

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7419 Piney Branch Avenue, Takoma Park	<b>Meeting Date:</b>	3/11/2020
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	3/4/2020
<b>Applicant:</b>	Mark Puryear	<b>Public Notice:</b>	2/26/2020
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	37/03-20Q	<b>Staff:</b>	Dan Bruechert
<b>PROPOSAL:</b>	Hardscaping		

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**STAFF RECOMMENDATION:**

☒ Approve  
☐ Approve with conditions

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c.1920-1930

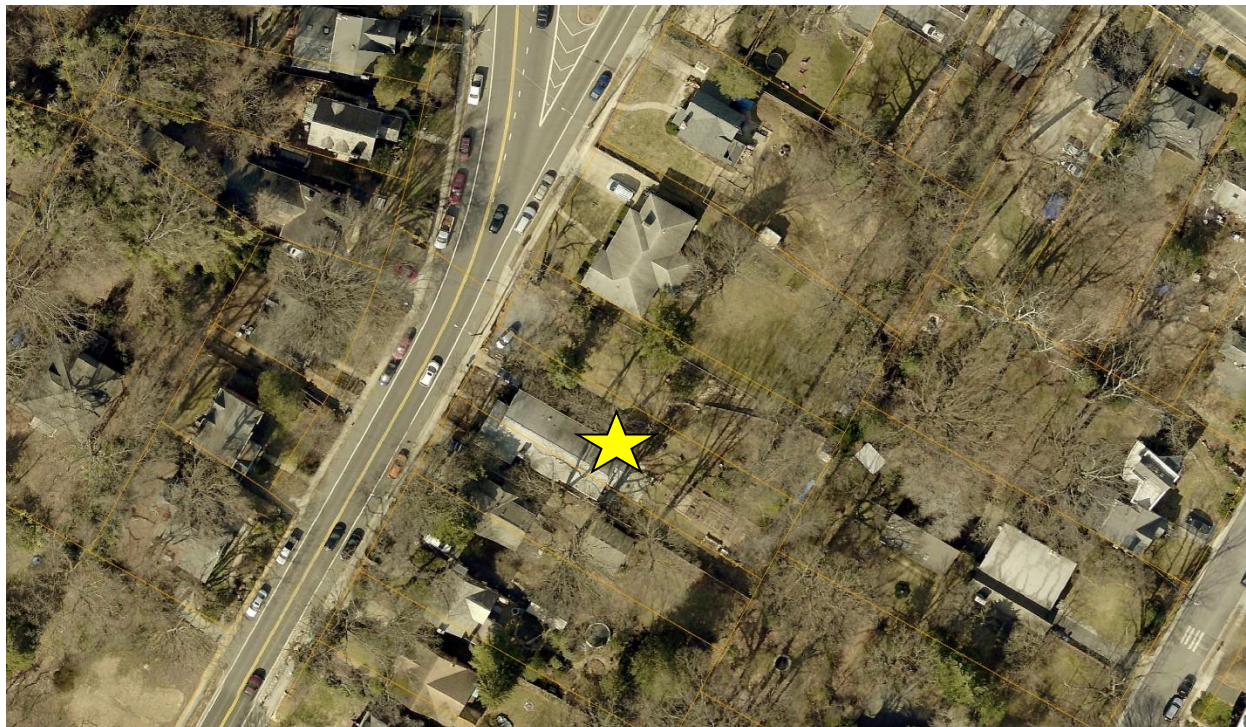


Fig. 1: 7419 Piney Branch Avenue.

## **PROPOSAL**

The front retaining wall and ribbon driveway have significantly degraded. The applicant proposes to rebuild the CMU block retaining wall and replace the gravel to either side of the concrete ribbons. Additionally, the applicant proposes to re-grade the front drive to create a level approach for the existing parking pad to the north of the house. Staff finds that this work will not result in a noticeable change to the front of the house and much of this work could be considered a replacement in kind.

The applicant proposes introducing a new CMU block wall around an existing planting bed, adjacent to the parking pad. This ‘wall’ will be one block high and due to its low height and the existing fence, and will not have a significant impact on the character of the house or surrounding streetscape. Staff recommends approval of this work.

## **APPLICABLE GUIDELINES:**

### **Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.

### **Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

### ***Secretary of Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The relevant *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and (d), having found that the proposal is consistent with the *Takoma Park Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and 9;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

CPG - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: mpuryear@gmail.com Contact Person: Mr. Mark Puryear  
Daytime Phone No.: 301-775-0528  
Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Mark Puryear Daytime Phone No.: 301-775-0528  
Address: 7419 Piney Branch Rd, Takoma Park, MD 20912  
Street Number City State Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PERMIT

House Number: 7419 Street: Piney Branch Rd.  
Town/City: Takoma Park Nearest Cross Street: Philadelphia Ave  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☒ Alter/Remodel  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Stab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: DRIVE WAY

1B. Construction cost estimate: \$ 15,620.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXPANSION/ADDITION

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 2 feet 6 inches in

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mark Z. Puryear  
Signature of owner or authorized agent

2/18/2020  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Existing Ribbon drive way is collapsed and concrete rubble wall is also collapsed.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Remove collapsed concrete rubble wall and ribbon drive way  
Build cinder block wall to tie in driveway and parking pad  
Resurface with 7 grey gravel  
No change to both property or fence*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

THE FOLLOWING FORM MUST BE COMPLETED AND THE  
NEEDED DOCUMENTS MUST ACCOMPANY THE APPLICATION

SECTION 2 - MAILING

Other documents to be submitted with this application  
If you have any questions, please call the Department of Planning and Zoning at 202-691-1100

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> 7419 Piney Branch Rd. Takoma Park, MD 20912	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	
7415 Piney Branch Rd. Takoma Park, MD 20912	7420 Piney Branch Rd. Takoma Park, MD 20912
7416 Piney Branch Rd. Takoma Park, MD 20912	7423 Piney Branch Rd. Takoma Park, MD 20912

SECTION 3 - ADJACENT AND CONFRONTING PROPERTY OWNERS

For each adjacent and confronting property owner, please provide the following information:  
Name, address, and telephone number of the owner  
Whether the owner is a resident or a business owner  
Whether the owner is a party to the application  
Whether the owner has any other interests in the property

ADJACENT AND CONFRONTING PROPERTY OWNERS  
NAME, ADDRESS, AND TELEPHONE NUMBER OF THE OWNER  
Whether the owner is a resident or a business owner  
Whether the owner is a party to the application  
Whether the owner has any other interests in the property



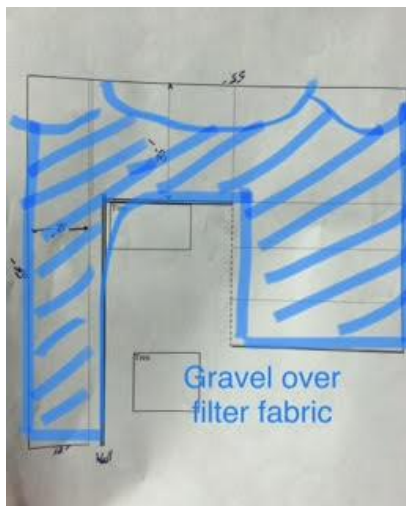
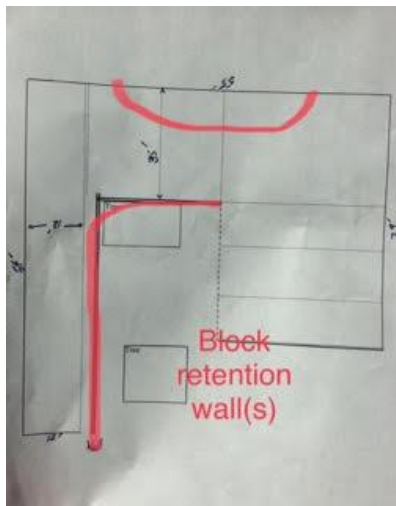
The plan for the driveway involves removing a collapsed concrete rumble wall and building a new wall. then restoring a level grade to the driveway. And grading the adjacent parking pad to make walking across the whole area safe and vehicle access possible between our two drive way aprons.

Cinder Block Retention wall(s) and gravel driveway

- remove existing and build new cinder block retention walls on concrete footer
- remove existing concrete drive strips portion of driveway (both aprons to remain)
- install heavy duty filter fabric
- install #57 grey gravel to driveway (approx 3-5" average depth)

On page 2 the drawing shows the location of the repaired and proposed low wall. The two rectangles are approximate locations of existing trees. We have completed a tree impact assessment and tree protection plan recommendations with the City of Takoma Park.

Mark & Michele Puryear  
7419 Piney Branch Rd.  
Takoma Park, MD 20912  
301-775-0528  
mpuryear@gmail.com





Gmail - 7419 Piney Branch Rd Takoma Park MD

<https://mail.google.com/mail/u/0?ik=c2cffd8447&view=pt&search...>





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