all roofing, sheet metal and related items necessary to complete the Work indicated on drawings. Refer to the drawings for type of roof material and specification of color and manufacturer.

2. **MISCELLANEOUS FLASHINGS:** Furnish and install all miscellaneous flashings, head flashings, base flashings, etc. required to provide watertight walls or roofs. Furnish and install stepped flashing for chimney flashing. Furnish termite shield where required in 10 foot lengths with 3 inch minimum lap joints.

## WOOD WINDOWS AND SLIDING GLASS DOORS

1. **SCOPE OF WORK:** The work required under this section consists of furnishing all wood windows and sliding glass doors, and related items necessary to complete the Work. See window and door schedule on drawings for manufacturer and specification of each product.

2. **PROTECTION:** Care shall be used in handling windows and doors during transportation and at job site. Store upright on pieces of lumber in a dry location and under cover.

## CARPENTRY AND MILLWORK

1. **SCOPE OF WORK:** The work required under this section consists of all carpentry and millwork and related items necessary to complete the Work described in the drawings.

2. **CARPENTRY ITEMS FOR PERFORMANCE:** Without restricting the volume or generality of the work, this section shall include, but is not limited to the following:  
A. Refer to drawings, schedules and details for quantity and location of carpentry millwork.  
B. Blocking: Furnish and set all wood blocks, plugs, strips, etc. in securing equipment and finished work of contractors to mason.  
C. Furring: All wood furring required for the proper installation of work of the contractors.  
D. Fastenings: All anchors, ties, bolts, hangers, etc.  
E. Furnishing and installing all rough hardware, nails, spikes, screws, etc.  
F. Installation of all finishing hardware  
G. Furnishing and installation of wood windows and sliding glass doors and wood doors  
H. Furnishing and installing all interior and exterior finished millwork  
I. Wood for interior and exterior stairs, balconies, decks, etc.  
J. Installation of all medicine cabinets and mirrors, as appl.  
K. Furnishing and installation of wood flooring and ceilings  
L. Furnishing and installing of all wood joists, Teco hangers, wood studs, sheathing, plywood, floor and roof trusses, etc.  
M. Metal or wood ventilation louvers

3. **MATERIALS:** All framing lumber to be minimum #2 Hem Fir or approved equal for specific locality with moisture content in lumber not to exceed 19 per cent when installed. For interior woodwork that is to have a painted finish use C select or better white pine or an approved equal. Studs shall be 2X4 or 2X6, as specified on drawings at 16" on center with double top plate, or at 24" o.c. again as specified on drawings. See details for special framing.

4. **MISCELLANEOUS MATERIAL:** Soffit insect screen shall be aluminum mesh, width as required. Secure to plywood or soffit framing.

A. Anchor bolts generally shall be ¾ inch in diameter with nut and washer and wall end bent 2 inches.  
B. Anchors shall be installed where specified on drawings to anchor carpentry to masonry.  
C. Insulated sheathing shall be ½ inch thick R-Max type insulation board or approved equal.  
D. Building paper shall be 30 lb. asphalt-satured felt

5. **WOOD DOORS:** Refer to door schedule on drawing for specifications and location of doors. Cap exterior doors with non-corrosive metal and flash cutouts to prevent penetration of door by water.

6. **FRAMING:** In general, apply the following standards in construction  
A. Brace walls between studs with members 2 inch by wall thick. at least one in each story height or as detailed on drawings.  
B. Cut framing square on bearings, closely fitted: accurately set to required lines and levels and plumb; secure rigidly in place at bearings and connections.  
C. Do not use shims for leveling on wood or metal bearings. Use slate or tile shims with full bearing for leveling on masonry.  
D. Firestop all concealed spaces in wood framing not already shut off by framing members, to prevent drafts from one space to another. Fill accurately to fill openings.  
E. Keep framing 2 inches away from masonry chimneys, 4 inches from fireplace back walls.  
F. Install corner bracing in exterior walls of metal ties or approved equal, let into studs and plates flush with face of studs as near 45 degrees from horizontal as possible.

## CARPENTRY AND MILLWORK (CONTINUED)

6. **FRAMING (CONTINUED)**  
G. Ceiling joists, rafters, beams are to be set with crown edge up, Double joists to form headers and trimmers around access doors, stairs to attics, skylights, etc. Where built into masonry, provide ends with 3 inch bevel cut. Provide blocking or suitable edge support between members where necessary.  
H. Studding: Double studs at openings, with two 2x6 headers minimum above as headers  
I. Plywood subflooring: use ¾ inch thick plywood, C-D with exterior glue.  
J. Plywood roof sheathing: use ½ inch thick plywood, C-D with exterior glue.

7. **PRESSURE TREATED WOOD:** Pressure treated lumber shall be used at wall plates at top of masonry and concrete in exterior walls and at exterior rough bucks for all wood doors

8. **FINISH CARPENTRY:** The following notes apply in general to project:  
A. Cut moldings and shapes sharp and true.  
B. Blind nail where possible  
C. Built up items shall be glued as well as nailed.  
D. Set finishing nails, used on exposed faces, to receive putty  
E. Install exterior and interior fascias in long lengths, with joints staggered and only where solid fastening is possible.  
F. Cope molded work at returns and interior angles. Miter at corners.  
G. Leave work free from defects in any exposed part.  
H. Back prime all members before installation, with exterior priming material specified in painting section. Install with non-corrosive type nails only.

9. **ROUGH AND FINISHING HARDWARE:** Install all rough hardware and metal fastenings as shown on drawings or as required for proper installation of carpentry. Provide allowance for contract to cover all finish hardware as required for execution of the contract.

A. Protection: Cover door knobs, pulls and other finished hardware until project is painted and complete, free from defect  
B. Keys: Upon the completion of the work, all hardware shall be demonstrated to work freely; all keys shall be fitted in their respective locks and delivered to owner upon completion.  
C. Locks and latch strikes shall be installed on the doors and door frames at the same height throughout the building.

## GYPSUM WALLBOARD AND THERMAL INSULATION

1. **SCOPE OF WORK:** The work required under this section consists of all gypsum wallboard, thermal insulation and related items necessary to complete the Work  
2. **GYPSUM WALLBOARD:** Wallboard shall comply with requirements of ASTM C36 and C442 with amendments.  
A. Materials: Reinforcing tape shall be Perf A Tape by USG. Beading and topping compound shall be USG or approved equal. Provide corner beads, casing beads and other metal trim as reqd. to properly conceal the metal flanges of all trim.  
B. Installation: Minimum temperature in areas to receive drywall shall be 50 deg. F. All wallboard joints shall be butted loosely together. Maximum allowance shall be ¼ inch. End joints shall be supported on framing members. Apply end joint compound to back of wallboard along end joints. After trim is installed, correct all surface damage and defects as required. Fasten gypsum panels to wood framing with type W bugle head course thread drywall screws.  
3. **THERMAL INSULATION:** Provide nominal foil faced insulation with R factor as specified for area of use: wall, floor or roof. Insulation shall be either blanket or batt type to suit conditions encountered and shall be of proper widths to insure 100 percent coverage in all specified areas as follows:  
A. At 4 inch nominal walls use 3 ¾ inch thick R-13 Foil Faced  
B. At 6 inch nominal walls use 6 inch R-19 Foil Faced  
C. At roofs & Crawl spaces use 9 inch nominal R-30 insulation  
D. Insulation shall be installed in strict accordance with manufacturer's recommendations and latest publ. specifications.

## CERAMIC TILE AND MARBLE THRESHOLDS

1. **SCOPE OF WORK:** The work required consists of all ceramic tile and marble thresholds, and related items to complete the Work.

2. **SAMPLES AND ALLOWANCE:** Contractor shall provide allowance as indicated on drawings and ultimately provide samples to owner for selection using these prices.

3. **LAYOUT OF WORK:** Align joints in floor at right angles to each other and straight with walls, to conform to patterns selected unless otherwise designated on plans for custom patterns.

4. **INSTALLATION OF TILE:** Compliance shall be with standard specs in the field as proposed American National Standards Institute specs A108.4 Standard Specifications for installation of ceramic tile with water resistant organic adhesives.

## RESILIENT FLOOR COVERINGS

1. **SCOPE OF WORK:** Consists of all resilient floor coverings and related items for installation of such products.

2. **ALLOWANCE:** Contractor shall provide a reasonable allowance for the product and installation. Use a typical no-wax finish product.

3. **PREPARATION OF SURFACES RECEIVING RESILIENT FLOORING AND BASE:** Surfaces shall be turned over to contractor broom clean and free of paint, grease, wax, oil, dirt, and any material which will inhibit adhesive bond.

4. **INSTALLATION:** In space where flooring is to be installed, maintain temperature at not less than 70 degrees F. for 24 hours prior to installing and at least 48 hours after installing, and thereafter at least 55 degrees F. or above, to prevent damage.

## CAULKING, WEATHERSTRIPPING AND THRESHOLDS

1. **SCOPE OF WORK:** Consists of caulking as required for project, weatherstripping exterior doors and thresholds as specified.

2. **APPLICATION OF CAULKING:** Caulk all exterior and interior perimeter of all sash and masonry, between door frames at exterior masonry walls, at joint between masonry and steel shelf angles and lintels, at exterior moldings and masonry products or wood if adjacent, etc.

For interior conditions between door frames, exposed masonry walls, joints at trim, door frames, etc. or as required for project.

3. **WORKMANSHIP:** All work to be done in strict accordance with the directions furnished by the manufacture. Compound to be of proper consistency and readily workable. Caulking to be finished smooth with joints and as inconspicuous as possible, free from tool marks.  
4. **WEATHERSTRIPPING:** Install as per manufacturer's instructions.

## PAINTING FINISHES

1. **SCOPE OF WORK:** The Work required under this section consists of all painting and finishing work and related items necessary to complete the work indicated on drawings and described herewith.

2. **ACCEPTABLE MANUFACTURERS:** The following manufacturers are considered acceptable for use by the subcontractor: Benjamin Moore and Sherwin Williams.

3. **GENERAL REQUIREMENTS:** Before starting any work, the painting contractor shall inspect all surfaces to be painted or finished. No work shall be done under conditions which are unsuitable for the production of good results.

4. **SCHEDULE OF PAINTING:** Interior Drywall, use 1 coat primer and 2 coats flat finish; Interior Trim, use 1 coat primer and 2 coats semi gloss interior.; Exterior Wood Trim, use 1 coat primer, sealer and 2 coats semi gloss exterior .

5. **CLEANING UP:** The painting contractor shall, upon completion, remove all paint where it has been spilled, splashed or spattered on surfaces; it shall be removed without marring the surface finish.

## HEATING, VENTILATING AND AIR CONDITIONING

1. **SCOPE OF WORK:** The work required under this section consists of all labor, materials, appliances and related items necessary to complete the Work required for proper conditioning of the air within the project. Without restriction to, the work shall consist of, but is not limited to the following:  
A. Furnish and install complete heating, cooling and ventilating system  
B. Furnish and install all controls required for the system  
C. Furnish and install all exhaust fans as indicated on plans  
D. Furnish and install all ductwork, grilles, registers and ceiling diffusers as required for the project  
E. Furnish and install all insulation as described  
F. Balance cooling, heating and ventilating system so as to give uniform cooling and heating throughout  
G. Furnish and install air cooled condenser and air handling units  
\*NOTE: The word "system" means pipe and fittings, valves, ductwork accessories, equipment required for complete, and operating system.

2. **CODES AND STANDARDS:** Latest effective standards, codes, regulations, etc. The contractor shall also submit to the ARCHITECT a shop drawing or layout drawing indicating the proposed layout of the system, and then proceed only after receiving approval.

3. **CONDITIONS:** The contractor shall carefully study all architectural plans and be responsible for work pertaining to his trade and the coordination of his work in relation to the other trades.

4. **GUARANTEE:** On completion of entire work, complete systems and equipment shall be carefully tested by actual operation, and the various pieces of equipment made to function as intended. All workmanship, material and equipment shall be guaranteed and serviced for a minimum period of one year. The guarantee shall be all inclusive and shall include any adjustments required due to malfunctioning of any of the systems. Service contract and equipment warranties shall be turned over to the owner. All charges incurred within this period shall be borne by the contractor.

## PLUMBING

1. **SCOPE OF WORK:** The work required under this section consists of all labor, materials, accessories and related items necessary to complete the Work indicated and inferred on the drawings to complete the project.

2. **RULES AND REGULATIONS:** All work shall be in strict accordance with rules and regulations of any authorities having jurisdiction within the project locality. The contractor shall also secure all permits and any necessary inspections at the proper time during the progress of the work and also upon completion of the work.

3. **CONDITIONS:** The contractor shall carefully study all architectural plans and be responsible for work pertaining to his trade as indicated or specified within the project specs or drawings. If for any reason changes in locations have to differ, the matter shall be discussed with the architect immediately for his decision and further instructions.

4. **GUARANTEE:** Same guarantee as outlined in "Heating, Ventilating and Air Conditioning" section, #4 GUARANTEE. All hot and cold water piping installed by this contractor and including fixture and equipment after erection and prior to concealment shall be tested under pressure of not less than 100 p.s.i. for at least 60 minutes without leaks, and drop of pressure of not more than 1 lb. per sq. inch. All gas piping, if applicable, shall be tested in accordance with the rules and regulations of the gas utility company.

## ELECTRICAL

1. **SCOPE OF WORK:** The work required under this section consists of all electrical work including labor, materials (unless otherwise noted on drawings), equipment, apparatus and related items necessary to complete the Work. The following items shall be included in the contract, but is not limited to:

A. Permits and Certificates  
B. Electrical Service and metering equipment (as applicable)  
C. Panelboards, lighting fixtures, devices, appliances, and all other electrical materials, equipment and apparatus.  
D. Outlets, raceways, wires, cables and electrical connections  
E. Service equipment as required

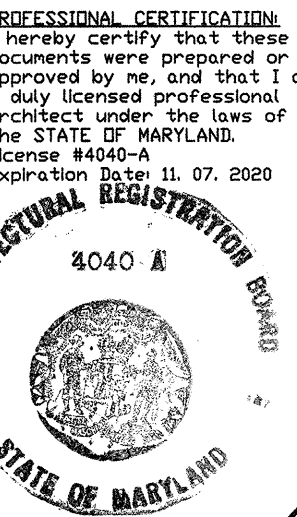
2. **REGULATIONS:** The work shall be done in accordance with all electrical codes and ordinances as they apply within the locality.

3. **MATERIALS AND WORKMANSHIP:** The contractor shall coordinate the electrical installation with the installation of the work of other trades in the project. Electrical materials and apparatus furnished shall be new and shall be approved by the Underwriters Laboratories. The contractor shall study all plans and provide service and equipment as required to satisfy the electrical requirements of the project. The contractor shall notify the required Power Company and satisfy their requirements. All electricians with the contractor shall be licensed as required within the state laws and codes. The architectural drawings indicate the general extent and arrangement of the installation requirements only. The architectural drawings shall be referred to for construction and finish details as they affect the work of the electrical section.

4. **GUARANTEE:** Same guarantee as outlined in "Heating, Ventilating and Air Conditioning" Section #4. All final inspections and equipment shall be tested and delivered to the owner without flaws and in proper working order.



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PROJECT:  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

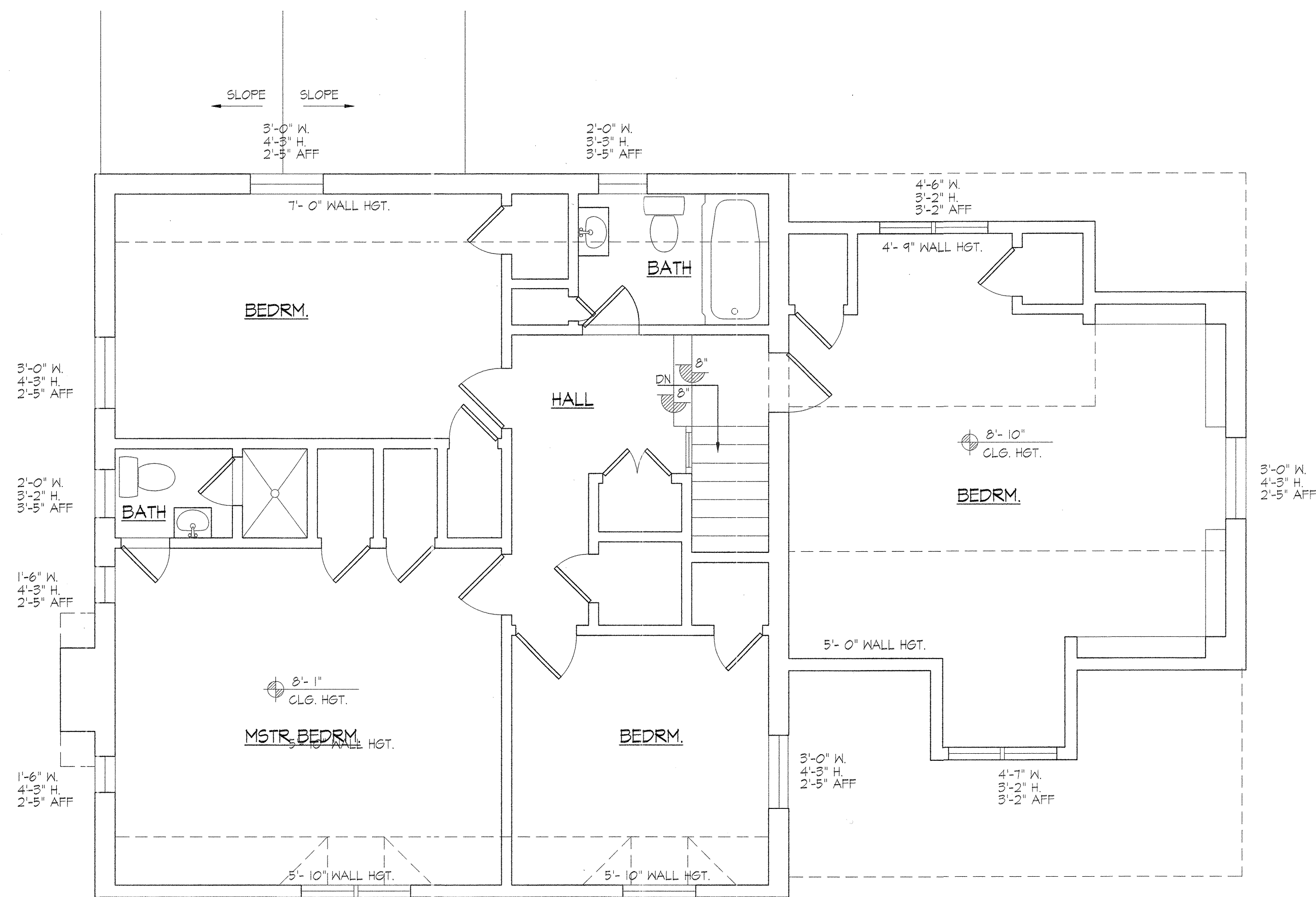
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SPECIFICATIONS

REVISIONS  
3-10-2020

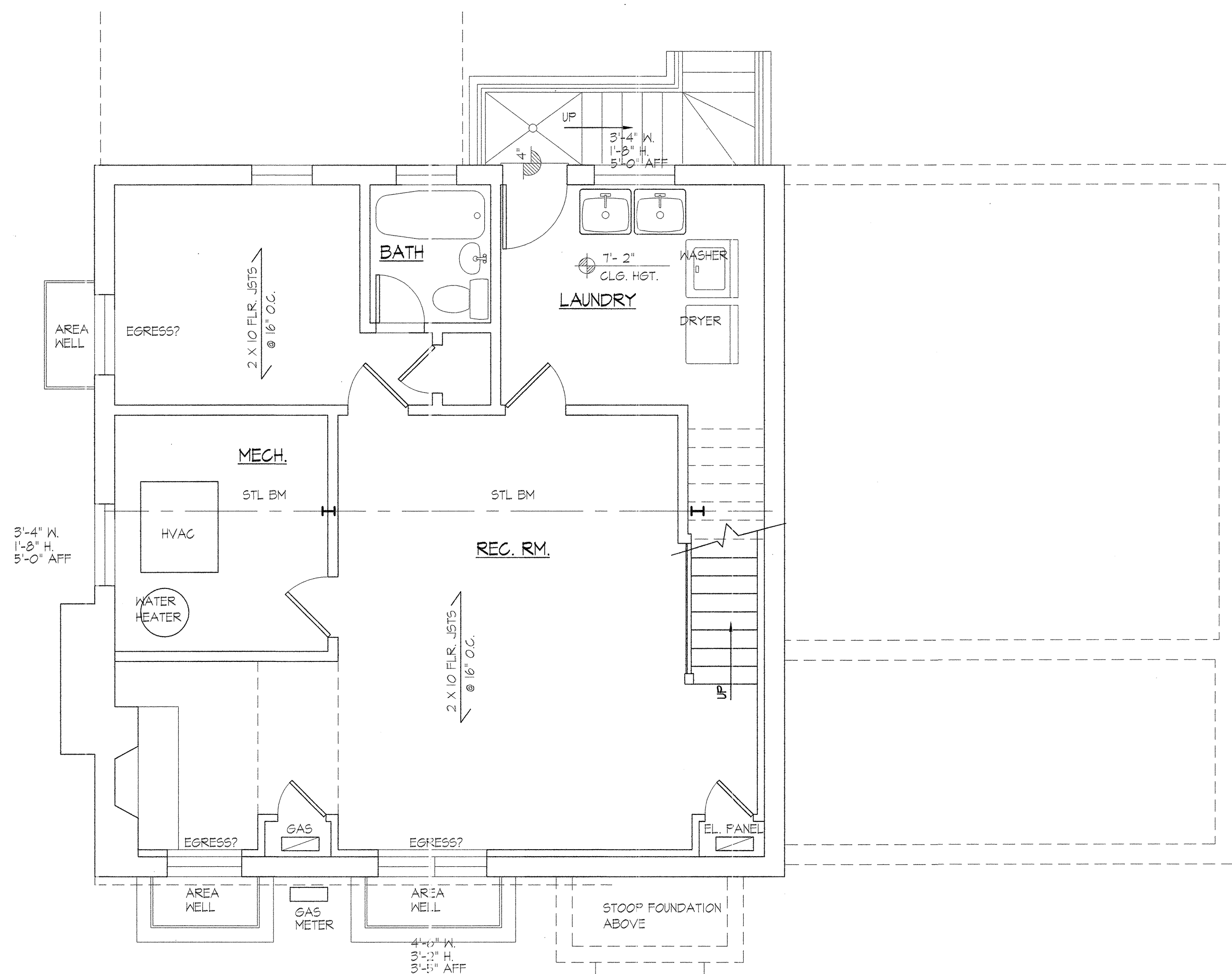
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Permit: 2-10-2020  
Bids:  
Scale:  
AS NOTED  
Project Number  
1913

A-4  
4 OF 17

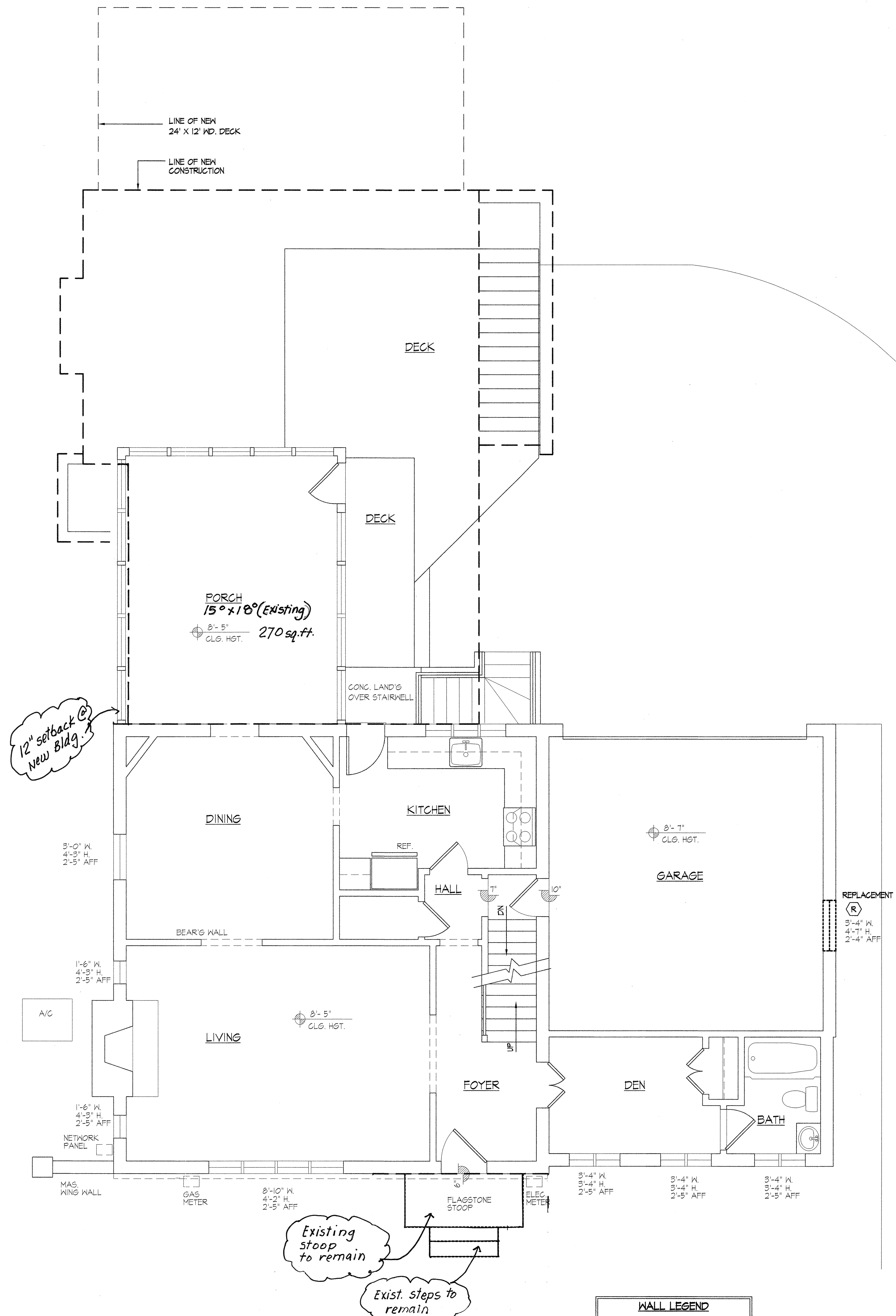




EXISTING - DEMO 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"



EXISTING - DEMO BASEMENT PLAN  
SCALE: 1/4"=1'-0"



EXISTING - DEMO 1ST FLOOR PLAN  
SCALE: 1/4"=1'-0"

WALL LEGEND	
NEW WALL:	
EXIST'G WALL:	
DEMO WALL:	

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7960-D Old Georgetown Road, Bethesda, Md. 20814  
Phone: (301) 656-5700 Fax: (301) 913-9534

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ARCHITECTURAL REGISTRATION BOARD  
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STATE OF MARYLAND

PROJECT:  
HAMPDEN LANE  
8011 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

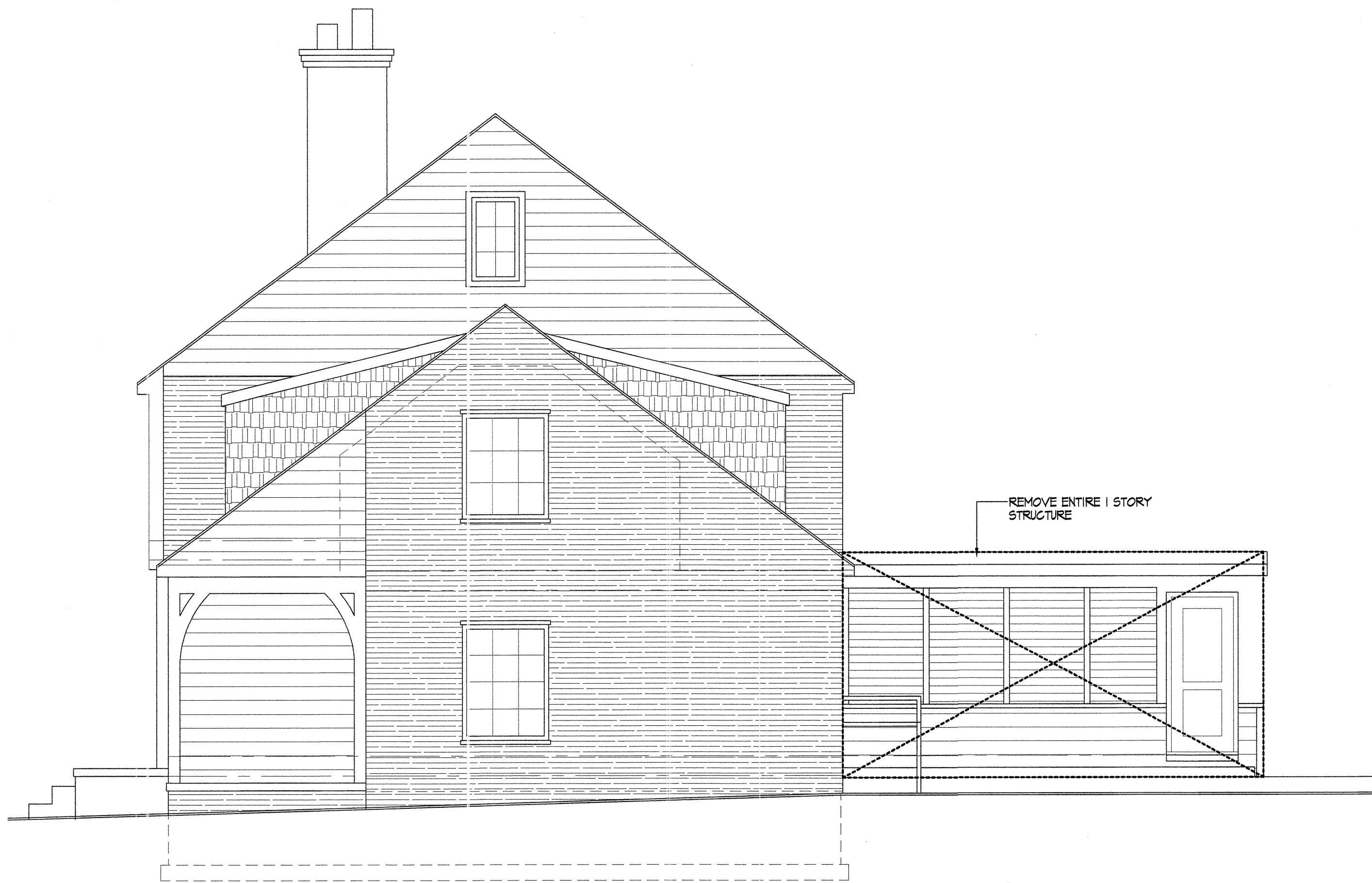
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EXISTING - DEMO / FLOOR  
PLANS

REVISIONS  
3-10-2020

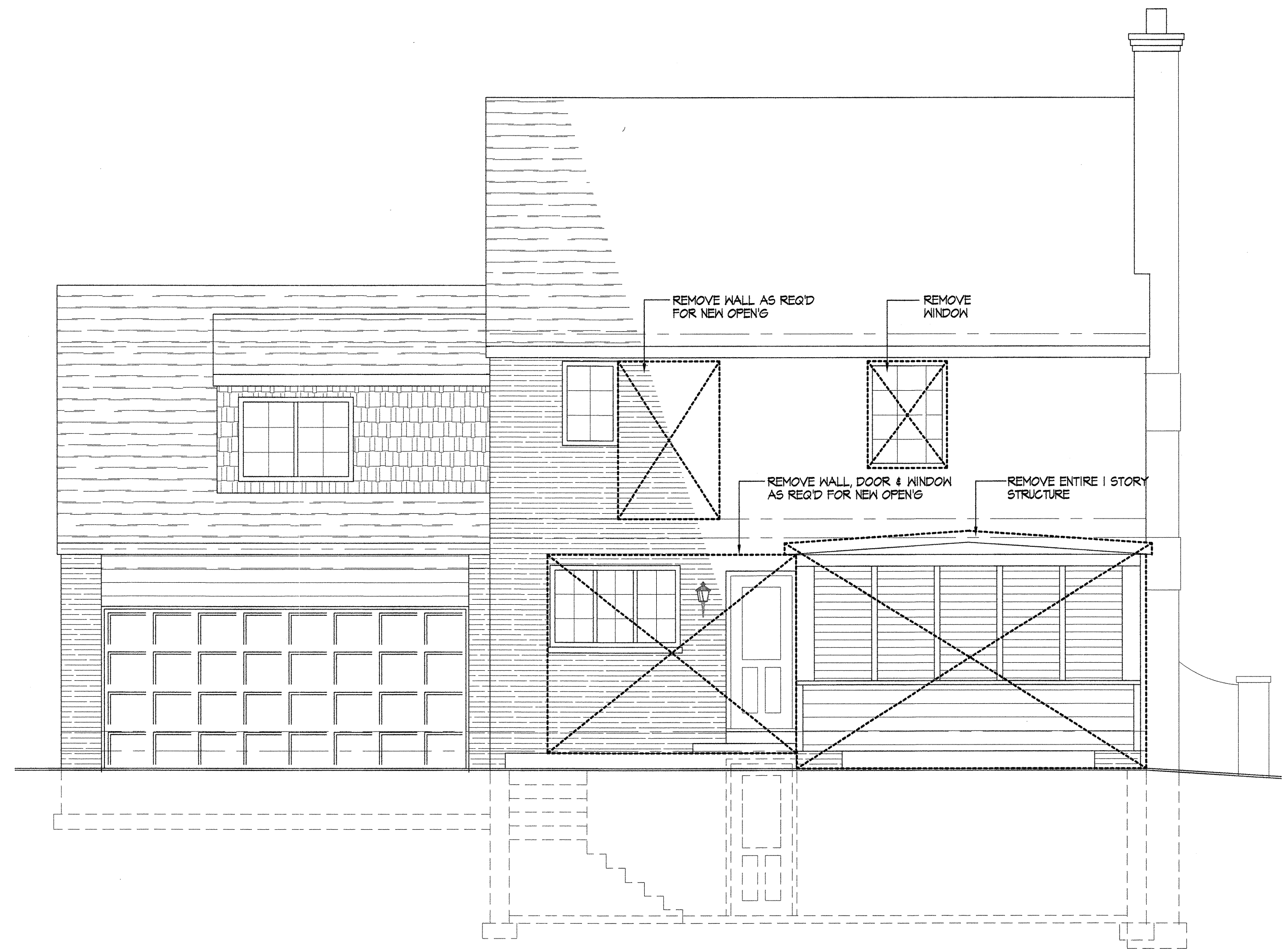
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Permit: 2-10-2020  
Bids:  
Scale:  
AS NOTED  
Project Number  
1913

**A-5**  
5 of 17

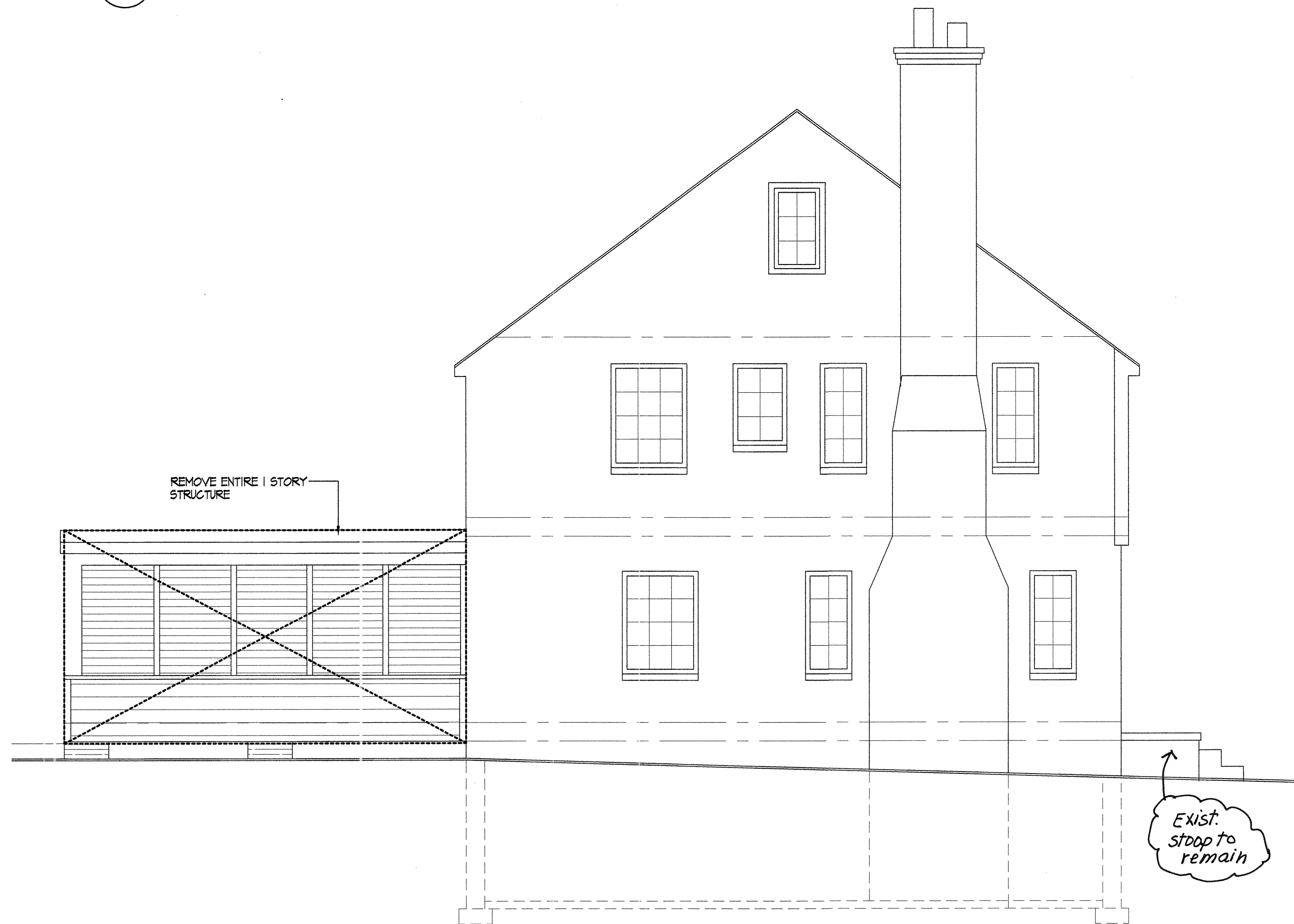
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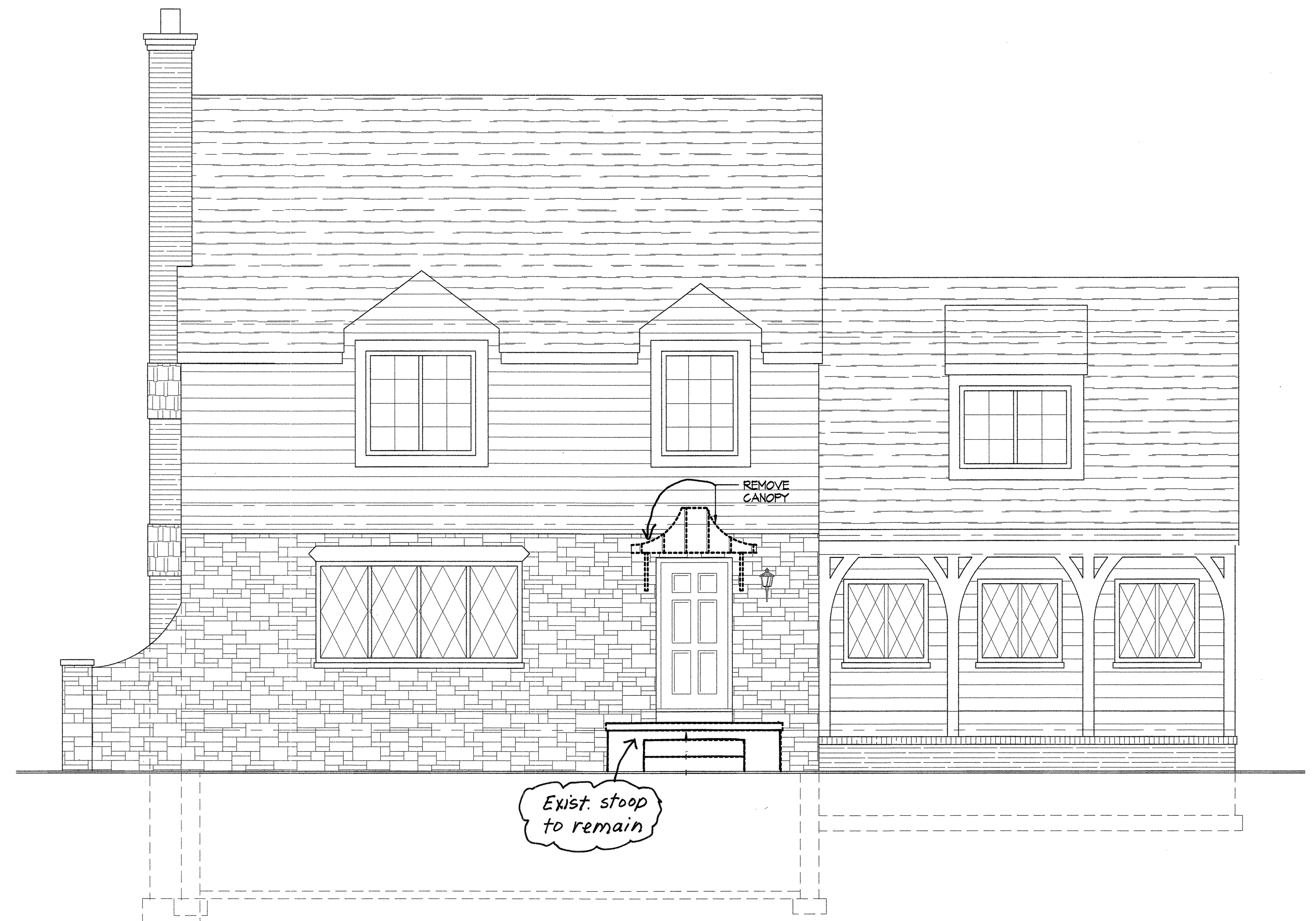
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SCALE: 1/4"=1'-0"



EXISTING - DEMO REAR ELEVATION  
SCALE: 1/4"=1'-0"



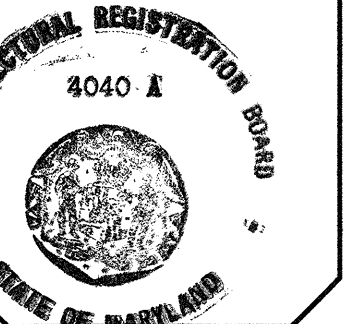
EXISTING - DEMO LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



EXISTING - DEMO FRONT ELEVATION  
SCALE: 1/4"=1'-0"

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Expiration Date 11.07.2020



PROJECT:  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
EXISTING - DEMO  
ELEVATIONS

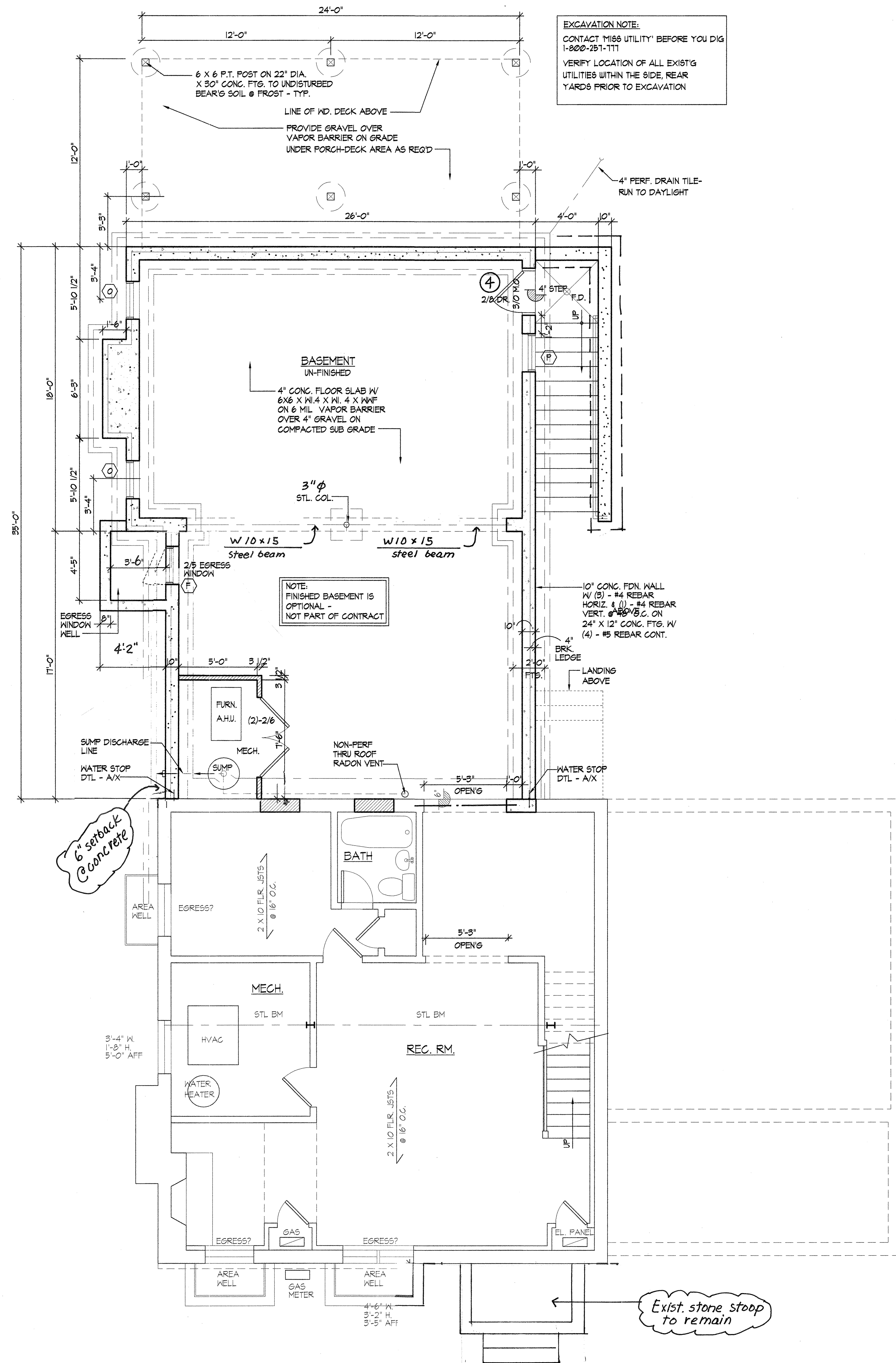
REVISIONS  
3-10-2020

Date:  
Permit: 2-10-2020  
Bids:  
Scale:  
As NOTED  
Project Number  
1913

A-6  
6 of 17



# or notes	unit mark	Polle spec.	size / notes
2	(A)	(2) # 3571 (Left-right) up/down	2'-11" w x 5'-11" H.
1	(B)	(2) 3559 (Left-right)	2'-11" w x 4'-11" H.
1	(C)	(2) 3553 (Left-right)	2'-11" w x 4'-5" H.
2	(D)	# 2959 (Left)	2'-5" w x 4'-11" H.
1	(E)	# 2959 (Right)	2'-5" w x 4'-11" H.
1	(F)	# 2953 (Left) <sup>Basement</sup> up/down	2'-5" w x 4'-5" H.
1	(G)	# 2571 (Left)	2'-1" w x 5'-11" H.
1	(H)	# 2571 (Right)	2'-1" w x 5'-11" H.
1	(I)	# 2547 (Left-right)	2'-1" w x 3'-11" H.
1	(J)	2547 (Right)	2'-1" w x 3'-11" H.
1	(K)	2547 (Left)	2'-1" w x 3'-11" H.
1	(L)	2541 (Left)	2'-1" w x 3'-5" H.
1	(M)	2541 (Right)	2'-1" w x 3'-5" H.
1	(N)	2535 (Left)	2'-1" w x 2'-11" H.
1	(O)	2535 (Right)	2'-1" w x 2'-11" H.



PROPOSED BASEMENT PLAN  
SCALE: 1/4"=1'-0"

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ARCHITECTURAL REGISTRATION BOARD  
STATE OF MARYLAND

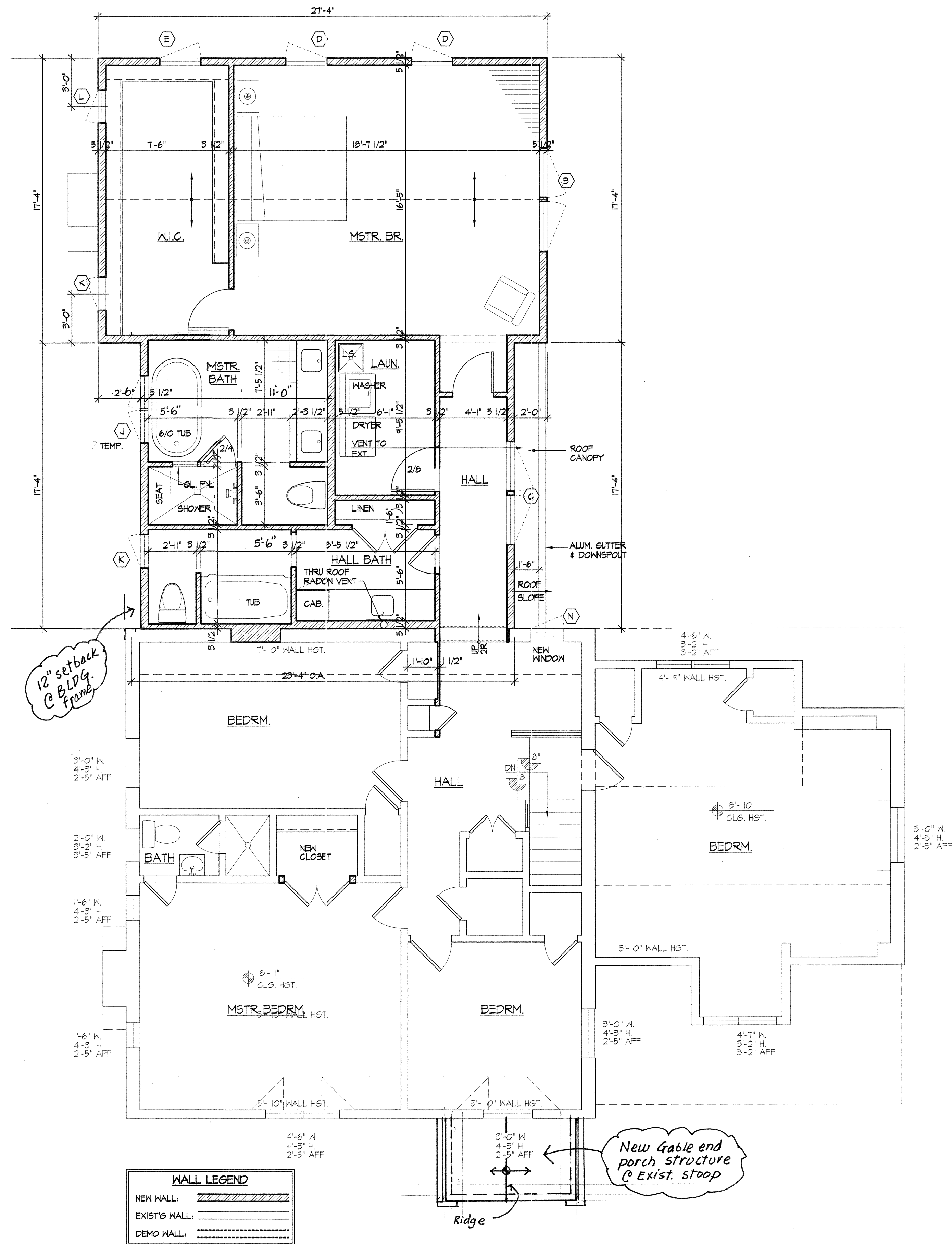
PROJECT:  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
PROPOSED BASEMENT  
PLAN

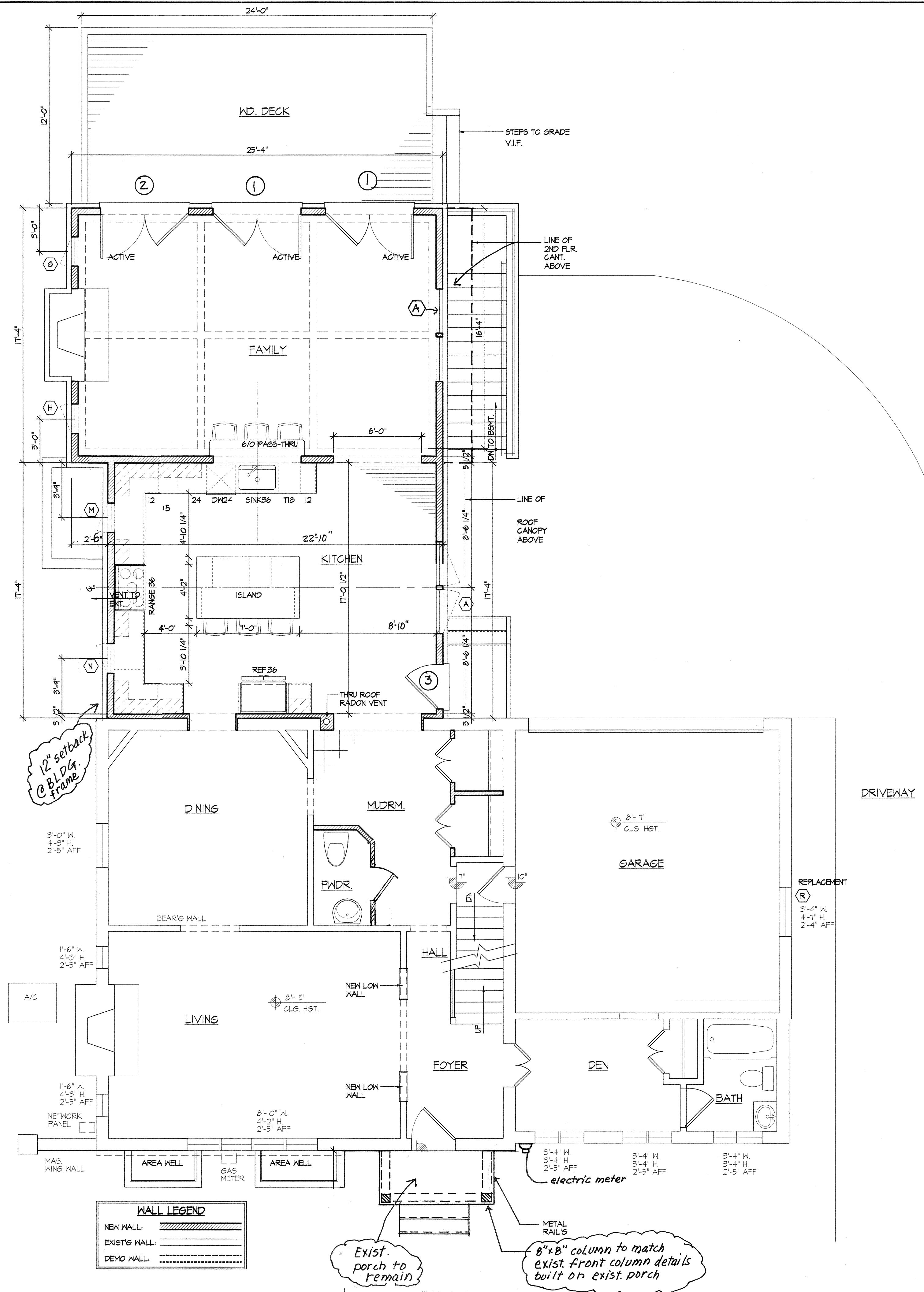
REVISIONS  
3-10-2020

Date:  
Permit: 2-10-2020  
Bids:  
Scale:  
As NOTED  
Project Number  
1913

A-7  
7 of 17



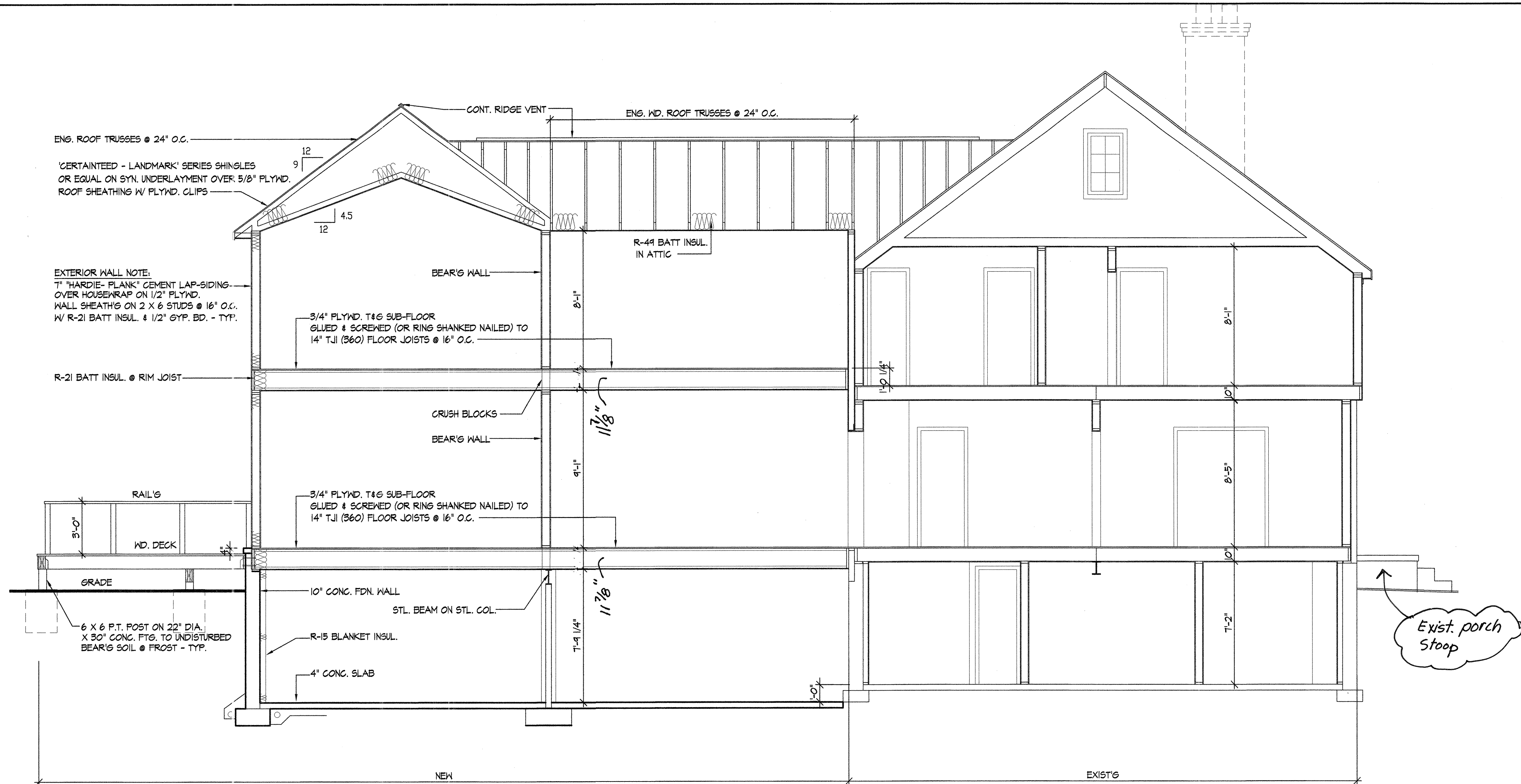
**2 EXIST'G & PROPOSED 2ND FLOOR PLAN**  
SCALE: 1/4"=1'-0"



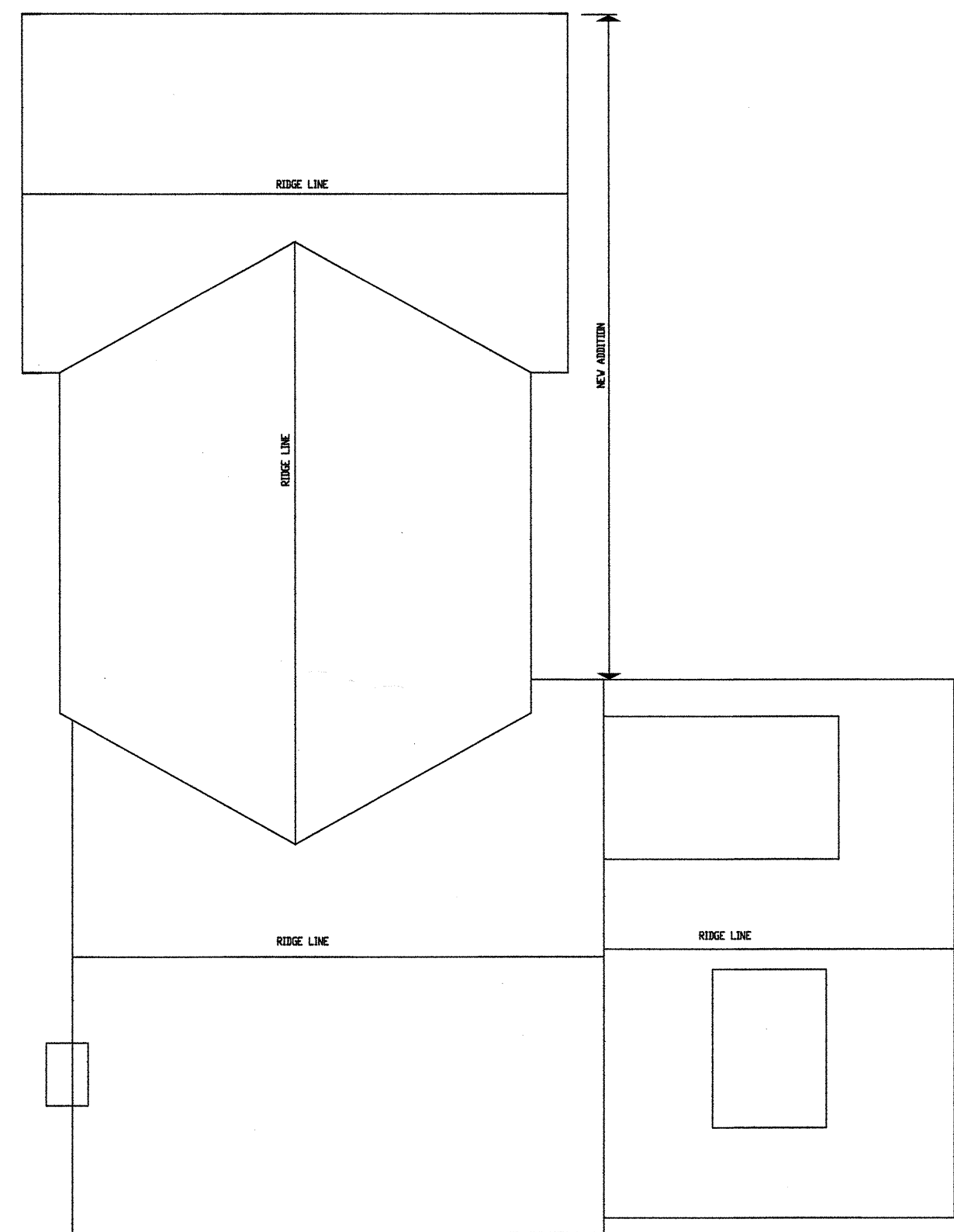
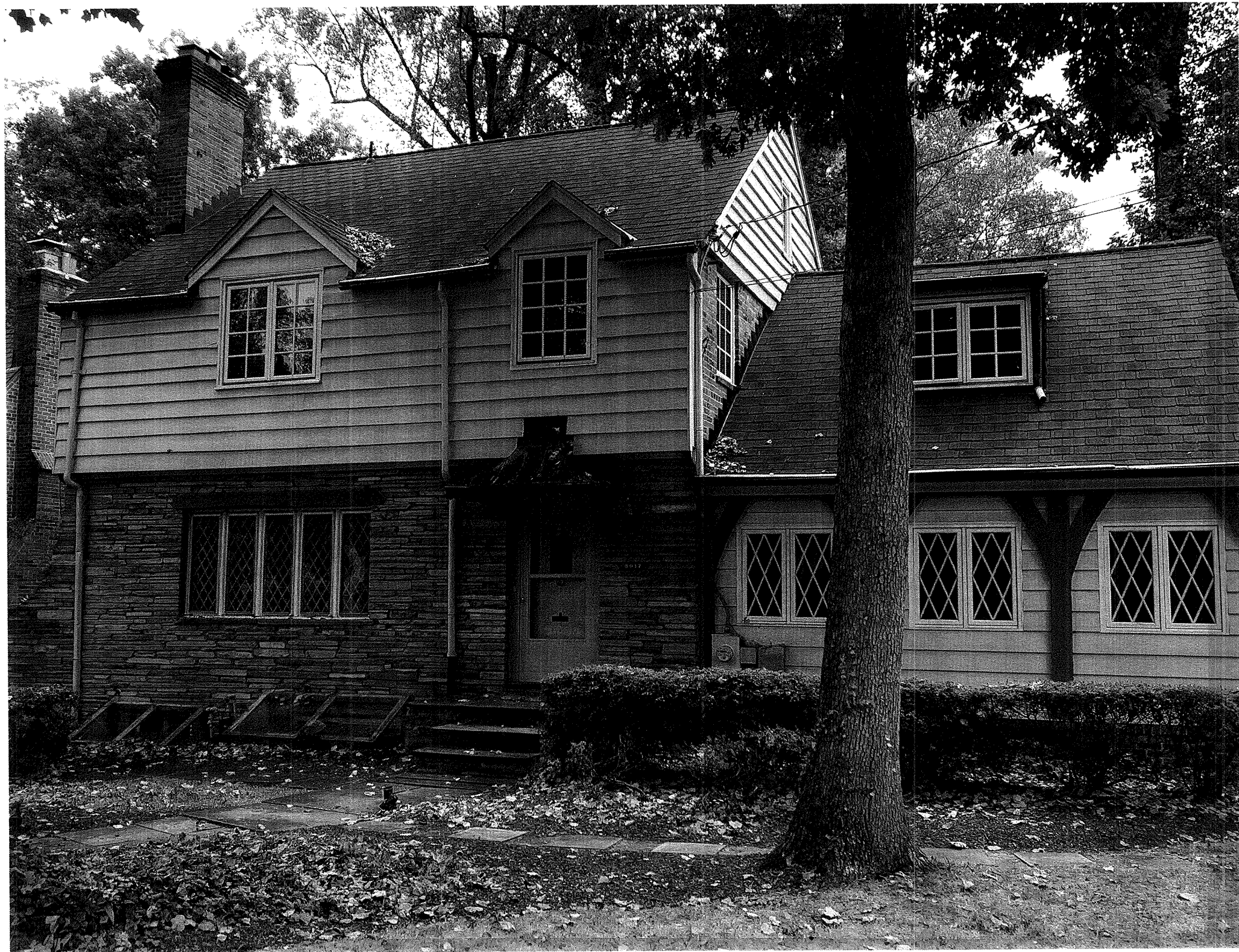
**1 EXIST'G & PROPOSED 1ST FLOOR PLAN**  
SCALE: 1/4"=1'-0"



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2 BUILDING SECTION  
SCALE: 1/4"=1'-0"



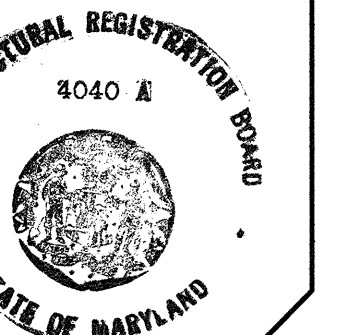
1 ROOF PLAN  
SCALE: 1/8"=1'-0"

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8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
ROOF PLAN & BUILDING SECTION

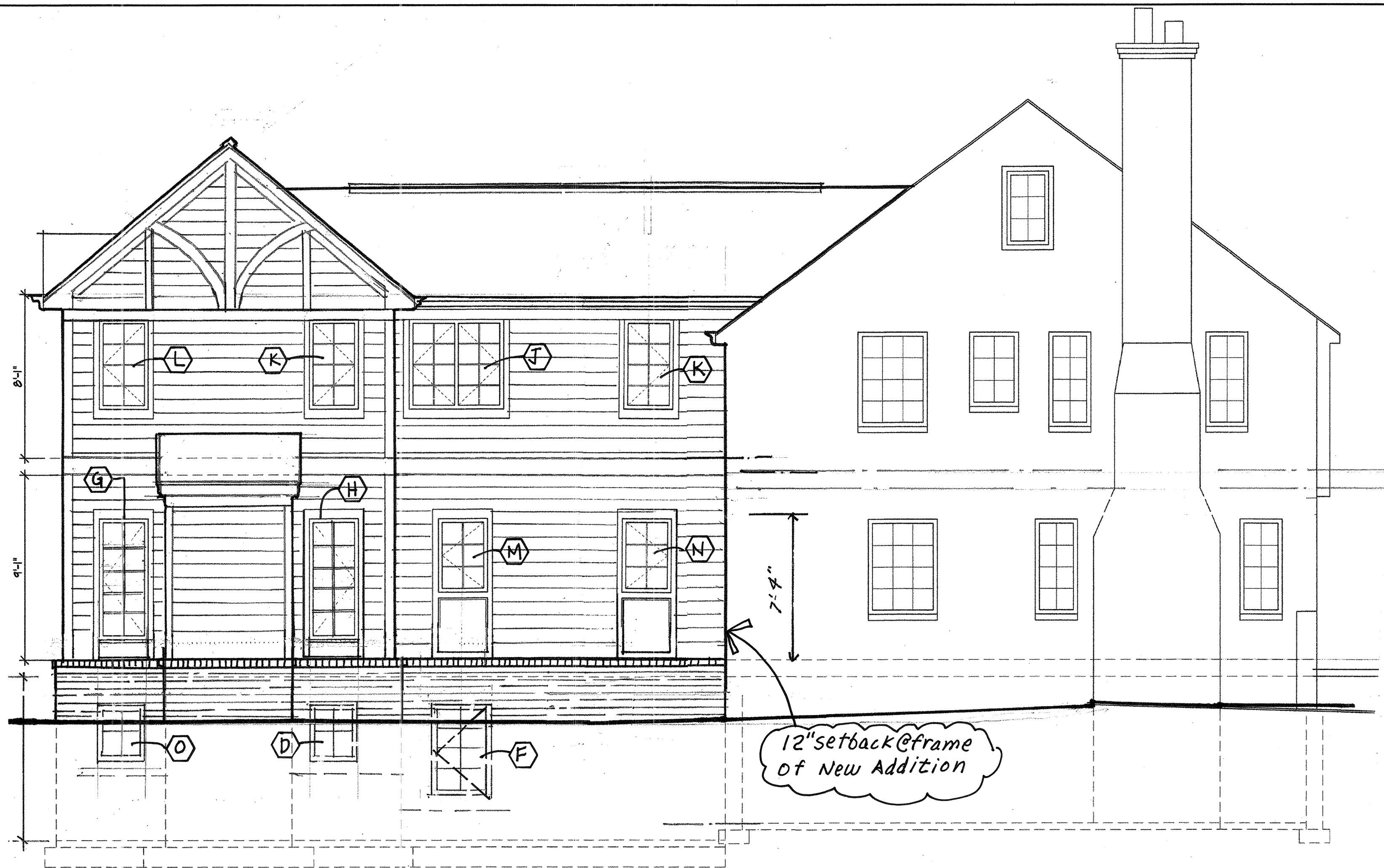
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3-10-2020

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Project Number 1913

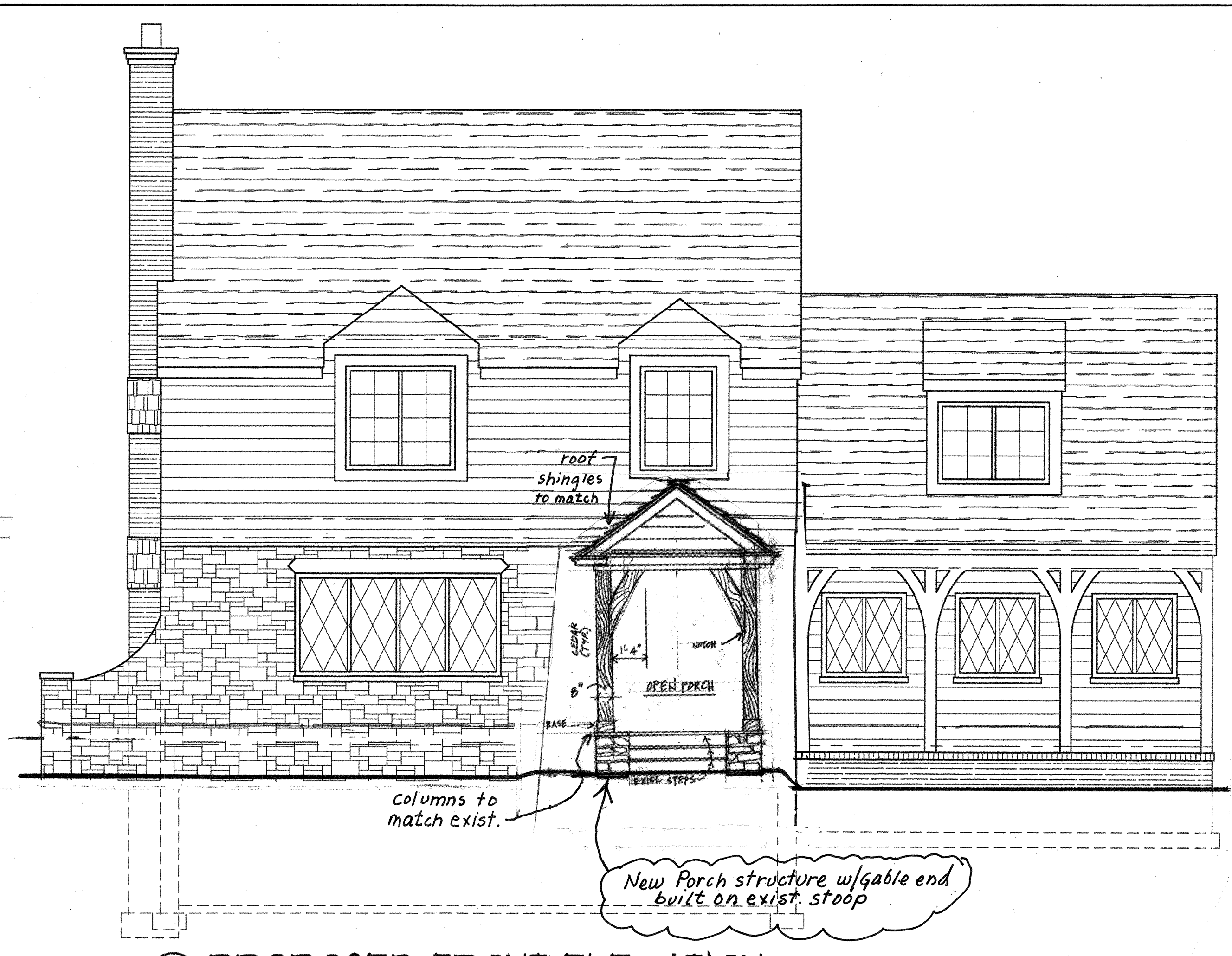
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9 OF 17



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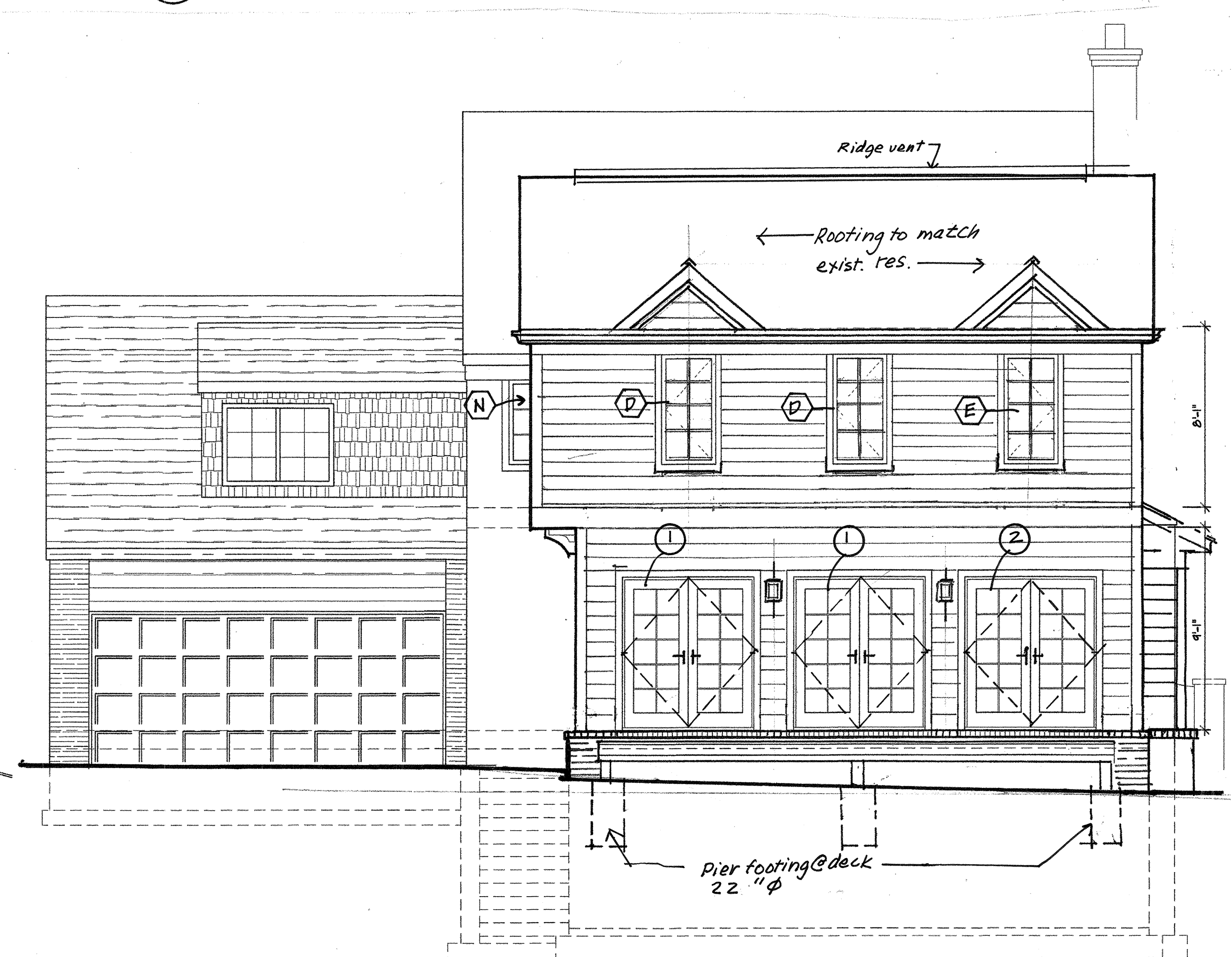
3 PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

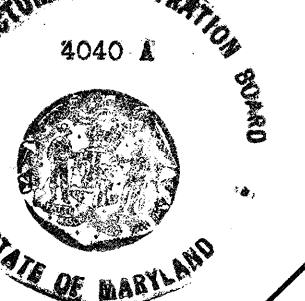


1 PROPOSED REAR ELEVATION  
SCALE: 1/4"=1'-0"



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BETHESDA, MD. 20817  
MONTGOMERY COUNTY

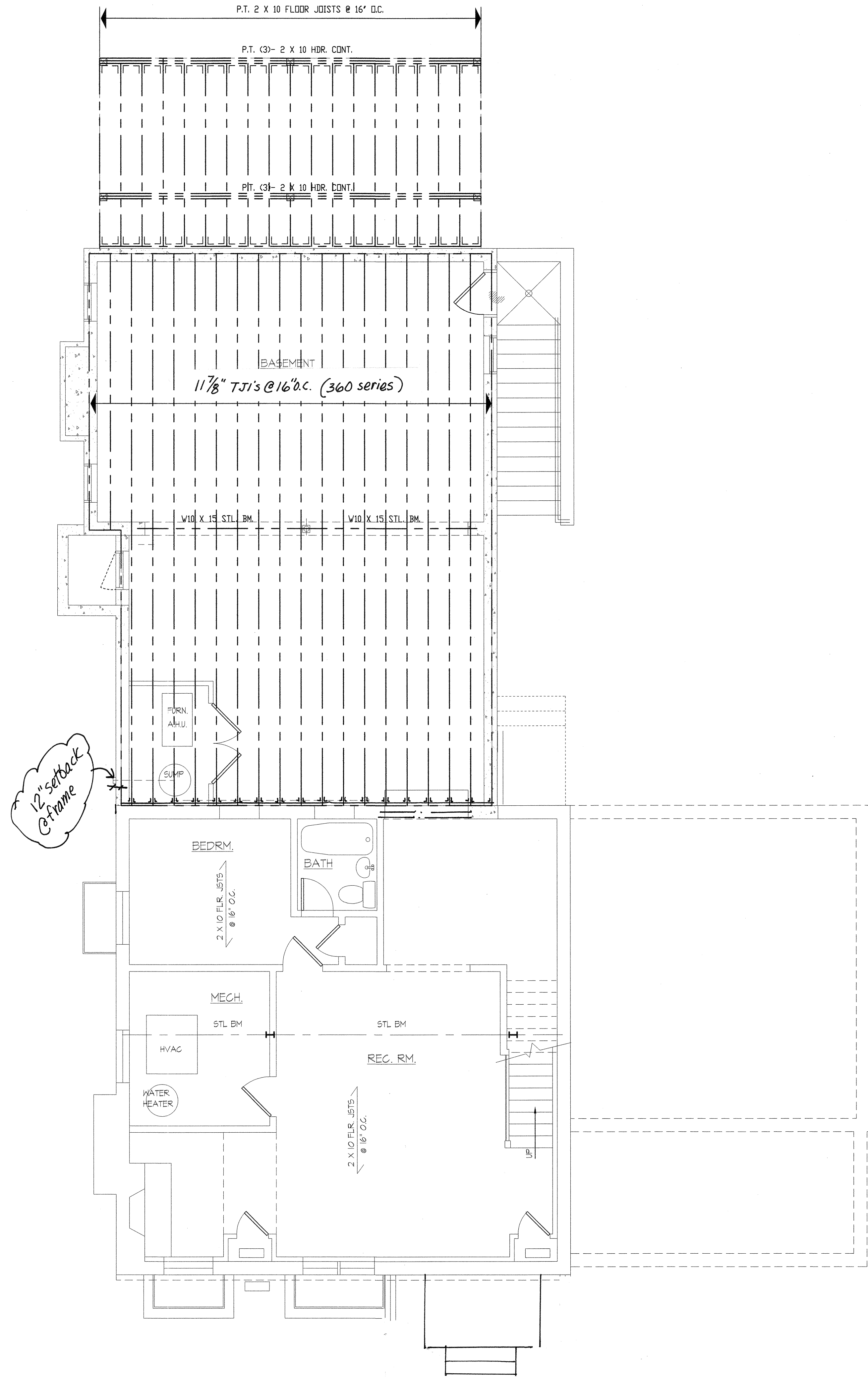
SHEET TITLE:  
PROPOSED ELEVATIONS

REVISIONS  
3-10-2020

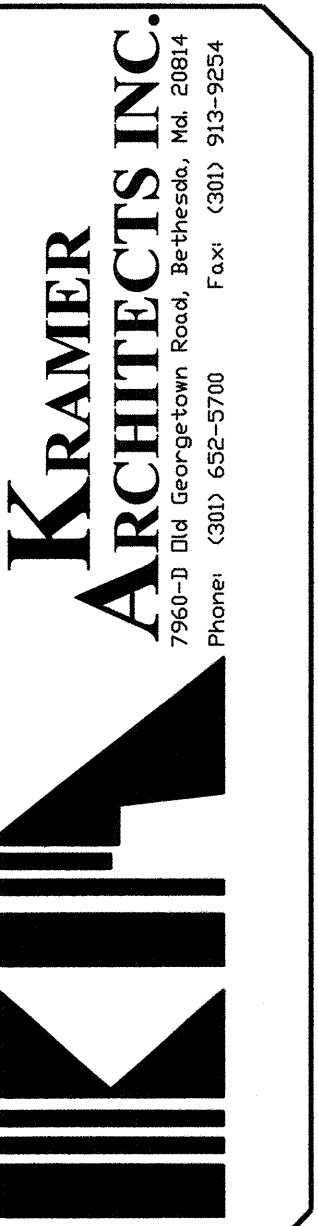
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Bids:  
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Project Number  
1913

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10 OF 17



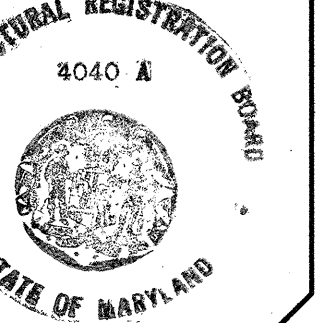


1ST FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"  
FOUNDATION PLAN SHOWN BELOW



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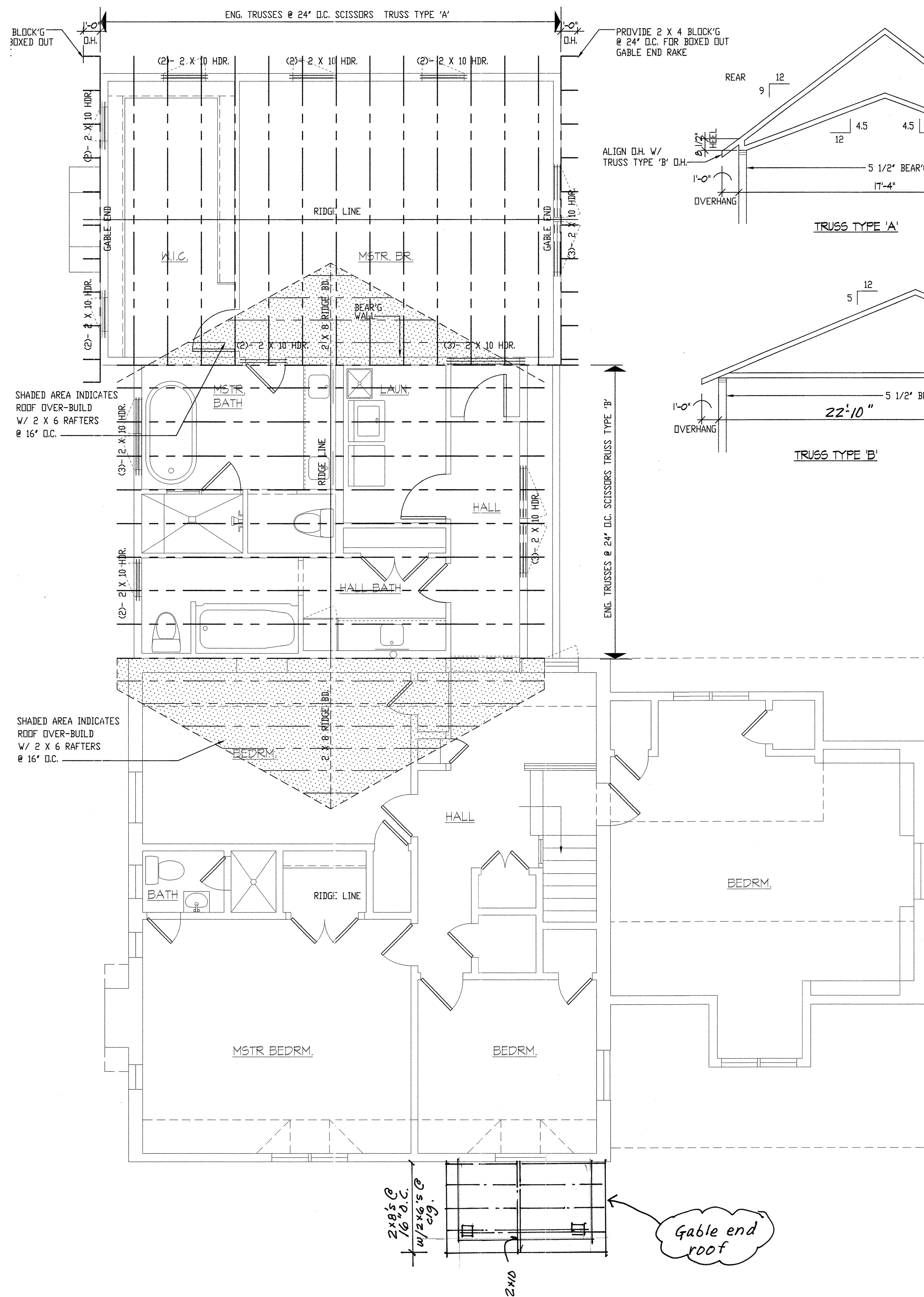
PROJECT:  
HAMPDEN LANE  
8011 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
1ST FLOOR FRAMING PLAN

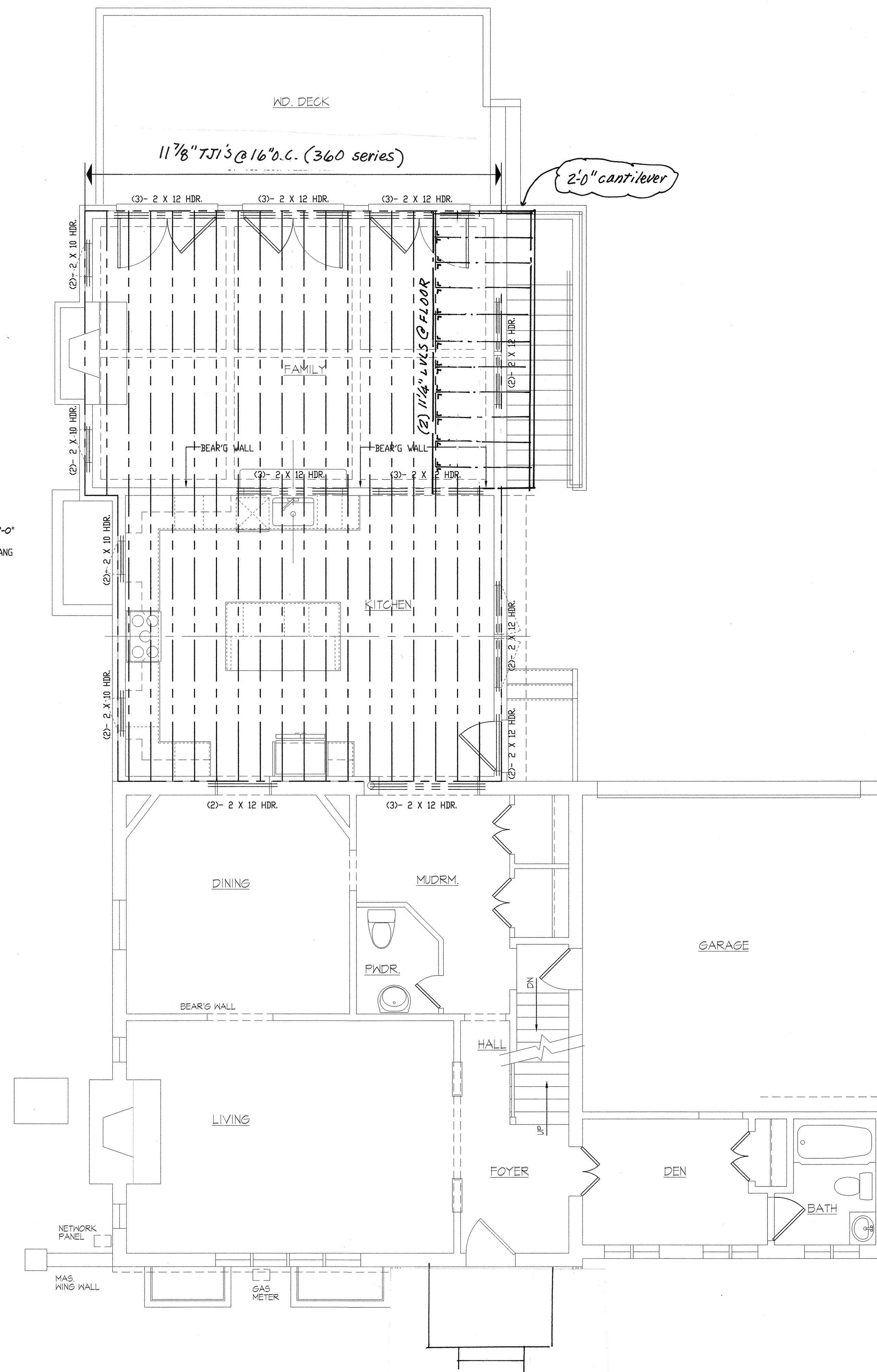
REVISIONS  
3-10-2020

Date:  
Permit: 2-10-2020  
Bid:  
Scale:  
AS NOTED  
Project Number  
1913

S-1  
11 OF 17



2 ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0" 2ND FLOOR PLAN SHOWN BELOW

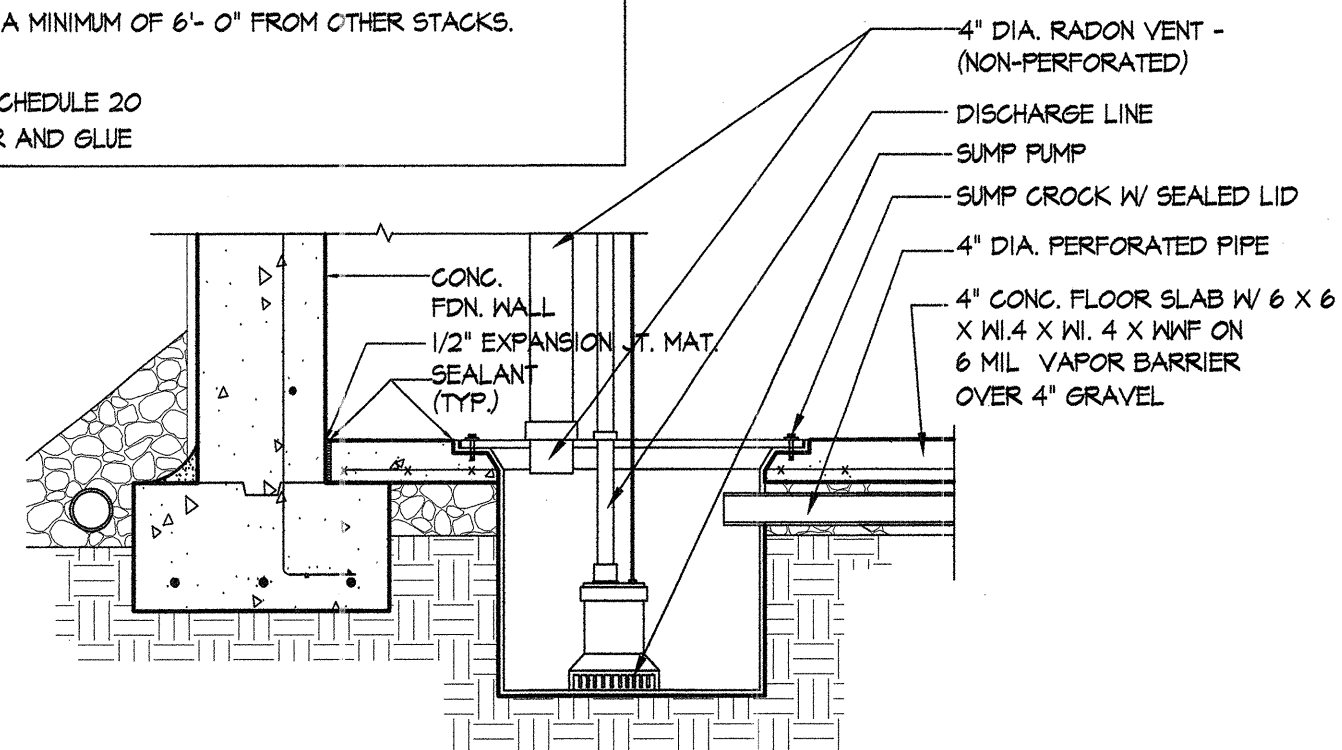


1 2ND FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0" 1ST FLOOR PLAN SHOWN BELOW

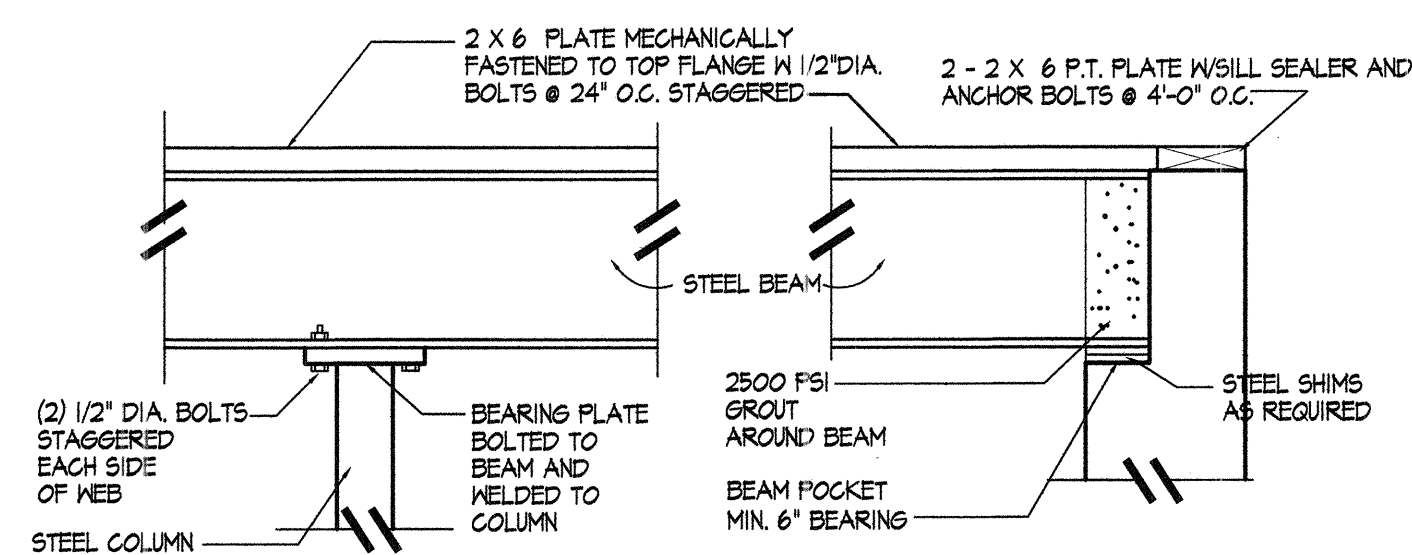


1. INSTALL SUB-SLAB VENTILATION SYSTEM (REF. DTL)
2. INSTALL URETHANE CAULKING @ ALL CONTROL JOINTS AND SLAB/WALL JOINTS
3. INSTALL URETHANE CAULKING AROUND ALL BASEMENT PIPES TO INSURE OVERALL SEALING IN BASEMENT.
4. INSTALL SUBMERSIBLE SUMP PUMP WITH SEALED COVER ON SUMP WELL.
5. INSTALL 4" DIA. RADON VENT STACK FROM BASEMENT TO ATTIC.
6. OPTIONAL - INSTALL IN-LINE EXHAUST FAN IN ATTIC AND EXTEND THRU ROOF
7. LOCATE STACK THRU ROOF A MINIMUM OF 6'-0" FROM OTHER STACKS.

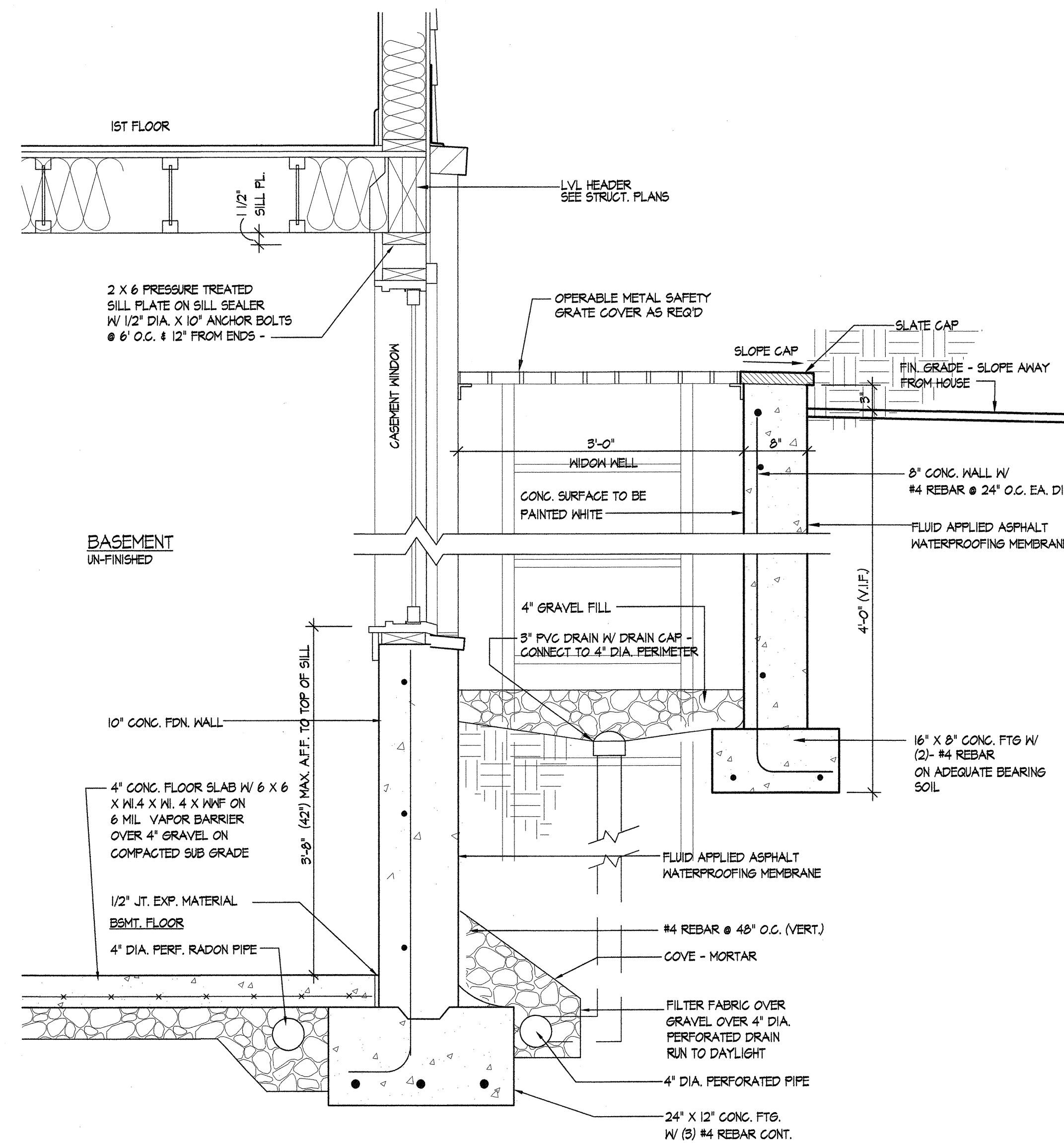
A. STANDARD QUALITY PVC, SCHEDULE 20  
B. STANDARD QUALITY PRIMER AND GLUE



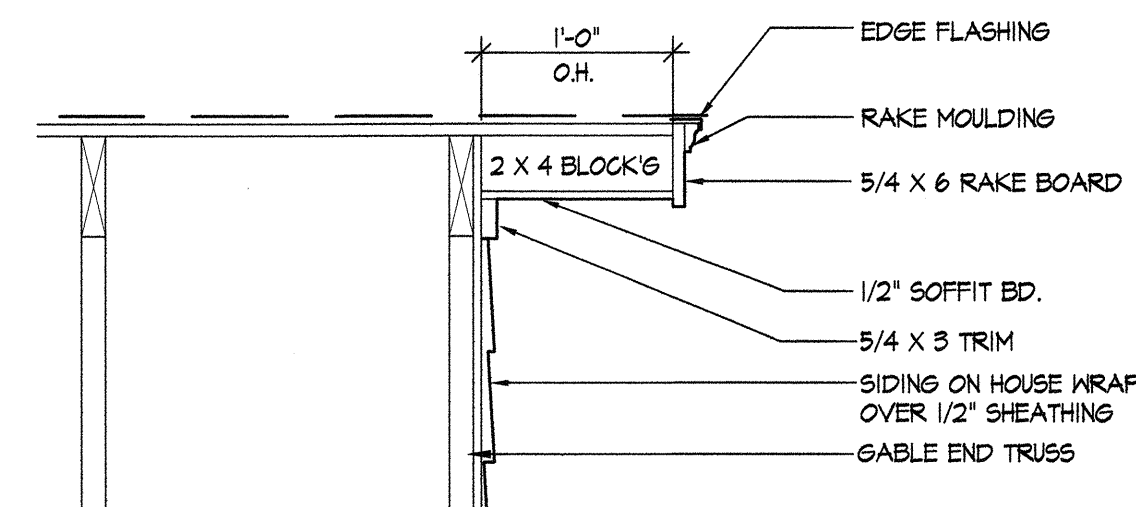
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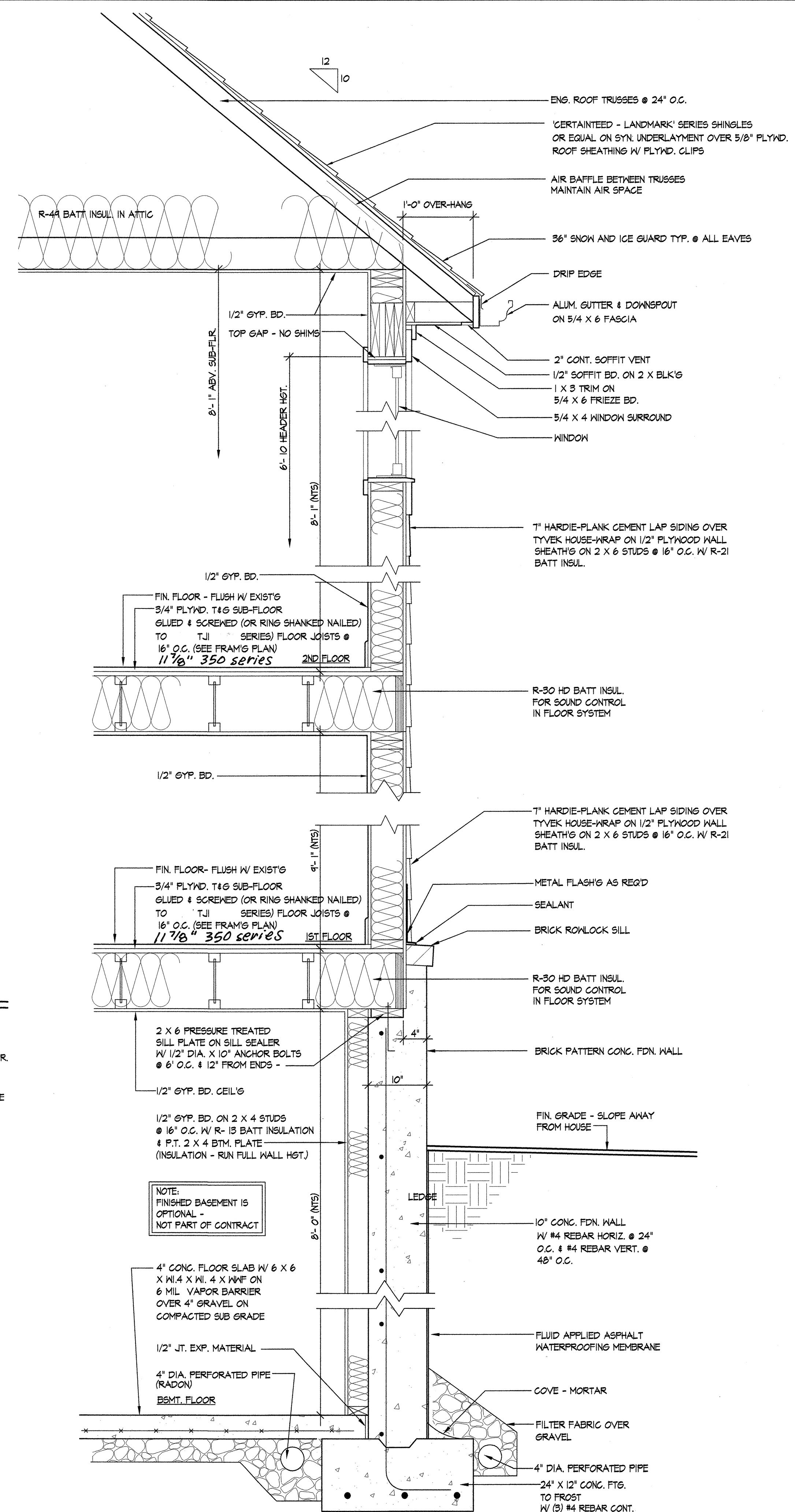
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SCALE: 1"=1'-0"



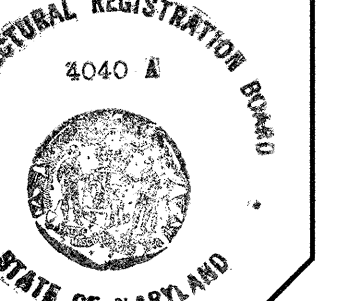
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SCALE: 1"=1'-0"

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HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

## EXTERIOR DETAILS

## REVISIONS

3-10-2020

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Permit: 2-10-2020

0707 212 2020

Scale:	
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AS NOTED

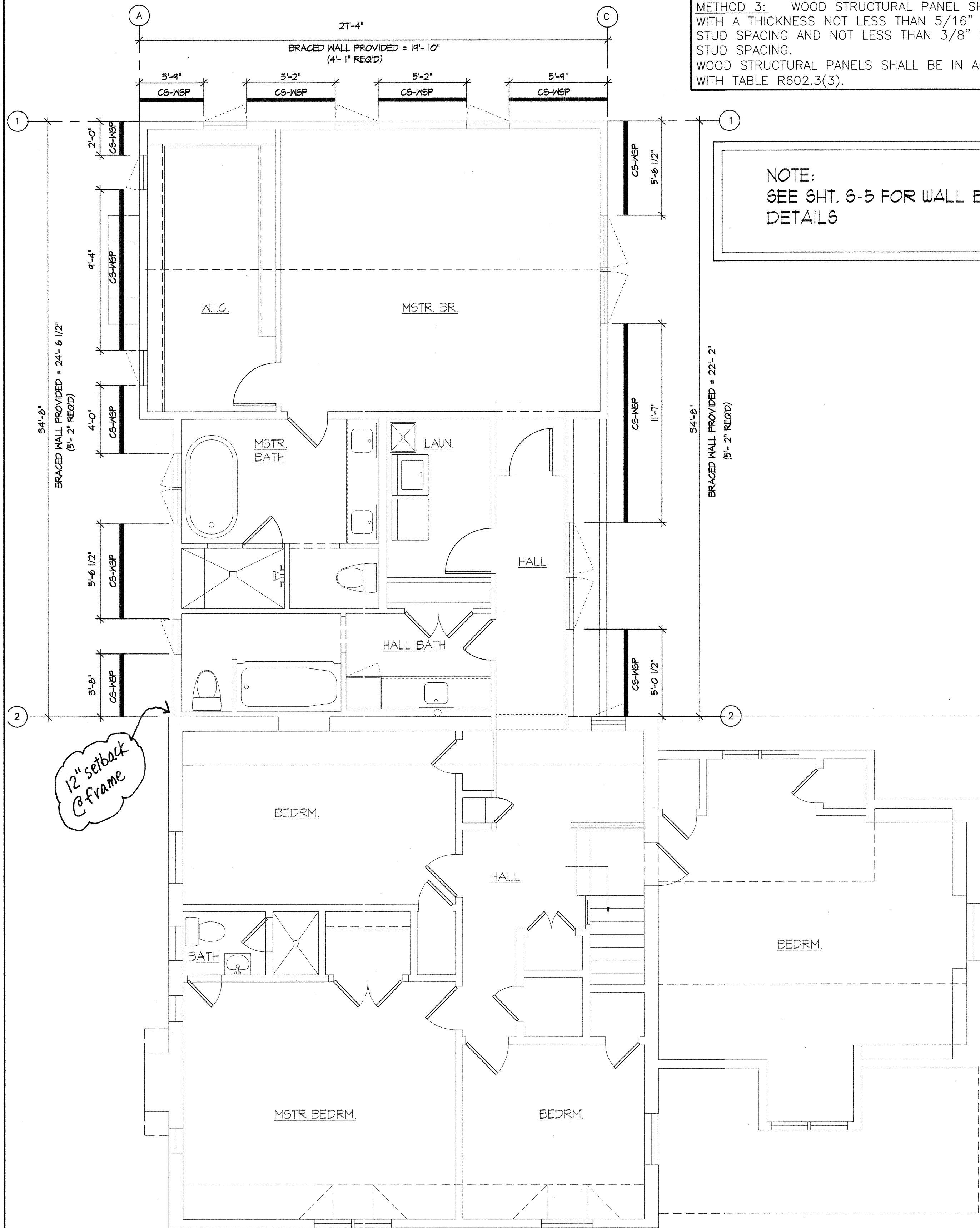
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13 OF 17

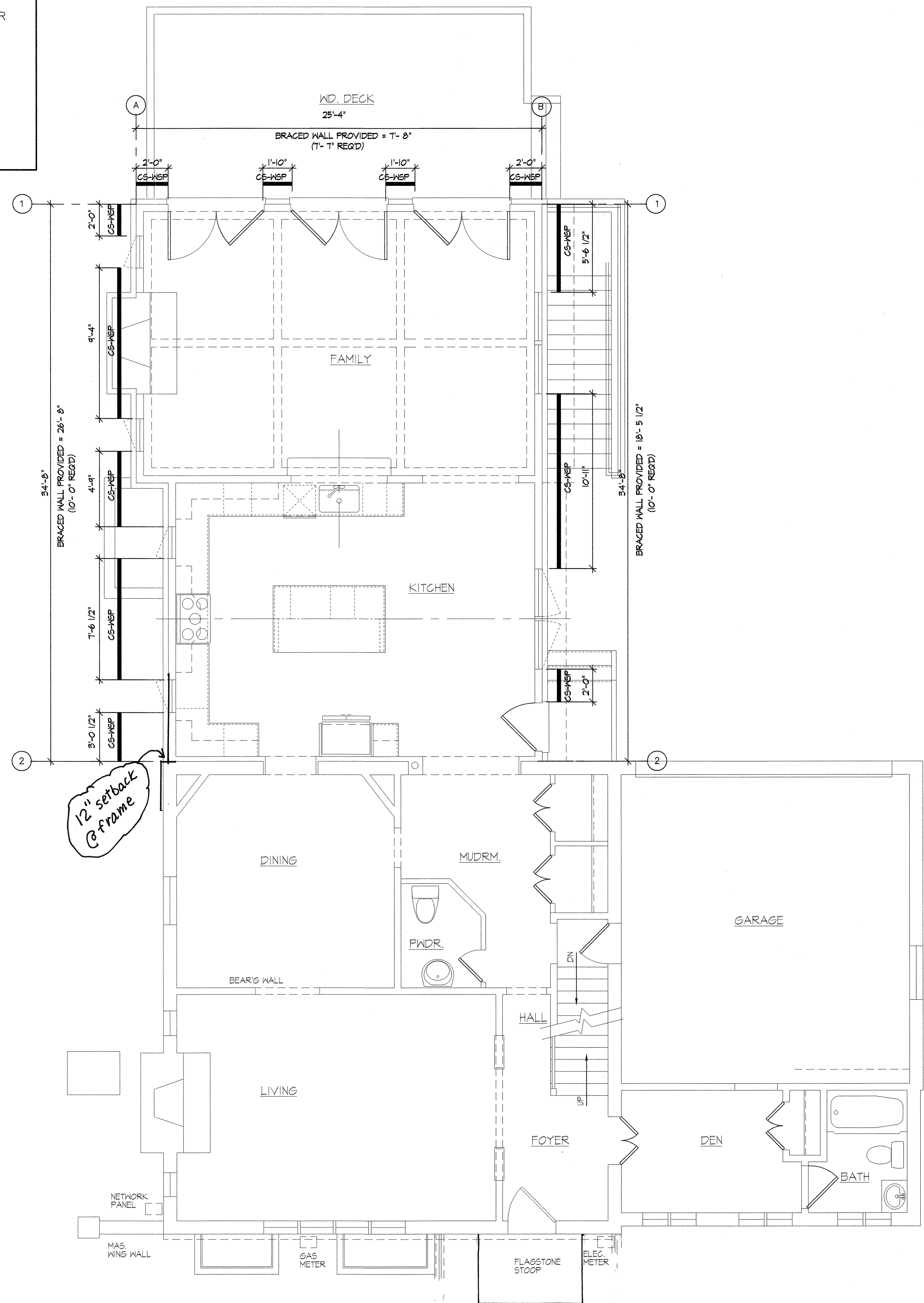
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TYPICAL WALL SHEATHING - ALL NEW EXT. WALLS  
15/32" APA SHEATHING WITH 8d COMMON NAILS @ 6" O.C. @ ALL EDGES-  
12" IN THE FIELD  
1ST & 2ND FLOOR WALLS TIED TOGETHER WITH PLYWD. SHEATHING, OR  
MSTC 28 STRAPS @ 6'-0" O.C.  
IRC 2015  
SECTION 602.10.5  
CONTINUOUS STRUCTURAL PANEL SHEATHING- BRACE WALL PANEL  
METHOD 3: WOOD STRUCTURAL PANEL SHEATHING  
WITH A THICKNESS NOT LESS THAN 5/16" FOR 16"  
STUD SPACING AND NOT LESS THAN 3/8" FOR 24"  
STUD SPACING.  
WOOD STRUCTURAL PANELS SHALL BE IN ACCORDANCE  
WITH TABLE R602.3(3).

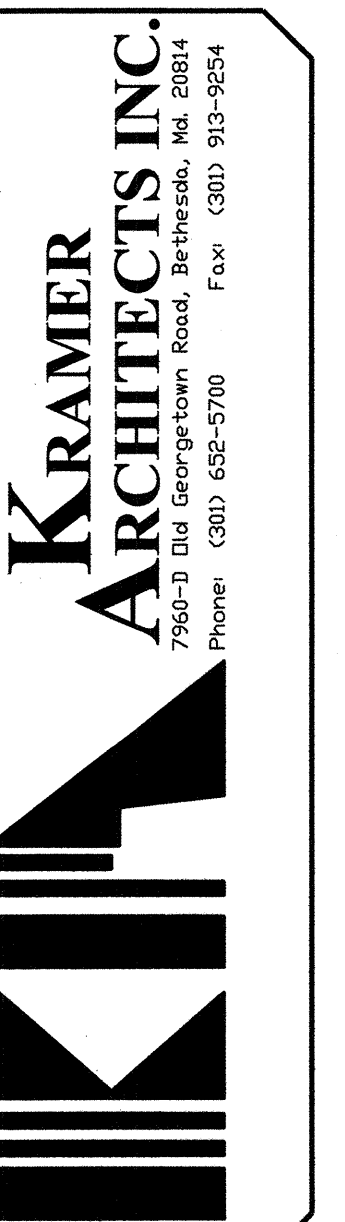
NOTE:  
SEE SHT. S-5 FOR WALL BRACING  
DETAILS



2 2ND FLOOR WALL BRACING PLAN  
SCALE: 1/4"=1'-0"

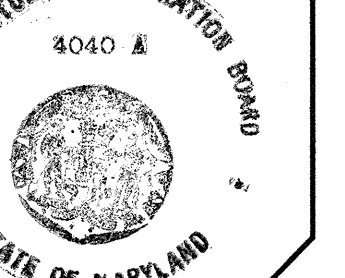


1 1ST FLOOR WALL BRACING PLAN  
SCALE: 1/4"=1'-0"



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BETHESDA, MD. 20817  
MONTGOMERY COUNTY

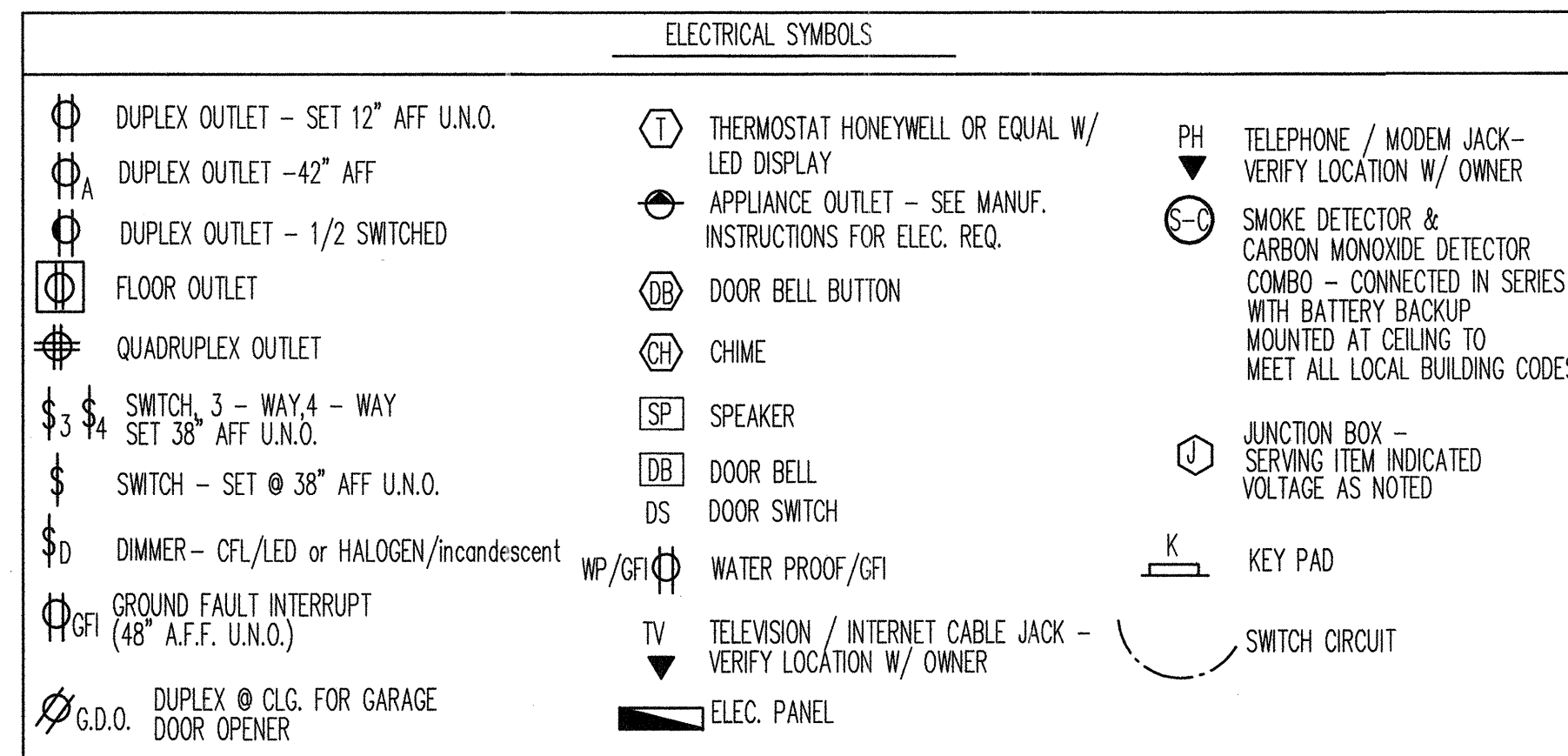
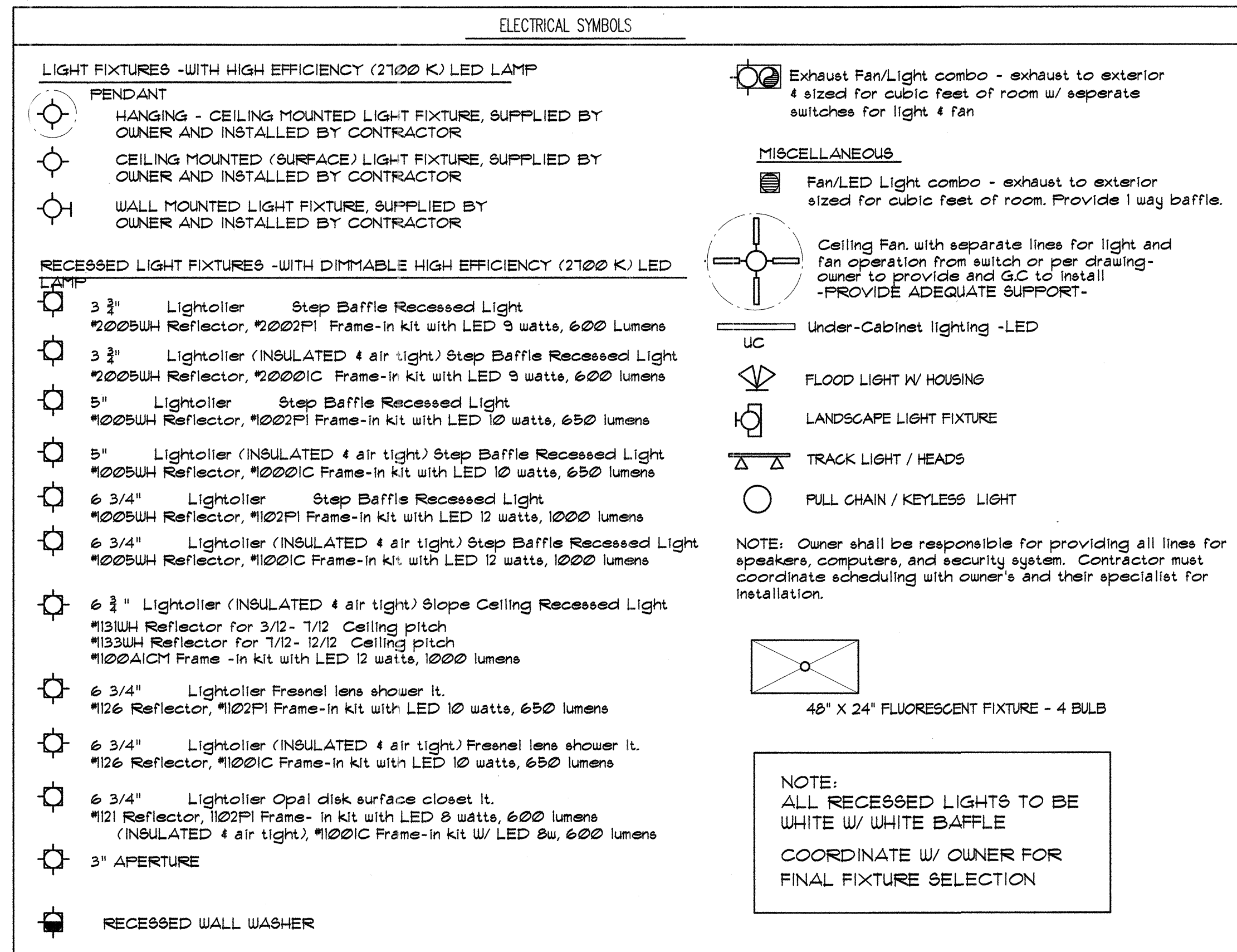
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WALL BRACING PLANS

REVISIONS  
3-10-2020

Date:  
Permit: 2-10-2020  
Blot:  
Scale:  
AS NOTED  
Project Number  
1913

S-4  
14 OF 17

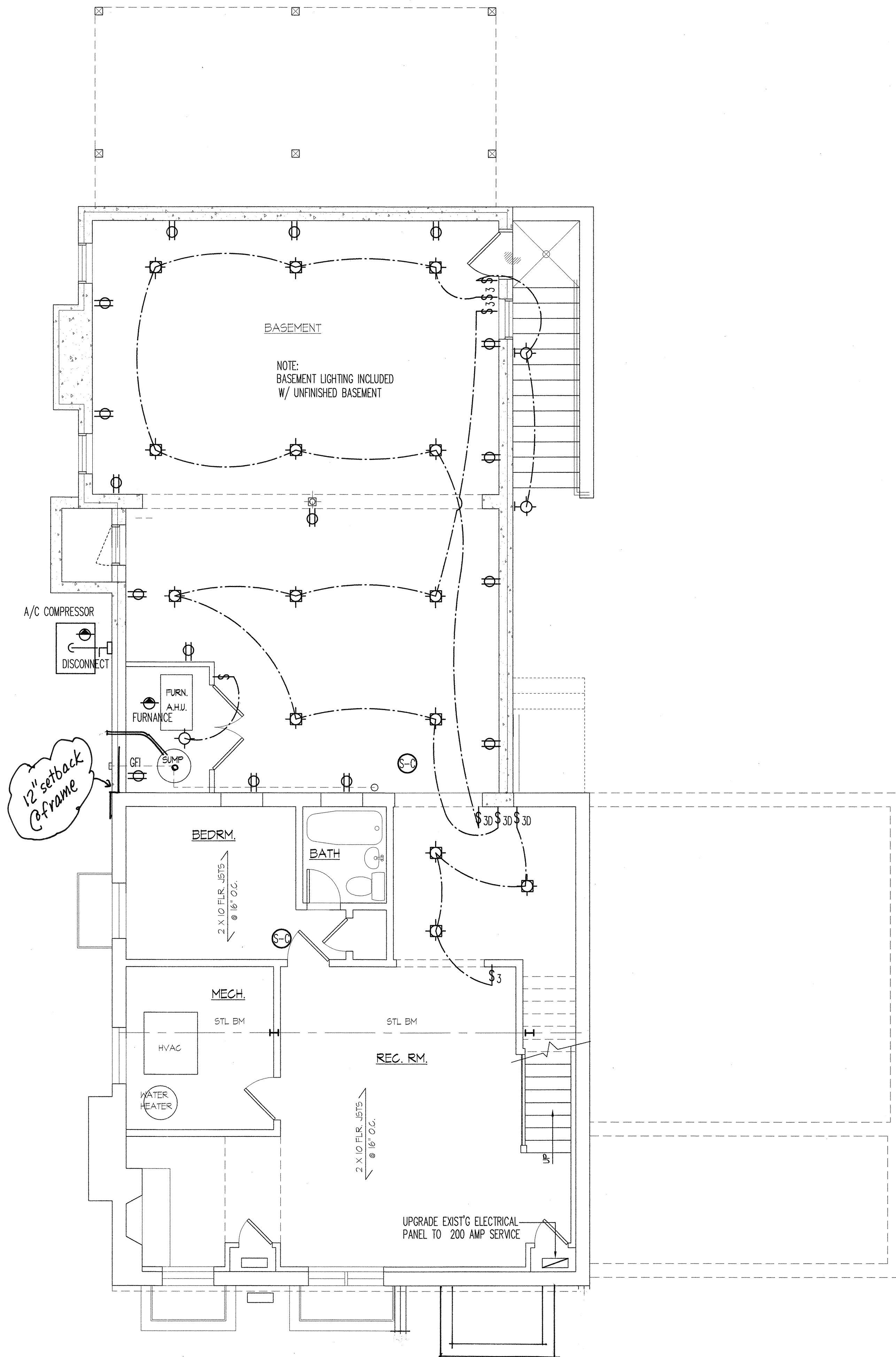




**GENERAL ELECTRICAL NOTES:**

- USE GFI OUTLETS AT ALL LOCATIONS IN KITCHEN & BATH WITH-IN 6'- 0" OF SINK & WET LOCATIONS.
- USE AFCI OUTLETS TYPICALLY IN ALL HABITABLE SPACES.
- BRANCH CIRCUITS CANNOT BE LOADED OVER 80% CAPACITY.
- WIRE SIZES AS FOLLOWS: CIRCUITS - WIRES  
15 AMPS 14 AWG  
20 AMPS 12 AWG  
30 AMPS 10 AWG  
50 AMPS 8 AWG

**NOTE:**  
ALL NEW LIGHT FIXTURES TO USE LED LIGHT BULBS

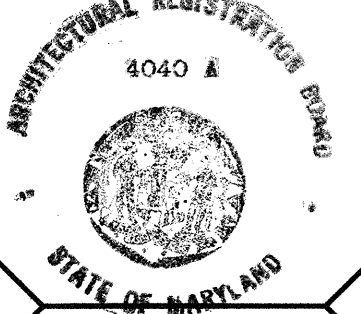


**BASEMENT ELECTRICAL PLAN**  
SCALE: 1/4"=1'-0"



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MONTGOMERY COUNTY

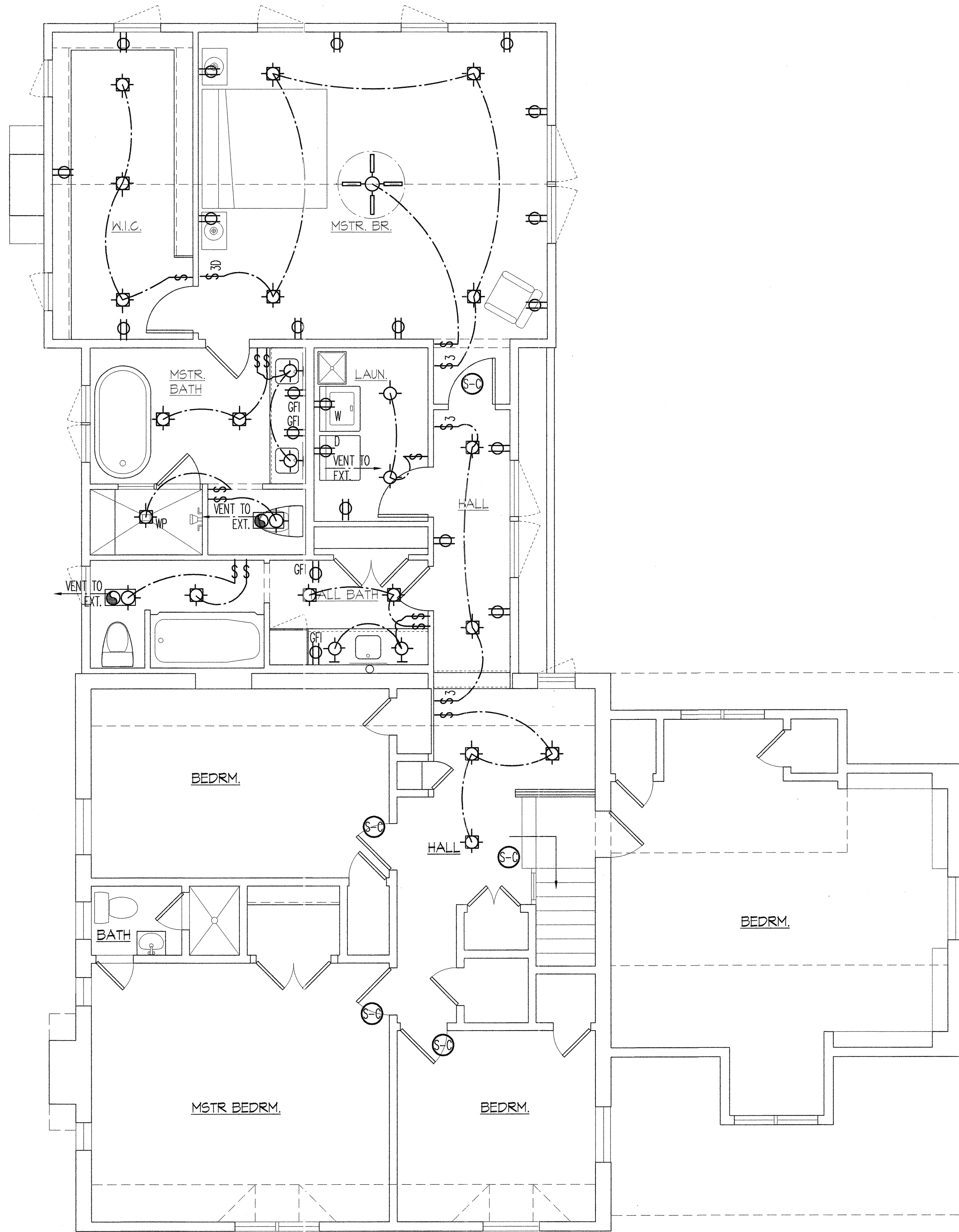
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BASEMENT ELECTRICAL PLAN

**REVISIONS**  
3-10-2020

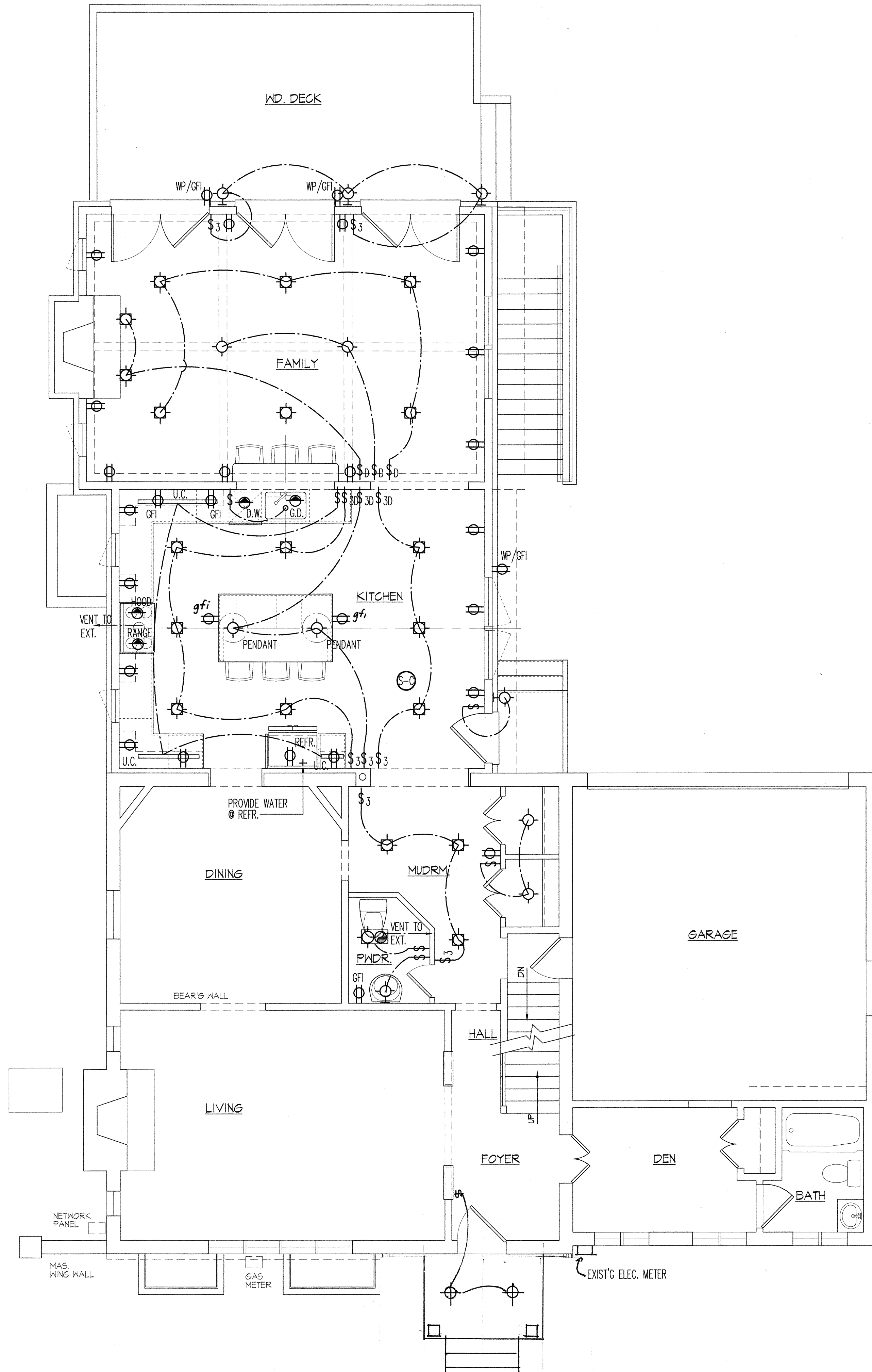
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Permit: 2-10-2020  
**Blde:**  
**Scale:**  
AS NOTED  
**Project Number**  
1913

**E-1**  
15 OF 17

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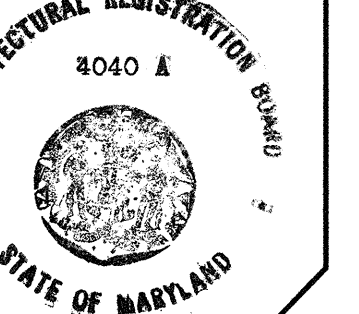
2 2ND FLOOR ELECTRICAL PLAN  
SCALE: 1/4"=1'-0"



1 1ST FLOOR PLAN ELECTRICAL PLAN  
SCALE: 1/4"=1'-0"

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PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND.  
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Expiration Date 11.07.2020



PROJECT:  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
1ST & 2ND FLOOR ELECTRICAL  
PLANS

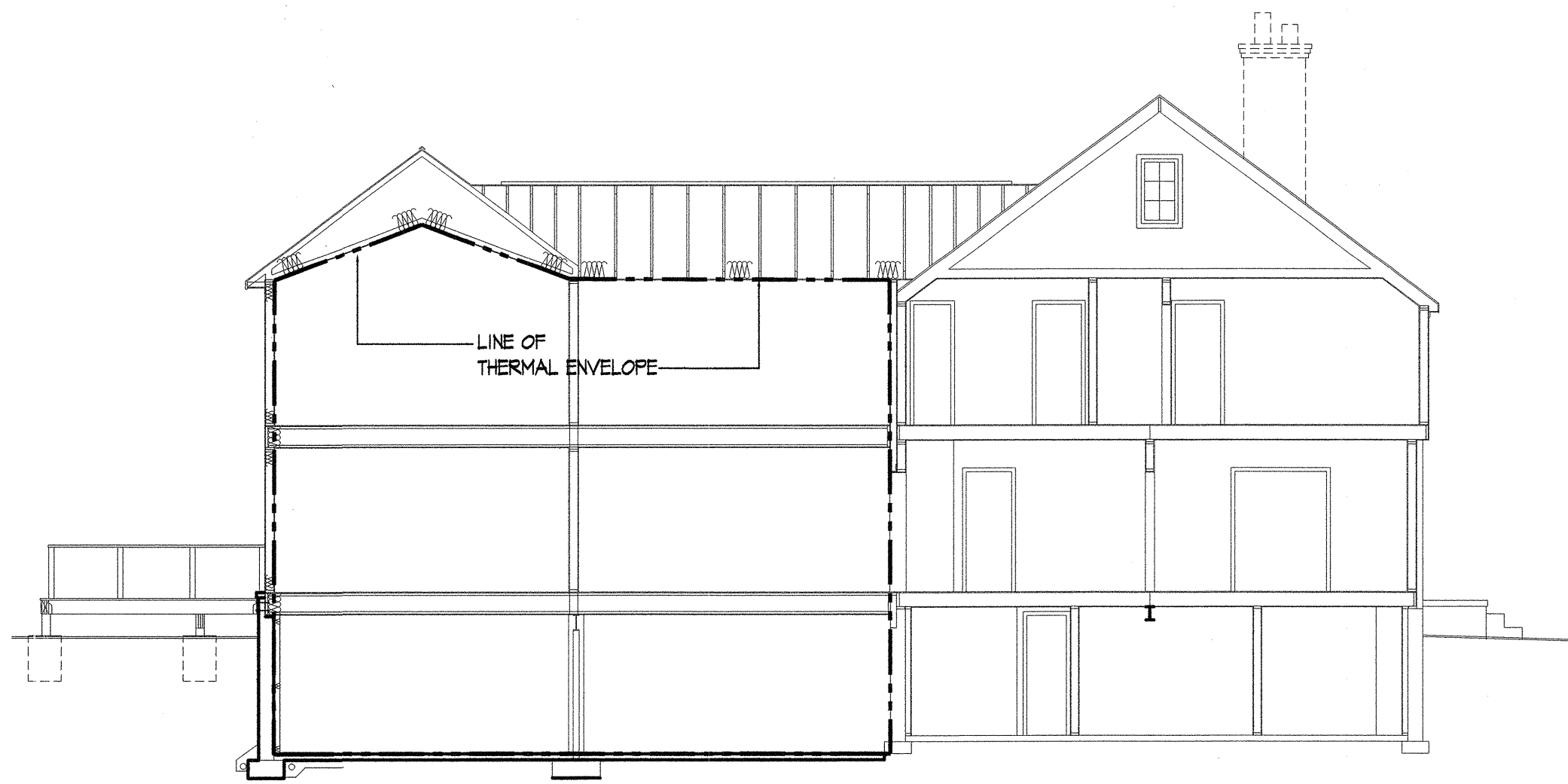
REVISIONS  
3-10-2020

Dates:  
Permit: 2-10-2020  
Bids:  
Scale:  
AS NOTED  
Project Number  
1913

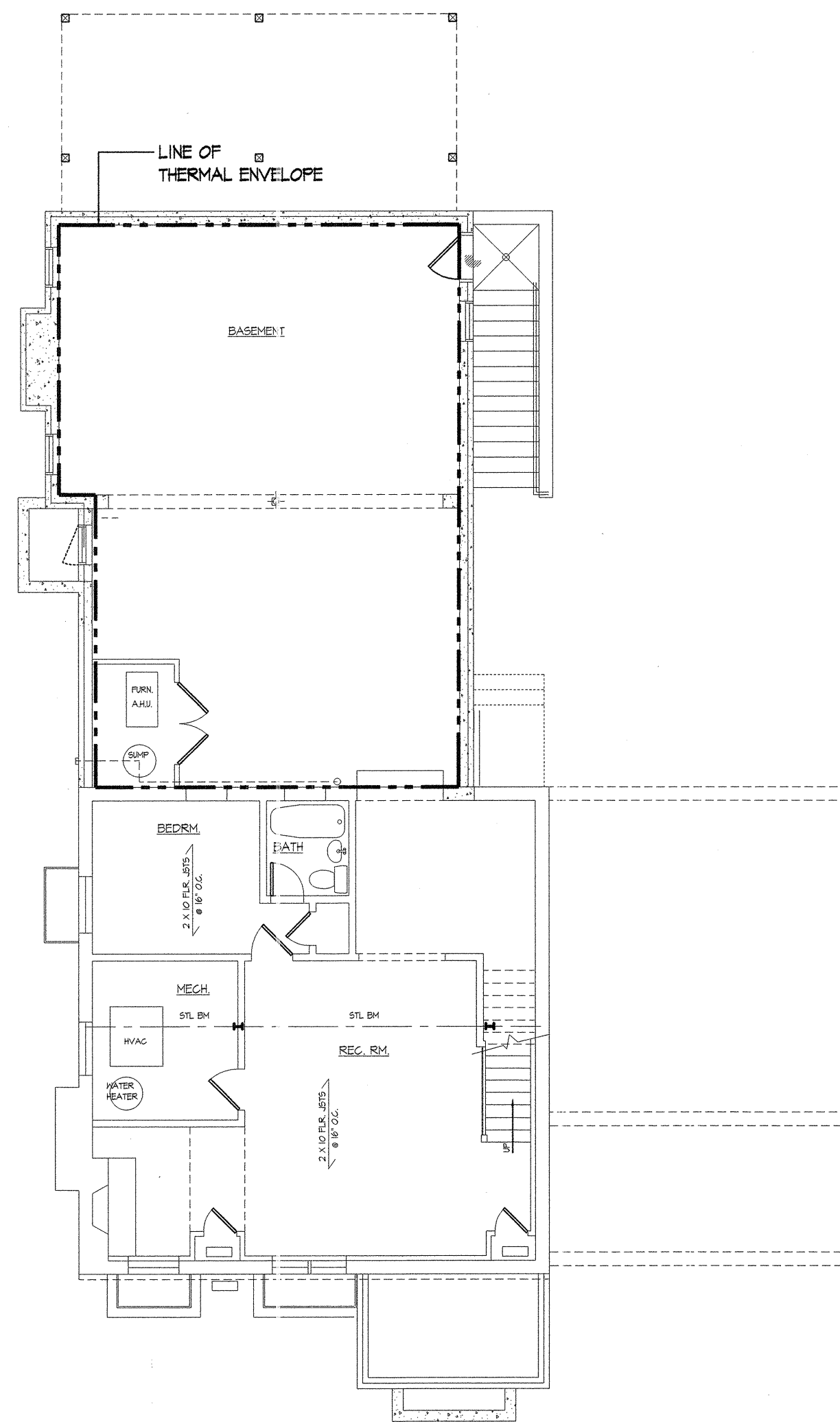
E-2  
16 OF 17



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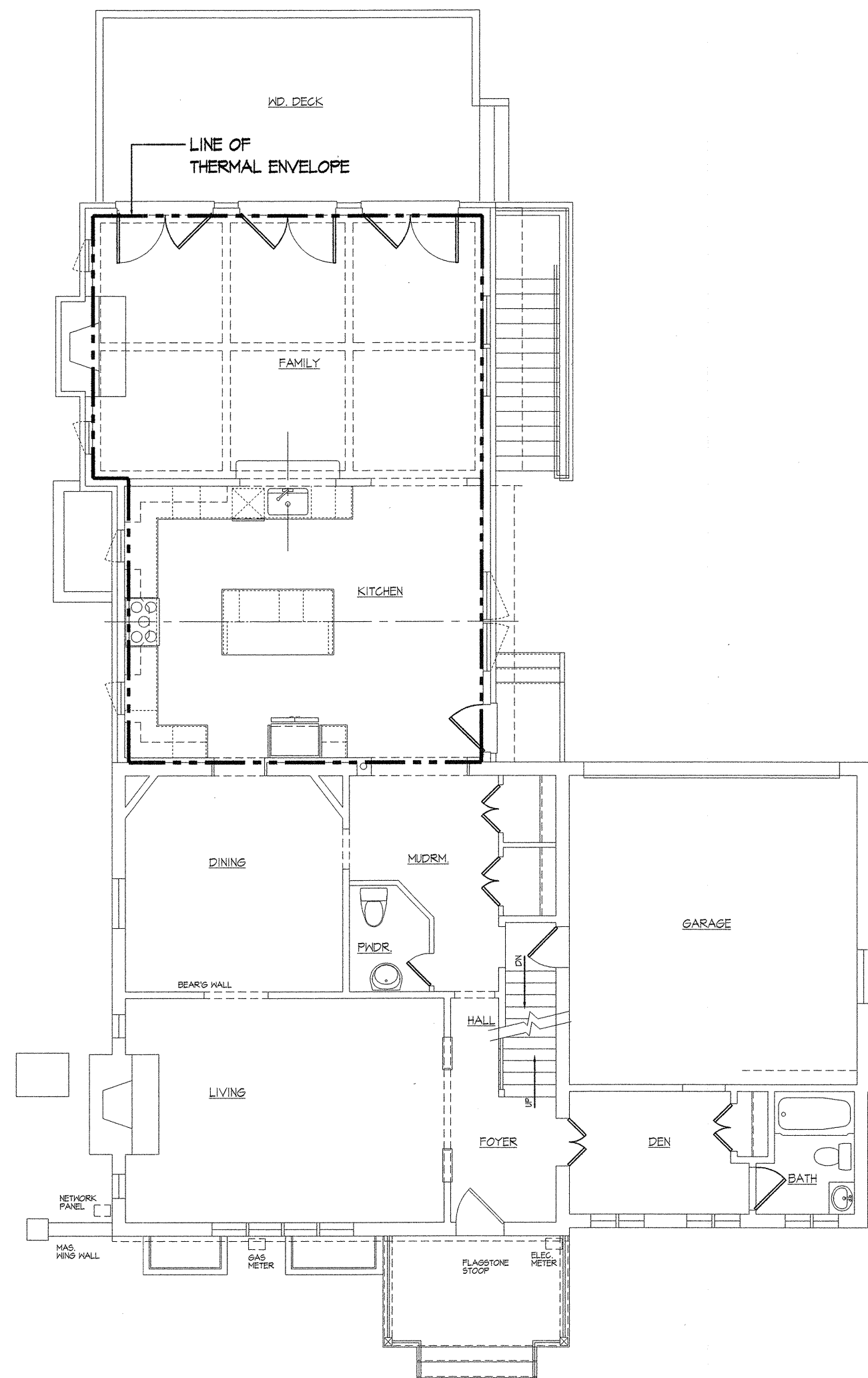


4 BUILDING SECTION  
SCALE: 1/8"=1'-0"

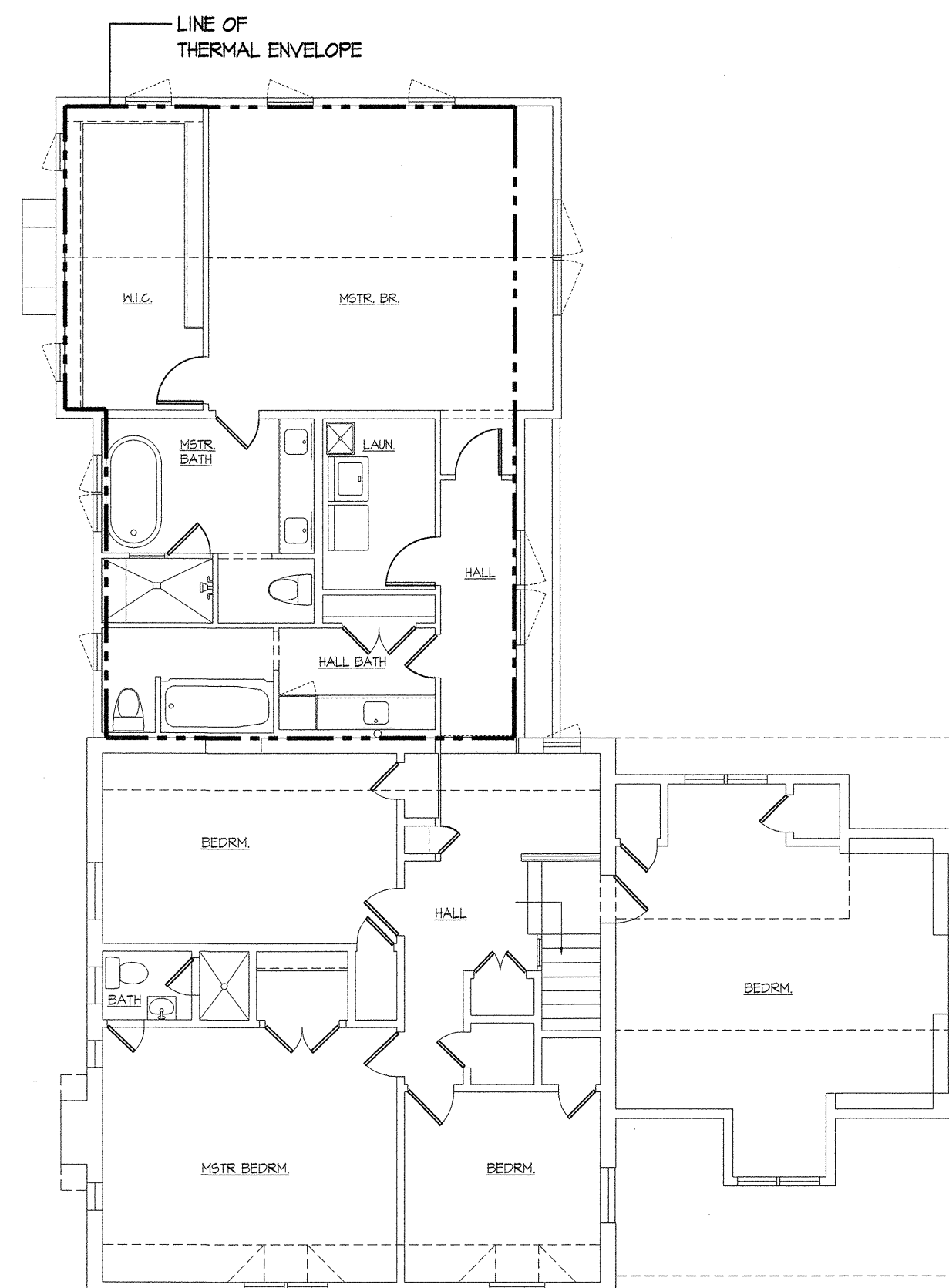


1 BSMT. PLAN  
SCALE: 1/8"=1'-0"

THERMAL ENVELOPE  
SCALE: 1/8"=1'-0"



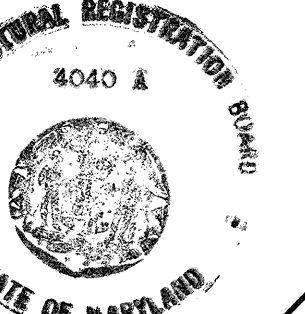
2 1ST FLOOR PLAN  
SCALE: 1/8"=1'-0"



3 2ND FLOOR PLAN  
SCALE: 1/8"=1'-0"

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License #4040-A  
Expiration Date 11.07.2020



PROJECT:  
HAMPDEN LANE  
8011 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
ENERGY ENVELOPE

REVISIONS  
3-10-2020

Date:  
Permit: 2-10-2020  
Bldg:  
Scale:  
AS NOTED  
Project Number  
1913

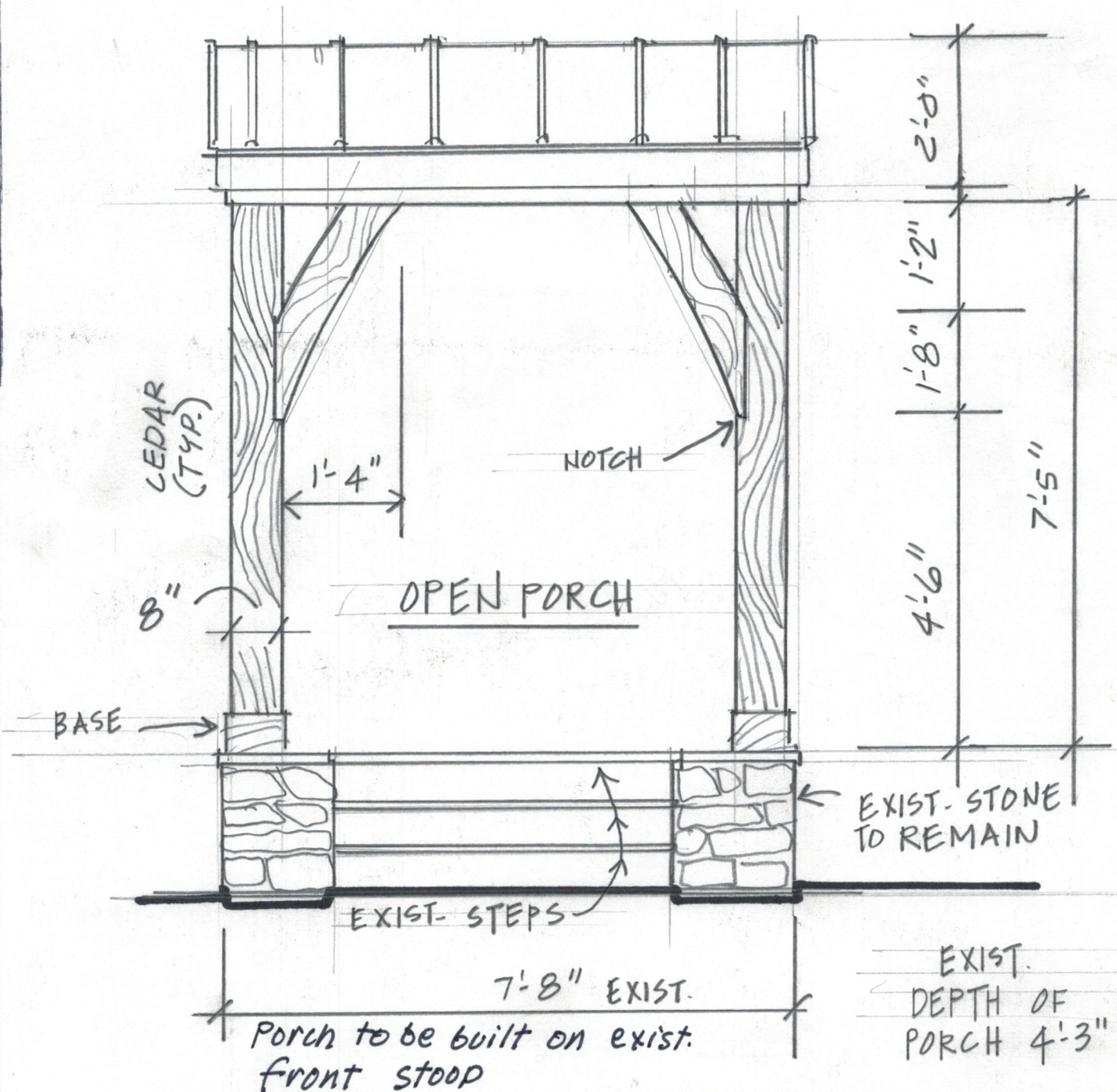
E-3  
17 OF 17



## REVISION NOTES:

1. Proposed Porch to be built on top of exist. stoop & not enlarged.
2. Column details to match exist column details @ front
3. Roof to be LOWER with less slope

Mark & Marjorie  
Kramer, Applicant  
8017 Hampden Lane  
Bethesda, MD.



REVISED FRONT ENTRY PORCH ELEMENT

SCALE:  $\frac{1}{2}'' = 1'-0''$