

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7307 Holly Ave., Takoma Park	Meeting Date:	2/26/2020
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	2/19/2020
Applicant:	Gillian Cadwell and Louis Spitzer (Richard Vitullo, Architect)	Public Notice:	2/12/2020
Review:	HAWP	Tax Credit:	No
Case Number:	37/03-20L	Staff:	Michael Kyne
PROPOSAL: Rear addition, deck, egress, and hardscape and landscape			

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman
DATE: 1920s

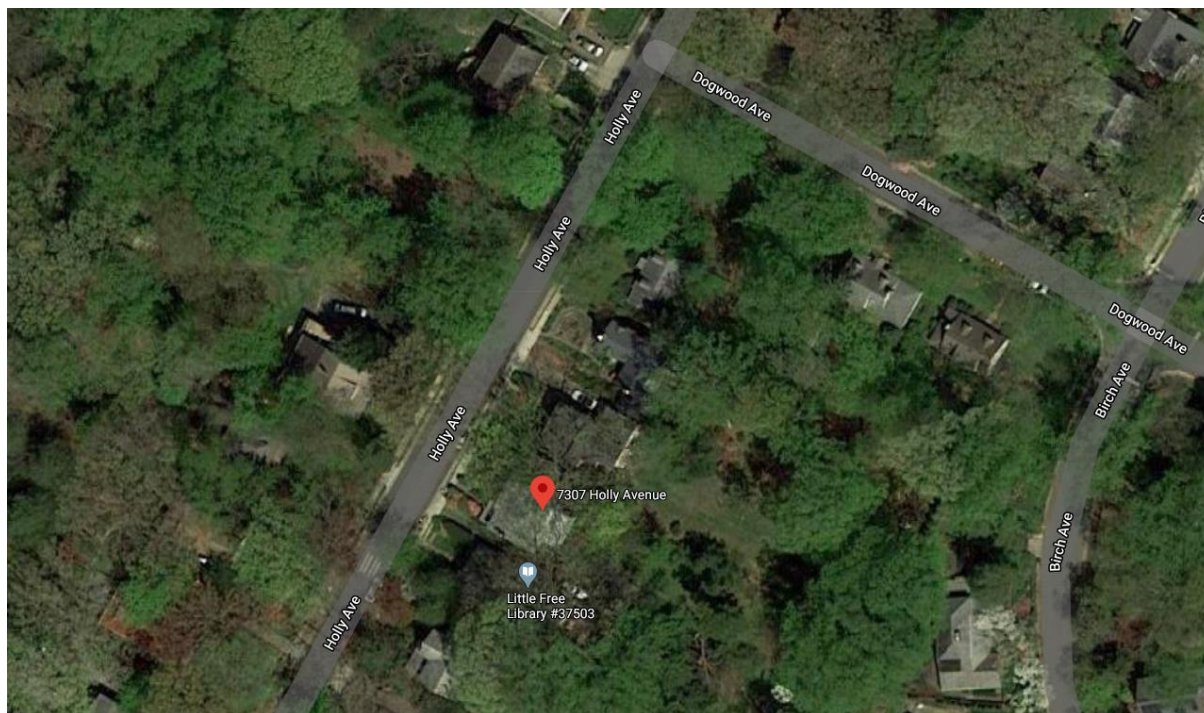


Fig. 1: Subject property.

PROPOSAL

The applicants propose the following work items at the subject property:

- Relocate existing rear basement entry to southwest (right) elevation.
- Construct two new additions – one two-story rear addition and one one-story rear addition.
- Construct new deck at the rear of the proposed new rear additions.
- Construct new stoop with overhang and steps to grade at the rear of the proposed new rear additions.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of structures in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding

on areas visible from the public right of way is discouraged where such materials would replace or damage original building materials that are in good condition.

- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a c. 1920s Craftsman-style Contributing Resource within the Takoma Park Historic District. There is an existing two-story addition and original single car garage at the rear of the house. While the application states that the existing two-story addition may be an original bump out with enclosed second floor porch, the 1927 Sanborn Fire Insurance Map (see below) verifies that it is a later addition.

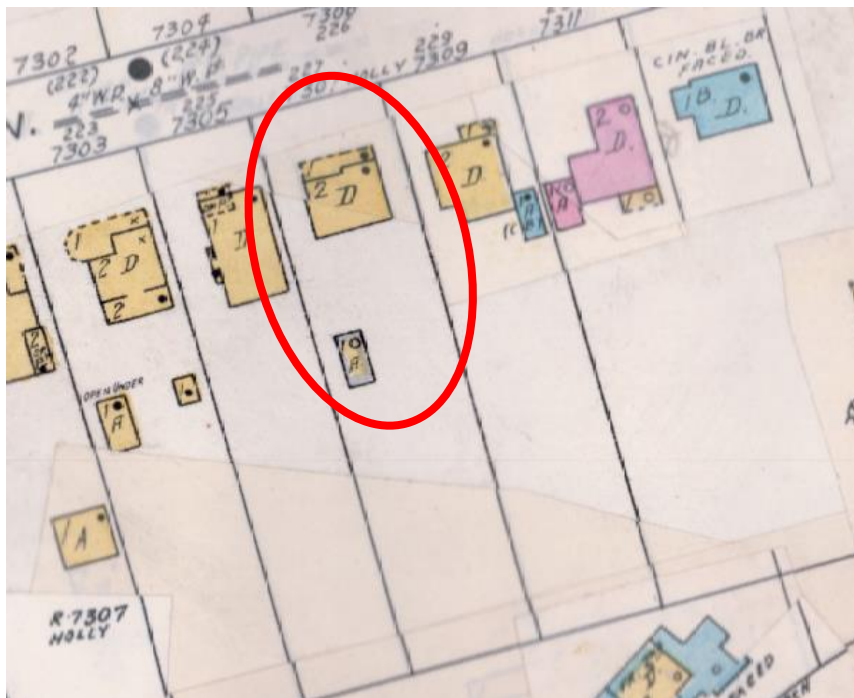


Fig.2: 1927 Sanborn Fire Insurance Map, with subject property circled in red.

The applicants are proposing the following alterations at the subject property:

- Basement entry
 - The existing rear basement entry will be relocated to the southwest elevation (right/rear corner) of the historic house to accommodate the proposed new rear additions.
- Rear additions
 - The existing two-story rear addition will be removed.
 - A new two-story addition (22' x 26'-3", 577 sf footprint) with gable roof will be constructed at the rear of the historic house.
 - The proposed new two-story addition will be inset from the rear corners of the historic house by a 6" deep x 2'-9" long inset on each side.
 - A new one-story addition (13'-6" x 21', 283 sf footprint) with shed roof will be constructed at the rear of the proposed new two-story rear addition.
 - The proposed new one-story addition will be inset 6" from the northeast corner and 4'-6" from the southwest corner of the proposed new two-story addition and
- Deck
 - A new 16' x 17'-4" wood deck with wood railing and steps to grade is proposed in the northeast (rear/left) corner of the proposed new rear additions.
- Stoop
 - A new stoop with overhang and steps to grade is proposed in the southwest (rear/right) corner of the proposed new rear additions.
- Materials
 - The proposed new additions will be clad with smooth-faced fiber cement lap siding (5" exposure) and trim.
 - The proposed new two-story rear addition will have asphalt shingles to match the existing.
 - The proposed new one-story rear addition will have membrane or standing seam metal roofing.
 - The windows in the proposed new additions will be wood.
 - The doors in the proposed new additions will be wood.

Staff supports the applicant's proposal, finding that it does not detract from the character-defining features of the subject property or surrounding historic district. The proposal is consistent with the *Guidelines* for building additions and with *Standards* #2, #9, and #10. The proposal will not remove or alter character-defining features of the subject property or surrounding streetscape. The proposed work will be differentiated from the existing and will be compatible with the massing, size, scale, and architectural features of the historic house.

After full and fair consideration of the applicant's submission staff finds the proposal, as modified by the conditions, as being consistent with the Criteria for Issuance in Chapter 24A-(b) (1) and (2), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the *Takoma Park*

Historic District Guidelines, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: RJV@VITULLOSTUDIO.COM Contact Person: RICK VITULLO
Daytime Phone No.: 301-806-6447
Tax Account No.: 01066483
Name of Property Owner: GILLIAN CALDWELL + LOUIS SPITZER Daytime Phone No.: 301-326-7802
Address: 7307 HOLLY AVE. TAKOMA PARK, MD 20912
Street Number City State Zip Code
Contractor: T.B.D. Phone No.:
Contractor Registration No.:
Agent for Owner: RICK VITULLO AIA Daytime Phone No.: 301-806-6447

LOCATION OF BUILDING/REPAIRS

House Number: 7307 Street: HOLLY AVE.
Town/City: TAKOMA PARK Nearest Cross Street: DOGWOOD AVE.
Lot: PART OF 23 Block: 6 Subdivision: ?
Liber: 4788 Folio: 35 Parcel:

PART ONE: TYPE OF WORK/ALTERATION

1A. CHECK ALL APPLICABLE:

☐ Construct ☒ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☒ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

☐ A/C ☐ Slab ☒ Room Addition ☐ Porch ☒ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☒ Single Family
☒ Fence/Well (complete Section 4) ☒ Other: PELLET STOVE

1B. Construction cost estimate: \$ 200,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

RJV
Signature of owner or authorized agent

1-29-20
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- ✓ a. the scale, north arrow, and date;
- ✓ b. dimensions of all existing and proposed structures; and
- ✓ c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

- ✓ If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

- ✓ For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

**DESCRIPTION OF EXISTING STRUCTURE,
ENVIRONMENTAL SETTING AND HISTORICAL FEATURES
AT:**

7307 Holly Ave., Takoma Park, MD 20912

This is an "Contributing Resource" Craftsman house similar to Sears "Americus", built in 1921, and it is located in the Takoma Park Historic District. It is a 2-story house, square in shape, approx. 26' x 26', with a full-width front porch and a 10' x 18' 2 story rear addition; the rear bump-out was either original to the house, but a 2-story open/screened porch and then enclosed, or was entirely built later. It has a 872 S.F. footprint, with a full basement. There is a detached garage on the property, 17' x 18.3'.

- a. Original House Structure:** *The main house structure is wood framed and is pyramid-hipped (7:12 slope). The rear addition is a shed roof.*
- b. Front Porch:** *The foundation is rusticated CMU, with a 4" thick concrete slab porch floor and steps. The wood railings are 28" high with a 8" wide flat top rail/cap.*
- c. Exterior Finish:** *The exterior finish is 5" exposure wood German siding; the siding on the rear addition does not align with the main house siding.*
- d. Foundation:** *Unfinished rusticated CMU.*

**DESCRIPTION OF THE PROPOSED PROJECT AND ITS
EFFECT ON THE HISTORIC RESOURCE:
7307 Holly Ave., Takoma Park, MD 20912**

Alteration to existing House:

- a. *The new rear addition will be blocking the existing rear basement door. Therefore, in order to maintain direct access to basement from exterior, the existing rear door to basement mid-stair landing will swing around from the rear corner to the side corner of the house.*

Rear Addition:

- a. **Interior space:** *A new 22'-0" x 26'-3" (577 sf footprint) 2-story gabled roof addition (Master Bedroom suite over Kitchen/ Breakfast/ Mud Room) and a 13'-6" x 21'-0" (283 sf footprint) 1-story shed roof addition (Family Room) will be constructed at the rear of the house. The 2-story addition will be separated from the existing house with a 6" x 2'-9" inset on both sides; the 1-story addition to the rear of that will be inset from the house 6" away from the northeast side and 4'-6" away from the southwest side.*
- b. **Wood deck:** *A new 16'-0" x 17'-4" wood deck will be constructed at the rear with a wood railing around.*
- c. **Side stoop:** *A new 3'-0" x 4'-6" wood deck/ stoop with a shed roof overhang, and wood steps to grade, will be built on the southwest side.*

This will be built using the following materials/details:

1) **Siding:** *Painted 5" exposure fiber cement lap siding with a 5/4 x 6 fiber cement trim at the corners.*

2) Roofing:

- a. **Main addition gable roof:** *Asphalt shingles.*
- b. **Shed roof:** *Membrane or standing seam metal roofing (TBD).*

3) **Windows and Doors:** *The new rear addition windows will be painted wood double hung, casement and awning windows, with muntins in either 4-over-1 or 6-over-1 depending on window size and proportion. The doors will be painted wood with large glass lites. There will be painted 1 x 6 fiber cement trim at all windows and door openings, with a SM-10 wood backband on outside edges to resemble original trim profiles.*

4) **Rear Deck & Side Porch Railing w/ Stairs:** *These will be constructed of PT wood with wood decking (ipe or mahogany) with wood railings (SM-8840 top rail, SM-8841 bottom rail and LWM-237 (6/4 x 6/4) balusters @ 5" o.c.. There will be a wood stair to grade.*

Gillian Caldwell
Louis Spitzer
7307 Holly Ave.
Takoma Park, MD 20912

Adjoining Property Owners

HAWP

William Lefurgy
7309 Holly Ave.
Takoma Park, MD 20912

Molly Crawford
Christopher Campbell
7305 Holly Ave.
Takoma Park, MD 20912

Agnes Patti
7306 Holly Ave.
Takoma Park, MD 20912

George Hinds
7304 Holly Ave.
Takoma Park, MD 20912



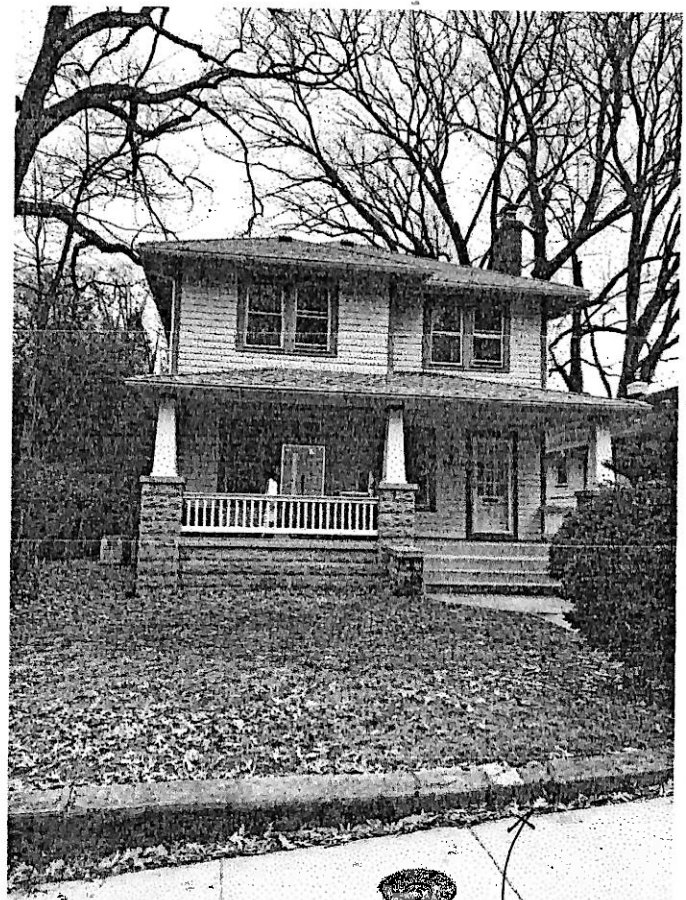
REAR



REAR ADDITION @ MAIN HOUSE SHOWING NON-ALIGNMENT OF SIDING

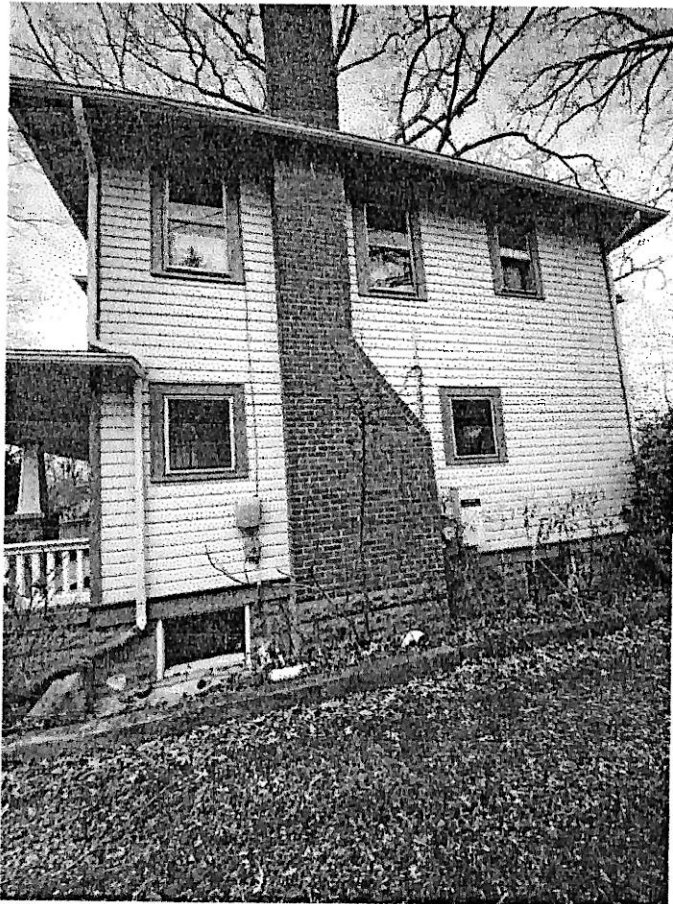


WATER TABLE + TRIM @ FOUNDATION

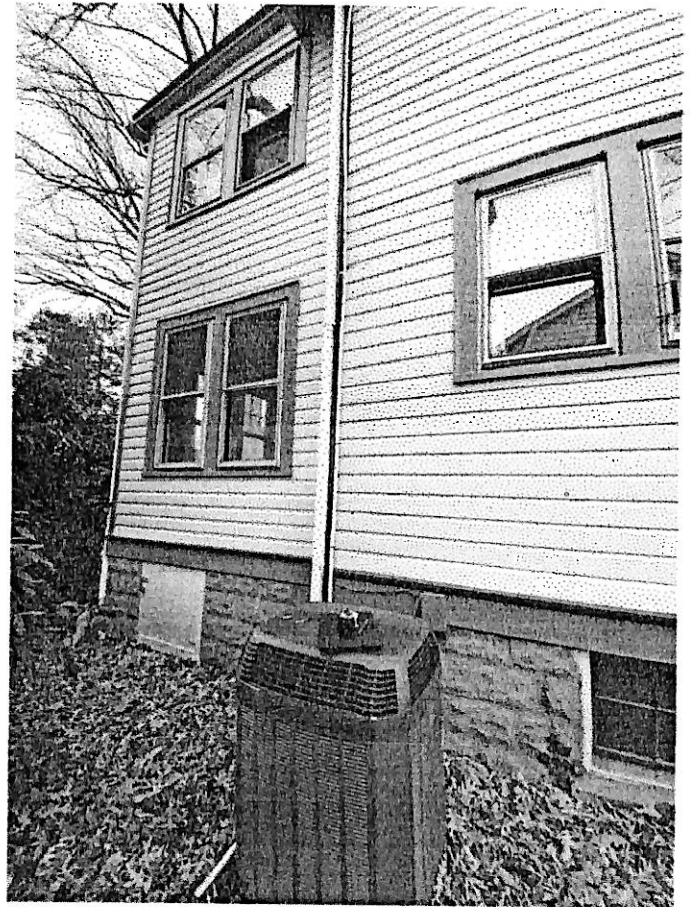


FRONT

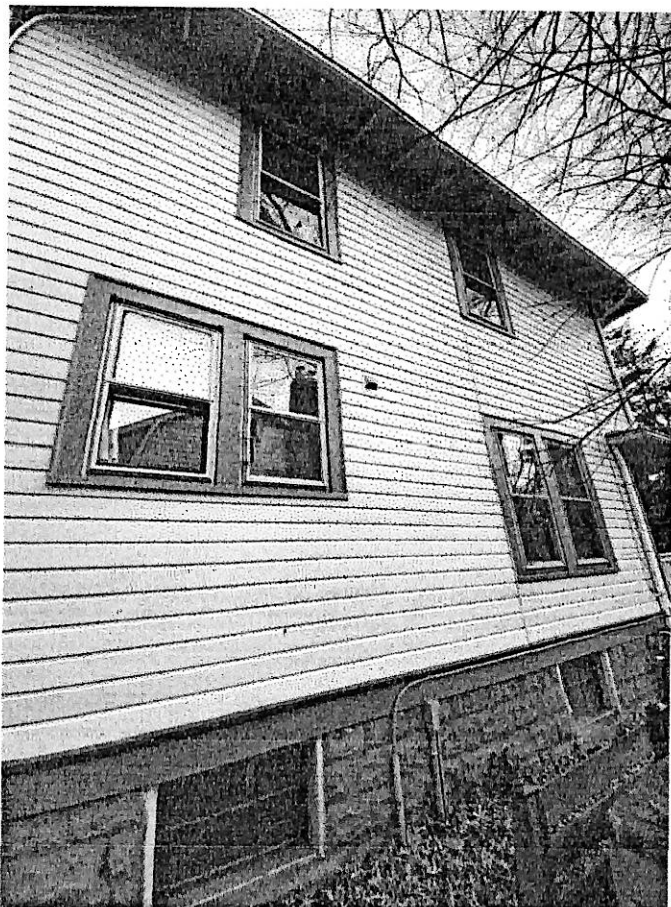
CONCRETE RETAINING WALL (AS DESIGNED)



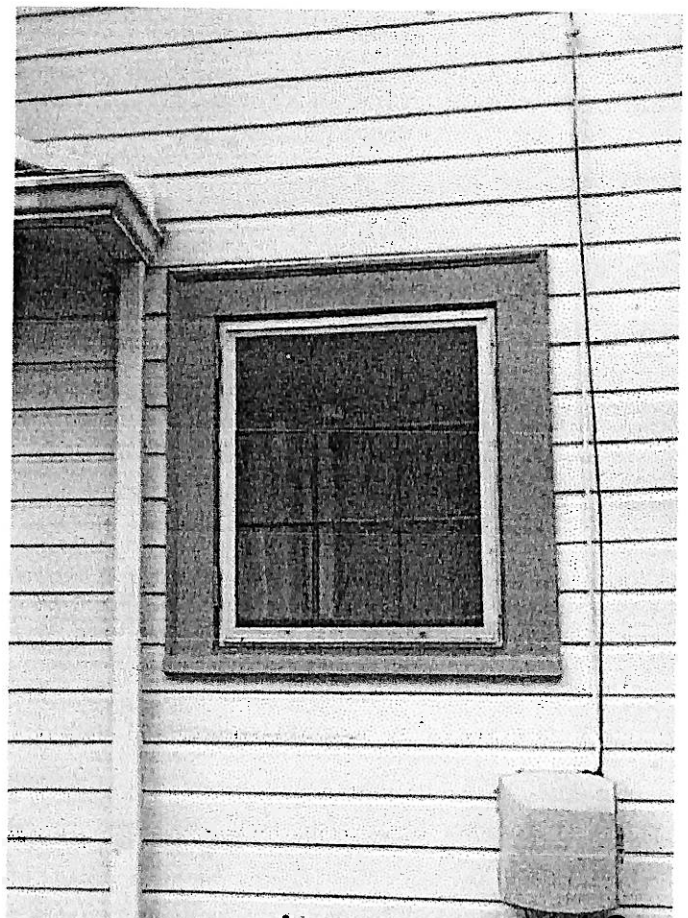
RIGHT SIDE



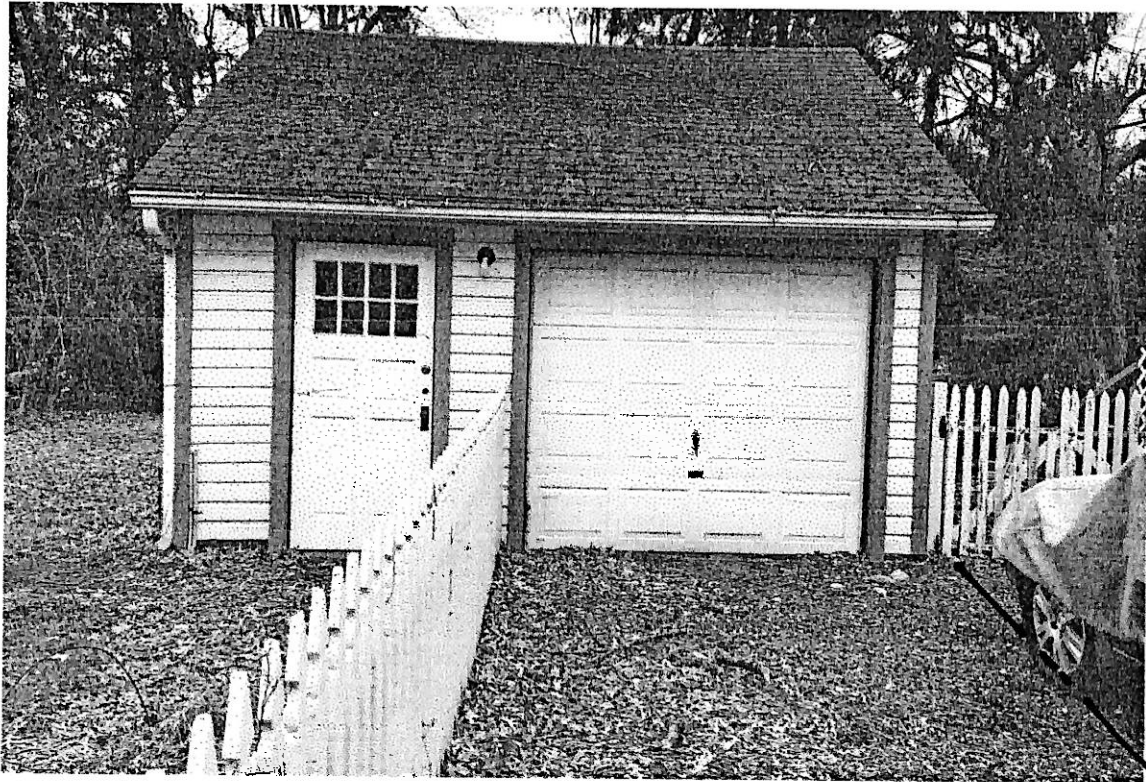
LEFT SIDE (REAR)



LEFT SIDE (FRONT)



WINDOW TRIM DETAIL 3



GARAGE

PROPERTY
LINE



RETAINING WALL (A) REAR
(TO BE REMOVED)



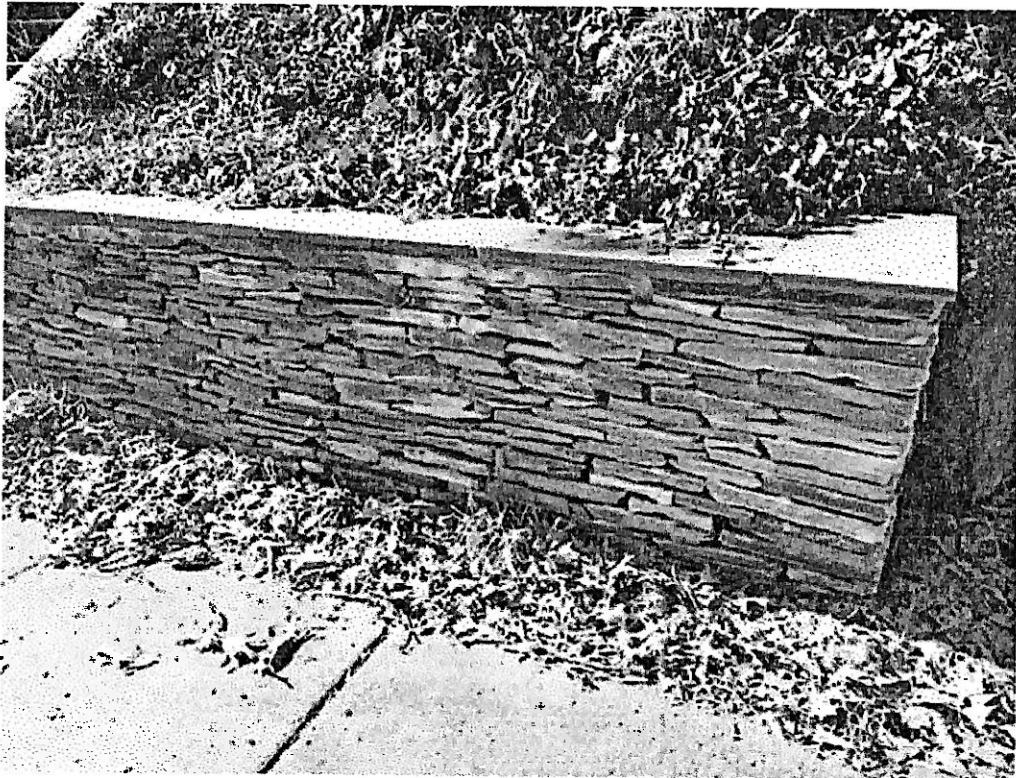
STONE/CONCRETE WALK (A)
REAR (TO BE REMOVED)



EXISTING CONCRETE
FRONT WALK
(TO BE REMOVED)

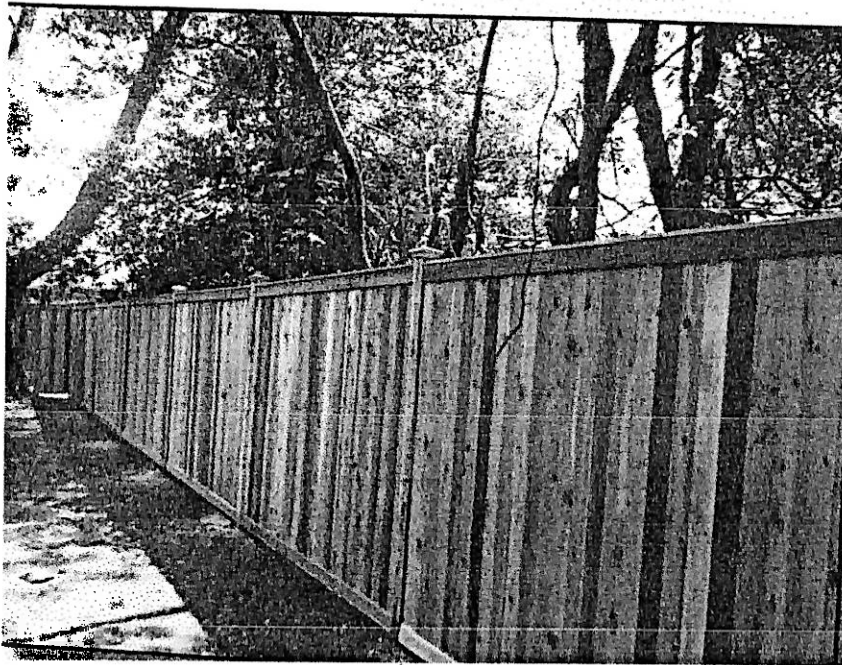


EXAMPLE: NEW FLAGSTONE ON
CONCRETE FRONT WALK

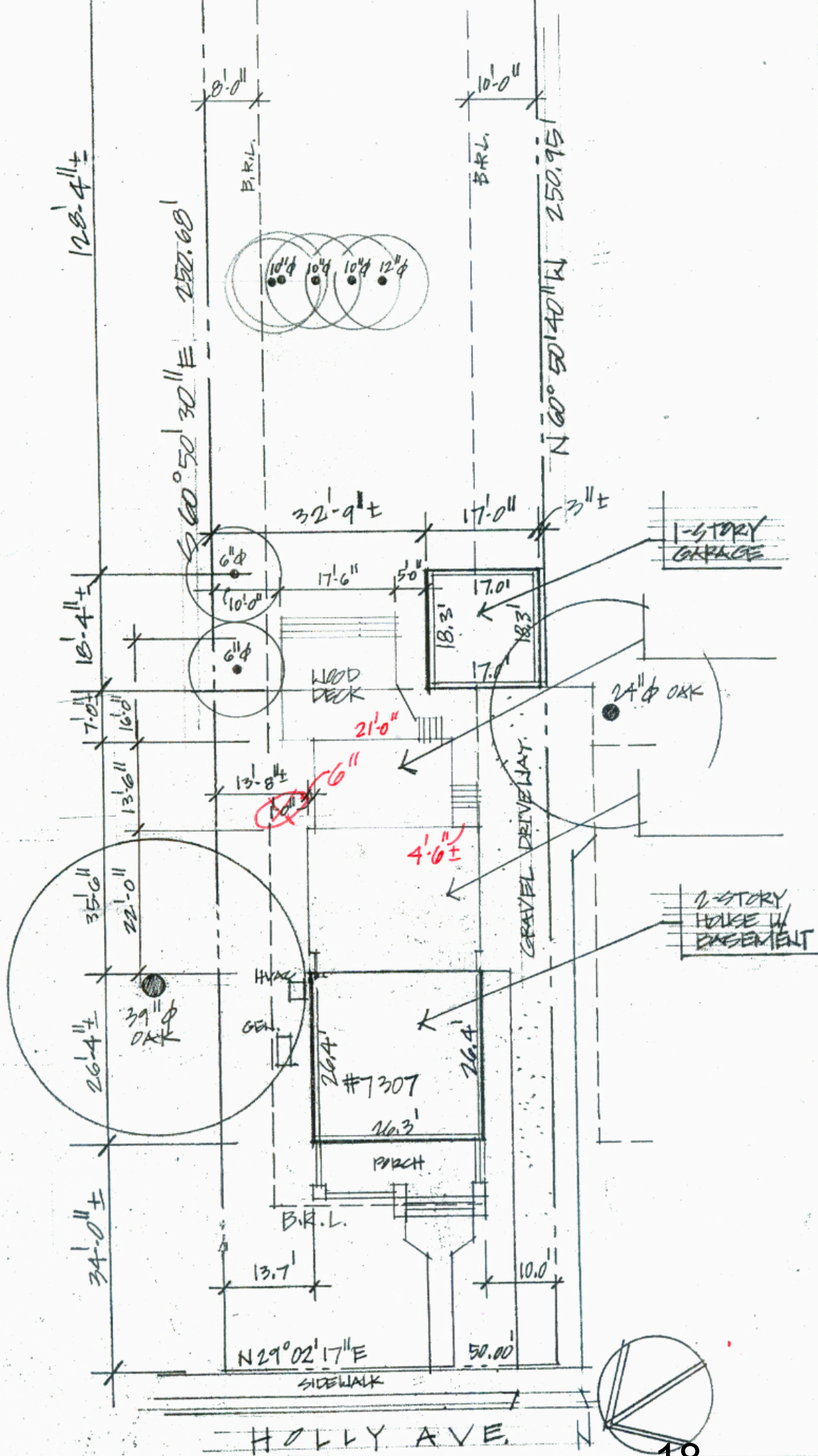


EXAMPLE: NEW DRY STACK STONE WALL @ FRONT PROP. LINE

FLATBOARD STYLE

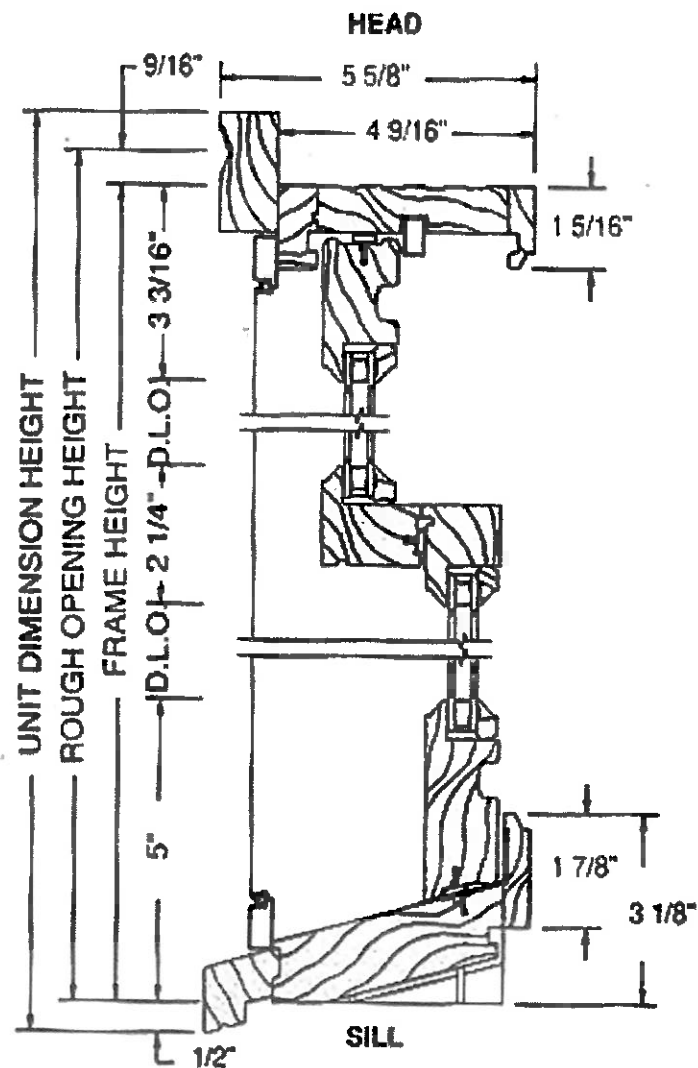


EXAMPLE: NEW 6'-0" CEDAR FENCE FOR LEFT (NORTHEAST)
PROPERTY LINE

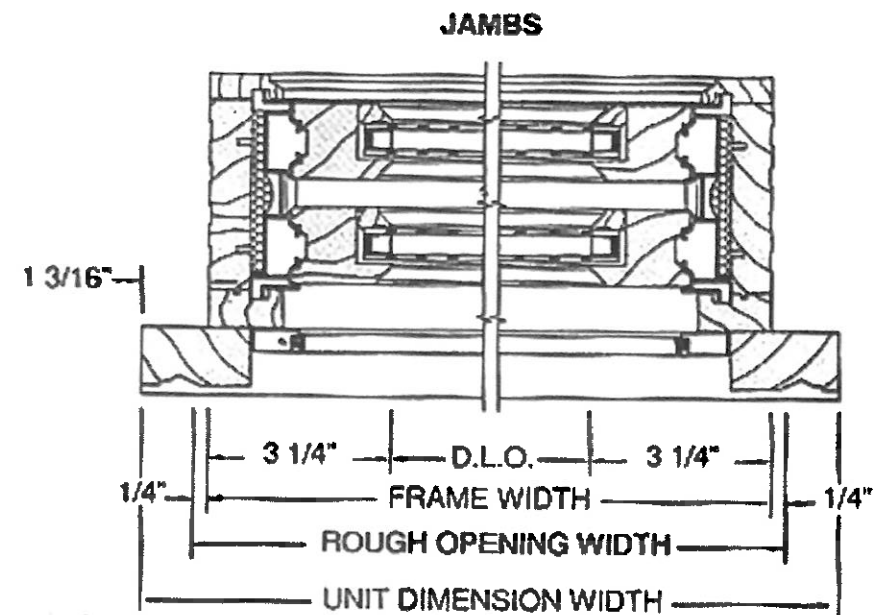


TRADITIONAL DOUBLE HUNG CROSS SECTION DRAWING

Vertical Section

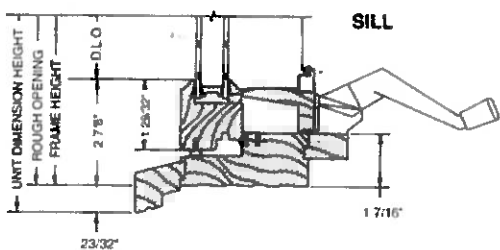
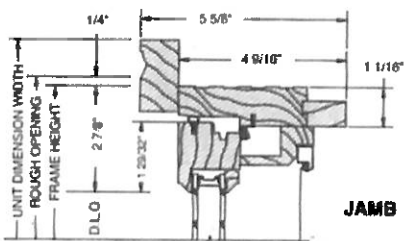
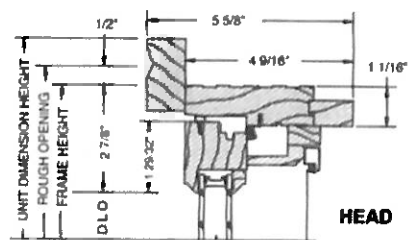


Horizontal Section

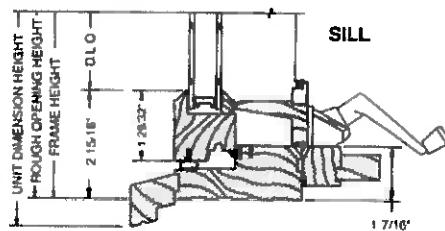
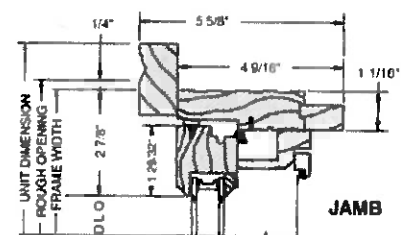
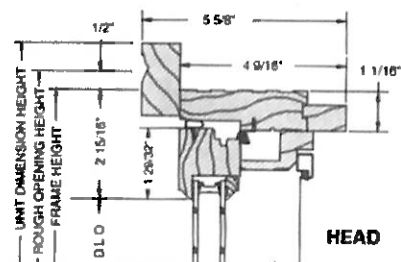


HERITAGE SERIES | CASEMENTS

STANDARD CASEMENT CROSS SECTION DRAWINGS



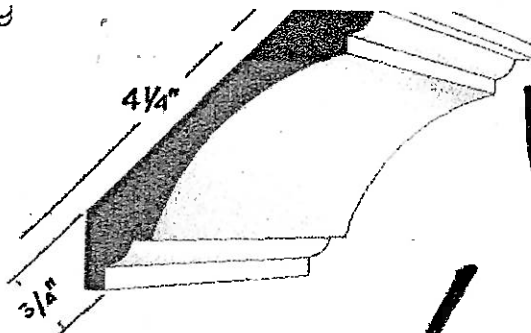
FRENCH CASEMENT CROSS SECTION DRAWINGS



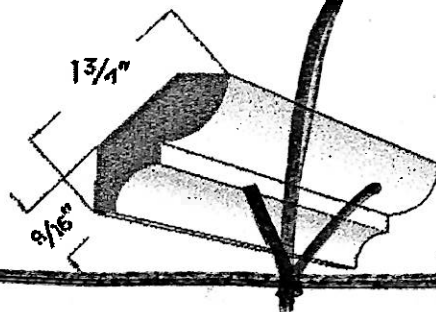
WOOD MEETING STILES



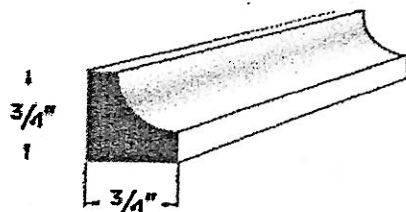
Cove Moulding
AZM-80



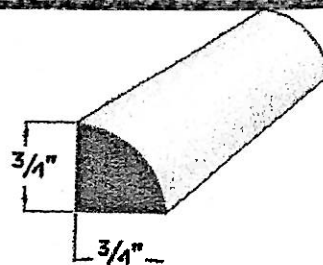
Bed Moulding
AZM-75



Scotia
AZM-93



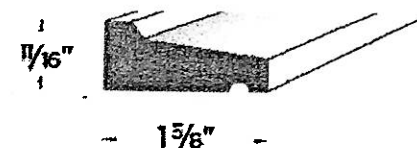
Quarter Round
AZM-105



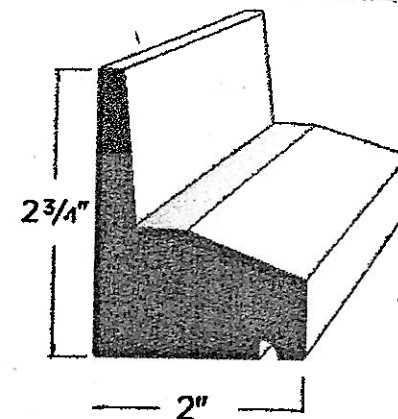
SHINGLE BAND PROFILES

Shingle Band is designed for use as a window or door casing or as a decorative shoe base.

Drip Cap
AZM-197



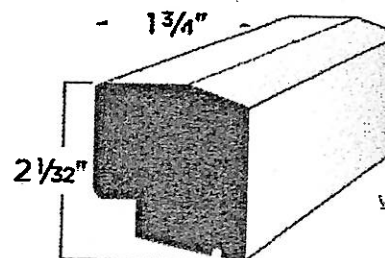
Water Table
AZM-6935



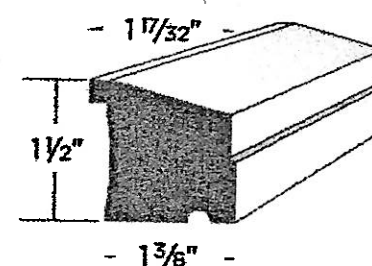
SILL PROFILES

Sill profiles shed water and offer architectural detail.

Historic Sill
AZM-6930



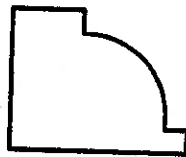
Sub Sill Nose
AZM-6933



GARAGE DOOR THERMOSTOP

Popular moulding profile designed to assist with sealing new or existing garage door openings to minimize weather and moisture intrusion.

REEDING



SM-10
3/4 X 15/16
SMALL COX'S
BACKBAND



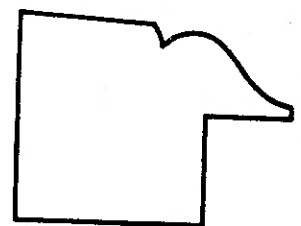
SM-9
11/16 X 1-3/8
COX'S BACKBAND



WM-280
11/16 X 1-1/16
SANITARY BACKBAND

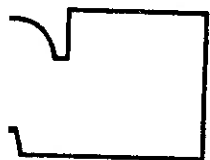


WM-281
11/16 X 1-1/16
WORKED BACKBAND



SM-68
1-1/16 X 1-7/16
ADAM'S BACKBAND

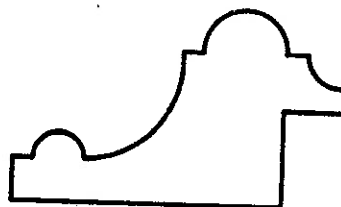
1-1/4
E FLUTING/REEDING



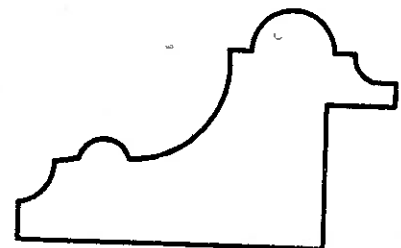
SM-75
3/4 X 5-1/2
REEDING

FLUTING

1-1/4
FLUTING/REEDING



SM-62
1" X 1-3/4
LONGWOOD PANEL MOULD



SM-64
1-1/4 X 2"
LONGWOOD PANEL MOULD

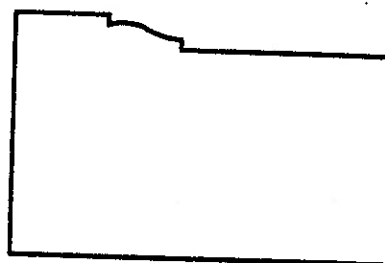


SM-1-1
PINI

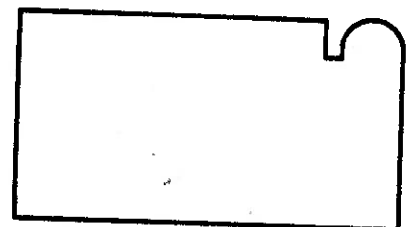
3-9/16



SM-85
3/4 X 5-1/2
FLUTING



WM-180
1-1/4 X 2"



WM-175
1-1/16 X 2"
BULLNOSE BRICKMOULD

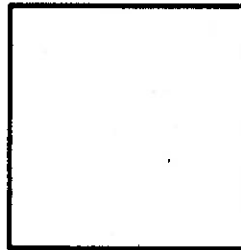
BF

V
[

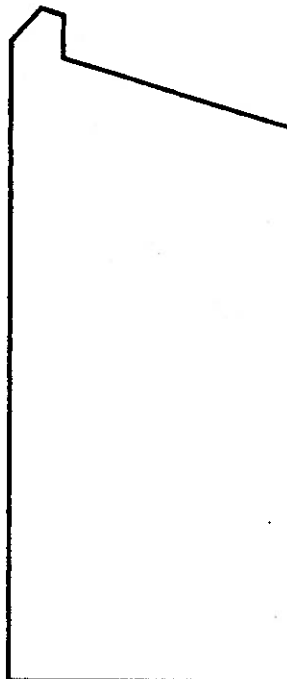
ROUND

HANDRA

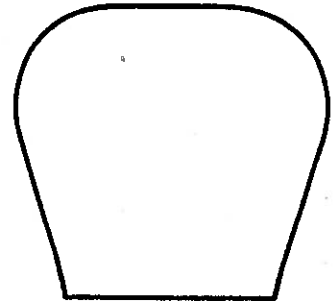
SM-8840
1-1/2 X 3-1/2
TOP PORCH RAIL



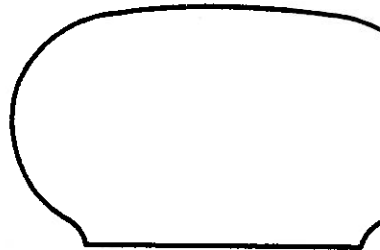
LWM-237
1-1/4 X 1-1/4
BALUSTER STOCK



SM-8841
1-1/2 X 3-1/2
BOTTOM PORCH RAIL



WM-230
1-1/2 X 1-11/16
SMALL HANDRAIL



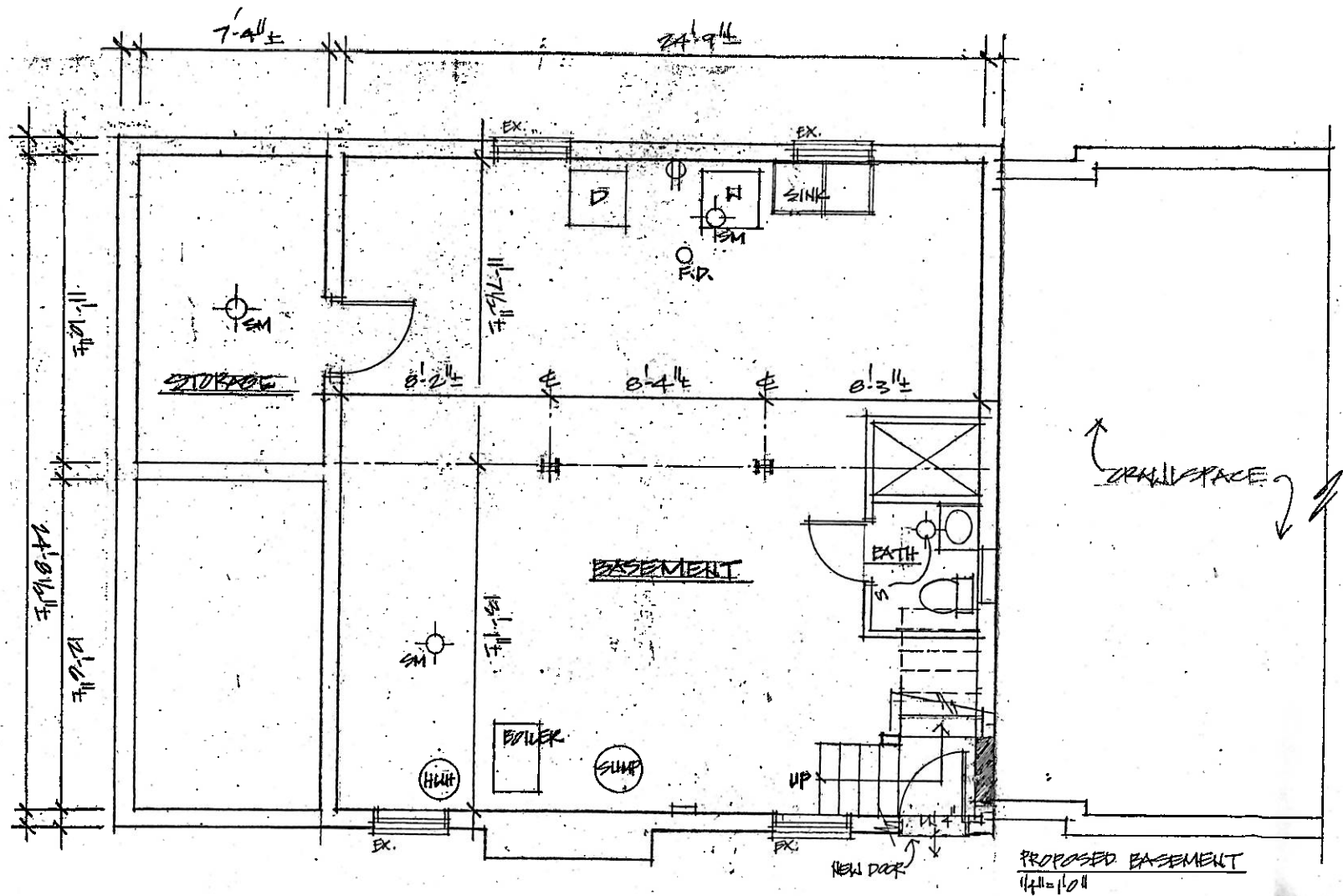
WM-240
1-1/4 X 2-1/4
OVAL HANDRAIL

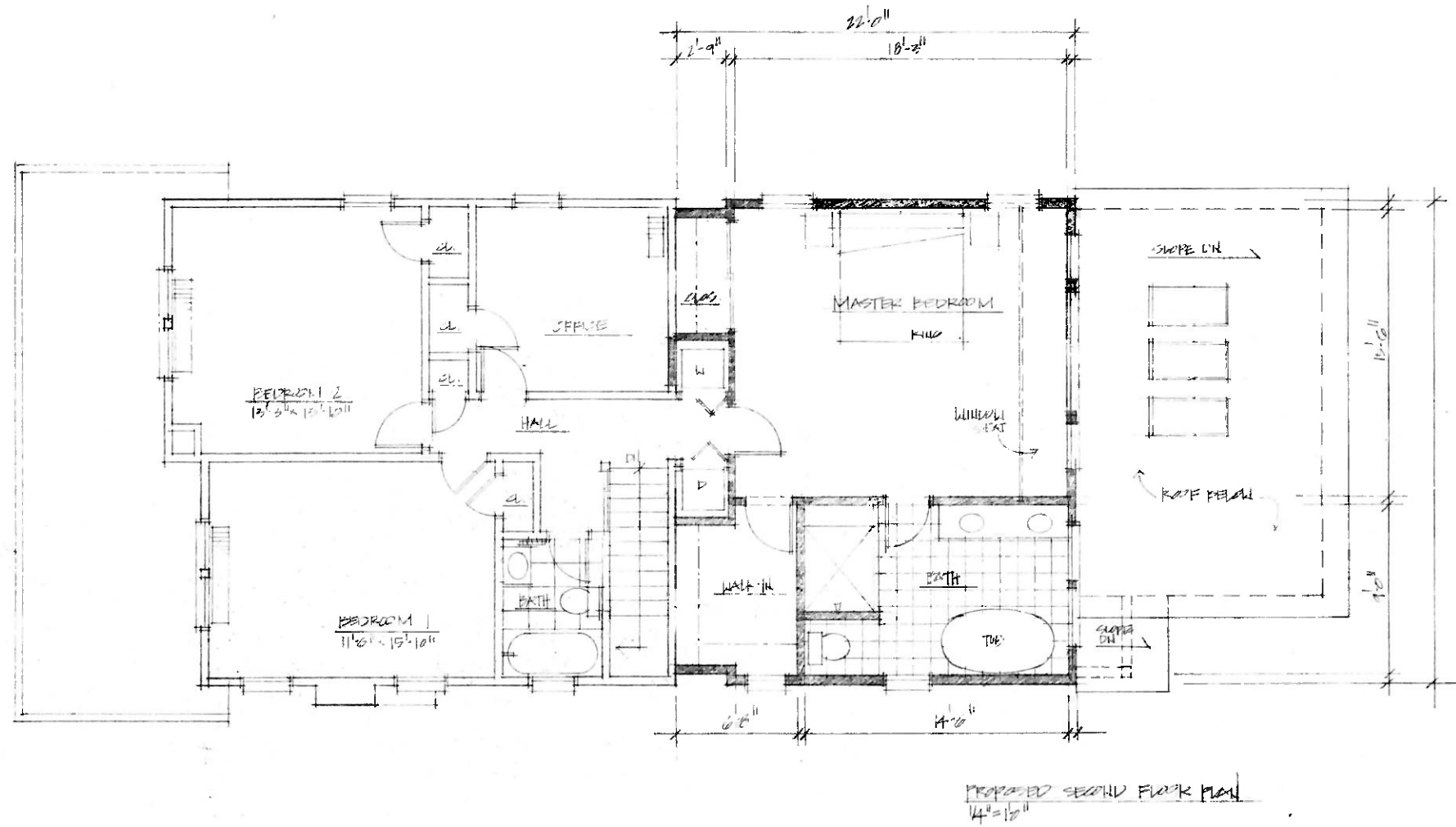
MULLION

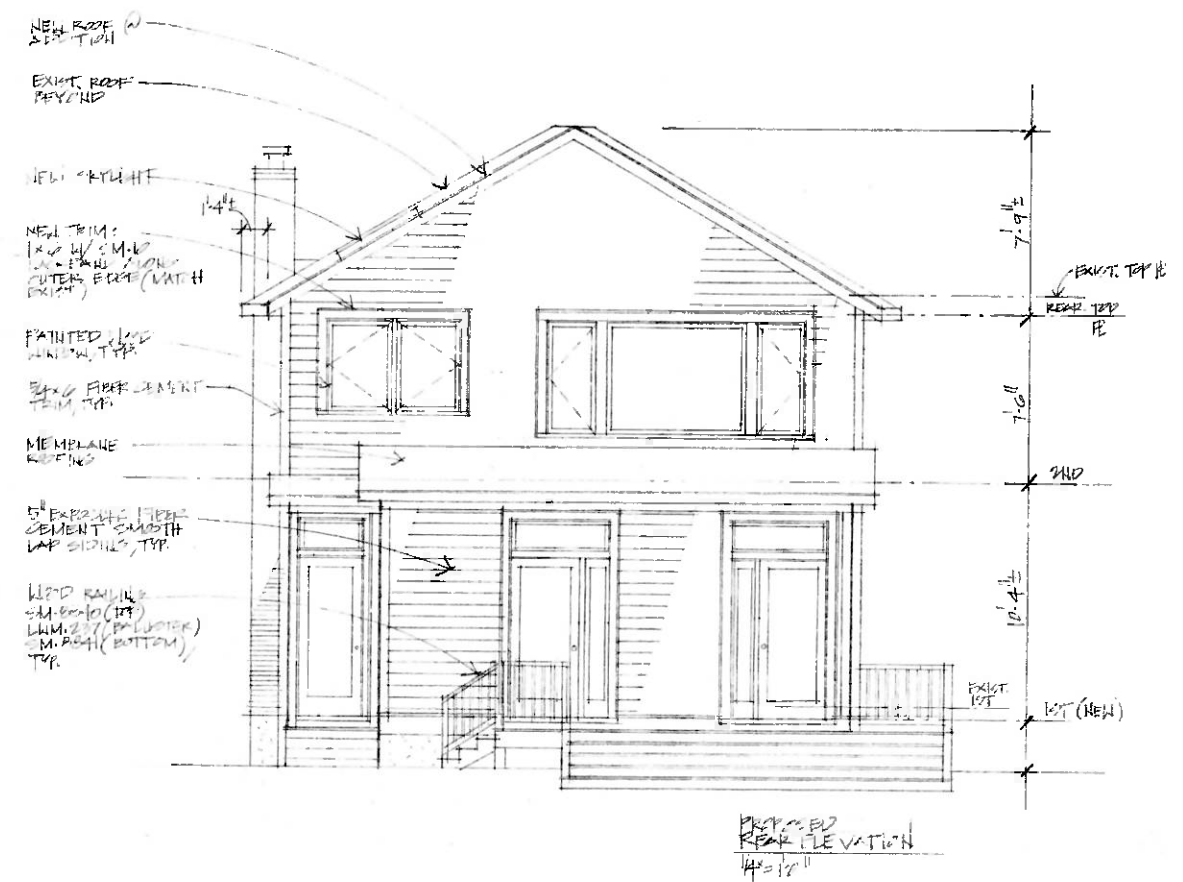


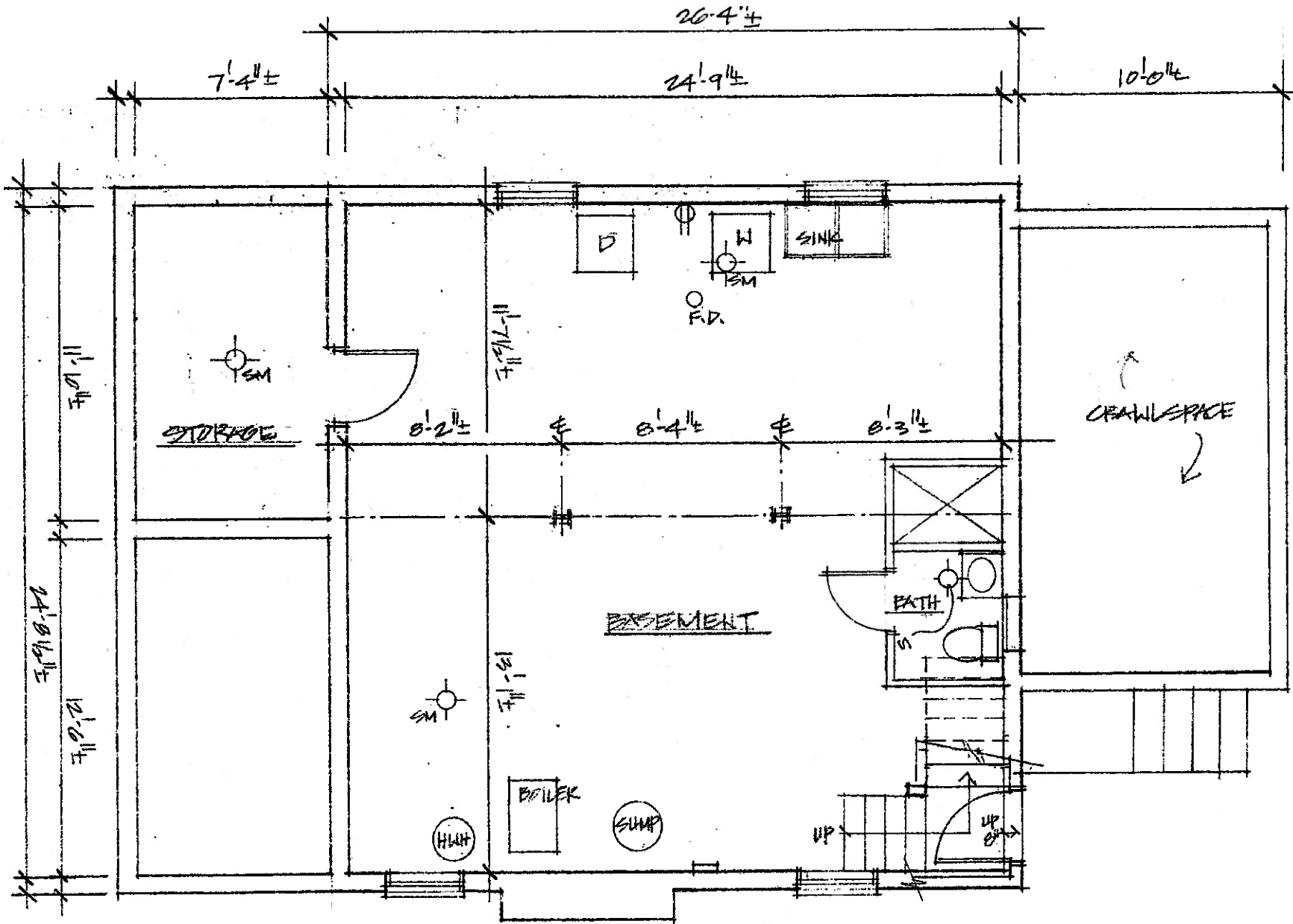
-5/8
RAGAL



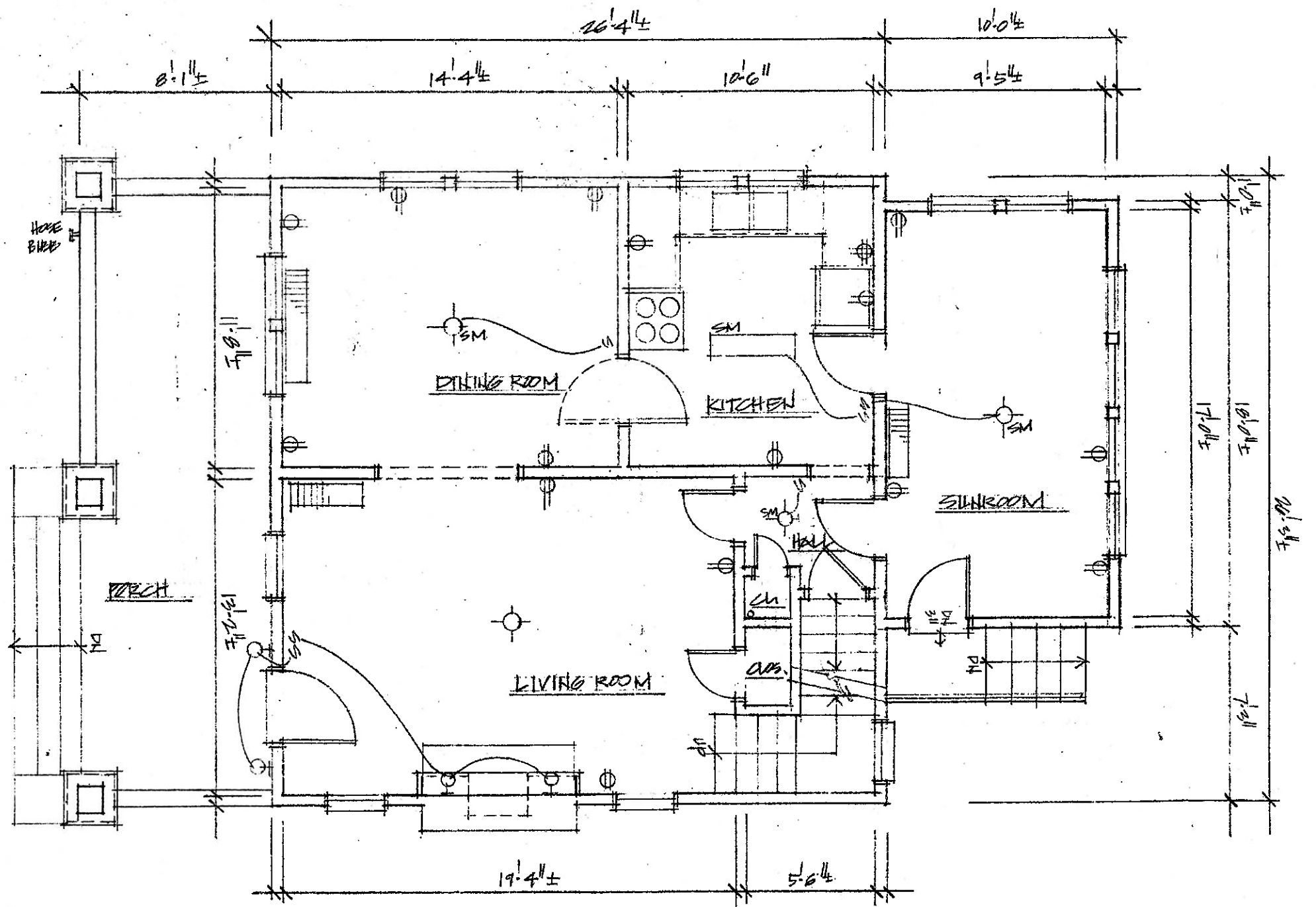




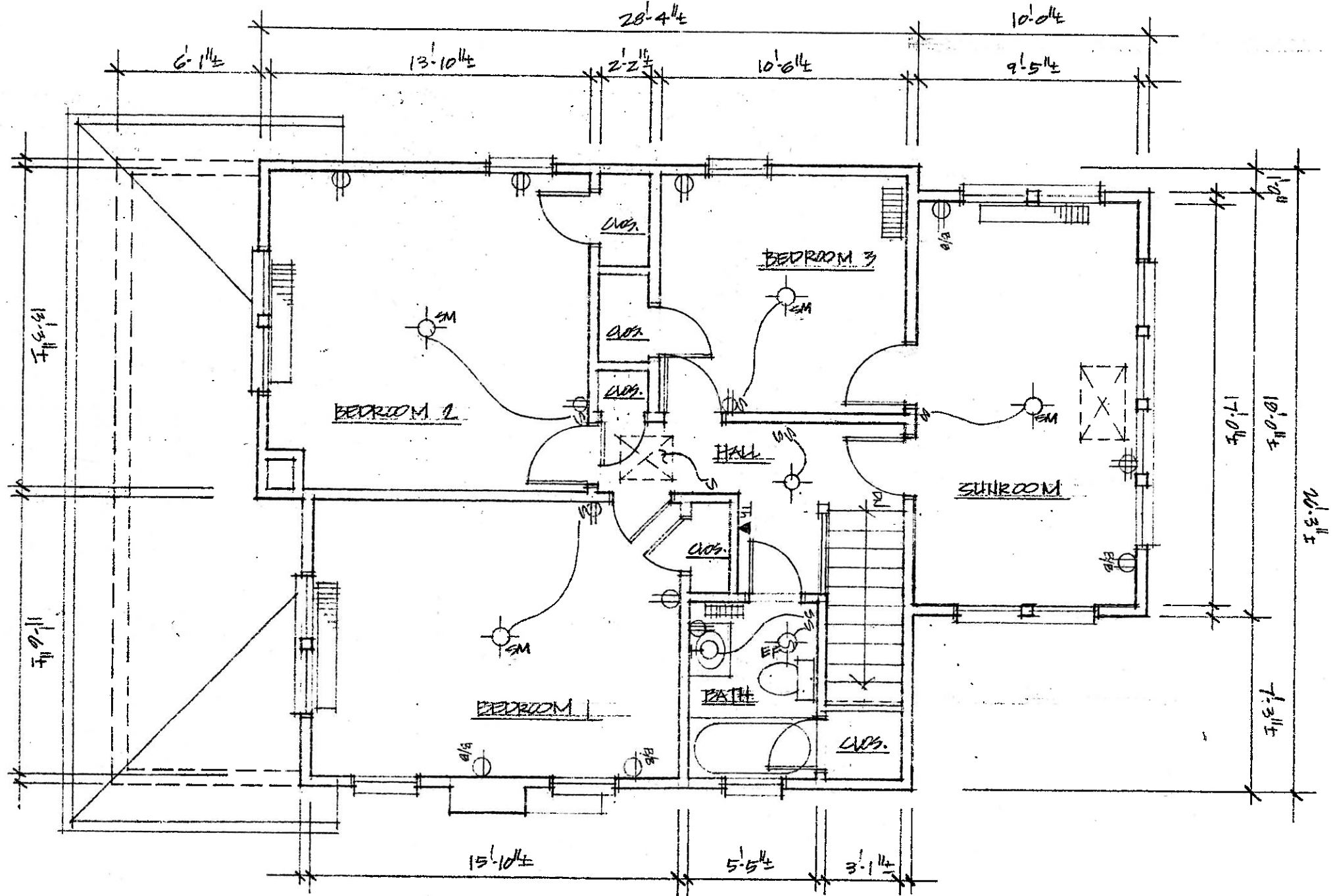




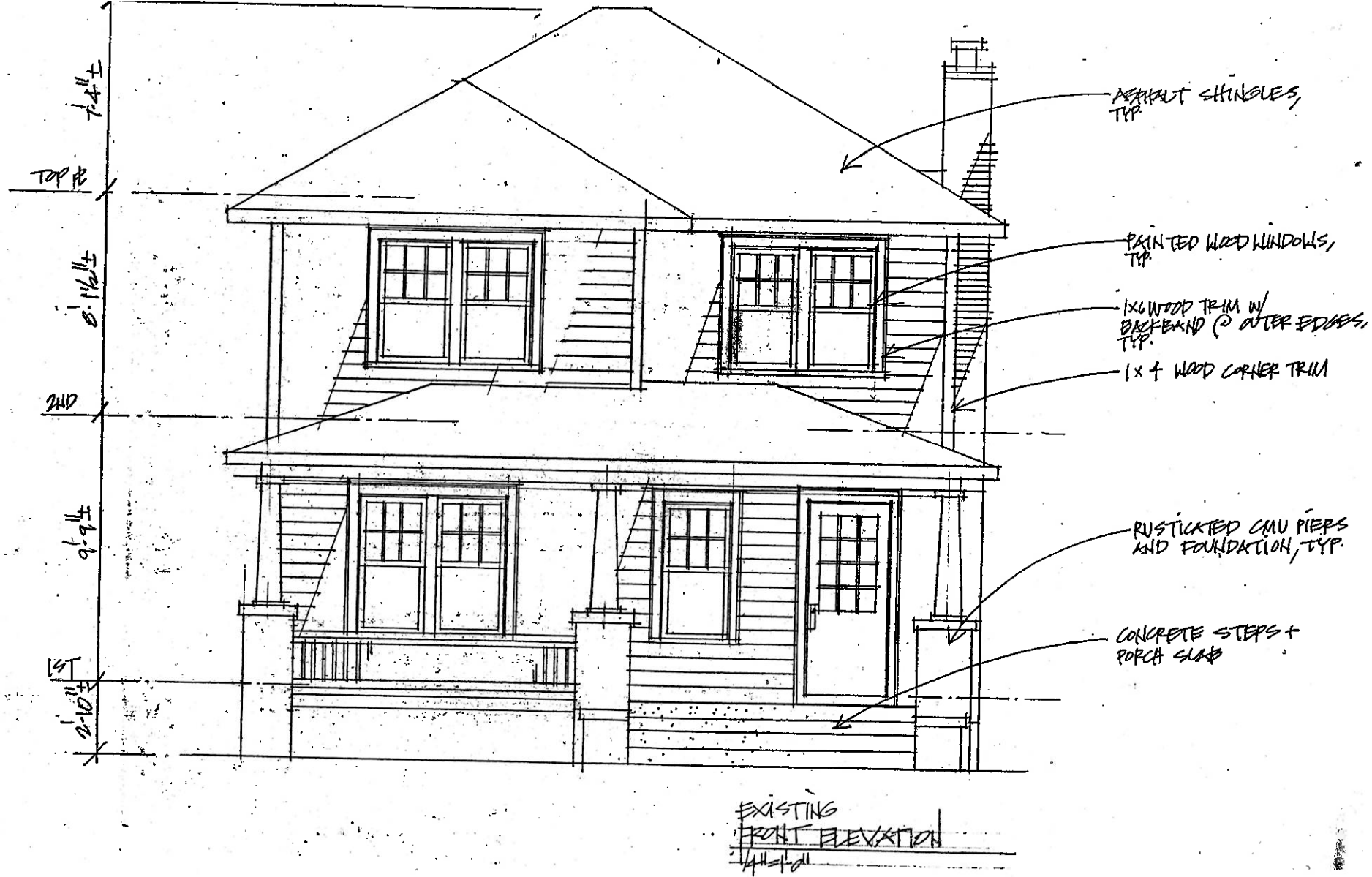
EXISTING BASEMENT PLAN
1/4" = 1'-0"

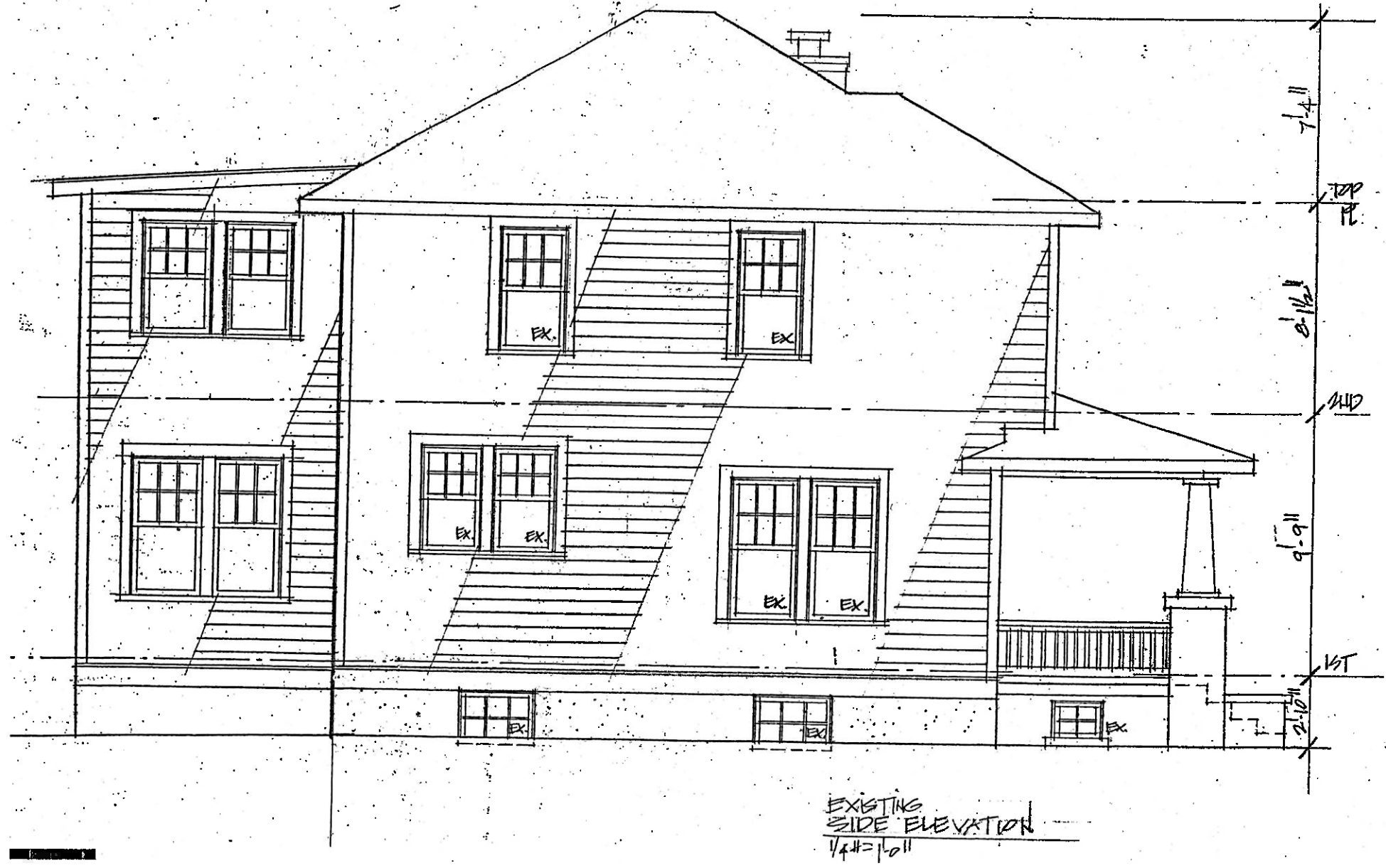


EXISTING FIRST FLOOR PLAN
 1/4" = 1'-0"



EXISTING SECOND FLOOR PLAN
 1/4" = 1'-0"







EXISTING
REAR ELEVATION
1/4" = 1'-0"

