

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

Address:	10237 Carroll Place, Kensington	Meeting Date:	1/8/2020
Resource:	Primary One Resource Kensington Historic District	Report Date:	12/31/2019
Applicant:	Montgomery County	Public Notice:	12/24/2019
Review:	HAWP	Tax Credit:	n/a
Case No.:	31/16-20A	Staff:	Dan Bruechert
Proposal:	Elevator tower addition and other alterations		

RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Primary One Resource within the Kensington Historic District
 STYLE: Shingle Style
 DATE: 1893

The subject property is a single room, side gambrel-roofed, building with a clapboard first floor and shingled siding above. The building sits on a triangular parcel bound by Carroll Place and Montgomery Ave.

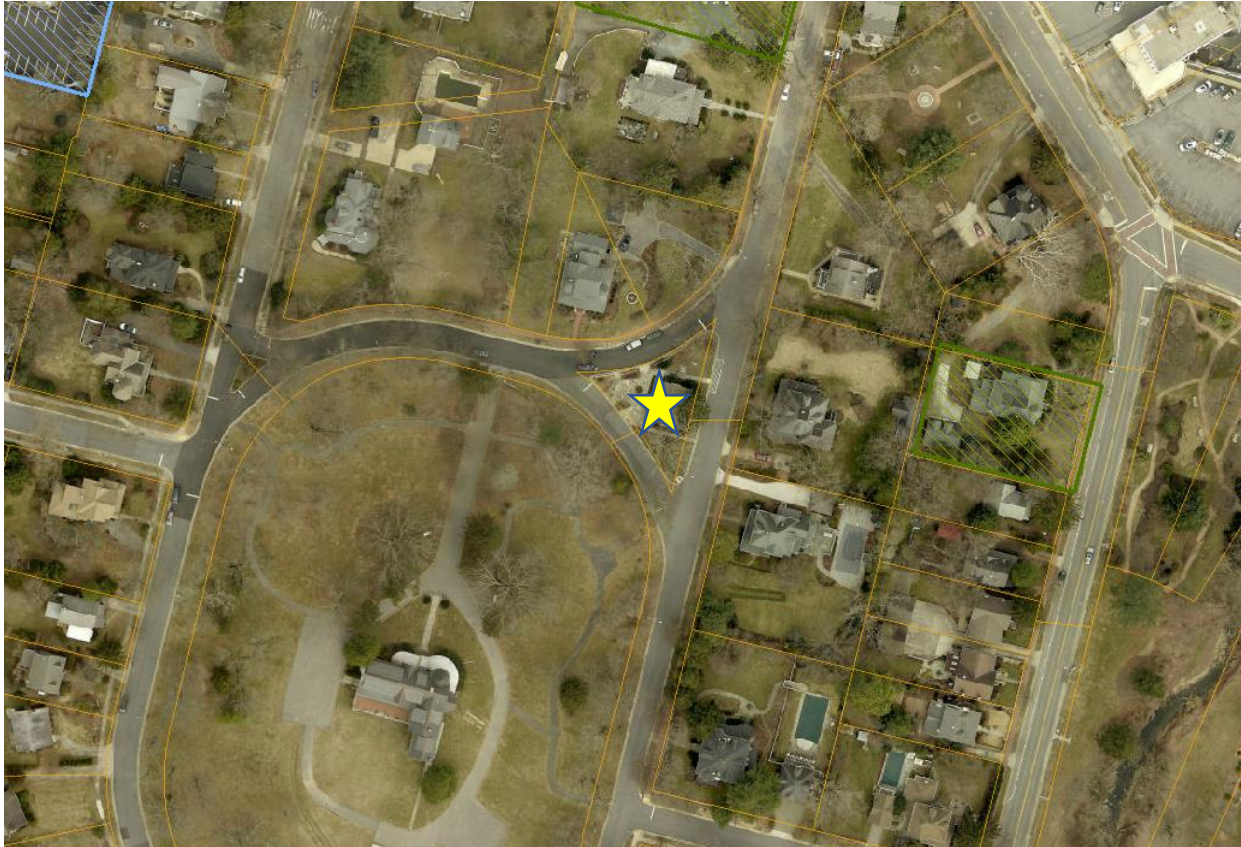


Figure 1: The Noyes Children's Library is located on a triangular parcel next to Warner Circle.

BACKGROUND

In September 2013, the applicant appeared before the HPC and proposed an initial scheme for an elevator tower in the northwest corner of the building. In the 2013 proposal, the applicant proposed a shingle-clad elevator tower with a pyramidal roof. The HPC was generally supportive of the previous proposal (see the attached transcript and application).

The HPC held a second preliminary consultation on a revised design at the September 19, 2017 HPC meeting.¹ The applicant produced two schemes for review, one with a solid appearance and one highly transparent. Feedback from the HPC positive and the HPC voiced nearly unanimous support for the more transparent design.

After the HPC hearing, the applicants presented their proposal for their requisite Mandatory Referral before the Planning Board on April 12, 2018. The Planning Board approved the transmission of their comments to the Montgomery County Department of General Services.

¹ A copy of the Staff Report and application can be found here: <https://montgomeryplanning.org/wp-content/uploads/2017/02/II.B-10237-Carroll-Place-Kensington.pdf>. This Staff Report also contains the 2013 submission starting on page 86. Audio of the 2017 hearing can be found here: http://mncppc.granicus.com/MediaPlayer.php?publish_id=877098ad-9fa8-11e7-b89c-00505691de41. Discussion of this preliminary consultation begins at 52:20.

PROPOSAL

The applicant is proposing to construct an elevator tower in the northwest corner of the library, to remove an existing ADA ramp, and to make hardscape alterations.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Kensington Historic District Design Guidelines

The *Vision* was approved by the Montgomery County Council and was formally adopted by the Historic Preservation Commission. The goal of the *Vision* “was to establish a sound database of information from which to produce a document that would serve the HPC, M-NCPPC, their staff, and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century.”

In addition, the *Vision* provides a specific physical description of the district as it was at the time of the study, an analysis of character-defining features of the district, a discussion of the challenges facing the district, and a discussion of proposed strategies for maintaining the character of the district, while allowing for appropriate growth and change.

The *Vision* identifies the following, as those features that help define the character of Kensington’s built environment:

- Building Setbacks: Residential and Commercial Patterns
- Rhythm of Spacing between Buildings
- Geographic and Landscape Features
- Scale and Building Height
- Directional Expression of Building
- Roof Forms and Material
- Porches
- Dominant Building Material
- Outbuildings
- Integrity of Form, Building Condition, and Threats

- Architectural Style

The *Amendment* notes that:

The district is architecturally significant as a collection of late 19th and early 20th century houses exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Secretary of the Interior's Standards for Rehabilitation:

1. A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Chapter 24A

(a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

STAFF DISCUSSION

The applicant proposes constructing an elevator tower and hyphen, removing the existing ADA ramp, and making other site changes. These changes will allow for the basement and attic levels to become occupiable spaces. As a result of the reconfiguration of the interior, the main reading room will be restored to its historic appearance.

Based on Staff's findings and the HPC feedback from the 2017 2nd Preliminary Consultation, Staff recommends approval.

Elevator Tower

The Noyes Children's Library has a reading room and a storage space/bathroom on its one occupiable floor. The applicant, Montgomery County, proposes making additional spaces in the basement and attic usable, and to restore the reading room. In order to accomplish this goal, the applicant needs to provide accessible access to all three levels. After a thorough evaluation, demonstrated by the 2 Preliminary Consultations the applicant identified that an exterior elevator with a hyphen to provide access was the least invasive solution. County Libraries have indicated that the occupation of these additional spaces is required to achieve their mission and their alternative is to find a new suitable location for the Children's Library. Staff finds that the utilization of this historic building is better served by allowing the introduction of the elevator tower under 24A-8(b)(3).

In considering where to place the elevator tower, the applicants immediately rejected the west elevation as this would obscure the front of the library. It did not appear that there was sufficient room to construct the elevator access from the east of the building and the elevator tower would appear more prominent next to the steep roof slope. The applicant elected to place the elevator tower on the north side over the south for three primary reasons. First, the site slopes from south to north, so less site work would be required to achieve the requisite ADA access through the site. The second reason the applicant selected to place the elevator tower off of the north elevation was to preserve the visual connection between the Warner House (*Hadley Hall*) in the middle of Warner Circle and the Noyes Library. Placing the elevator tower to the south would obscure the viewshed. Finally, a 1949 newspaper article (attached) shows the view of the north side of the building with an entrance in the approximate location of the proposed hyphen. As there is a precedent for an entrance in this location, Staff finds it is preferable to use a space that has already had its integrity compromised.

The question most asked at the 2nd Preliminary Consultation was related to the size of the proposed elevator tower and hyphen. The applicant assured the HPC that the tower and hyphen were the minimum dimensions required. The footprint of the elevator and hyphen are established by the minimum radius for ADA accessibility. At the 1st Preliminary Consultation, the applicant presented a design with a pyramidal roof which had the effect of increasing the height of the tower. Based on feedback from the HPC a flat roof was selected to lower the tower. Even though the elevator tower is taller than the gambrel roof by approximately 2' (two feet), the applicant testified at the 2nd Preliminary Consultation that the elevator height was as low as possible, with the minimum amount of overrun at the top.

The 2nd Preliminary Consultation included two cladding options for tower and hyphen. The first scheme had a largely transparent, glass and aluminum hyphen with a fiber cement shingle clad elevator tower. The second had an aluminum and glass elevator tower and hyphen. The HPC was virtually unanimous in their support for the most transparent solution, determining that the solid mass of the shingle concept detracted from the historic library building.

To the north, the applicant is proposing to construct a rectangular elevator tower with a flat roof. The applicant abandoned the pyramidal roof design based on feedback from the HPC and MHT indicating that the roof shape did too much to draw attention to the new element. While the utilization of this type of addition has become a bit of a cliché in rehabilitation projects, Staff finds that it is an appropriate design response that is reversible in the future with minimal impact to the historic building in the future; complying with Standards 9 and 10.

Staff finds that the proposed elevator tower and hyphen are appropriate under the Guidance of 24A, the Secretary of the Interior's Standards for Rehabilitation, and the feedback provided by the HPC at the previous Preliminary Consultations. Staff, therefore, recommends approval.

ADA Ramp Demolition

Currently, there is a left loading concrete ADA ramp with a metal railing providing access to the library. This ramp is not a historic feature and crosses in front of the principal elevation of the building. Additionally, this ramp will be made redundant by the elevator tower discussed above. Staff supports the removal of this feature under 24A-8(b)(1) and (2).

New Egress

In order to meet code by providing direct egress to the outside, the applicant is proposing to create two new exits. The first is a basement door at the rear (east) of the building. It will be accessed by a new set of below-grade concrete stairs. The stairwell will be surrounded by a pipe metal railing. The door will not be visible from the surrounding district. Staff finds this staircase and door to have a minimal impact on the historic character of the building. The only portion of this new egress from the public right-of-way will be the brick retaining wall and pipe railing. The door and areaway are below grade and have a limited visual impact from the surrounding district. While the building is located on a lot visible from all four elevations within the district, it is evident by the hierarchy of design that the east elevation is the rear. Staff supports approval of the new rear stairs under 24A-8(b)(2) and Standards 9 and 10.

A new egress door and stair will be constructed on the south façade. This door will be placed a half-story below grade and will have a pipe metal railing matching the detail in the rear. This internal staircase served by this exit will provide access from all three floors of the rehabilitated building. Staff finds this new egress to be appropriate for two principal reasons. First, this egress and staircase are required by code to occupy the building (see 24A-8(b)(3)); and second, the original front porch was enclosed to create additional interior space (see Fig. 2, below). As this is not the original historic configuration of the space, Staff finds that any modifications should utilize spaces that have lost their historic integrity and recommends approval of the south egress stair under 24A-8(b)(2).



Figure 2: c.1900 photo of the library showing the original porch configuration.

Site Work and Tree Removal

The applicant proposes tree removal and hardscape alterations. Staff finds that the proposed work is compatible with the character of the site and recommends approval of these elements.

As part of the new construction and site work, three trees are proposed for removal: a 32" (thirty-two inch) d.b.h. Black Walnut tree, an 8" (eight-inch) Japanese Maple, and a large southern magnolia. The Black Walnut tree is located to the south of the Library in an area slated for work and needs to be removed. The southern magnolia is causing damage to the existing foundation at the rear, and it and the Japanese maple are planted in a location that will be impacted by the construction. In place of the trees, the applicant proposes planting three additional trees on site: a fruitless sweetgum, an eastern redbud, and a White Fringetree. The Black Walnut contributes to the mature tree canopy of the surrounding district and while its loss will have an impact on the character of the district, the applicants' proposal to replace these three trees with three new trees will help to mitigate the impact. Based on the scope of the project, it does not appear that any of these trees can be saved and Staff supports their removal under 24A-8(b)(3) and notes that the one-to-one replacement will preserve the character of the site over the long term.

The other changes proposed to the site are the replacement of the existing hardscaping. The area surrounding the library now is a flat plaza of flagstones with concrete stairs on the north side of the parcel to navigate the change in grade. This is not the historic appearance of the area surrounding the library and does not contribute to the historic character (see the historic photographs accompanying the application).

In place of the existing hardscaping, the applicant proposes to construct a new plaza in front of the library with flagstone pavers, a site wall with concrete seating, and a long ramp along the western edge of the property. This will create a gathering space away from the front door and make the site universally accessible.

Staff finds that the proposed changes will impact the historic character of the building, but only to the extent that is required to keep the building in continued service as its historical use (see: Standard 1 and 24A-8(b)(3)). Staff additionally finds that the changes in character are not detrimental to the preservation of the site (24A-8(b)(2)). Finally, Staff finds that related new construction is clearly differentiated from the historic in design and materials while preserving the historic massing of the building and, should the applicant desire, would be reversible at a future date (Standards 9 and 10). For these reasons, Staff supports approval of this HAWP.

STAFF RECOMMENDATIONS

Staff recommends that the Commission approve the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (3), having found that the proposal, is consistent with and compatible in character with the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #1, 2, 9, and 10;

and with the general condition that the applicant shall present the 3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits; and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: GWIEDEMANN@WIEDEMANNARCHITECTS.COM Contact Person: GREG WIEDEMANN
Daytime Phone No.: 301-652-4022

Tax Account No.: _____

Name of Property Owner: MC DBDC Daytime Phone No.: 240-777-6113

Address: 101 MONROE STREET, ROCKVILLE, MD 20850
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: GREG WIEDEMANN, WIEDEMANN ARCHITECTS Daytime Phone No.: 301-652-4022

LOCATION OF BUILDING/PREMISE

House Number: 10237 Street: CARROLL PLACE

Town/City: KENSINGTON Nearest Cross Street: MONTGOMERY PLACE

Lot: _____ Block: _____ Subdivision: 015

Liber: 1652 Folio: 252 Parcel: 278

PART ONE: TYPE OF OPERATION AND USE

1A. CHECK ALL APPLICABLE:

- ☐ Construct ☒ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☒ A/C ☒ Slab ☒ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☒ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ TBD 3 MILLION

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____

2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet < 42 inches RETAINING WALLS

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☒ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

12.18.2019
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 899950 Date Filed: _____ Date Issued: _____



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPB - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: GWIEDEMANN@WIEDEMANNARCHITECTS.COM Contact Person: GREG WIEDEMANN
Daytime Phone No.: 301-652-4022

Tax Account No.: _____

Name of Property Owner: MC DBDC Daytime Phone No.: 240-777-6113

Address: 101 MONROE STREET, ROCKVILLE, MD 20850
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: GREG WIEDEMANN, WIEDEMANN ARCHITECTS Daytime Phone No.: 301-652-4022

LOCATION OF BUILDING/PREMISE

House Number: 10237 Street: CARROLL PLACE

Town/City: KENSINGTON Nearest Cross Street: MONTGOMERY PLACE

Lot: _____ Block: _____ Subdivision: 015

Liber: 11652 Folio: 252 Parcel: 278

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☐ Construct ☒ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☒ A/C ☒ Slab ☒ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☒ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimator: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____

2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet ≤ 42 inches RETAINING WALLS

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☒ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

12.18.2019

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED LETTER #2 + 4

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED LETTER #2 + 4

2. **SITE PLAN** #5

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS** #5

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS** #5

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS** #6

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY** #7

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS** #3

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Building Permit Application

Revised: November 2017



Town of Kensington
3710 Mitchell Street
Kensington, MD 20895

301-949-2424 (Office)
301-949-4925 (Fax)
Town@tok.md.gov

Town Permit No.:

Attention Department of Permitting Services (DPS): Please be advised that the following applicant has applied for a Building Permit with the Town of Kensington, and they must return this form to Town Hall, along with all approved County Permits to complete the Permitting process.

Town Release: M. Hoffman Fee Paid: \$ _____ Date: December 16, 2019

Bond, if applicable: \$ _____ Bond Paid: _____ Bond Released: _____

The Staff signature only releases the permit for DPS review and does not represent an approval of the permit application by the Town. All County permits must be submitted before Town review and approval.

Please ensure that you submit a complete application, as incomplete applications will not be reviewed. If you have any questions about the permitting process, please contact the Town Office.

Location of Proposed Work:

Owner: Montgomery County Government Phone or Email: 240-777-6113

Property Address: 10237 Carroll Place

Historic Area Work Permit Required: ☒ Yes ☐ No

Contractor (If Applicable): _____

Phone and Email: _____

Proposed Work (Please check all that apply):

☒ Addition ☒ Alteration/Repair ☐ Demolition/Raze ☐ Fence ☐ Shed

☐ Other (Please Specify): _____

Filing Requirements (Building Permit)

1. Full set of construction drawings/building plans.
2. Building Site Plan.
3. Building location survey or plat showing location of fence, if applicable.
4. Application Fee and Performance Bond, if applicable.
5. Guards or Barriers 5 feet out from the drip line of all trees located within the public right-of-way.
6. Signs advertising the contractor/project may not exceed a total of ten (10) square feet in area and must be placed at least five (5) feet behind the property line. Signs may not be placed within the public right-of-way or illuminated.

I hereby certify that I have completed the aforesaid application to the best of my knowledge with correct information, and that I understand all of the requirements outlined within, and will conform to the regulation of the Town of Kensington Code, and the Montgomery County Zoning Code.

Applicant Signature: _____ Date: _____

Building Permit Application

Revised: November 2017

General Information

1. The Town will review this application within ten (10) business days. Upon completion of the review, the applicant may be notified of additional requirements such as deposits, bonds, fees, insurance, limitations on work, additional plans, etc.
2. This permit shall become invalid if the authorized work is not started within twelve (12) months from the date issued, or if the authorized work is suspended for a period of six months after work has commenced; once issued, the permit fee is not refundable.
3. Any false or misleading information in this application may result in the rejection of this application and/or revocation of the building permit.
4. Town building permits are revocable at anytime for violations of law or any special condition of the permit.
5. The permittee is required to notify and receive proper clearance from all utilities before commencing any underground construction.
6. The permittee is required to abide by all local noise ordinances.
7. No dirt or construction debris will be permitted on public streets or sidewalks at any time.
8. It is prohibited to block sidewalks during construction, unless a corresponding right-of-way permit has been approved.
9. To commence work prior to issuance of a permit is a violation of the law and subject to a fine.
10. **Parking Compliance:** Is adequate on-site parking available for the construction crews? If no, please provide a plan for parking which minimizes inconvenience to neighboring residents and/or businesses. If any road closures will be required due to deliveries, equipment or other reasons, the contractor is responsible for directing vehicular and pedestrian traffic.

Construction/Project Details:

Estimated Start Date: August 2020 Estimated End Date: July 2021

Estimated Cost of Project: \$ 2,600,000 Mont. Co. Permit: #

Approved (Conditions, if necessary): _____

Denied for the following reasons: _____

Building Inspector: _____ Date: _____

Town Manager: _____ Date: _____

WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

18 December 2019

Dan Bruechert
Montgomery County Historic Preservation Office
MNCPPC
8787 Georgia Avenue
Silver Spring, MD 20910

**RE: Noyes Children's Library
10237 Carroll Place
Kensington, Maryland 20895**

Dear Dan:

We are writing today to request an HAWP review for the Noyes Library. Please refer to the attached Table of Contents for the list of exhibits included in this application. Upon review and approval by HPC, the project is planned to be submitted for permit in early 2020.

As you know, Wiedemann Architects previously submitted a Conceptual Review package in September 2013 to HPC for the Noyes Children's Library. We returned for a Preliminary Review on 19 September 2017. In addition, the project has been reviewed by Montgomery County Public Libraries (MCPL), Montgomery County Department of General Services (DGS) and the Noyes Children's Library Foundation (NCLF). DGS and NCLF have developed a Memorandum of Understanding (MOU) between the County and the Foundation to support the Renovation Project and the Mission of the Library moving forward. The MOU agreement was finalized in the Spring of 2016.

In 2016, MCPL announced that the Noyes Library would house the Jan Jablonski Early Literacy Center as well as having the current reading room, with the collection of children's books. MCPL, DGS, and NCLF are committed creating a universally accessible building for both staff and the public.

In the past four years, MCPL, DGS, Grimm and Parker and Wiedemann Architects have continued to develop the drawings to incorporate the program of requirements (POR) that was written by MCPL and DGS, as well as addressing the preliminary comments made by HPC in 2013, HPC in 2017, and MHT in 2013 and 2017.

The current design is consistent with the design presented in September 2017, which was approved by majority of the HPC during the Preliminary Review.

We have prepared a brief summary to address the issues raised by the Commission during the Preliminary Review on 19 September 2017. Included in your package are the submissions to HPC in 2013 and 2017, as well as the current Proposed Design of 2019. In addition, we have included our submission to MHT in 2013 and 2017 with supporting material and letters of support, as well as the MCPL/ DGS POR for the Noyes Library. Also included is the MNCPPC Mandatory Referral (MR2018015) and the draft MOA negotiated among MHT, DGS, and NCLF including an addendum to MHT Maryland Inventory of Historic Properties Form 31-6-2. Please refer to these documents as necessary during your review.

As you remember, in the September 2017 preliminary review, HPC Staff raised some concerns that were reviewed and discussed by the Commission.

- **Accessibility**
What is dictating the height of the elevator tower? Is it federal or state regulations? Is universal access required for all three levels of the facility?
- **Height of Elevator Tower**
Can the height of the elevator tower be reduced, so that it is below the height of the gambrel roof?
- **Location of Elevator Tower**
Reviewed alternative locations for tower.
- **Appearance of Elevator Tower**
Was there an alternative cladding that the HPC would find more preferable than the two presented?
- **Impact on Existing Trees**
Would any trees be impacted by the proposal?

On 11 October 2017, a public meeting was held at the Kensington Town Hall to solicit public opinion of the design. At that meeting there was a clear majority in favor of the glass elevator. A list of the public comments is included in Attachment C.

Accessibility

The current design, consistent with the plans presented in 2017, provides accessibility to (1) the lower level with a multi-purpose classroom space, (2) the main level with a restored reading room, and (3) an upper level devoted to staff for collection management, preparing for programs, and responding to inquiries, as well as a break room for meals. All bathrooms are planned to be accessible. As you may recall, Noyes Library is also part of the Department of Justice settlement between the County and the DOJ related to non-conforming ADA access and restrooms (Settlement Agreement Number: **DJ 204-350256**).

Federal and state regulations would permit accommodation in lieu of elevator access to the upper level. There was much discussion about accommodating staff on another floor as the need might arise, but the conclusion was that with all the time and work invested in this renovation, that the whole building should be fully accessible. DGS and MCPL have indicated that elevator access to the all levels for staff and public is required to fulfill the mission of the library.

Location of the Elevator

As indicted in our submittal to 2017 submittals to HPC and MHT, we considered seven alternative locations for the elevator. We concluded that the proposed location in the NW corner had the least impact on the historic fabric and provided the accessibility required to all three levels of the library.

There was considerable discussion in 2013 about the position of the elevator tower and its relationship to the existing gambrel roof and front façade. The current design shifts the elevator back from the face of the Library to add some relief to the intersection of the Hyphen and Elevator to the original building.

We have since further investigated the elevator size, capacity and height requirements and concluded in order to maintain the lowest overall height, we have eliminated the peaked roof in favor of a flat roof. As you can see in the proposed tower, the flat roof reduces the tower height to be very close in height to the historic building.

As you can see in the current proposal, we have adjusted the hyphen on the second floor, setting it back from the face of the building so that it clears the gambrel within the shingles of the building. We have added a roof (canopy/ overhang) to the front entry of the Hyphen to break up the façade of the tower, and allow shelter in inclement weather.

Height of Elevator Tower

We have conducted extensive research into the options for the hydraulic elevator required by the County. The height shown, with its required overrun and remote conditioning of the elevator hoist way, in the current submittal is the lowest height that is possible.

Appearance of Elevator Tower

In studying the appearance of the tower, we looked at a number of options for the material of the tower, but also how the tower is terminated. In 2013, we presented a sloped roof to the tower, to mimic some of the surrounding turrets in the neighborhood; we discussed the possibility of including a clock on the tower. Based on the 2013 discussion, we were encouraged to look at alternatives that contrasted more with the historic fabric.

At the September 2017 HPC review, we presented two elevator options that were also presented to MHT, the first was a more contextual tower with clapboard siding and a few slot windows, separated from the historic building with an all glass link. The second was an all glass tower to define the new addition as clearly separate from the historic building. MHT in their MOA mentions the glass elevator tower. The HPC strongly favored (by a vote of 5 in favor and one against) the glass tower at the September 2017 review and we were encouraged to submit the glass tower design for the HAWP.

On 11 October 2017, at the public meeting that was held at the Kensington Town Hall, there was a clear majority in favor of the glass elevator.

Impact on Existing Trees

A 6" tree inventory and condition rating was conducted by Norton Land Design in the summer of 2018. Based on the inventory, a Tree Protection Plan (TPP) has been developed to show tree removal and preservation based on proposed site updates.

Three (3) trees are proposed for removal, one canopy tree and two understory trees based upon accessible pathway and ADA requirements. The canopy tree, a 32" Black Walnut to the south of the library, is located within the area required to be excavated during the construction phase and will need to be removed. One new canopy tree, a fruitless sweetgum, is proposed in the approximate location of the existing canopy tree removal.

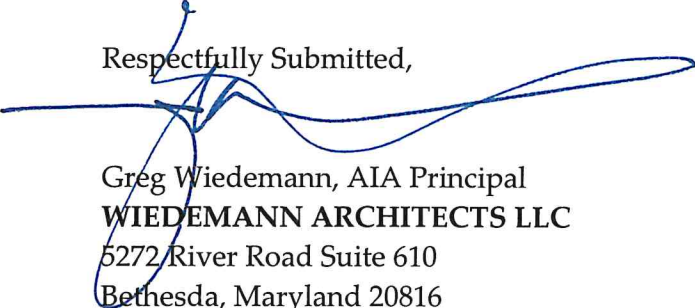
The two understory trees are 8" Japanese maple and a large southern magnolia that was planted as a shrub many years ago. The magnolia is threatening the existing foundations and would not be able to survive the construction of the project. Both trees will be removed. Two new deciduous trees, an eastern redbud and a white Fringetree, are proposed onsite.

An existing 18" white oak at the north end of the site and a 10" redbud on the south end of the site will be protected.

Please refer to the Tree Protection Plan (L-3.1) and the proposed landscape plan prepared by Norton Land Design showing the location of new trees to replace those that were lost.

If you have any questions concerning this application, please feel free to contact me directly.

Respectfully Submitted,



Greg Wiedemann, AIA Principal
WIEDEMANN ARCHITECTS LLC
5272 River Road Suite 610
Bethesda, Maryland 20816
301.652.4022

NOYES CHILDREN'S LIBRARY

Submittal to Historic Preservation Commission

HPC HAWP Review

18 December 2019

Immediate and Adjacent Neighbors (Please refer to Vicinity Map C0.1 for location):

1. Jeffery & Gloria Capron

10304 Montgomery Ave
Kensington, MD 20895

2. Nicholas Storer

10234 Carroll Place
Kensington MD 20895

3. James and Carol Sharp

10226 Carroll Place
Kensington, MD 20895

4. Montgomery County

10231 Carroll Place
Kensington, MD 20895

5. Bruce Caswell

10221 Montgomery Ave
Kensington, MD 20895

6. Gene Cohen

10225 Montgomery Ave
Kensington, MD 20895

7. Mackie Barch

10303 Montgomery Ave
Kensington, MD 20895

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Submittal to Historic Preservation Commission

HPC HAWP Review

18 December 2019

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Written Description of the Project

(a) Brief History of the Library

"Books were the Noyes Library's purpose and its reason for being." Noyes Library History 1976 KHS

The Noyes Library was founded in Kensington, Maryland in 1893, the first community funded library in the Washington DC region. It predates the current Library of Congress by four years. In the late 1800's there was a movement in metropolitan areas to create small membership based community libraries to borrow books and share resources among community members. Crosby Noyes, Brainerd Warner, JW Townsend, and Kensington residents were interested in starting a community library in the newly founded Town of Kensington. Brainerd Warner, founder of the Town of Kensington, built the library on a triangular lot, on a traffic island, adjacent to his home. Crosby Noyes, editor of the *Evening Star*, stocked the shelves with books, some donated by the *Evening Star*. When it was built, its name was built into the front gable as "**NoYes Library**", with an owl placed above, as a symbol of Wisdom and Learning.

The Noyes Library became a great educational resource in the town as well as a social and public meeting place for the community for the next 50 years. The Library was maintained by a Board of Trustees of the Noyes Library Association and it was funded by its members, as well as community events organized to support the library and its collections.

The Noyes Library continued to be operated by a Board of Trustees until 1951 when the Board agreed to have it incorporated as part of the newly founded Montgomery County Public Library System.

Against the wishes of many community members, the Noyes Library was closed in the late 1960's when the Kensington Park Library was built, and merged the collections of the smaller community libraries of Kensington, Rocking Horse and Garret Park.

After many protests and appeals from the local community and Congressman Gilbert Gude, the County reopened Noyes in 1970, the library re-opened as the Noyes Children's Library. It is part of the Montgomery County Public Library System, and one of only a few Libraries in the country dedicated to children.-The Noyes Children's Library in Kensington, Maryland is today a nationally recognized model for children's library services and a thriving center for early literacy.

NOYES CHILDREN'S LIBRARY

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27 November 2019

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(b) Brief History of Prior Renovations/ Present Condition

The Noyes Library was originally built in 1893, with a shingle covered front porch. The door was located on the left side of the front (west) façade, with two windows adjacent to allow light to come into the building's main reading room, which was centered around a fireplace on the east side.

Over the past 75 years, it has undergone at least three renovations, moving the entrance and enclosing the porch.

Our research photographs from the Kensington Historical Society suggest that the entrance was moved in the 1940's from the front left (west) façade to the north façade when the

NOYES CHILDREN'S LIBRARY

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27 November 2019

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Library's porch was enclosed. By enclosing the original porch, the Library was able to expand beyond its original reading room. Soon after, the Library was painted a shade of white.

In the early 1950's, the door was moved back to the Front (west) Façade again, this time in the center of the façade. A small bathroom was added at this time in the northwest corner, before.

When the Library was reopened in 1970, as the Noyes Children's Library, a small enclosed portico was added on the front (west) facade to provide a weather proof entry for the patrons and staff, while entering and leaving the Library.

The Library was built over an unfinished crawl space with limited access through a Cellar bulkhead door on the east side. Some foundation repairs and additional supports were added in the crawl space over time, but it remains a crawlspace to this day.

There is access to a voluminous attic space via a small ceiling hatch and a twelve foot ladder attached to one of the interior walls. The attic is currently devoted to the HVAC system and the library seasonal storage.

The building is currently not accessible and the goal is to provide universal access to the building so that staff can work regularly with groups of children and parents without worry of access to the programs and facility. The building lacks sufficient staff space, adequate toilet facilities, and sufficient meeting space to carry out its mission.

In the winter of 2016, an exterior ramp was added to provide an accessible entry to the library through the north side of the small enclosed portico. An existing window was changed to an ADA compliant entry. The interior bathroom was not renovated at the time, in anticipation of a planned renovation of the building.

(c) Brief Description of the Proposed Renovations

The goal of the proposed renovation is to gain universal access to this historic library, maintain the library collection on the first floor, while enhancing the services offered to the community with the addition of The Jan Jablonski Early Literacy Training Center (JJELTC) to the Noyes Children's Library, dedicated on March 11, 2017. The intention of the design is to maintain as much of the Library's exterior historic fabric as possible, while providing much needed space to make the library viable on an unusually tight triangular island site. The internal expansion of the useable space is largely concealed from view.

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HPC HAWP Review

27 November 2019

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The proposed renovation re-establishes the original Reading Room which was modified during the 1940's and 1950's renovations. Montgomery County Public Libraries plans to maintain the Reading Room and Children's Book Collection on the first floor.

The area of the original porch that was substantially modified during those prior renovations will be used as a vestibule space. The vestibule will access both a new interior stair at the southwest corner of the existing building and the glass link and elevator tower at the northwest corner, both of which will provide access to the three proposed levels of the library.

The glass link entrance on the northwest corner of the first floor will provide a secondary means of egress to the first floor, required by IBC and NFPA codes and have direct access to the library from both Carroll Place and Montgomery Avenue. There will be an on-grade accessible path from street parking and access to an outside courtyard space for patrons and staff to enjoy.

Montgomery County Public Libraries requires three main programing spaces in the building to satisfy their Program of Requirements (POR). The three spaces are proposed on each of three different floor levels. In addition to the main library reading room level, staff space is proposed on the upper level and the JJELTC program/ classroom is proposed for the lower level.

The staff space on the second level requires a direct means of egress to the exterior from the stairwell. The south façade of the building has been altered to add an exterior door below the western window. This door also services as the required second means of egress directly to the exterior from the lower level JJELTC program space/ classroom. The Fire Marshall has indicated that the new stair must exit directly to the exterior, and is not permitted to exit through the first floor foyer.

The most significant exterior change is the addition of an elevator that will provide accessibility to all three levels. The glass elevator shaft is proposed at the NW corner linked to the original building by a glass link that clearly differentiates new from old.

NOYES CHILDREN'S LIBRARY

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HPC HAWP Review

27 November 2019

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The proposed renovation converts the present crawlspace into useable lower level, to house the Jan Jablonski Early Literacy Center Program Room. The Jan Jablonski Early Literacy Training Center will be better equipped to ensure all children have developed the reading, listening and writing skills needed to enter school ready to learn. The JJELTC will provide access to current early literacy materials, programs, and activities for parents and professionals, including books, story time programing, and tactile experiences to engage with children. The center will also provide professional development for children's librarians, students enrolled in information science programs at local colleges and universities, daycare providers, and early childhood educators. The training center will also offer programming development for all branches of Montgomery County Public Libraries.

The current unused attic space is proposed to be converted to a much needed staff office, storage and break room with a staff bathroom and universal access to all three floors.

The existing building exterior will be otherwise restored, maintaining the existing windows, repairing the shingle roof where needed **and removing years of peeling paint and repainting the exterior**. In order to maximize the interior useable space, the vestibule porch which was added over 40 years ago will remain enclosed and the small entry facing west will be retained, with some repair work to the front stoop and front railings to meet current code.

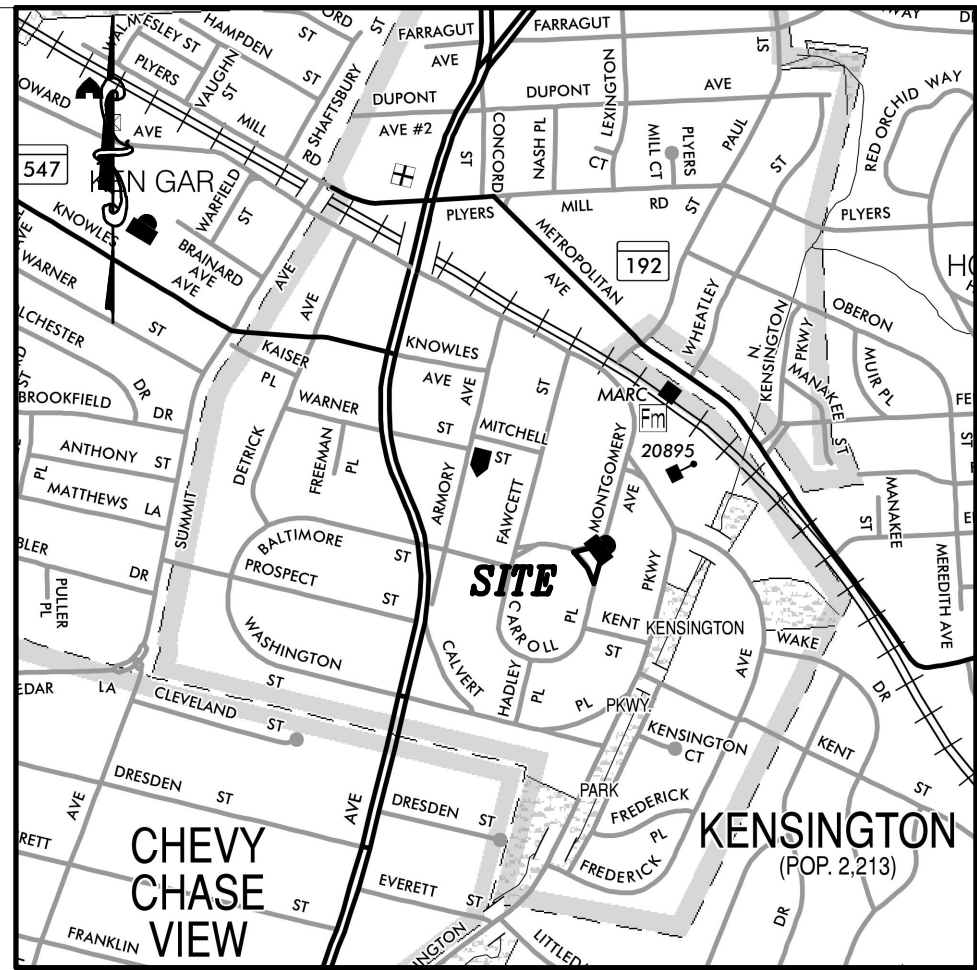
The space in front of the Library will be landscaped to provide a low sitting wall and plantings that shield the central gathering space from the traffic, while providing universal access to the space for the community.

Please find attached a site plan, floor plans, and exterior elevations that describe the existing conditions and proposed renovation in 27 November 2019 Proposed Drawing Set.



ISSUED FOR HAWP SUBMISSION:
18 DECEMBER 2019

VICINITY MAP, SITE PLAN,
DRAWING INDEX, CODE ANALYSIS



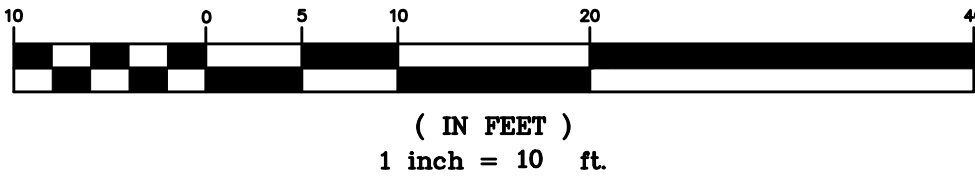
VICINITY MAP
SCALE: 1" = 1,000'±
(WSSC GRID: 213 NW 04)
MONTGOMERY COUNTY

- LEGEND**
- PROPERTY LINE ———
 - CONTOUR ——— 96 ———
 - MANHOLE ———
 - SANITARY SEWER ——— X" S ———
 - STORM DRAIN ——— X" RCP ———
 - UTILITY POLE ——— OHU ———
 - OVERHEAD UTILITY LINE ——— OHU ———
 - ELECTRIC LINE ——— E ———
 - GAS LINE ——— G ———
 - GAS VALVE ——— GV ———
 - WATER LINE ——— W ———
 - WATER VALVE ——— WV ———
 - FIRE HYDRANT ——— FH ———
 - WATER METER ——— WM ———
 - TELEPHONE LINE ——— T ———
 - SIGN ———
 - WOODEN FENCE ——— ——— ———
 - EXIST PAVERS TO BE REMOVED ———
 - TREE/FEATURE TO BE REMOVED ——— X ———
 - EXISTING CONCRETE/FEATURE TO BE REMOVED ———
 - EXISTING ASPHALT TO BE MILLED (2" DEPTH) ———
 - EXISTING WALL, FENCING, CURB & GUTTER TO BE REMOVED ——— XXXX ———
 - EXISTING UTILITY TO BE REMOVED ——— ——— ———
 - LIMITS OF DISTURBANCE ——— LOD ———

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(ORIGINAL SIZE = 24"x 36")

GRAPHIC SCALE



Prepared by:
ADTEK Engineers, Inc.
201 South East St., Suite 201
Frederick, Maryland 21701

On Behalf Of:
Montgomery County, Maryland
Department of General Services
101 Monroe Street, 11th Floor
Rockville, Maryland 20850
240-777-6113



WIEDEMANN
ARCHITECTS
LLC

5272 RIVER ROAD SUITE 610
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Voice 301-652-4022
Fax 301-652-4094

www.wiedemannarchitects.com

PROJECT

NOYES CHILDREN'S LIBRARY
10237 CARROLL PLACE
KENSINGTON, MD 20895

ISSUED

ISSUED FOR 90% PROGRESS SET:
13 DECEMBER 2019

REVISIONS	
DATE	DESCRIPTION

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET

C-1

EXISTING CONDITIONS &
DEMOLITION PLAN



WIEDEMANN
ARCHITECTS
LLC

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Voice 301-652-4022
Fax 301-652-4094

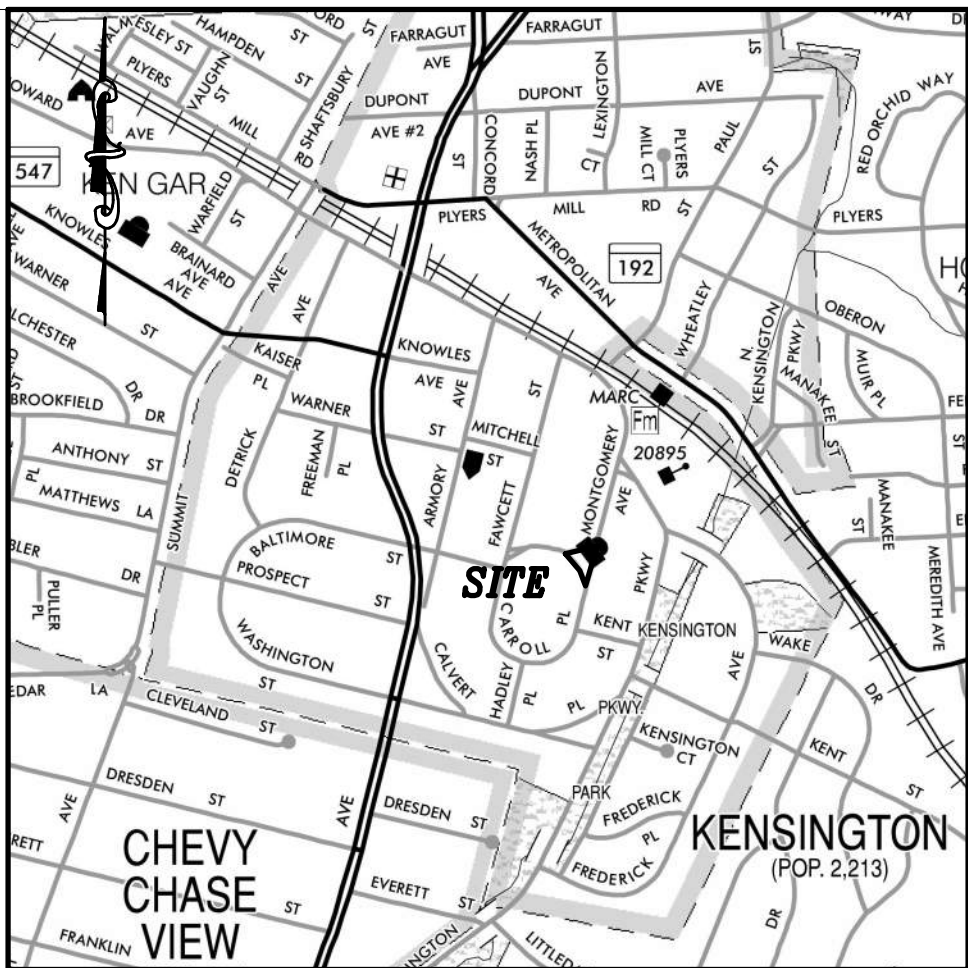
www.wiedemannarchitects.com

PROJECT

NOYES CHILDRENS LIBRARY
10237 CARROLL PLACE
KENSINGTON, MD 20895

ISSUED

ISSUED FOR 90% PROGRESS
SET:
13 DECEMBER 2019



VICINITY MAP
SCALE: 1" = 1,000'±
(WSSC GRID: 213 NW 04)
MONTGOMERY COUNTY

LEGEND

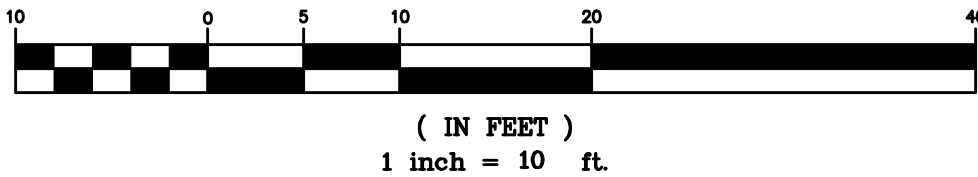
- PROPOSED STORM DRAIN
PROPOSED CONCRETE CURB & GUTTER
SEE DETAIL, SHEET C-3A
PROPOSED DEPRESSED CURB & GUTTER
SEE DETAIL, SHEET C-3A
PROPOSED SIDEWALK SEE
LANDSCAPE PLANS FOR DETAILS
PROPOSED SIDEWALK SEE
LANDSCAPE PLANS FOR DETAILS
2" MILL & OVERLAY

SITE NOTES

1. ALL PAVEMENT STRIPING AND HANDICAP ACCESS RAMPS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT APPLICABLE ADA CODES. SPECIFICATIONS AND DETAILS SHOWN ON THE CONTRACT DOCUMENTS.
2. SPOT ELEVATIONS ALONG A CURB LINE ARE TO THE FLOW LINE, UNLESS SPECIFICALLY NOTED OTHERWISE.
3. REFER TO ELECTRICAL PLAN FOR SITE LIGHTING AND LAYOUT. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING CONSTRUCTION. REFER TO LANDSCAPE PLANS FOR ON-SITE PAVING.
4. CURBS, GUTTERS, SIDEWALKS, AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE FOR ALL AREAS SO THERE IS NO ACCUMULATION OF SURFACE WATER.
5. THE CONTRACTOR SHALL TEST PIT ALL PROPOSED UTILITY CROSSINGS AND PROPOSED UTILITIES WHICH LIE WITHIN FIVE (5) FEET OF EXISTING UTILITIES PRIOR TO TRENCHING OR ORDERING MATERIALS. IF A DISCREPANCY IS FOUND, IMMEDIATELY TEST PIT AND PROVIDE RESULTS TO THE ENGINEER OF RECORD.
6. COORDINATION BETWEEN THE SITE CONTRACTOR AND THE PLUMBING CONTRACTOR IS REQUIRED FOR UTILITY WORK AROUND THE PROPOSED BUILDING. DEMOLITION TO EXISTING UTILITIES IN THESE AREAS SHALL BE BY THE SITE CONTRACTOR. ALL PROPOSED WORK WITHIN THE LIMITS OF THE NEW BUILDING AREAS SHALL BE DONE BY THE PLUMBING CONTRACTOR. (SEE PLUMBING DWG'S).
7. BUILDING STAKEOUT SHALL UTILIZE ARCHITECTURAL PLAN.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF AND ALL COSTS ASSOCIATED WITH ALL PROPOSED UTILITY CONNECTIONS (GAS, ELECTRIC, COMMUNICATIONS, ETC.). THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL UTILITY CROSSINGS TO MAINTAIN MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN SITE CONTRACTOR INSTALLED UTILITIES AND AGENCY INSTALLED UTILITIES SUCH AS GAS, ELECTRIC, COMMUNICATIONS, ETC.
9. ALL GRADES SHOWN INDICATE FINAL CONDITIONS. SUBGRADE PREPARATION AND CONCRETE AND ASPHALT SHALL BE COORDINATED WITH ARCHITECT'S AND LANDSCAPE ARCHITECT'S PLANS AND DETAILS FOR LIMITS AND REQUIREMENTS WHERE PAVERS AND/OR STAMPED CONCRETE ARE TO BE PLACED.
10. SEE SHEET C-3A FOR ADDITIONAL SITE DETAILS.
11. PROVIDE SLEEVES IN CONCRETE/PAVING WHERE REQUIRED FOR PLACEMENT OF SIGNAGE.

CAUTION: IF THIS DRAWING IS A REDUCTION,
GRAPHIC SCALE MUST BE USED
(ORIGINAL SIZE = 24" x 36")

GRAPHIC SCALE



Prepared by:
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On Behalf Of:
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CHECK AT 1-866-821-4226 TO VERIFY THAT ALL UTILITIES HAVE BEEN
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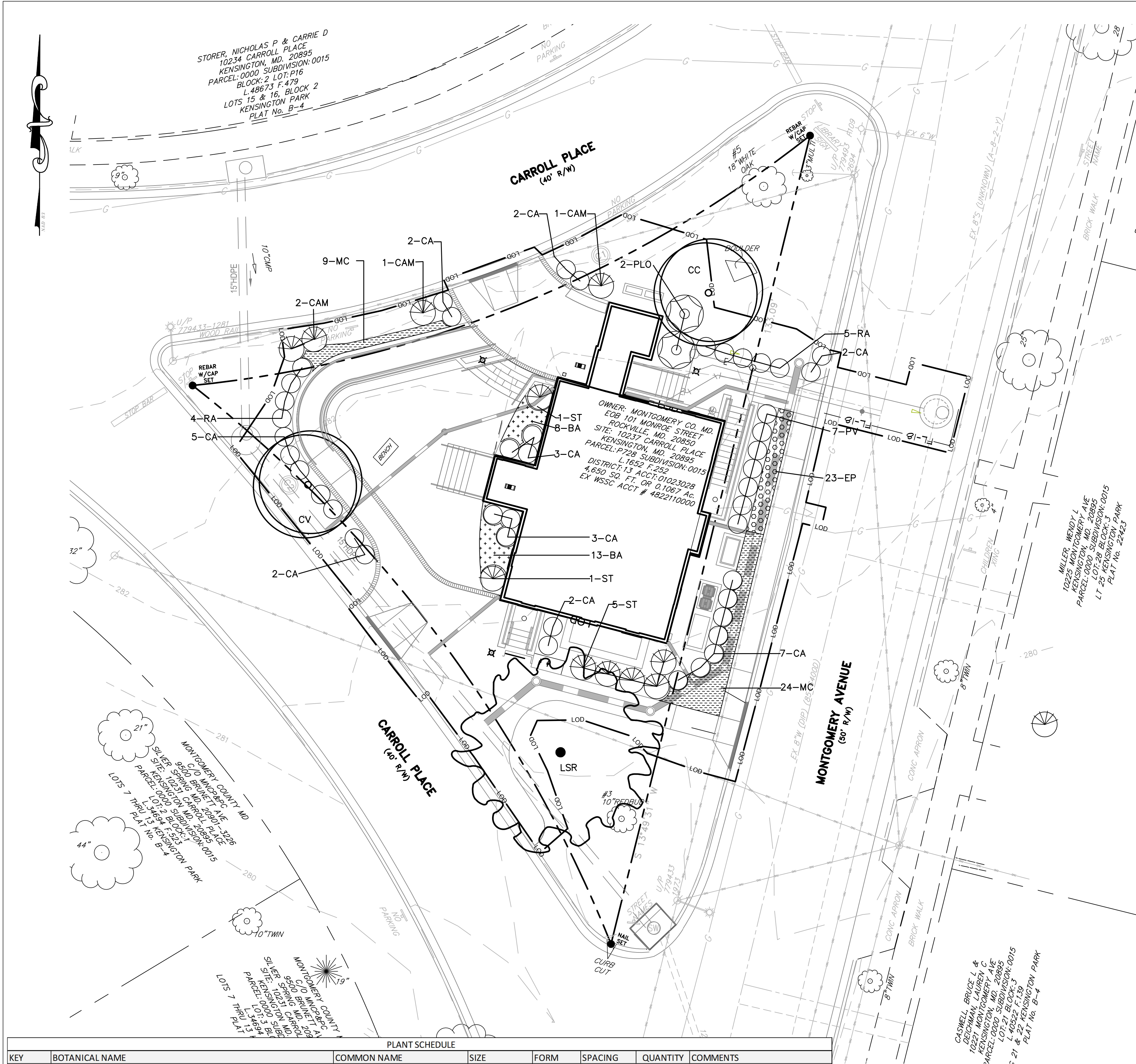
REVISIONS	
DATE	DESCRIPTION

PRELIMINARY
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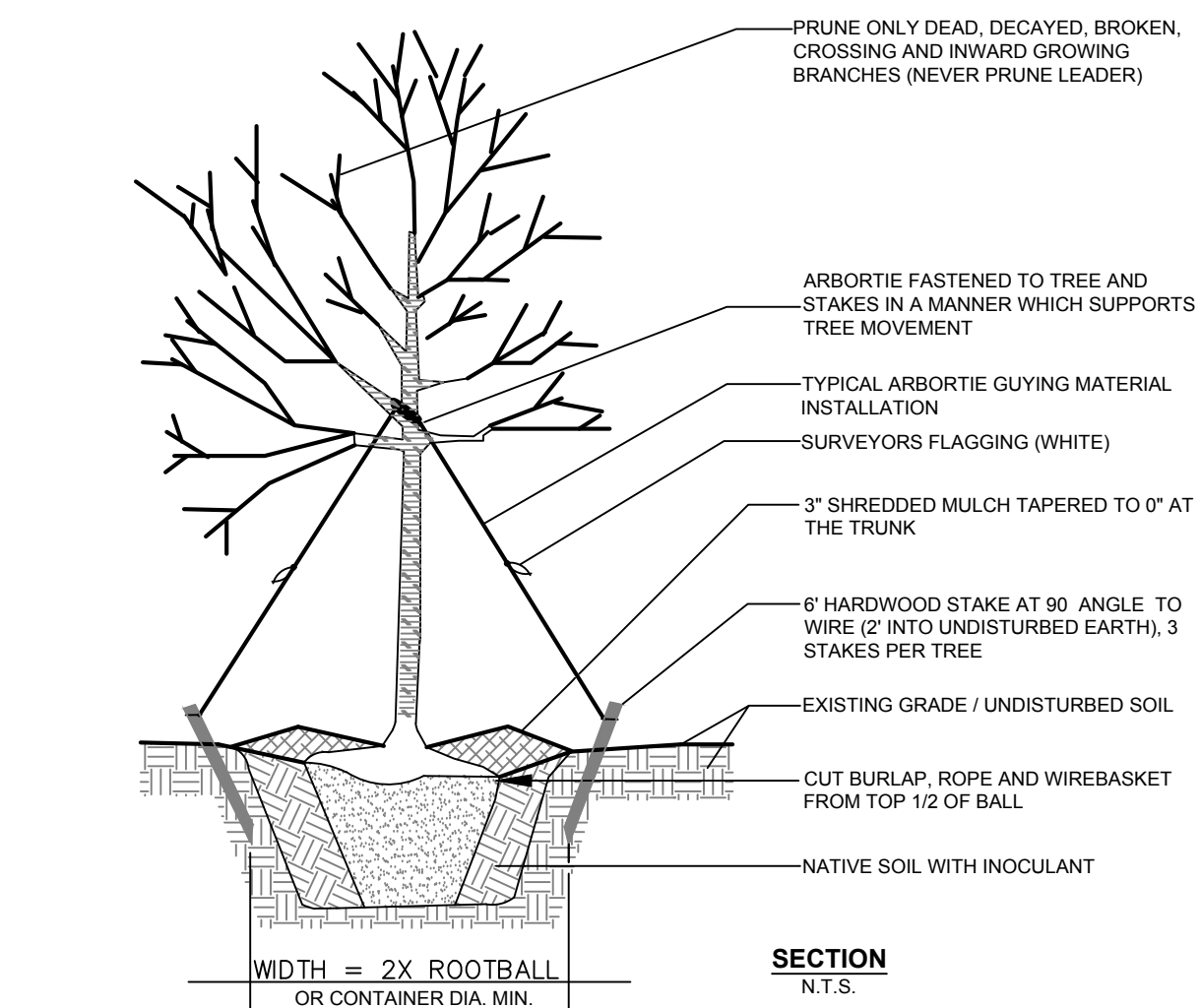
SHEET

C-3

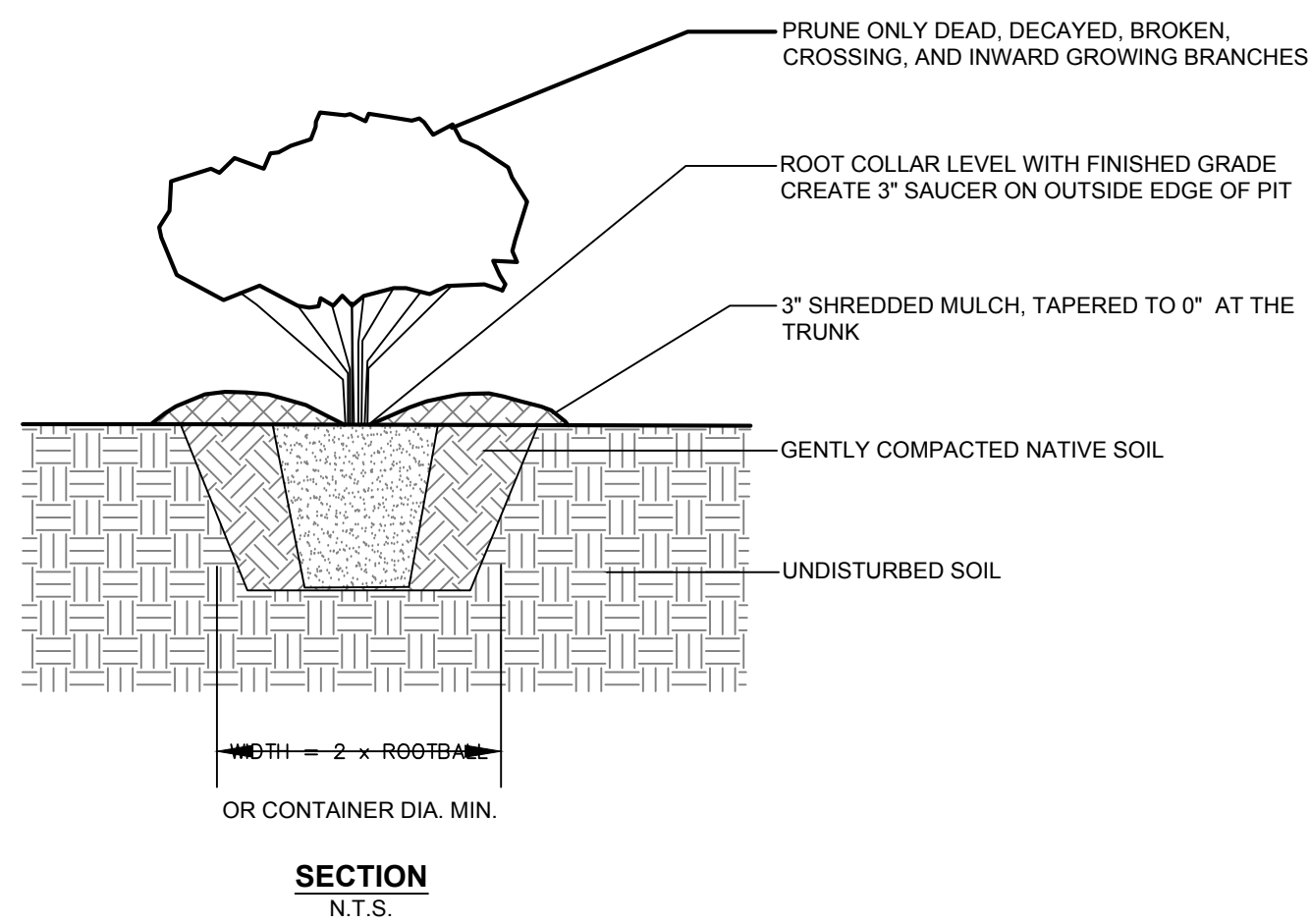
GRADING & UTILITY PLAN



PLANT SCHEDULE						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	QUANTITY COMMENTS
CANOPY TREES:						
LSR	<i>Liquidambar styraciflua</i> 'Rotundifolia'	Fruitless Sweetgum	1" Cal.	B&B	SHOWN	1
DECIDUOUS TREES:						
CC	<i>Cercis canadensis</i>	Eastern Redbud	2" Cal.	B&B	SHOWN	1 SINGLE STEM, UPRIGHT FORM
CV	<i>Chionanthus virginicus</i>	White Fringetree	2" Cal.	B&B	SHOWN	1 SINGLE STEM, UPRIGHT FORM
SHRUBS:						
CA	<i>Clethra alnifolia</i> 'Hummingbird'	Summersweet	3 gal.	Cont.	SHOWN	28
CAM	<i>Ceanothus americanus</i>	New jersey tea	3 gal.	Cont.	SHOWN	4
PLO	<i>Prunus laurocerasus</i> 'Otto Luyken'	Otto Luyken Laurel	5 gal.	Cont.	SHOWN	2
RA	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac	3 gal.	Cont.	3' o.c.	9
ST	<i>Syringa x Tinkerbelle</i>	Dwarf lilac	5 gal.	Cont.	4' o.c.	7
PERENNIALS AND GRASSES:						
BA	<i>Baptisia australis</i>	False indigo	1 gal.	Cont.	18" o.c.	21
EP	<i>Echinacea purpurea</i>	Purple coneflower	1 gal.	Cont.	18" o.c.	23
MC	<i>Muhlenbergia capillaris</i>	Pink muhly grass	1 gal.	Cont.	24" o.c.	33
PV	<i>Panicum virgatum</i> 'North wind'	Blue switchgrass	1 gal.	Cont.	36" o.c.	7

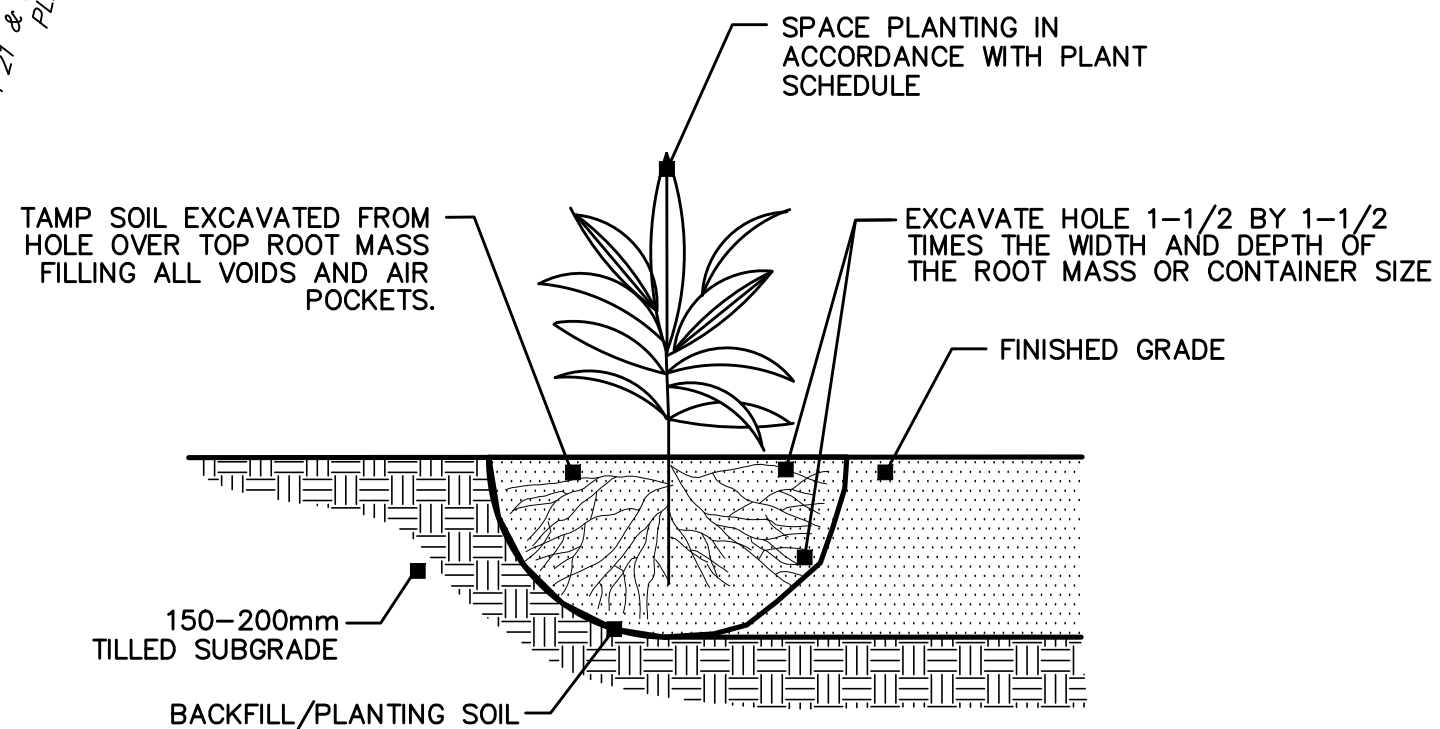


- NOTES:**
- STAKES AND WIRES MUST BE REMOVED NO LATER THAN 12 MONTHS AFTER PLANTING.
 - PLANTING HOLE SHALL BE DUG BY A BACKHOE OR OTHER MACHINE AND FINISHED BY HAND.
 - IF SURROUNDING SOIL IS COMPACTED AS DETERMINED BY M-NCPPC PLANNING DEPT INSPECTOR, AN AREA UP TO 5 TIMES THE DIA. OF THE ROOT MASS SHALL BE EXCAVATED OR ROTOTILLED TO A 1' DEPTH AND THE SOIL SHALL BE AMENDED.
 - DO NOT DAMAGE OR CUT LEADER.
 - ROOT FLAIR EVEN WITH LEVEL OF UNDISTURBED GROUND.
- DECIDUOUS PLANTS - (2" Caliper or Larger)**

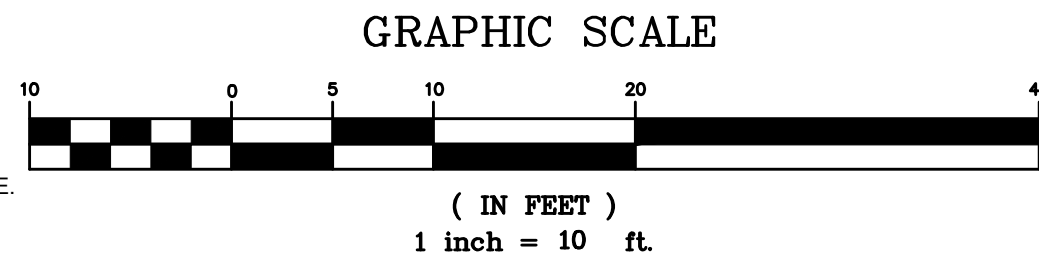
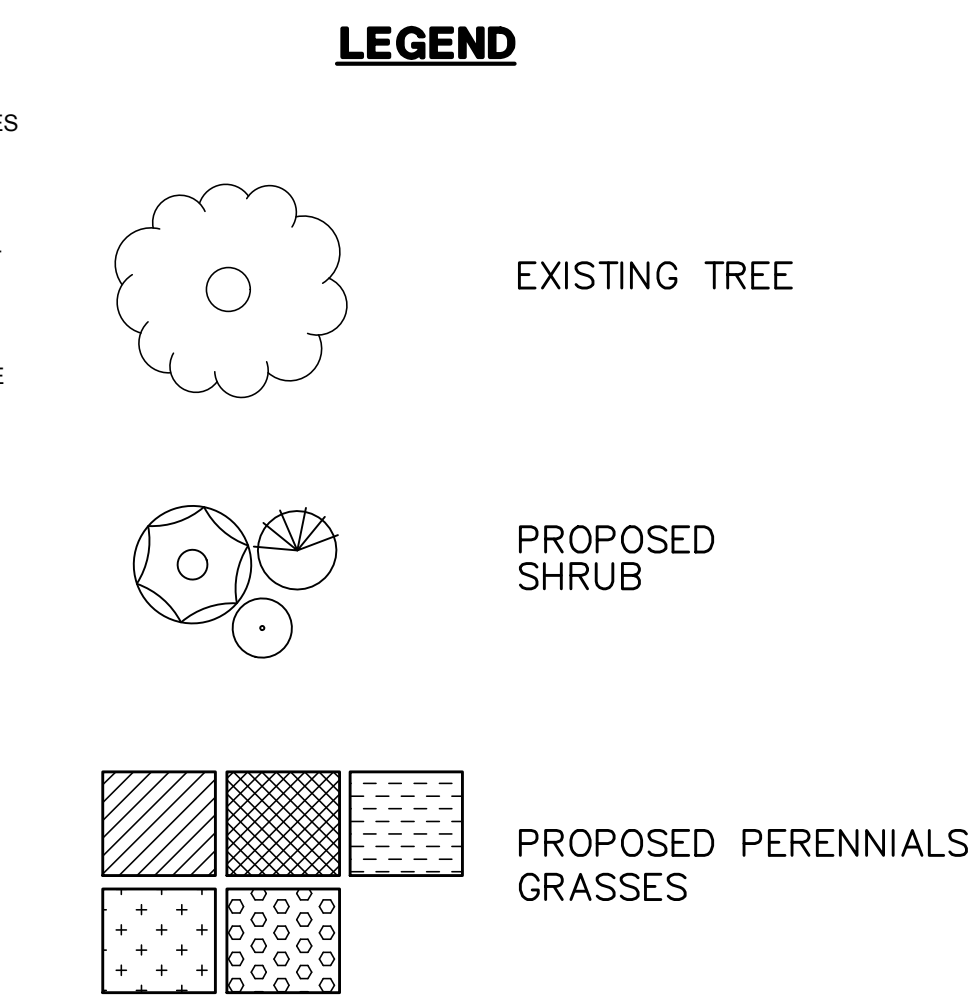
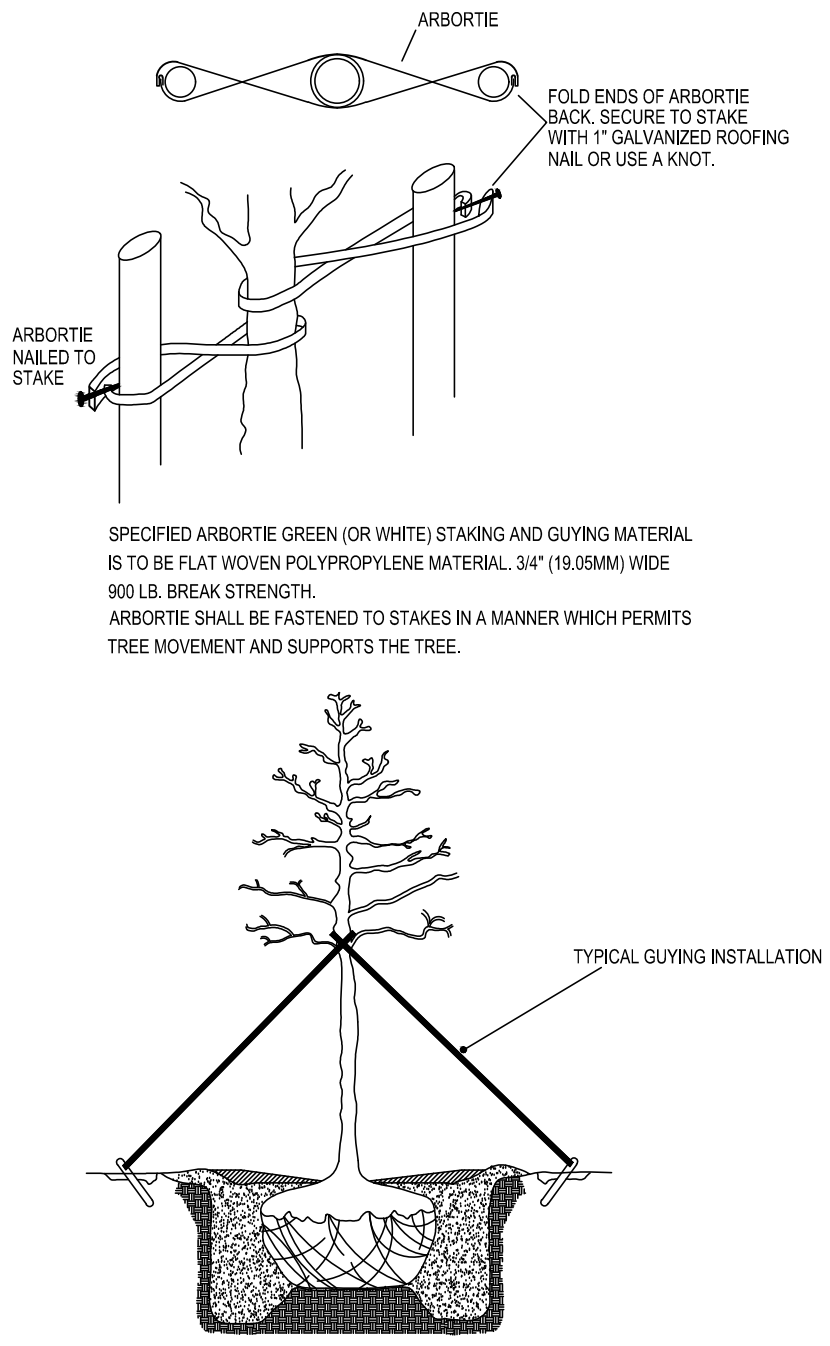


- NOTES:**
- REMOVE ALL POTS AND WIRE AND CUT CONTAINER CLEANLY WAY FROM ROOTS.
 - REMOVE BURLAP FROM TOP HALF OF ROOT BALL.
 - CONTAINER PLANTINGS MAKE 4 TO 5 VERTICAL CUTS TO THE ROOT BALL BEFORE SETTING IN PLACE.
 - PRUNE ALL DAMAGED, DISEASED, OR WEAK LIMBS AND ROOTS.
 - CLEANLY PRUNE ALL DAMAGED ROOT END'S TEASE ROOTS OF CONTAINER GROWN STOCK.
 - DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION PROCESS.
 - DEEP WATER AFTER PLANTING.

LANDSCAPE SHRUB



Groundcover & Ornamental Grasses Planting Detail



MISS UTILITY

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. BEFORE EXCAVATION THE CONTRACTOR IS RESPONSIBLE FOR CALLING TICKET CHECK AT 1-866-821-4226 TO VERIFY THAT ALL UTILITIES HAVE BEEN MARKED, 48 HOURS AFTER CALLING MISS UTILITY. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

LIGHTING NOTES

- ASSUME THE FOLLOWING FOR PRICING
- BENCH LIGHTING – 6 FIXTURES
WAC LIGHTING PRODUCT #8051-27BK
 - RETAINING WALL RECESSED LIGHTING – 8 FIXTURES
WAC LIGHTING PRODUCT #WL-LED100
 - PATH LIGHTING – 10 FIXTURES
WAC LIGHTING PRODUCT #6042

WATER CLASS	WATERSHED	FEMA FLOODPLAIN MAP PANEL #
TRIBUTARY	UNNAMED.	24031C 0365D
TAX MAP	HP GRID 43	ADC MAP PAGE 5285 GRID J-7



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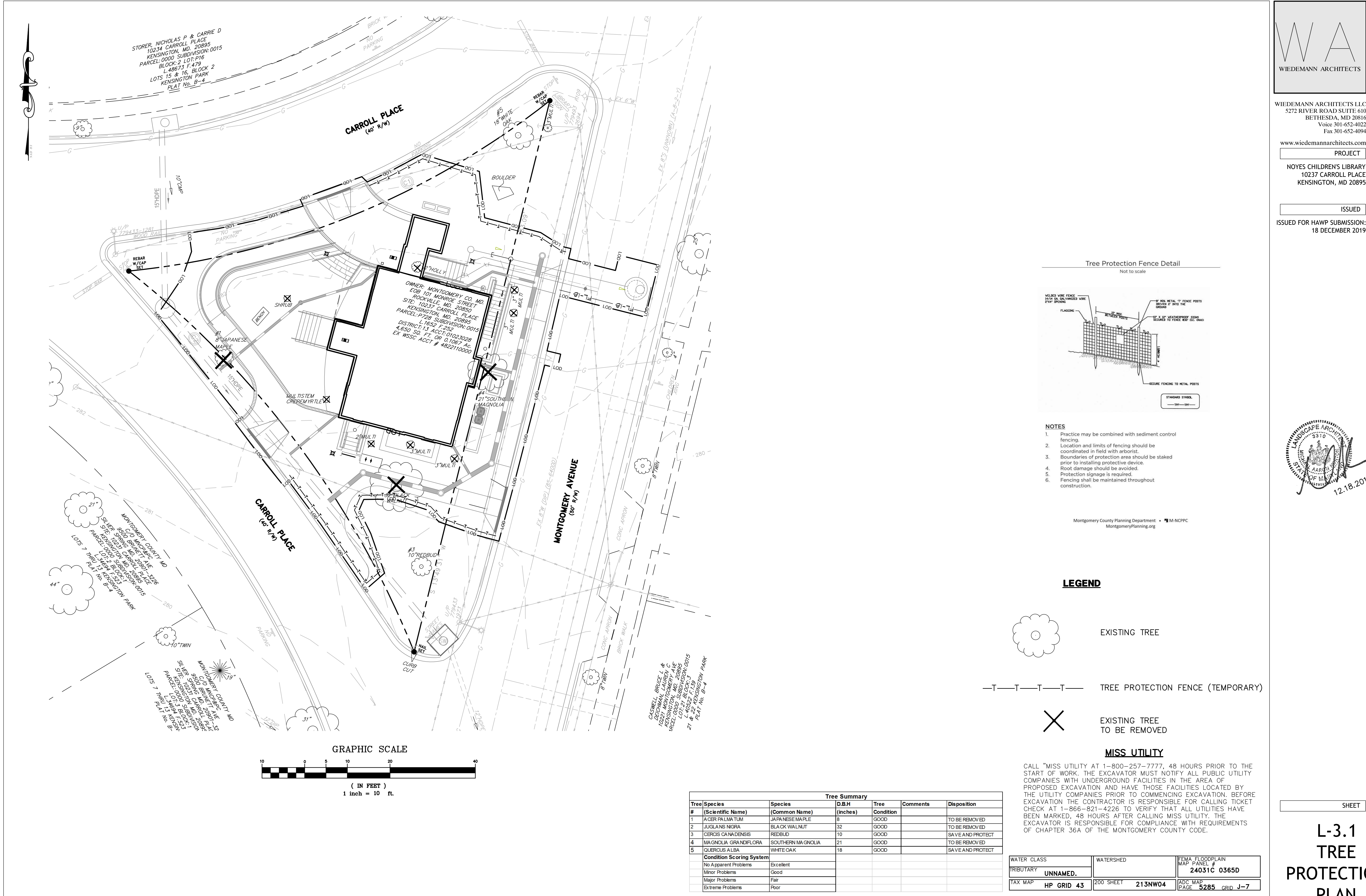
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SHEET

**L-2.1
LANDSCAPE
PLANTING
PLAN**



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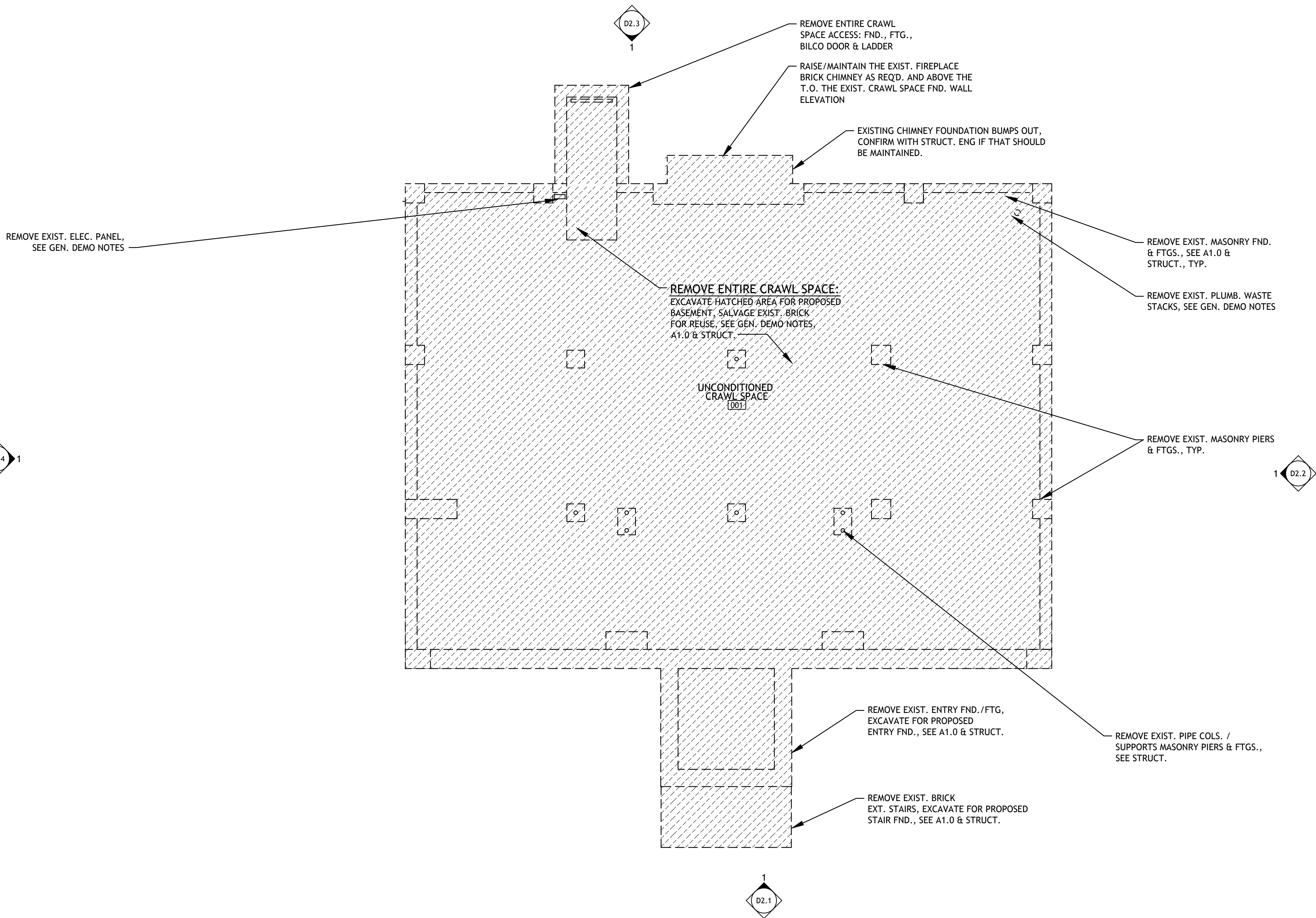
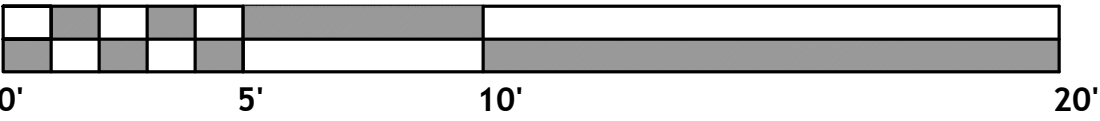
SHEET

L-3.1
TREE
PROTECTION
PLAN

GENERAL DEMOLITION PLAN NOTES:

1. GRID SHOWN IS TO THE PROPOSED BRICK FACE OF FND. WALLS.
2. PROTECT ALL PORTIONS OF THE EXIST. BUILDING NOT SCHEDULED FOR DEMOLITION FROM DAMAGE DURING DEMOLITION PROCESS.
3. ALL DEMOLITION WORK SHALL BE PERFORMED IN STRICT CONFORMANCE TO THE LAWS AND REGULATIONS OF THE STATE OF MARYLAND.
4. PROVIDE ALL NECESSARY SHORING TO PROTECT EXIST. CONSTRUCTION SCHEDULED TO REMAIN FROM DAMAGE.
5. PROVIDE BARRIERS AS REQUIRED AT ALL OPEN EXCAVATIONS.
6. SALVAGE REMOVED ITEMS NOTED FOR RELOCATION AND/OR REUSE AS INDICATED IN THE PROPOSED DWGS. & SCHEDULES.
7. THE LIBRARY'S FLOOR & WALL STRUCTURES ABOVE THE EXISTING CRAWL SPACE FOUNDATION SHALL REMAIN AND BE RAISED UP DURING THE CRAWL SPACE FOUNDATION DEMOLITION & DURING THE NEW BASEMENT FOUNDATION WORK.
8. REMOVE ALL EXIST. CARPET FLOOR COVERING TO REVEAL THE ASSUMED EXIST. HARDWOOD FLOORING BELOW. REMOVE EXIST. TILE DOWN TO THE EXIST. WOOD SUBFLOOR.
9. REMOVE ALL MECHANICAL, ELECTRICAL, PLUMBING EQUIPMENT, DUCTS & GRILLES & FIXTURES, U.N.O., REFER TO M.E.P. DEMOLITION DRAWINGS.
10. REMOVE FLOORING, SUBFLOOR & STRUCTURAL FLOOR FRAMING IN AREA OF PROPOSED INTERIOR STAIR. REFER TO STRUCTURAL ENGINEER'S DRAWINGS.
11. REMOVE ALL EXISTING BRICK FROM EXIST. FOUNDATIONS.
12. EXISTING EXTERIOR SIDING, WINDOWS, SHUTTERS, WOOD SCREENS, ROOFING, TRIM, FASCIA, GUTTERS & DOWNSPOUTS, AND WINDOWS TO REMAIN, U.N.O.
13. REFER TO DEMOLITION ELEVATIONS FOR ADD. INFORMATION.
14. REFER TO C SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE DEMOLITION WORK INCLUDING: DISTURBED AREA, SOIL EROSION CONTROL & TREE PROTECTIONS.

GRAPHIC SCALE: 1/4" = 1'-0"



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DEMOLITION
DRAWING KEY:

EXIST. WALLS/ELEMENTS
TO REMAIN

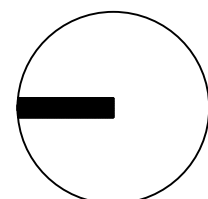
ELEMENTS TO BE
REMOVED AS NOTED.

EXTENTS OF AREA TO
BE EXCAVATED FOR
PROPOSED WORK.

SHEET

D1.0

DEMOLITION CRAWL
SPACE PLAN



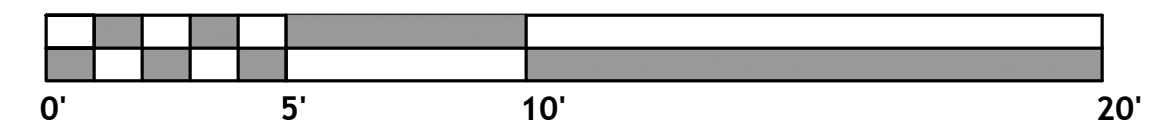
PLAN NORTH

1 DEMOLITION BASEMENT PLAN
D1.0 SCALE: 1/4"=1'-0"

GENERAL DEMOLITION PLAN NOTES:

1. REFER TO D1.0 FOR GENERAL DEMOLITION NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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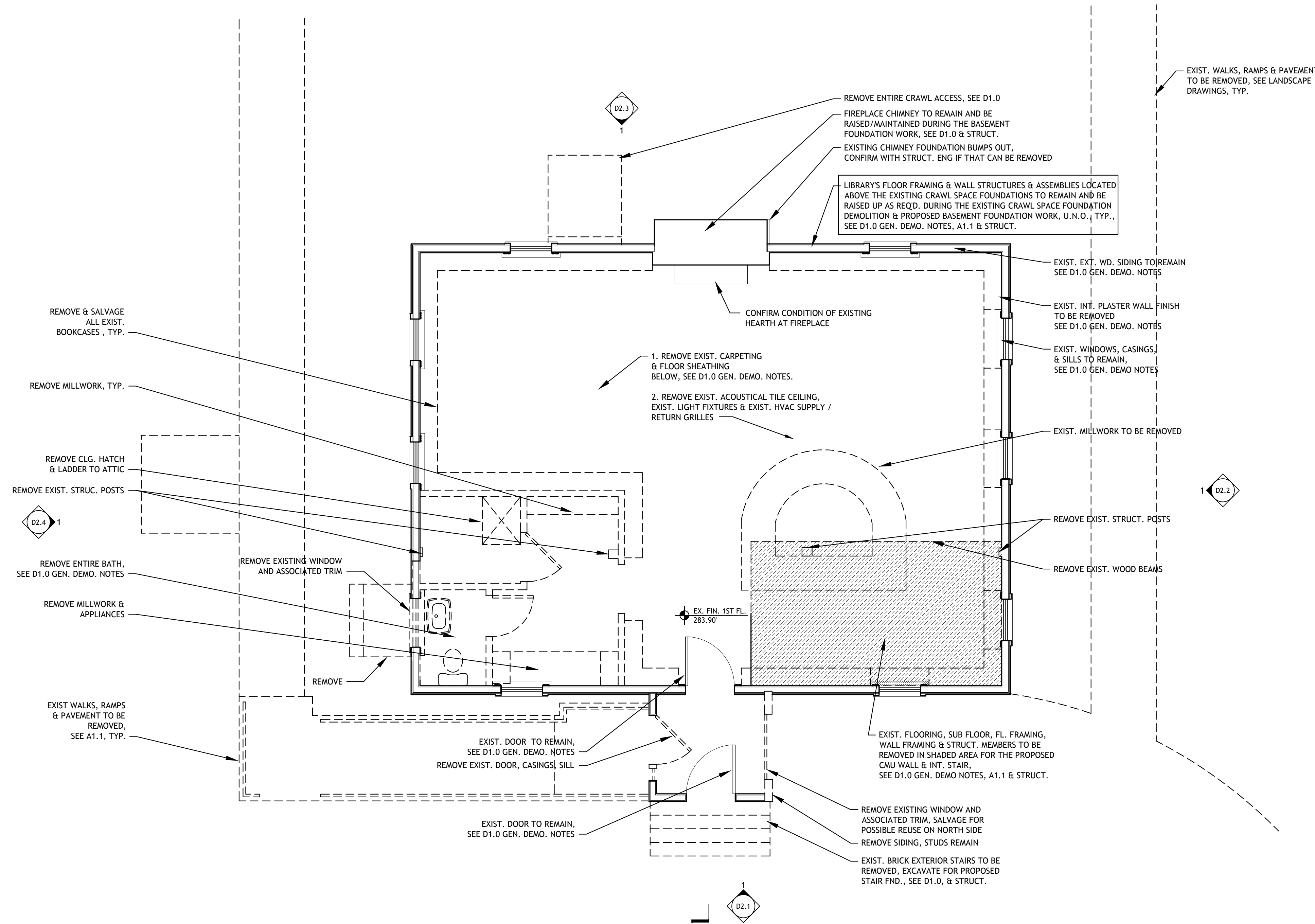
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DEMOLITION
DRAWING KEY:

- EXIST. WALL/ELEMENTS TO REMAIN
- ELEMENTS TO BE REMOVED AS NOTED.
- EXTENTS OF EXIST. FLOOR COVERING, SUBFLOOR & STRUCTURAL FLOOR FRAMING TO BE REMOVED FOR PROPOSED INTERIOR STAIR.



1 DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

PLAN NORTH

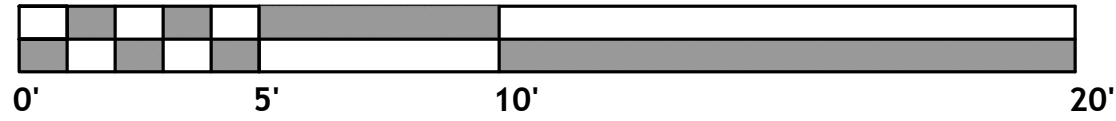
SHEET

D1.1
DEMOLITION FIRST
FLOOR PLAN

GENERAL DEMOLITION PLAN NOTES:

1. REFER TO D1.0 FOR GENERAL DEMOLITION NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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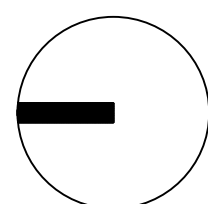
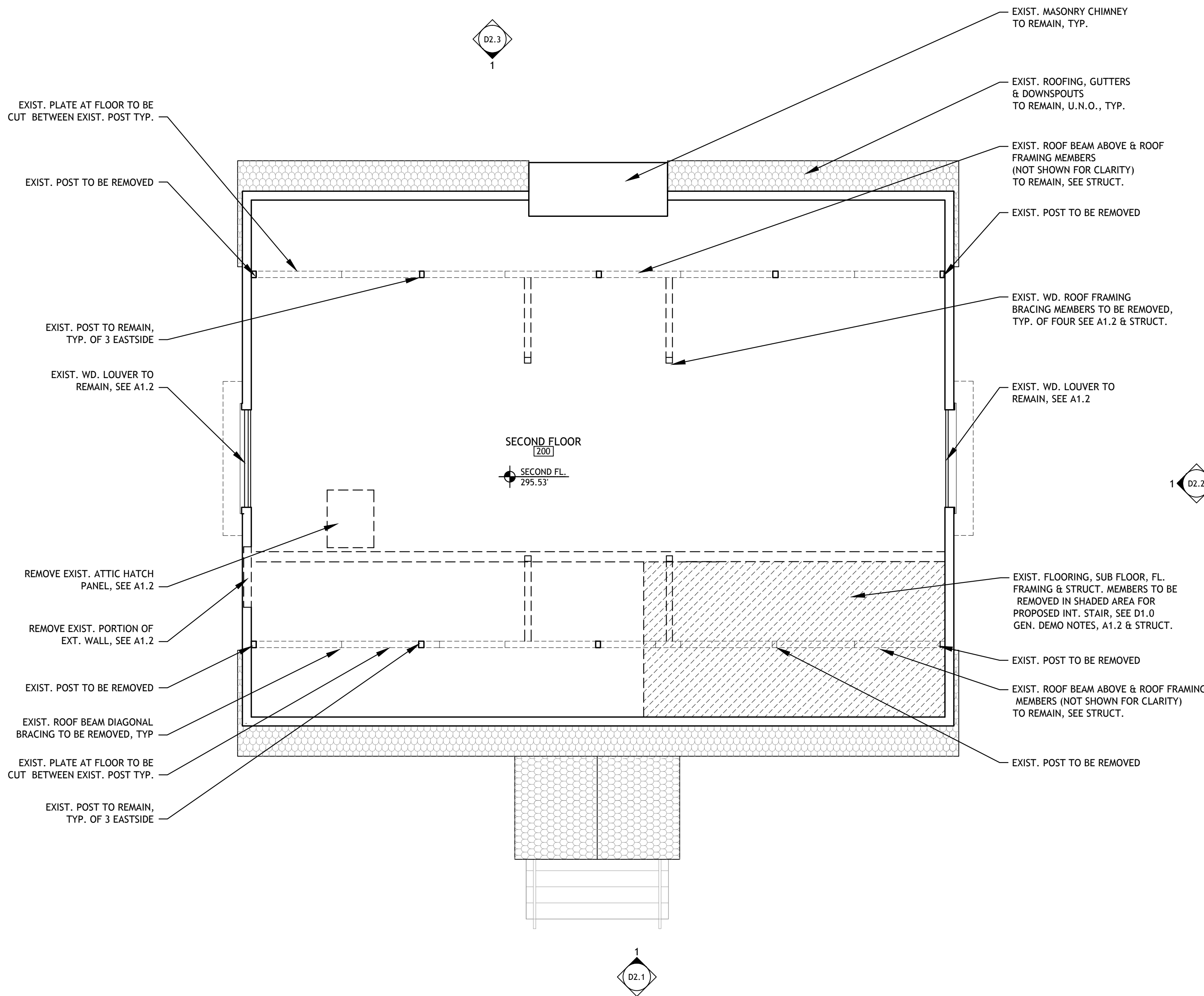
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- ELEMENTS TO BE REMOVED AS NOTED.
- EXTENTS OF EXIST. FLOOR COVERING, SUBFLOOR & STRUCTURAL FLOOR FRAMING TO BE REMOVED FOR PROPOSED INTERIOR STAIR.



PLAN NORTH

1 DEMOLITION ATTIC FLOOR PLAN
D1.2 SCALE: 1/4"=1'-0"

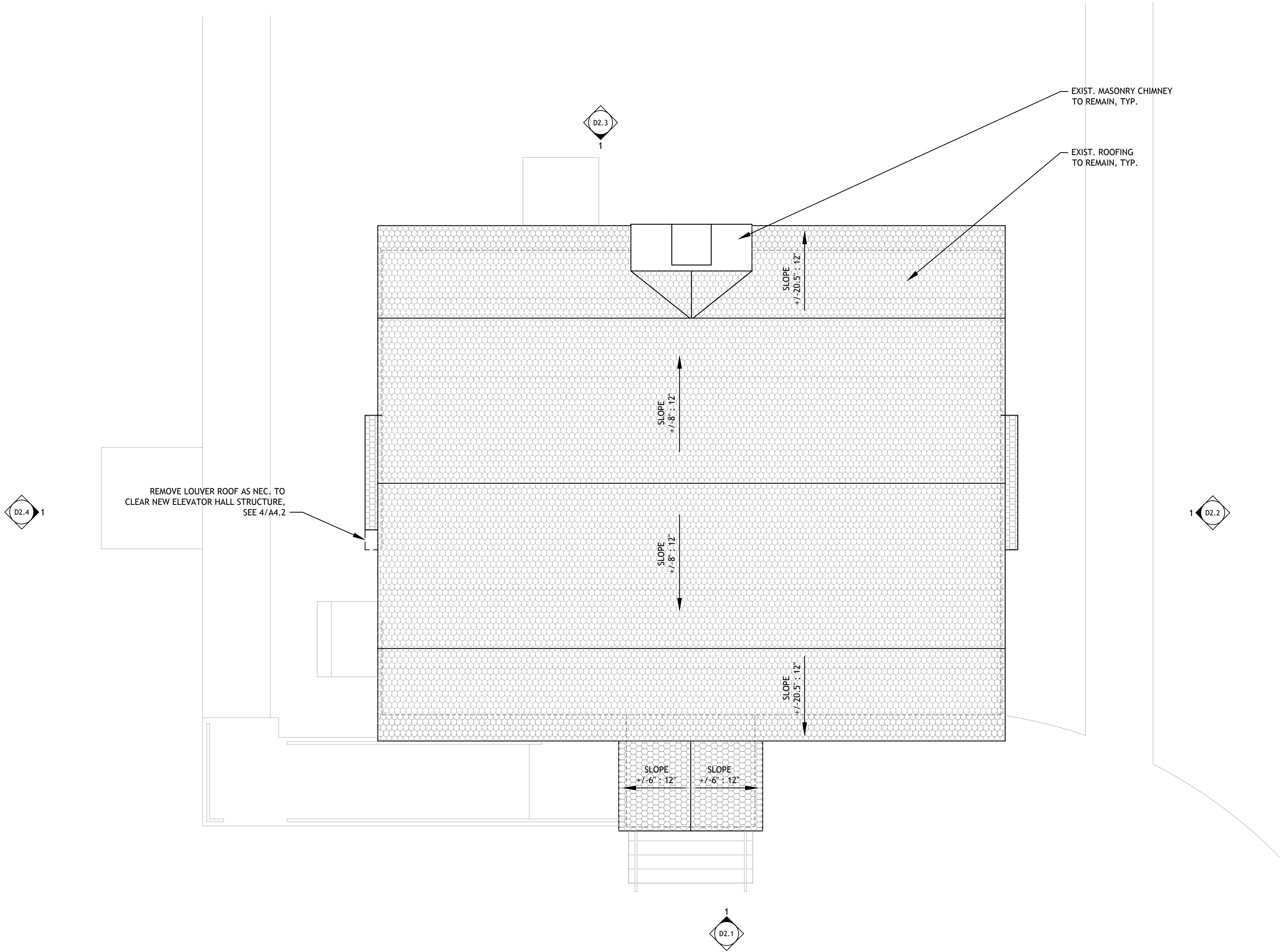
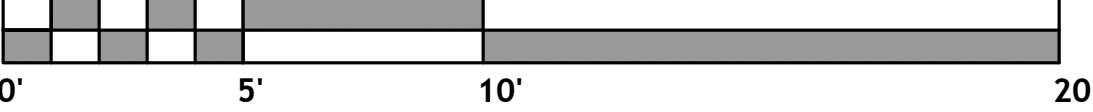
SHEET

D1.2
DEMOLITION ATTIC
FLOOR PLAN

GENERAL DEMOLITION PLAN NOTES:

1. REFER TO D1.0 FOR GENERAL DEMOLITION NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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DEMOLITION
DRAWING KEY:

EXIST. WALL/ELEMENTS
TO REMAIN

ELEMENTS TO BE
REMOVED AS NOTED.

EXTENTS OF EXIST. FLOOR
COVERING, SUBFLOOR &
STRUCTURAL FLOOR
FRAMING TO BE REMOVED
FOR PROPOSED INTERIOR
STAIR.

SHEET

D1.3
DEMOLITION ROOF PLAN

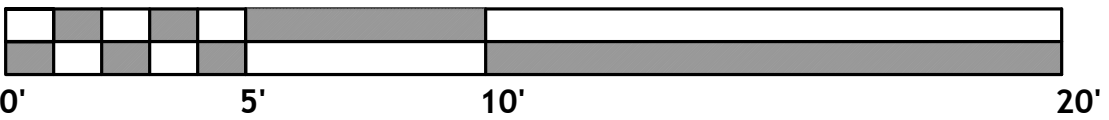
1 DEMOLITION ROOF PLAN
D1.3 SCALE: 1/4"=1'-0"

PLAN NORTH

GENERAL ELEVATION NOTES:

1. ALL EXISTING WINDOWS TO REMAIN, UNLESS OTHERWISE NOTED
2. ALL EXISTING EXTERIOR FINISHES REMAIN UNLESS OTHERWISE NOTED

GRAPHIC SCALE: 1/4" = 1'-0"



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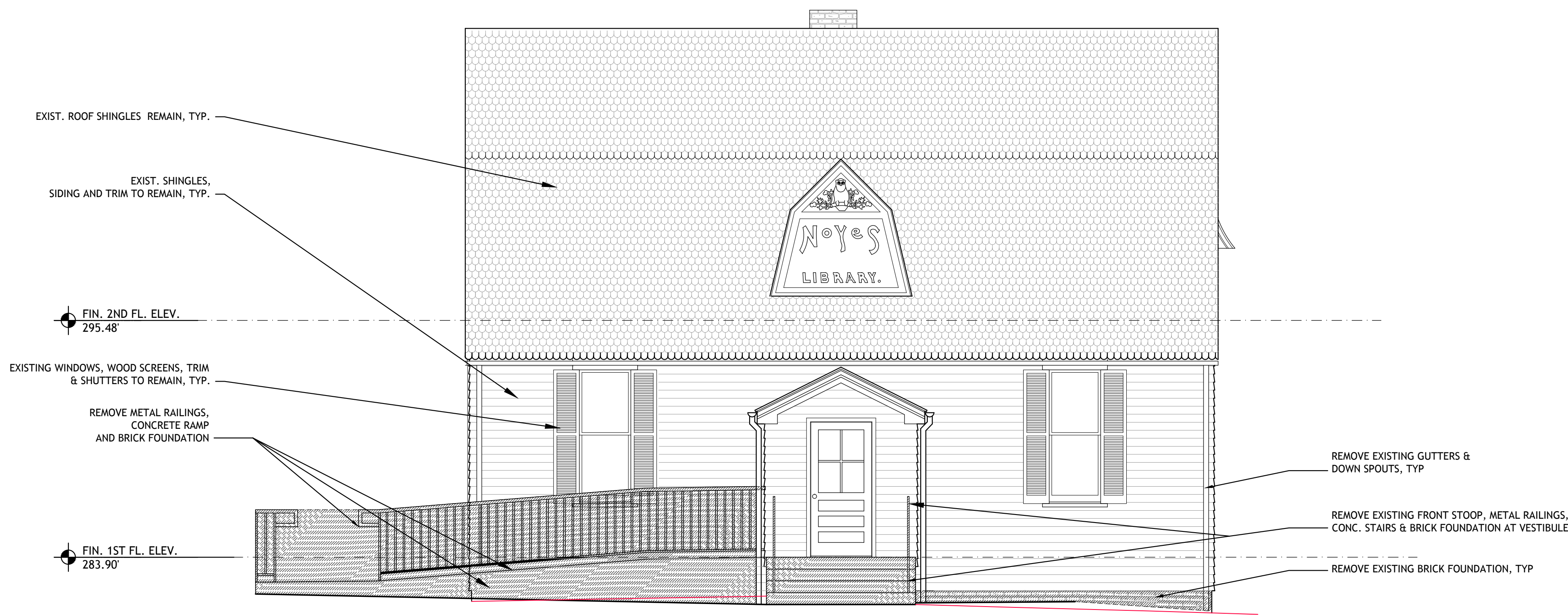
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1 DEMO WEST ELEVATION
D2.1 SCALE: 1/4" = 1'-0"

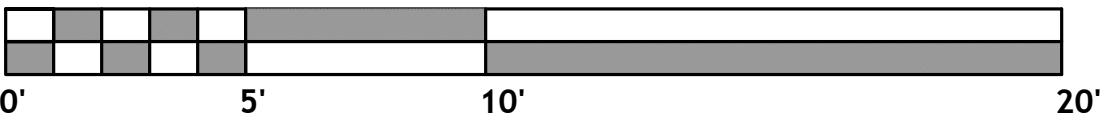
SHEET

D2.1
DEMO EXTERIOR
ELEVATIONS

GENERAL ELEVATION NOTES:

1. REFER TO SHEET D2.1 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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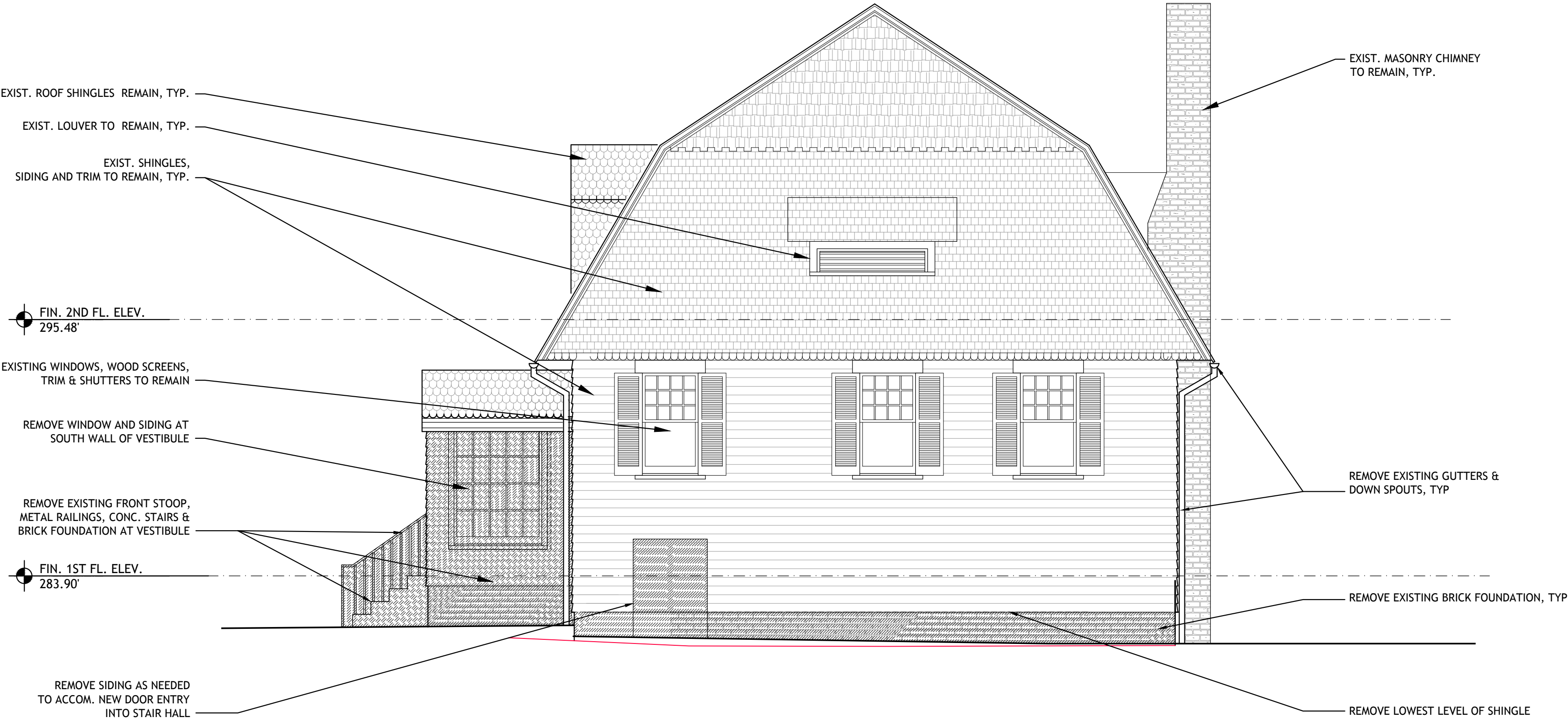
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1 DEMO SOUTH ELEVATION
D2.2 SCALE: 1/4" = 1'-0"

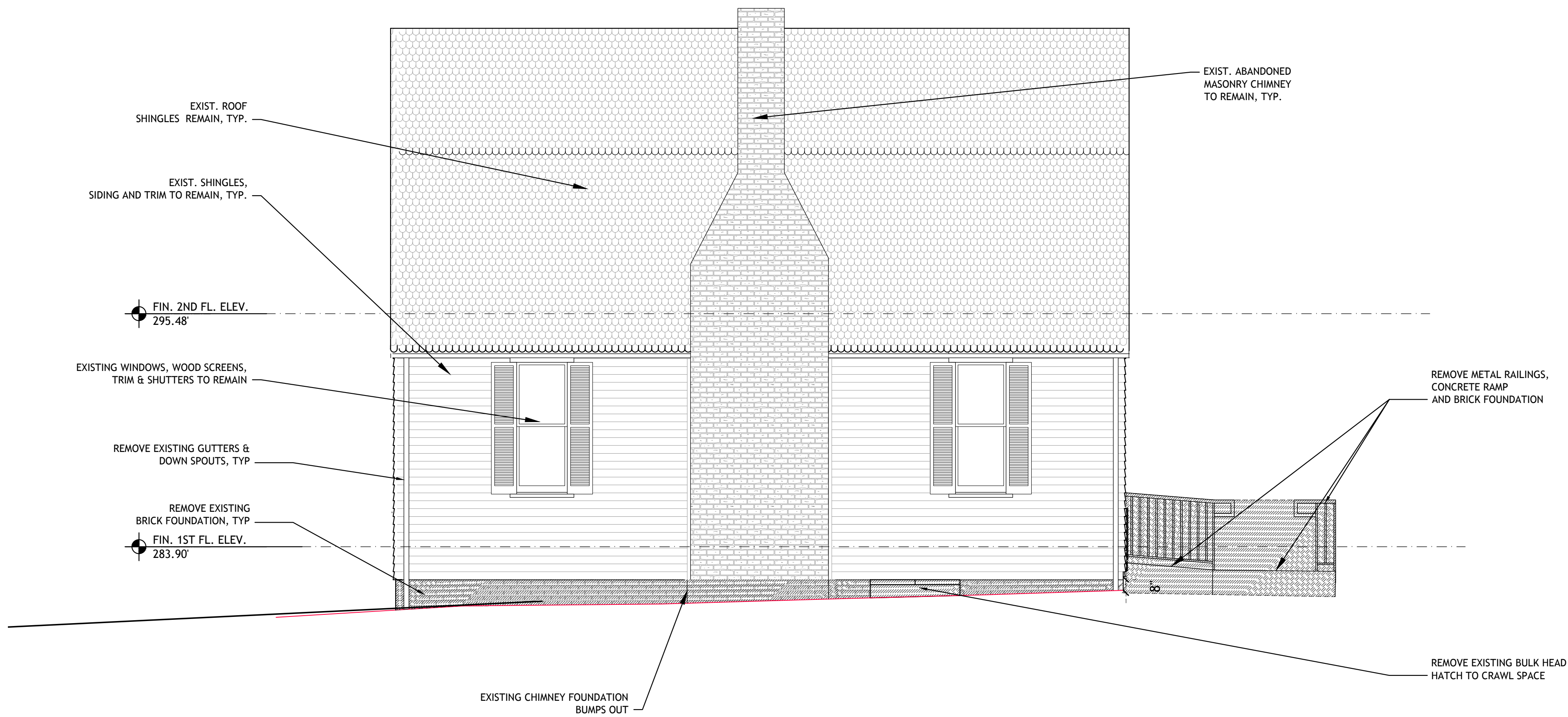
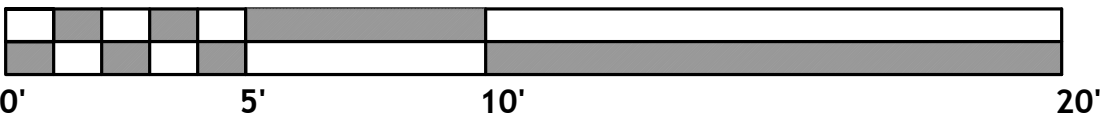
SHEET

D2.2
DEMO EXTERIOR
ELEVATIONS

GENERAL ELEVATION NOTES:

1. REFER TO SHEET A2.1 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



1 DEMO EAST ELEVATION
D2.3 SCALE: 1/4" = 1'-0"



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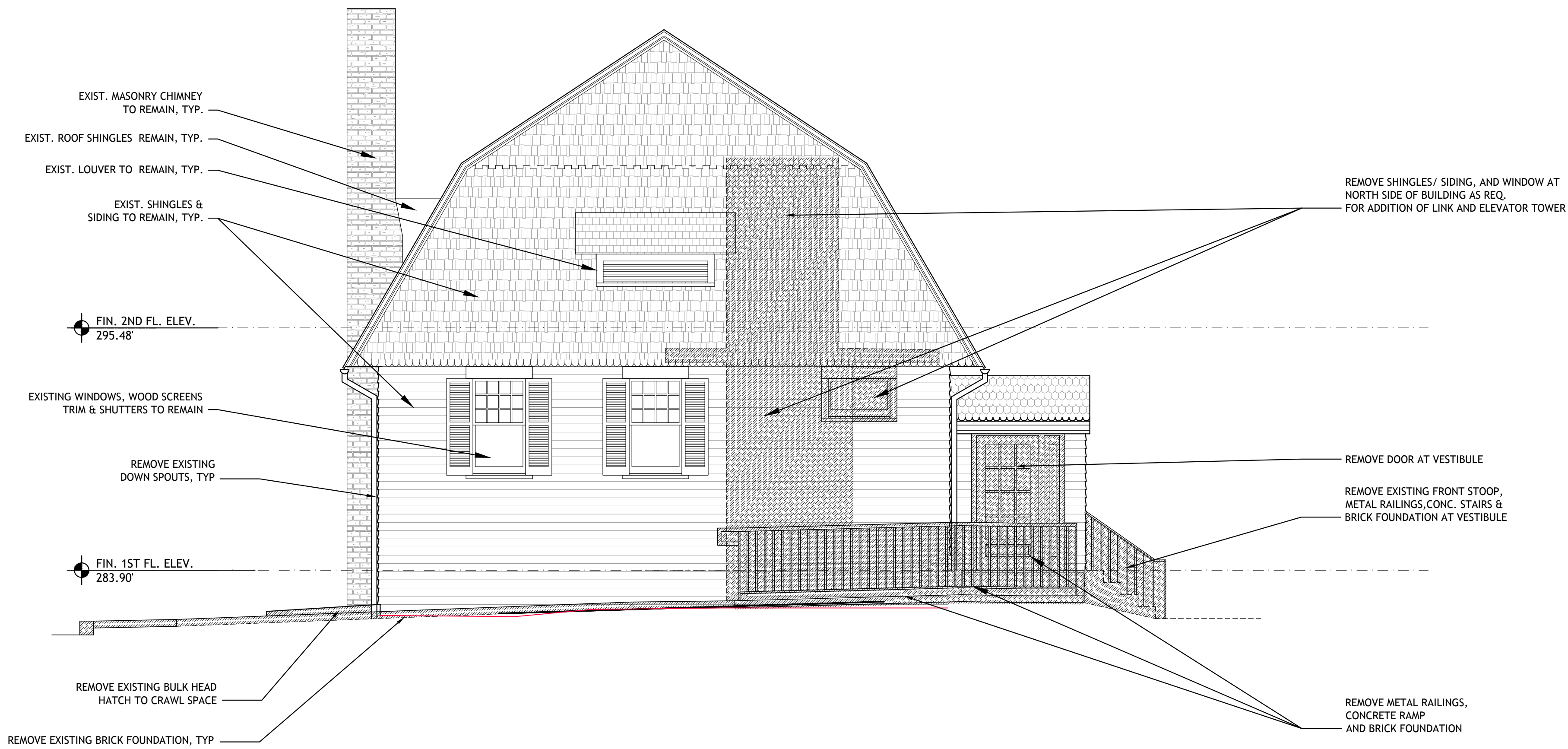
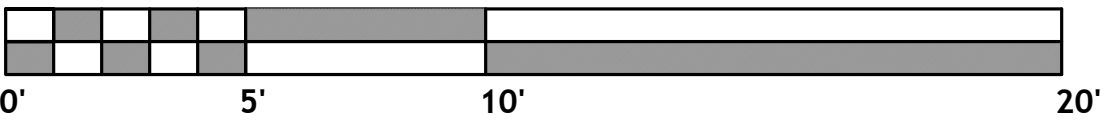
D2.3

DEMO EXTERIOR
ELEVATIONS

GENERAL ELEVATION NOTES:

1. REFER TO SHEET A2.1 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



1 DEMO NORTH ELEVATION
D2.4 SCALE: 1/4" = 1'-0"



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SHEET

D2.4

DEMO EXTERIOR
ELEVATIONS

LOCATION	SYMBOL	DESCRIPTION	FRAME SIZE w x h x t	Jamb	OPERATION	FINISH	REMARKS	UFACTOR
Classroom 009	W001	Marvin Ultimate Wood Awning Window WUAWN3228	Match Width of Double Hung Window above		Awning	Paint	w/ PTD. Interior Screen	
Classroom 009	W002	Marvin Ultimate Wood Awning Window WUAWN2636	Match Width of Double Hung Window above		Awning	Paint	w/ PTD. Interior Screen	
Foyer 102	W100	Existing, repair as necessary	Existing to Remain		Double hung	Paint	Existing Ptd Wood Screen to Remain. New wood storm replacement panel	
Vestibule 101	W101	Existing, Reinstall from storage, repair as necessary	Reinstall, in storage		Fixed	Paint	Reinstall, in storage. New wood storm replacement panel	
	W102	Not used						
Stair hall 103	W103	Existing, repair as necessary	Existing to Remain		Double hung	Paint	Add tempered fixed window panel on inside to comply with stair case NFPA & IBC 2015. Existing Ptd Wood Screen to Remain. New wood storm replacement panel	
Stair hall 103	W104	Existing, repair as necessary	Existing to Remain		Double hung	Paint	Add tempered fixed window panel on inside to comply with stair case NFPA & IBC 2015. Existing Ptd Wood Screen to Remain. New wood storm replacement panel	
Reading Room 104	W105	Existing, repair as necessary	Existing to Remain		Double hung	Paint	Existing Ptd Wood Screen to Remain. New wood storm replacement panel	
Reading Room 104	W106	Existing, repair as necessary	Existing to Remain		Double hung	Paint	Existing Ptd Wood Screen to Remain. New wood storm replacement panel	
Reading Room 104	W107	Existing, repair as necessary	Existing to Remain		Double hung	Paint	Existing Ptd Wood Screen to Remain. New wood storm replacement panel	
Reading Room 104	W108	Existing, repair as necessary	Existing to Remain		Double hung	Paint	Existing Ptd Wood Screen to Remain. New wood storm replacement panel	
Reading Room 104	W109	Existing, repair as necessary	Existing to Remain		Double hung	Paint	Existing Ptd Wood Screen to Remain. New wood storm replacement panel	

1

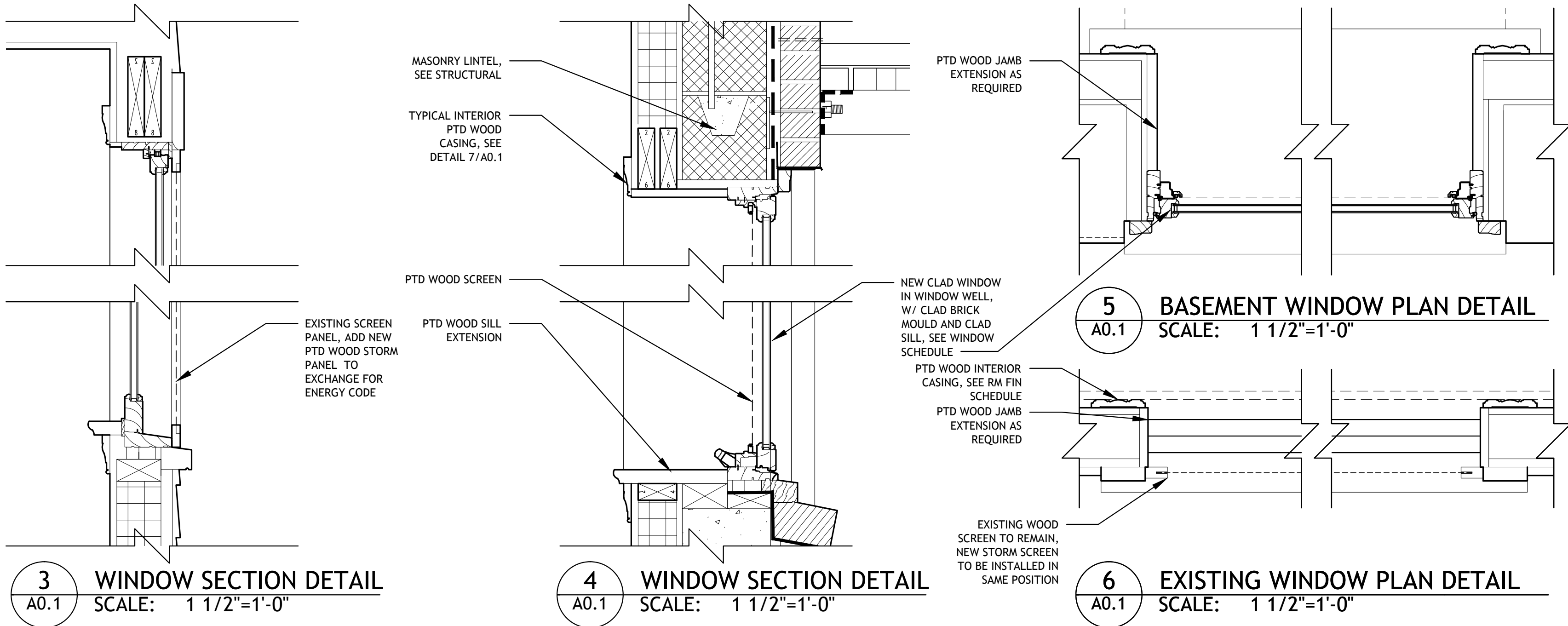
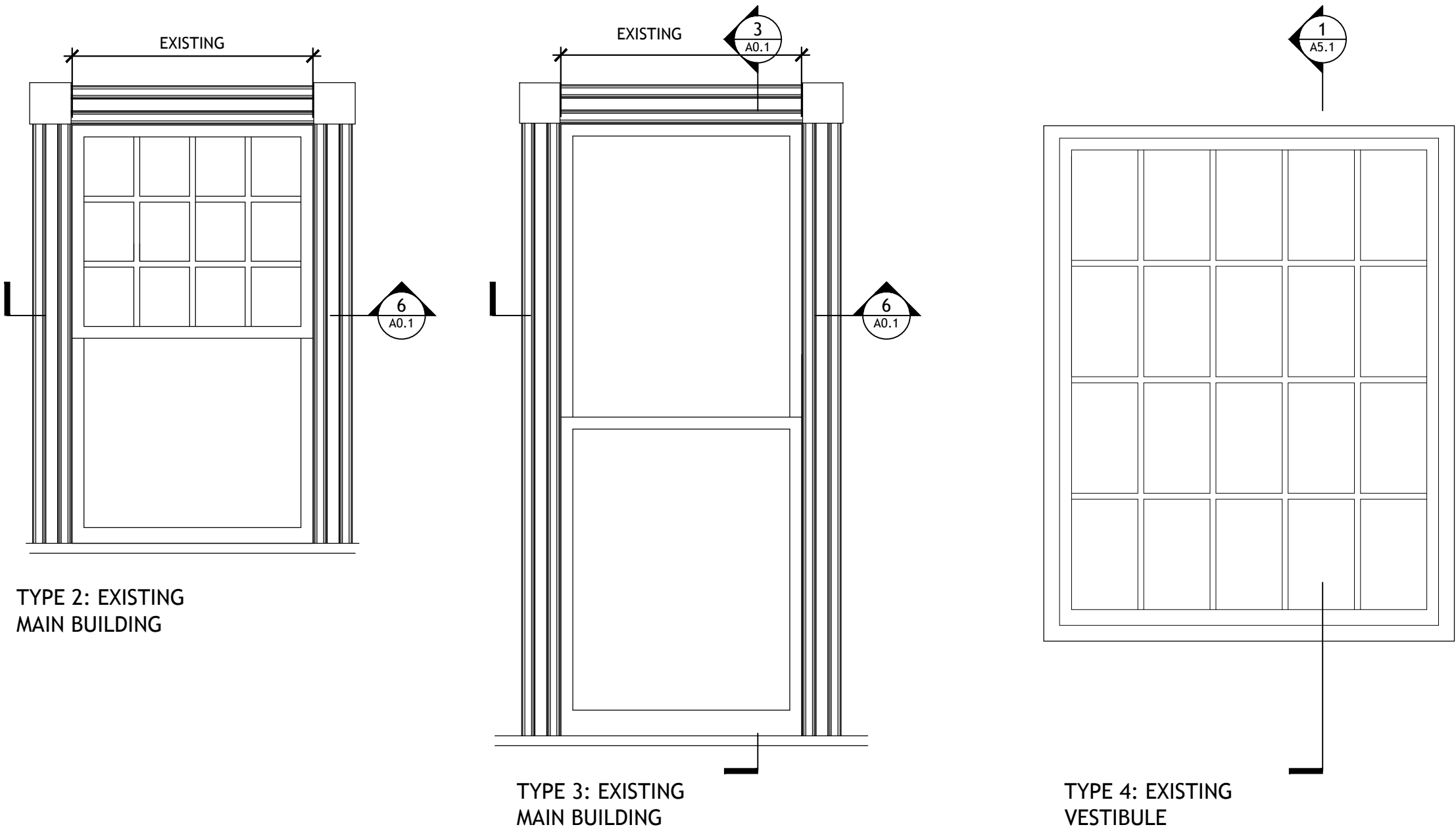
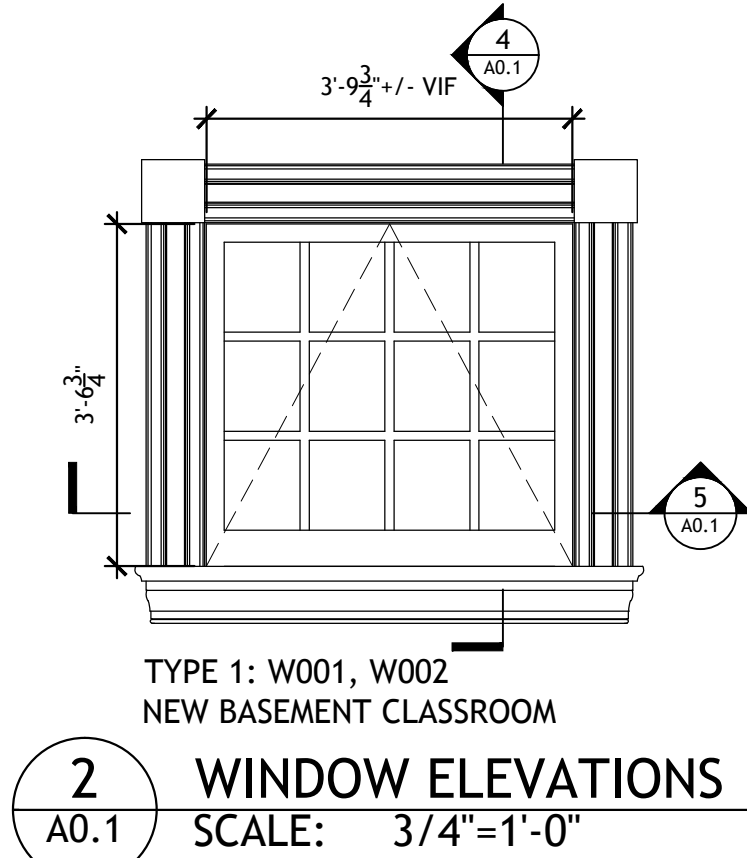
A0.1

WINDOW SCHEDULE

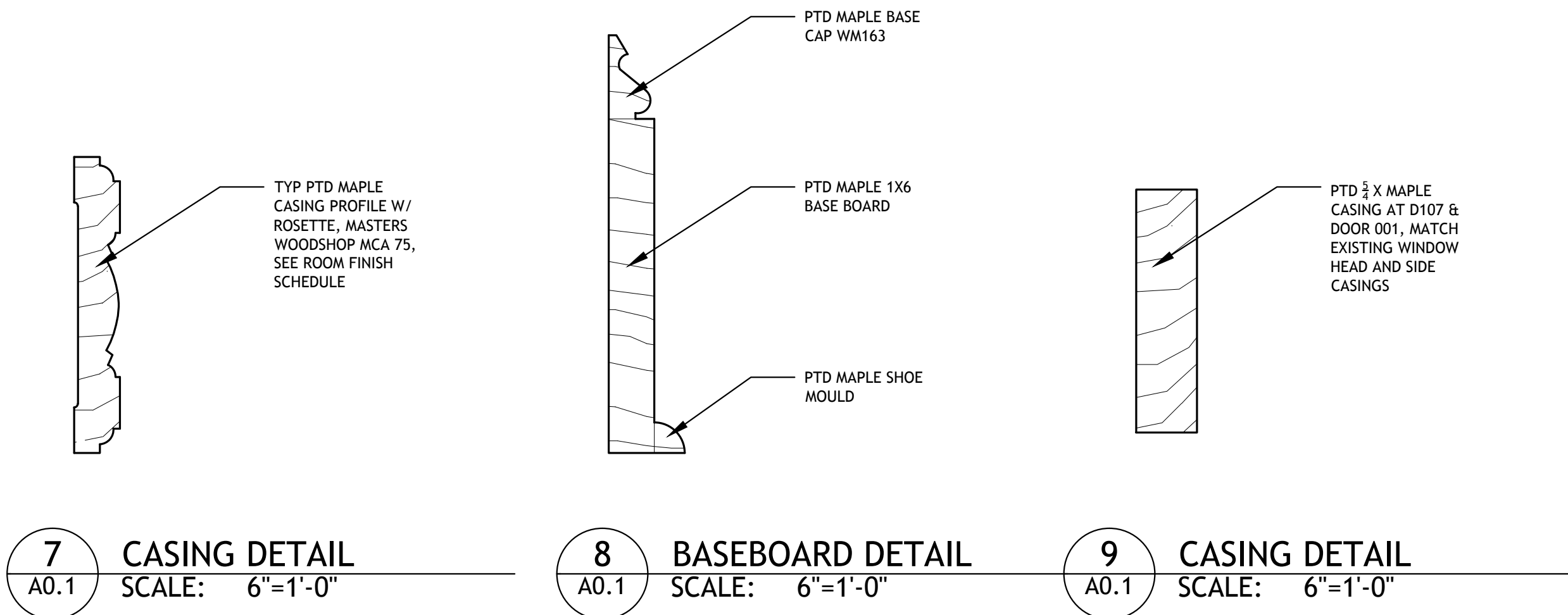
SCALE: N.T.S.

GENERAL WINDOW SCHEDULE NOTES:

1. SEE 2/A0.1 FOR DETAIL INFORMATION.
2. REFER TO INT. ROOM FINISH SCHEDULE FOR WINDOW CASING SPECIFICATIONS BY ROOM NAME/NUMBER.
3. CONTRACTOR TO CONFIRM ROUGH OPENING & MASONRY AT NEW OPENINGS PRIOR TO WINDOW ORDER.
4. PROVIDE JAMB EXTENSIONS AS NECESSARY AT EXISTING WINDOWS THAT REMAIN.



REFER TO 2/A4.1



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A0.1

WINDOW SCHEDULE &
DETAILS

LOCATION	SYMBOL	MANUFACTURER	DESCRIPTION	Door Size / Cased Opening Size Unless Otherwise Noted	HARDWARE SET	DOOR SPECIES / FINISH	DOOR TYPE	REMARKS
Stair Hall 001	D001	Marvin	Aluminum clad Exterior primed wood Interior Door, 3 panel 1 over two, see drawings, with flat panels w/ 4 9/16 jamb w/ outswing bronze ail, adjustable hinges, and 3 point locking hardware	3'-0" x 7'-0" x 1 3/4"		Aluminum Clad	1A	
Classroom	D002	Marvin	Aluminum clad Exterior primed wood Interior Door, 3 panel 1 over two, see drawings, with flat panels w/ 4 9/16 jamb w/ outswing bronze ail, adjustable hinges, and 3 point locking hardware	3'-0" x 7'-0" x 1 3/4"		Aluminum Clad	1A	
Stair Hall 001	D003	TruStile	TS3060 w/ Quarter Bead, A Raised Panel- 60min rated, w/ hollow metal framed door	3'-0" x 7'-0" x 1 3/4"			1	45 min Rated w/ fire rated wood veneered frame provided by TruStile
Elec Closet 007	D004	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	3'-0" x 7'-0" x 1 3/4"		MDF PTD	1	
Closet 013	D005	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	3'-0"x7'-0" x 1 3/4"		MDF PTD	1	
Utility 010	D006	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	3'-0" x 7'-0" x 1 3/4"		MDF PTD	1	
Elav Mach Rm 011	D007	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	3'-0" x 7'-0" x 1 3/4"		MDF PTD	1	45 min Rated w/ fire rated wood veneered frame provided by TruStile
Mech CL 004	D008	TruStile		2'-1 3/4" x 7'-0"			1	
Unisex Bathroom 009	D009	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	2'-10" x 7'-0" x 1 3/4"		MDF PTD	1	
Unisex Bathroom 009	D010	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	2'-10 1/2" x 7'-0" x 1 3/4"		MDF PTD	1	
Classroom	D011	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	(X2) 3'-0" x 7'-0" x 1 3/4"	No lock	MDF PTD	3	
Hall 002	D013	Cased Opening	Deep Cased Opening with Fixed Panel 18" wide Jamb 2020 each side w/ Ptd Glass Transom above with panel jamb	3'-0" x 7'-0"	NA		7	
Janitor's Cl 005	D014	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	3'-0"x7'-0" x 1 3/4"		MDF PTD	1	
Vestibule 101	D100	Existing to Remain		3'-0" x 7'-0" x 1 3/4"		MDF PTD	1	
Entry 100	D101		Store Front Metal Door w/ Glazing, See Spec	3'-0" x 7'-0" x 1 3/4"		PTD	6	w/ automated opener
Entry 100	D102		Store Front Metal Door w/ Glazing, See Spec	3'-0" x 7'-0" x 1 3/4"		PTD	6	
Vestibule 101	D103	Existing to Remain		3'-0" x 7'-0" x 1 3/4"			1	Switch Hinge Side, w/ new ptd wd framed wood panel transom above to align with adjacent window
Stair Hall 103	D104	TruStile	TS3060 w/ Quarter Bead, A Raised Panel- 60 min rated, w/ hollow metal framed door	3'-0" x 6'-8" x 1 3/4"		MDF PTD	1	45 mins Rated w/ fire rated wood veneered frame provided by TruStile w/ fixed Ptd Wd Transom above
Reading Room 104	D105	Cased Opening		3'-0" x 7'-0" x 2 1/4"			1	w/ new ptd wd framed glass transom above to align with adjacent window
Foyer 102	D107	Cased Opening	Deep Cased Opening with Fixed Panel 18" wide Jamb 2020 each side w/ Ptd Glass Transom above with panel jamb	2'-10" x 7'-0"	NA		5	w/ new ptd wd framed glass transom above to align with adjacent window
Stair Hall 201	D200	TruStile	TS3060 w/ Quarter Bead, A Raised Panel- 60 min rated, w/ hollow metal framed door	3'-0" x 7'-0" x 1 3/4"		MDF PTD	1	45 mins Rated w/ fire rated wood veneered frame provided by TruStile
Closet 203	D201	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	(X2) 2'-6" x 7'-0" x 1 3/4"		MDF PTD	3	
Break Room 202	D202	TruStile	TS3060 w/ Quarter Bead, A Raised Panel (X2) Pocket door	(X2) 2'-8" x 7'-0" x 1 3/4"	No Lock	PTD	3A	
Staff Room 204	D203	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	(X2) 2'-6" x 7'-0" x 1 3/4"		MDF PTD	3	
Staff Bath 205	D204	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	3'-0" x 7'-0" x 1 3/4"		MDF PTD	1	
Staff Room 204	D205	Cased Opening		3'-0" x 7'-0"		PTD		
Hall 207	D206	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	(X2) 2'-6" x 7'-0" x 1 3/4"		MDF PTD	3	
Hall 207	D207	Cased Opening		3'-0" x 7'-0"		PTD	5	
Hall 207	D208	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	(X2) 2'-6" x 7'-0" x 1 3/4"		MDF PTD	3	
Staff Room 204	D209	TruStile	TS3060 w/ Quarter Bead, A Raised Panel	(X2) 2'-6" x 7'-0" x 1 3/4"		MDF PTD	4	
Sore All Wood Doors on SITE, no factory bore, confirm Hardware w/ Arch prior to ordering								
Provide samples of all materials, prior to installations								
Architect shall review order prior to GC placing order.								

1

A0.2

DOOR SCHEDULE

SCALE: N.T.S.

3

A0.2

SOLID TRANSOM

SCALE: 3/4"=1'

4

A0.2

GLASS TRANSOM

SCALE: 3/4"=1'

5

A0.2

TRANSOM DETAIL

SCALE: 1-1/2"=1'

6

A0.2

TRANSOM DETAIL

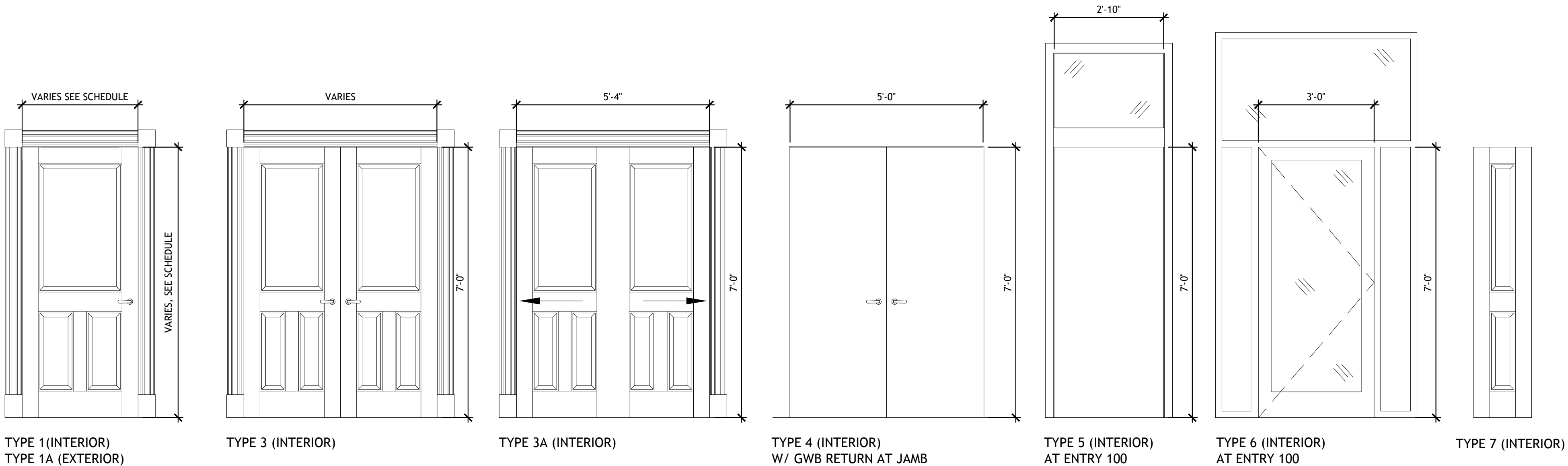
SCALE: 1-1/2"=1'

7

A0.2

TRANSOM DETAIL

SCALE: 1-1/2"=1'

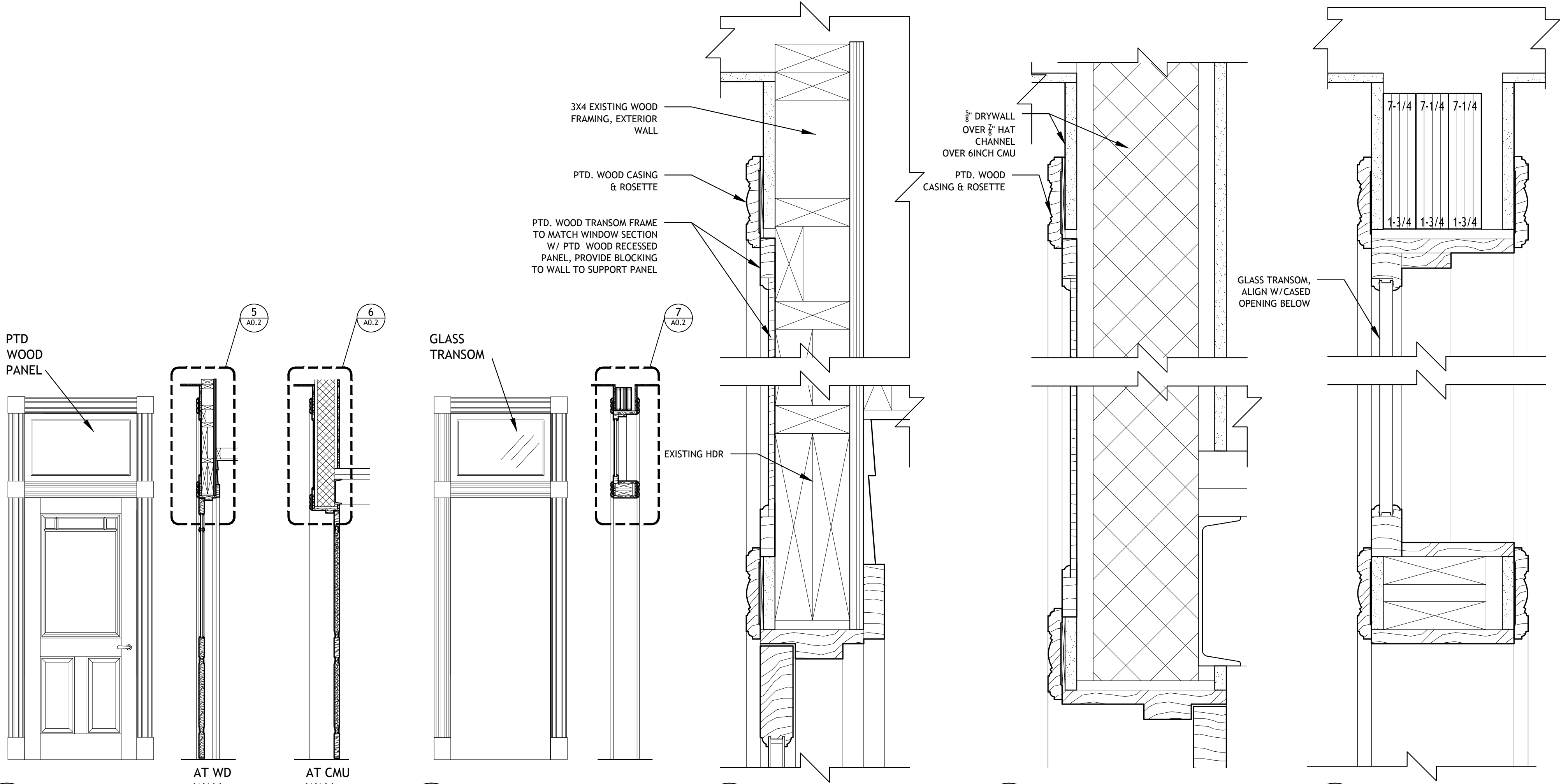


2

A0.2

DOOR TYPES

SCALE: 1/2"=1'



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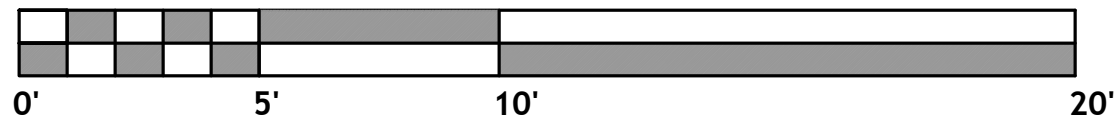
A0.2

DOOR SCHEDULE & DETAILS

GENERAL PLAN NOTES:

1. GRID DIMENSIONS TO EXTERIOR FACE OF BRICK FND. WALLS & FACE OF EXIST. STUD.
2. DIMENSIONS ARE TO FRAMING, U.N.O., SEE BOXED DIMS./ NOTES FOR CRITICAL WORK POINTS & WALL ASSEMBLY INFORM.
3. REFER TO S SERIES STRUCT. DWGS. FOR ADD. INFORM.
4. ALL INTERIOR WALLS ARE 2X6 WD FRAMED WALLS, UNLESS OTHERWISE NOTED
5. INSIDE CONCRETE WALL, ALL PERIMETER WALLS SHALL BE 2X4 PT WD FRAME W/ CLOSED CELL FOAM INSULATION TYP, UNLESS OTHERWISE NOTED

GRAPHIC SCALE: 1/4" = 1'-0"



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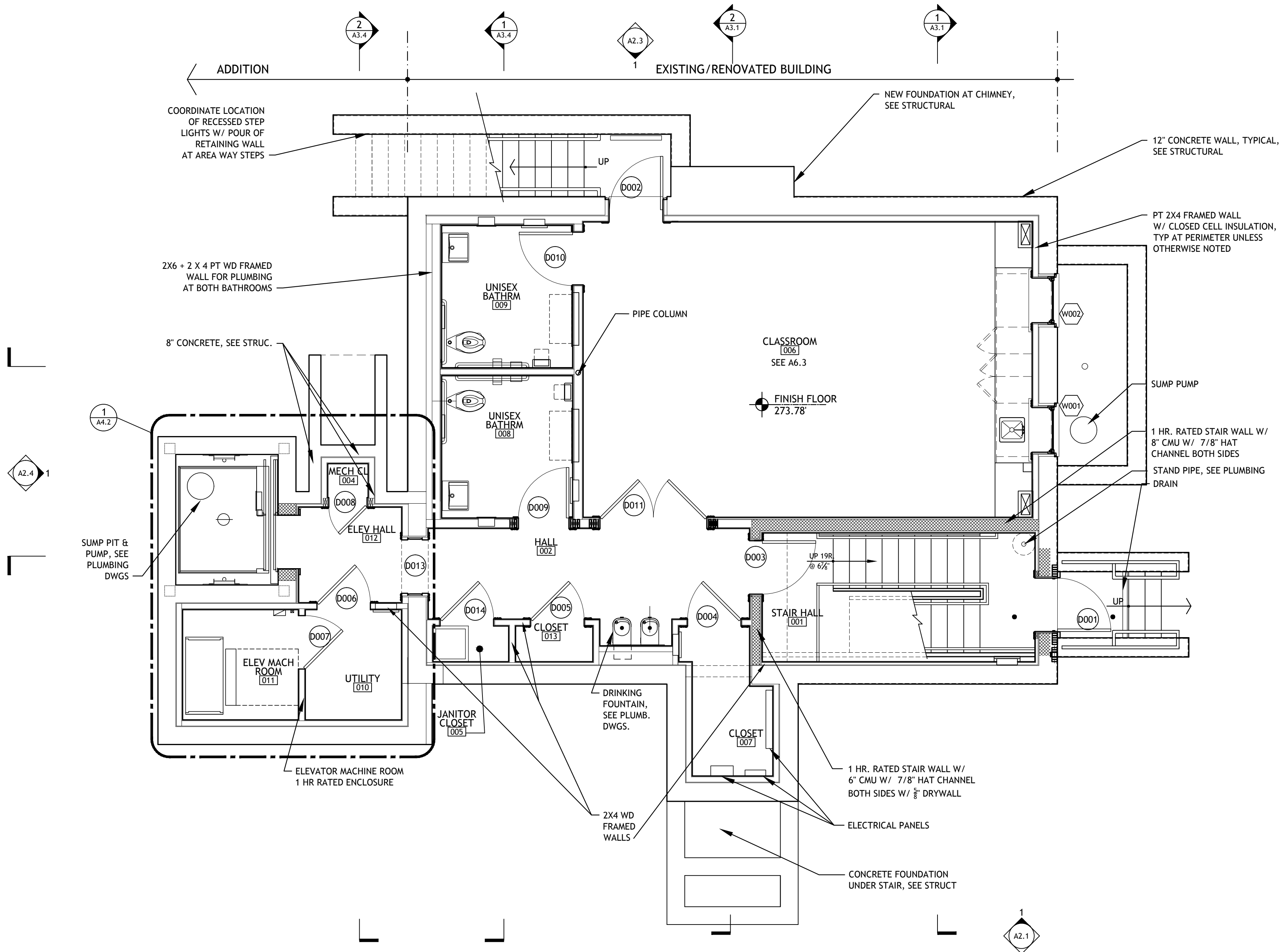
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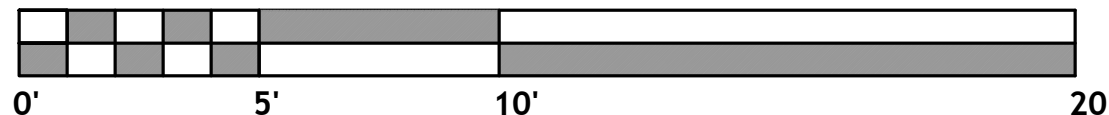
1 BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"

PLAN NORTH

SHEET

A1.0
BASEMENT FLOOR PLAN

GRAPHIC SCALE: 1/4" = 1'-0"



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DRAWING KEY:

EXISTING WALLS &
ASSEMBLIES

NEW WALL &
ASSEMBLIES

1
A1.1

FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

PLAN NORTH

SHEET

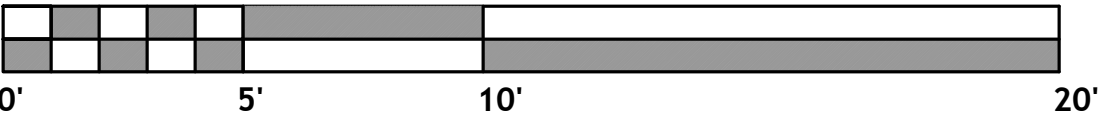
A1.1

FIRST
FLOOR PLAN

GENERAL PLAN NOTES:

1. REFER TO SHEET A1.0 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



- GENERAL NOTE:
- ALL WALLS ARE 2X4 WD FRAMED WALLS, UNLESS OTHERWISE NOTED
 - ALL EXTERIOR WALLS SHALL HAVE CLOSED CELL FOAM INSULATION ADDED TO EXISTING WALLS AND NEW WALLS
 - ALL DUCT ENCLOSURES TO HAVE 1 HR. RATING USING SHAFTWALL CONSTRUCTION



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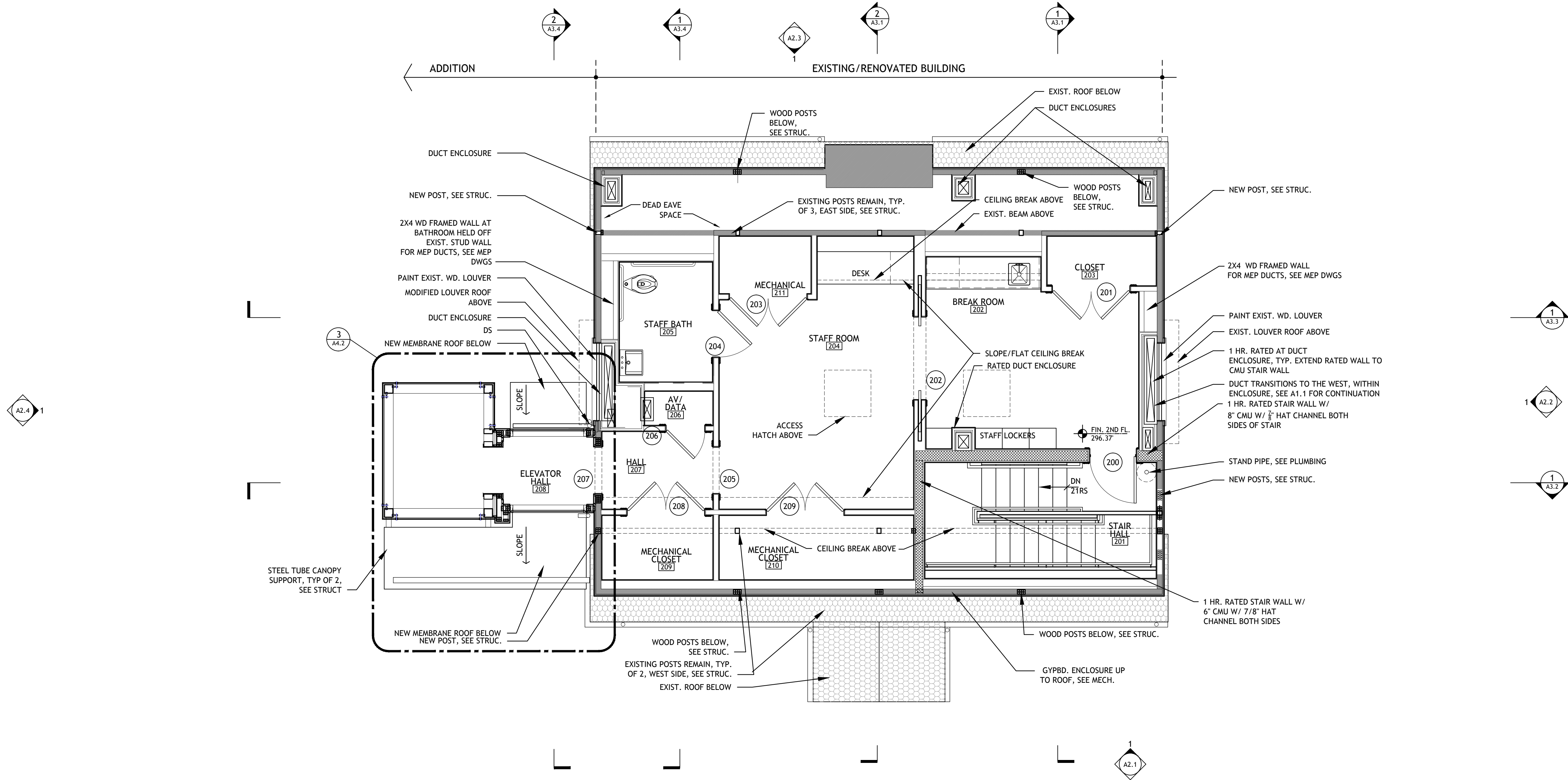
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DRAWING KEY:

EXISTING WALLS & ASSEMBLIES

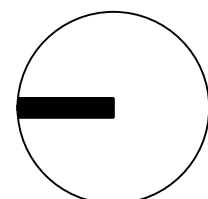
NEW WALL & ASSEMBLIES



SHEET

A1.2

SECOND FLOOR PLAN



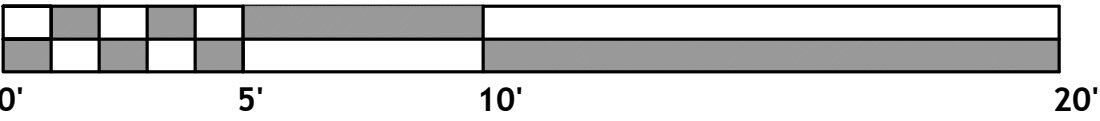
PLAN NORTH

1 SECOND FLOOR PLAN
A1.2 SCALE: 1/4"=1'-0"

GENERAL ROOF PLAN NOTES:

1. REFER TO SHEET A1.0 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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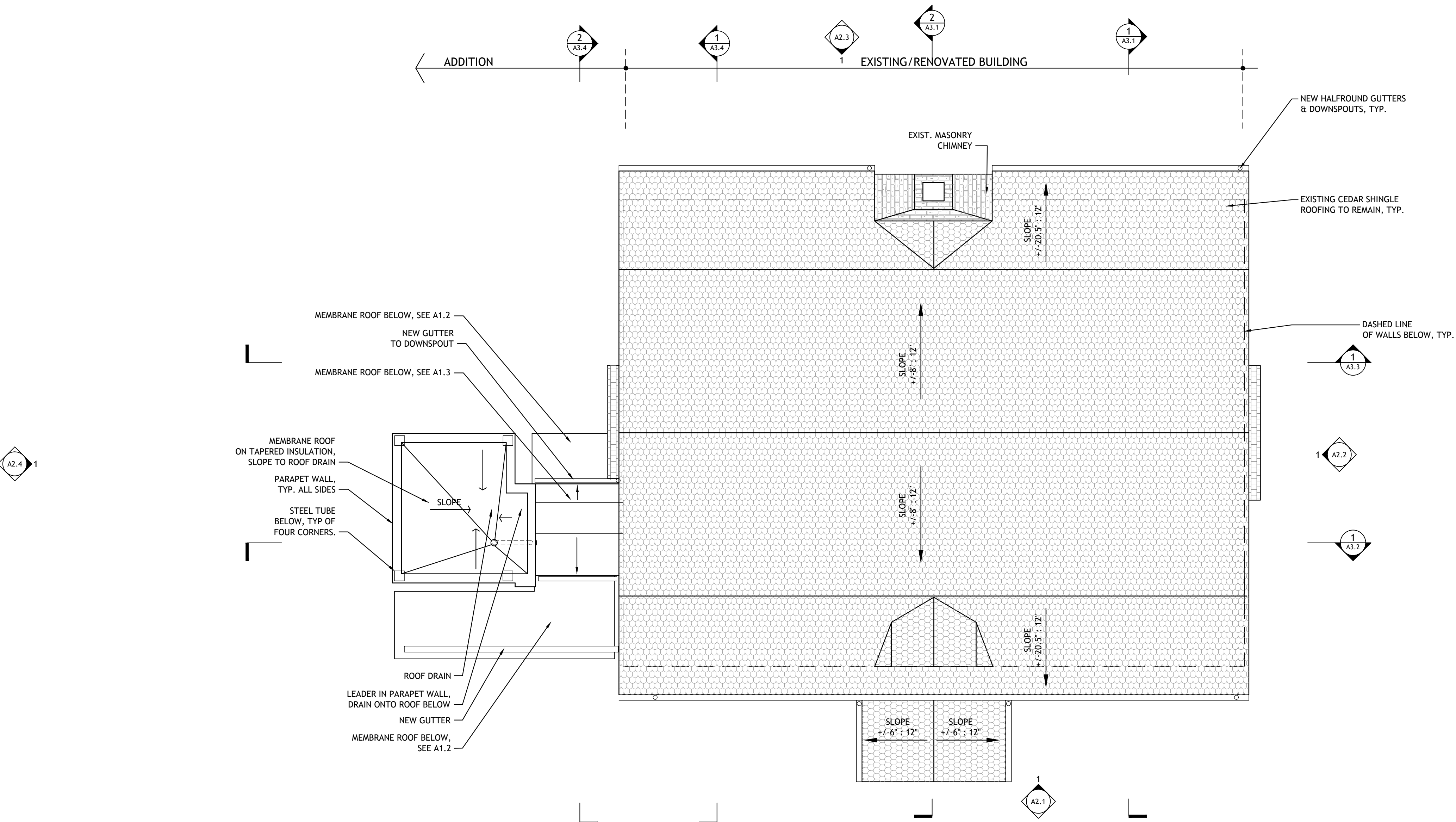
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1 ROOF PLAN
A1.4 SCALE: 1/4"=1'-0"

PLAN NORTH

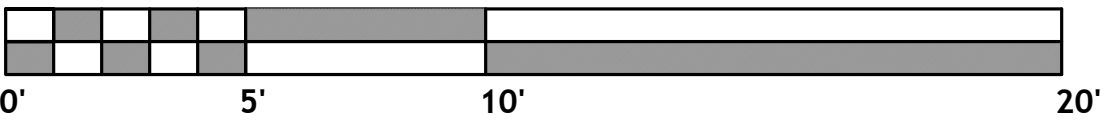
SHEET

A1.4
ROOF PLAN

GENERAL ELEVATION NOTES:

1. GRID DIMENSIONS TO EXTERIOR FACE OF CONC FND, WALLS & FACE OF EXIST. STUD.
2. REFER TO D SERIES DEMOLITION DRAWINGS FOR ADD, INFORM.
3. REFER TO S SERIES STRUCT. DWGS. FOR ADD, INFORM.
4. ALL EXISTING EXTERIOR WOOD TRIM TO BE PAINTED

GRAPHIC SCALE: 1/4" = 1'-0"



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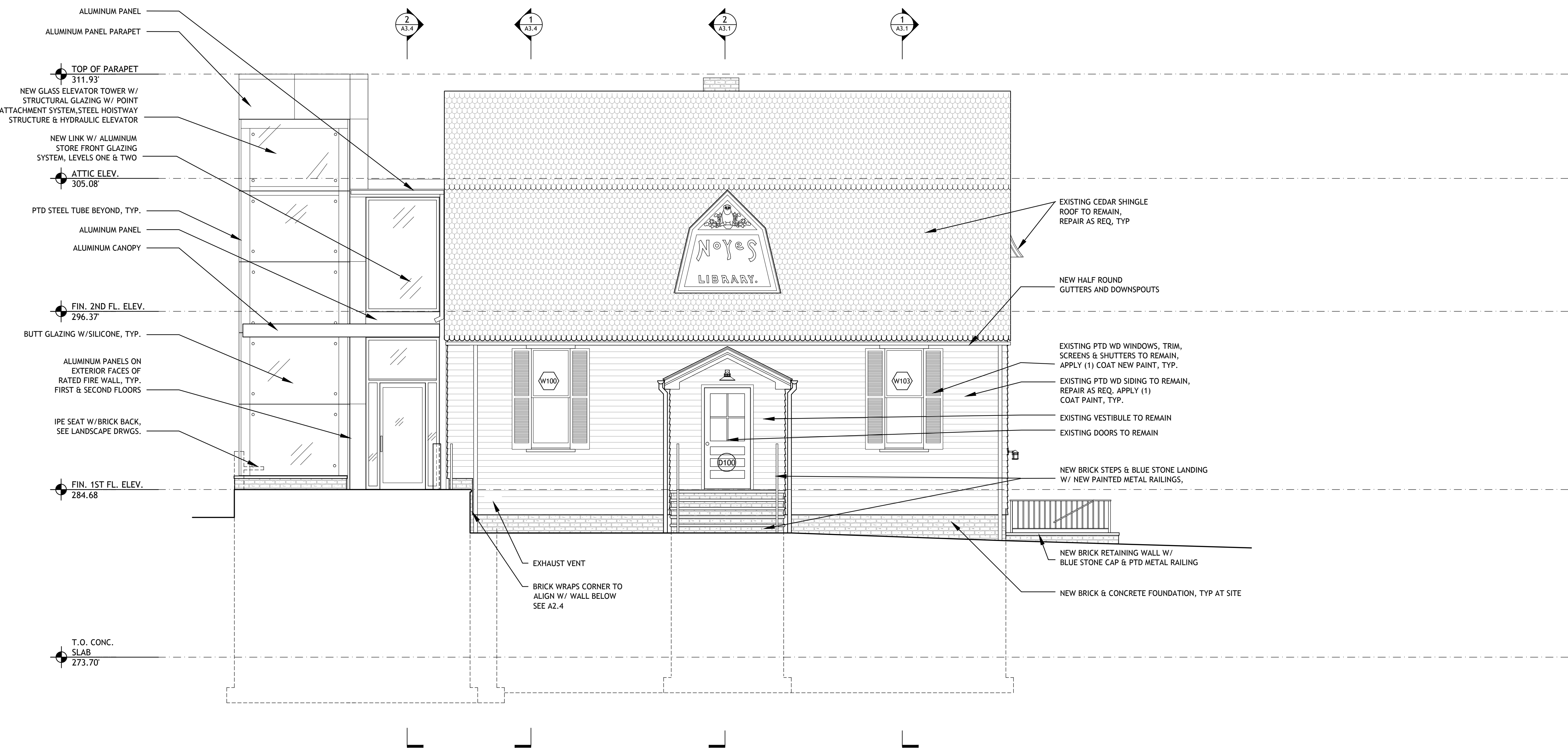
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1 WEST ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

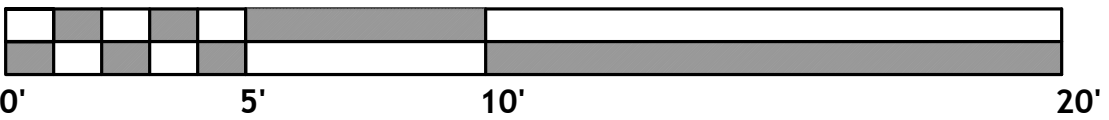
SHEET

A2.1
EXTERIOR
ELEVATIONS

GENERAL ELEVATION NOTES:

1. REFER TO SHEET A2.1 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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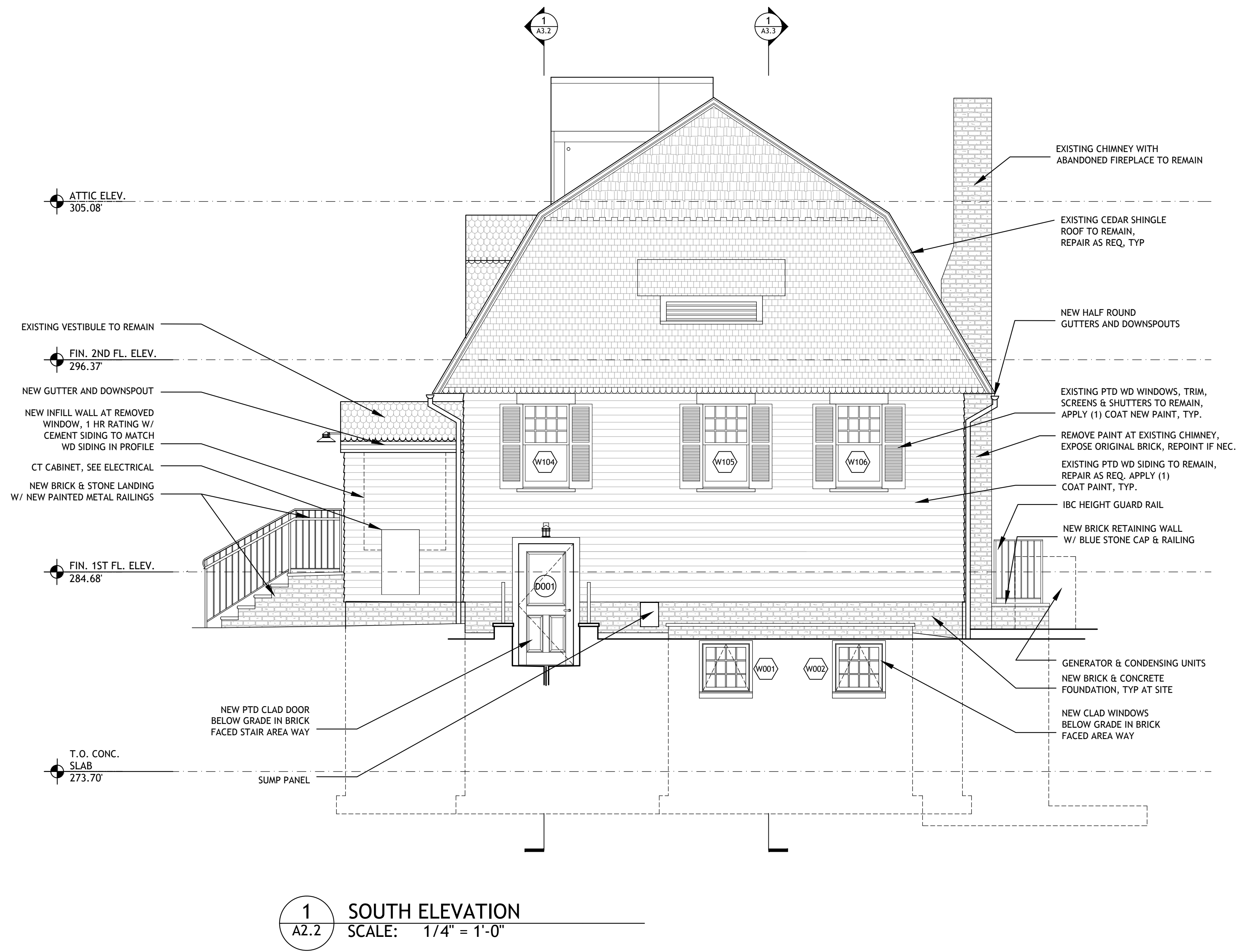
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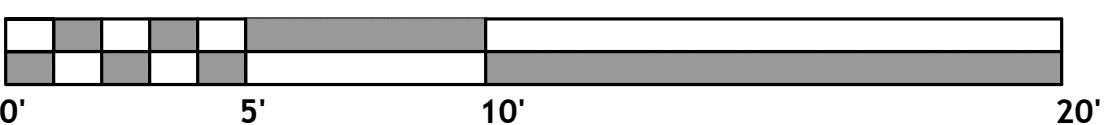
SHEET

A2.2
EXTERIOR
ELEVATIONS

GENERAL ELEVATION NOTES:

1. REFER TO SHEET A2.1 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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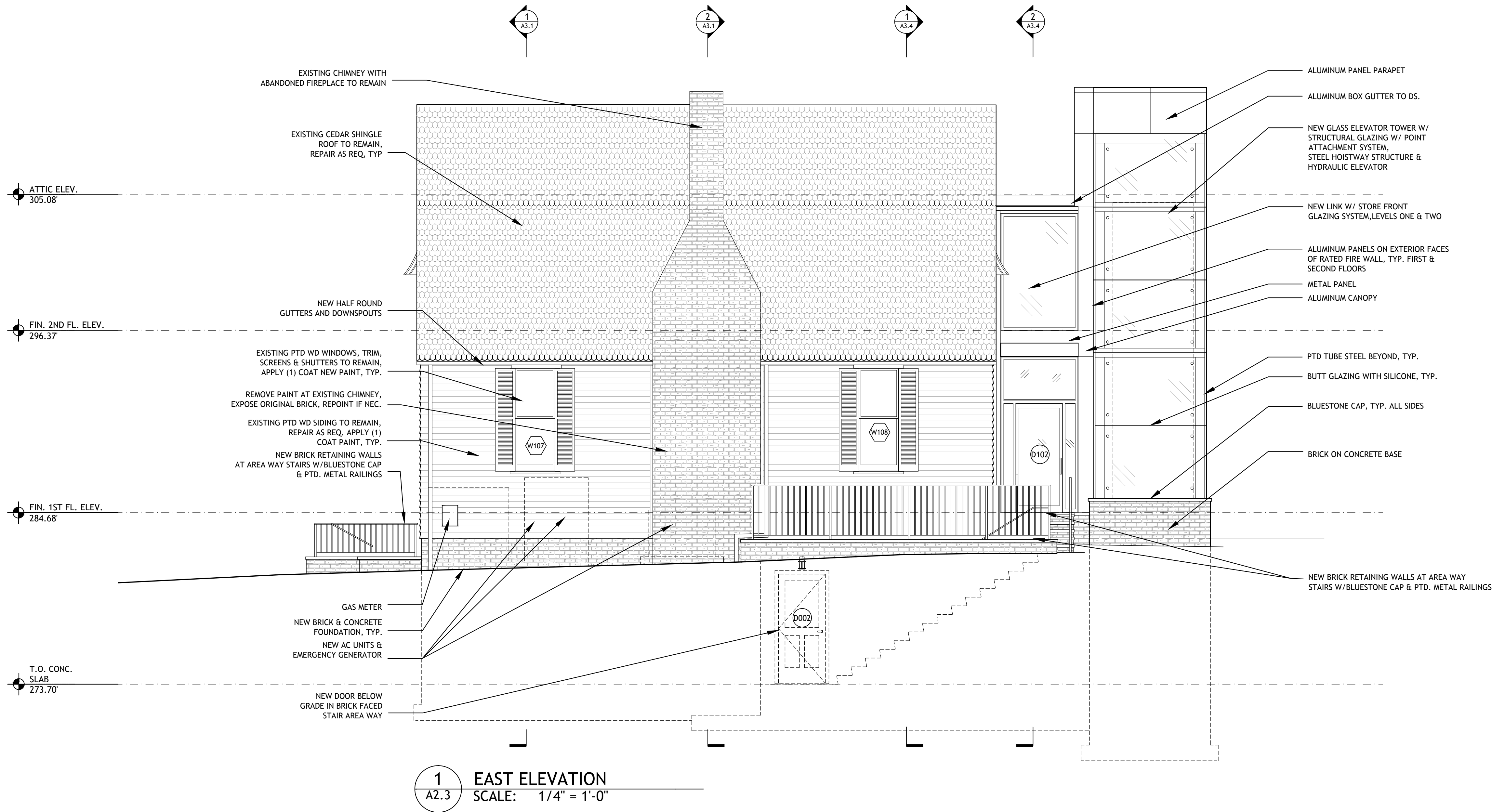
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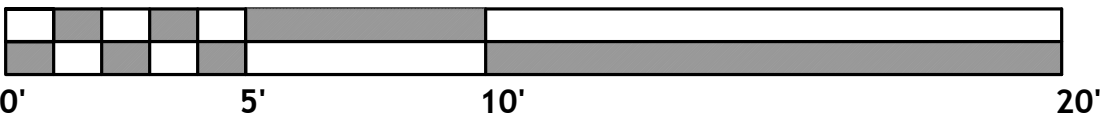
SHEET

A2.3
EXTERIOR
ELEVATIONS

GENERAL ELEVATION NOTES:

1. REFER TO SHEET A2.1 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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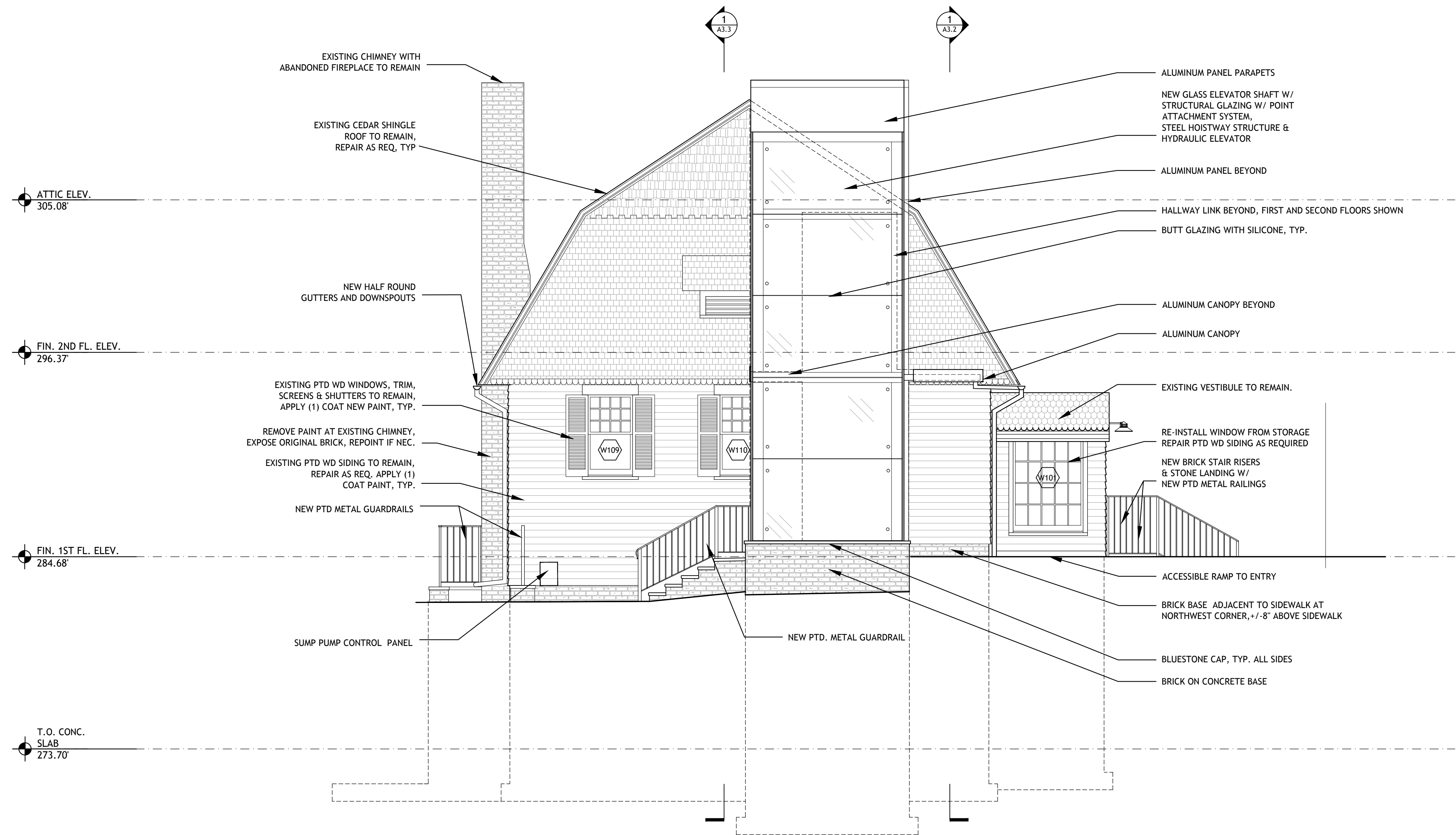
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1 NORTH ELEVATION
A2.4 SCALE: 1/4" = 1'-0"

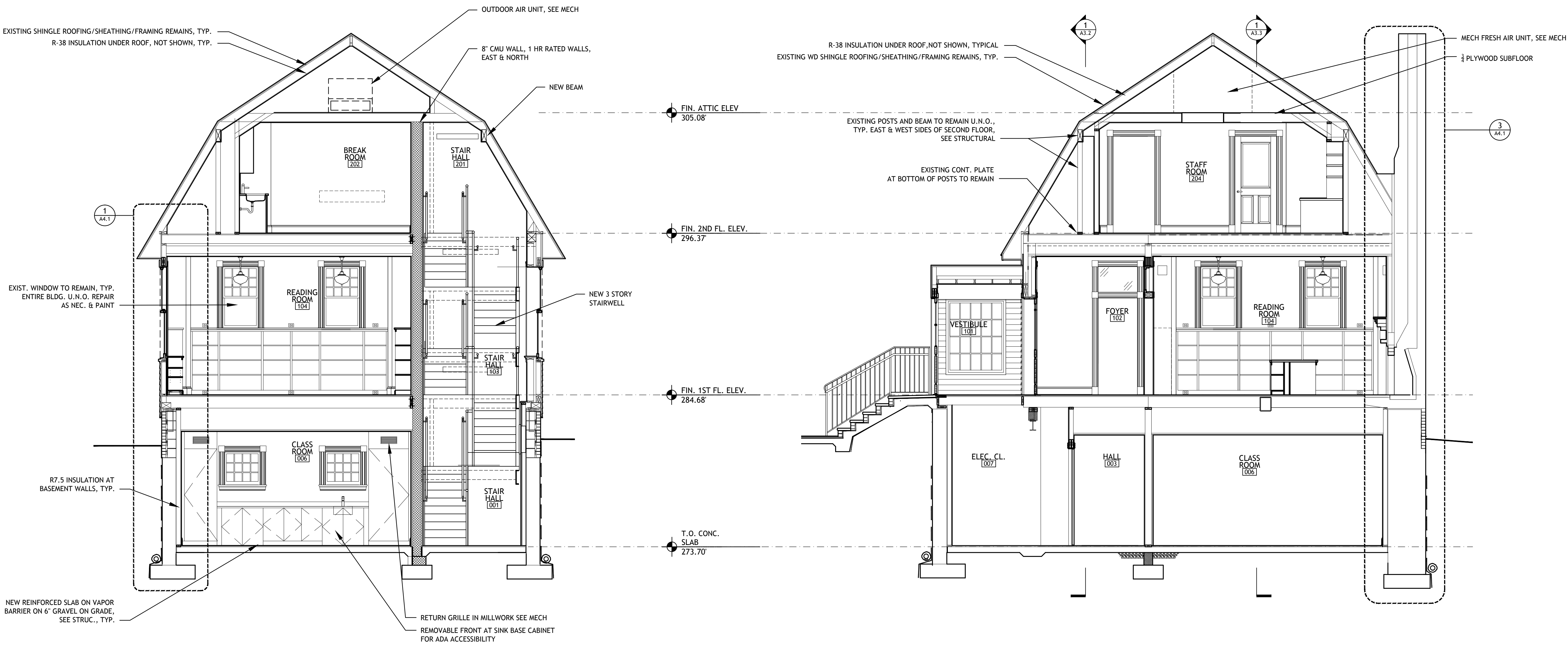
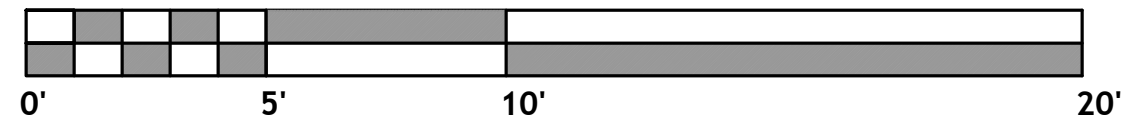
SHEET

A2.4
EXTERIOR
ELEVATIONS

GENERAL SECTION NOTES:

1. GRID DIMENSIONS TO EXTERIOR FACE OF BRICK FND. WALLS & FACE OF EXIST. STUD.
2. DIMENSIONS ARE TO FRAMING, U.N.O., SEE BOXED DIMS. / NOTES FOR CRITICAL WORK POINTS & WALL ASSEMBLY INFORM.
3. REFER TO A1.0 FOR ADDITIONAL GENERAL NOTES & INFORMATION.
4. REFER TO S SERIES STRUCT. DWGS. FOR ADD. INFORM.

GRAPHIC SCALE: 1/4" = 1'-0"



1
A3.1
PROPOSED BUILDING SECTION
SCALE: 1/4" = 1'-0"

2
A3.1
BUILDING SECTION
SCALE: 1/4" = 1'-0"



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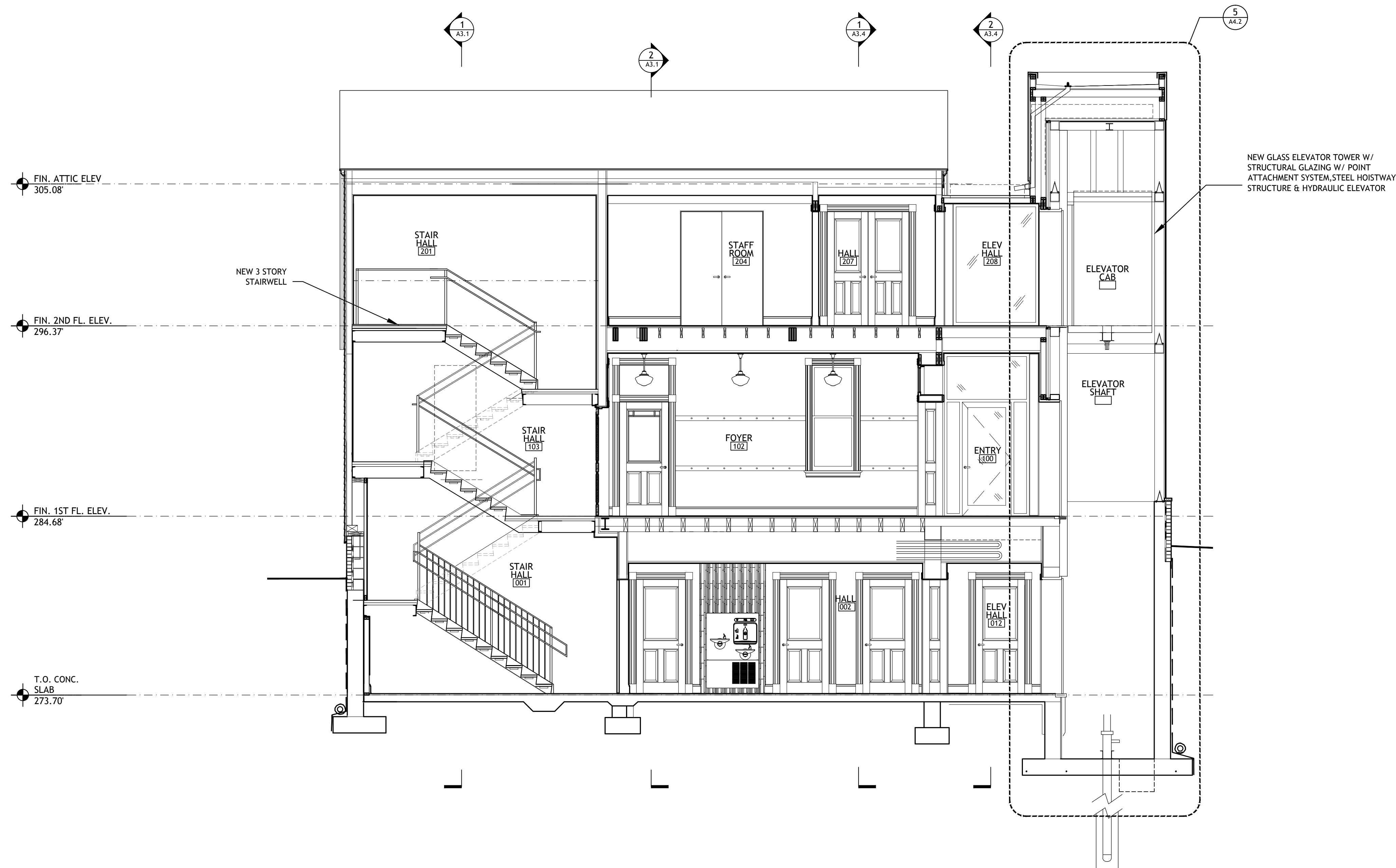
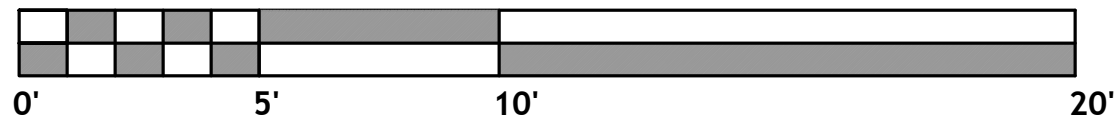
A3.1

BUILDING
SECTIONS

GENERAL SECTION NOTES:

1. REFER TO DRAWING A3.1 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A3.2 SCALE: 1/4" = 1'-0"



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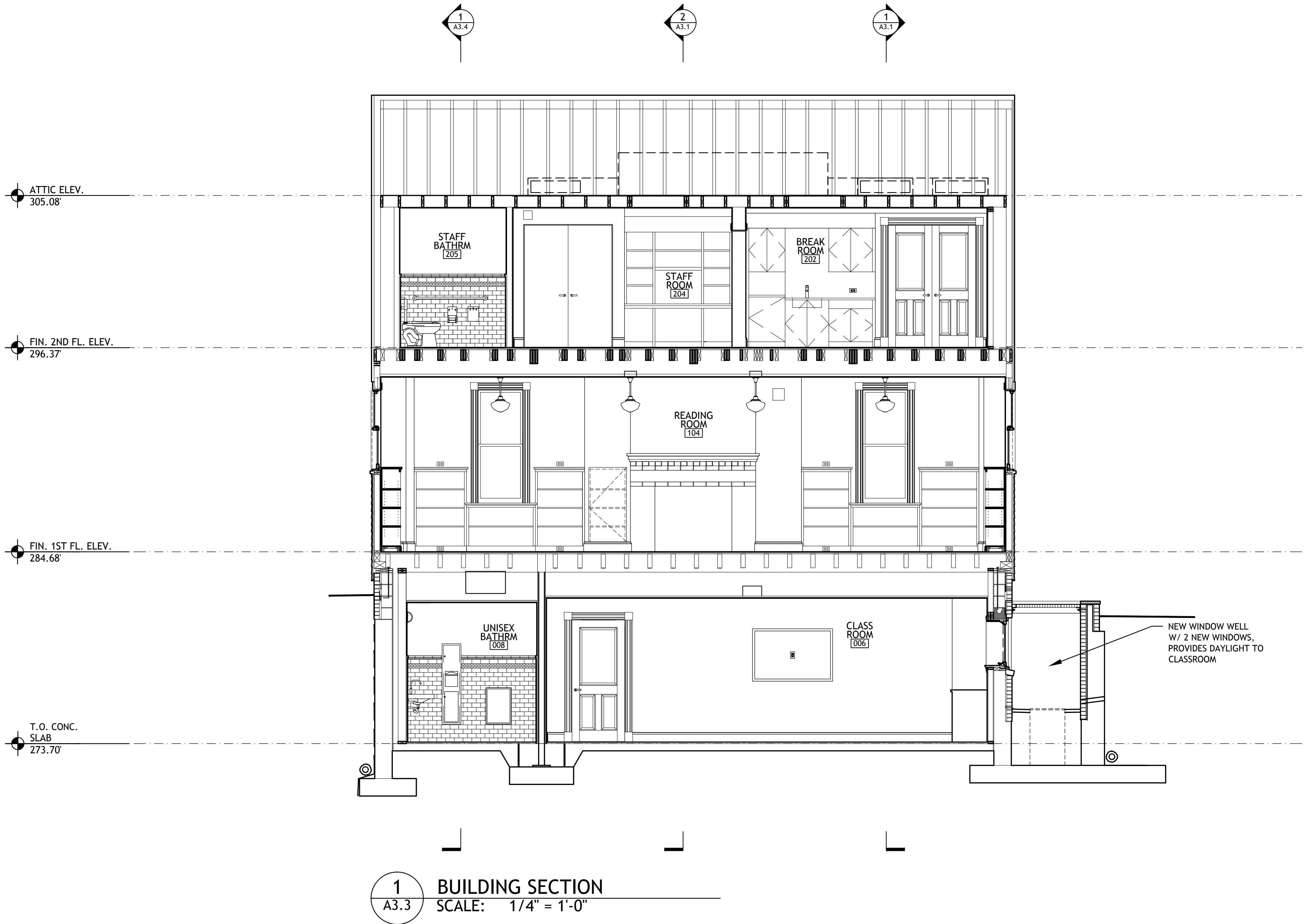
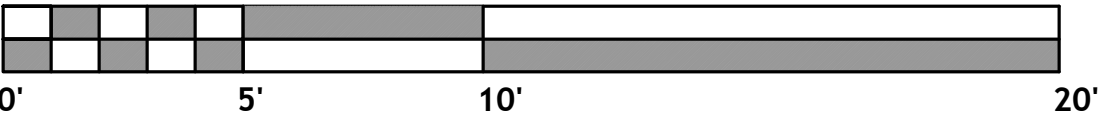
A3.2

BUILDING
SECTION

GENERAL SECTION NOTES:

1. REFER TO DRAWING A3.1 FOR GENERAL NOTES.

GRAPHIC SCALE: 1/4" = 1'-0"



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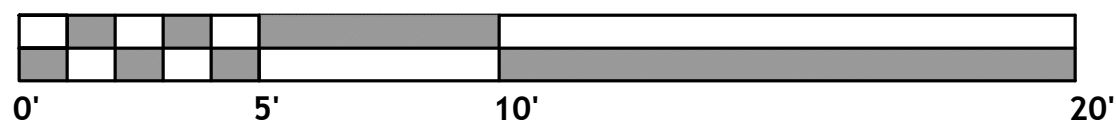
A3.3

BUILDING
SECTION

GENERAL SECTION NOTES:

1. GRID DIMENSIONS TO EXTERIOR FACE OF BRICK FND, WALLS & FACE OF EXIST. STUD.
2. DIMENSIONS ARE TO FRAMING, U.N.O., SEE BOXED DIMS. / NOTES FOR CRITICAL WORK POINTS & WALL ASSEMBLY INFORM.
3. REFER TO A1.0 FOR ADDITIONAL GENERAL NOTES & INFORMATION.
4. REFER TO S SERIES STRUCT. DWGS. FOR ADD. INFORM.

GRAPHIC SCALE: 1/4" = 1'-0"



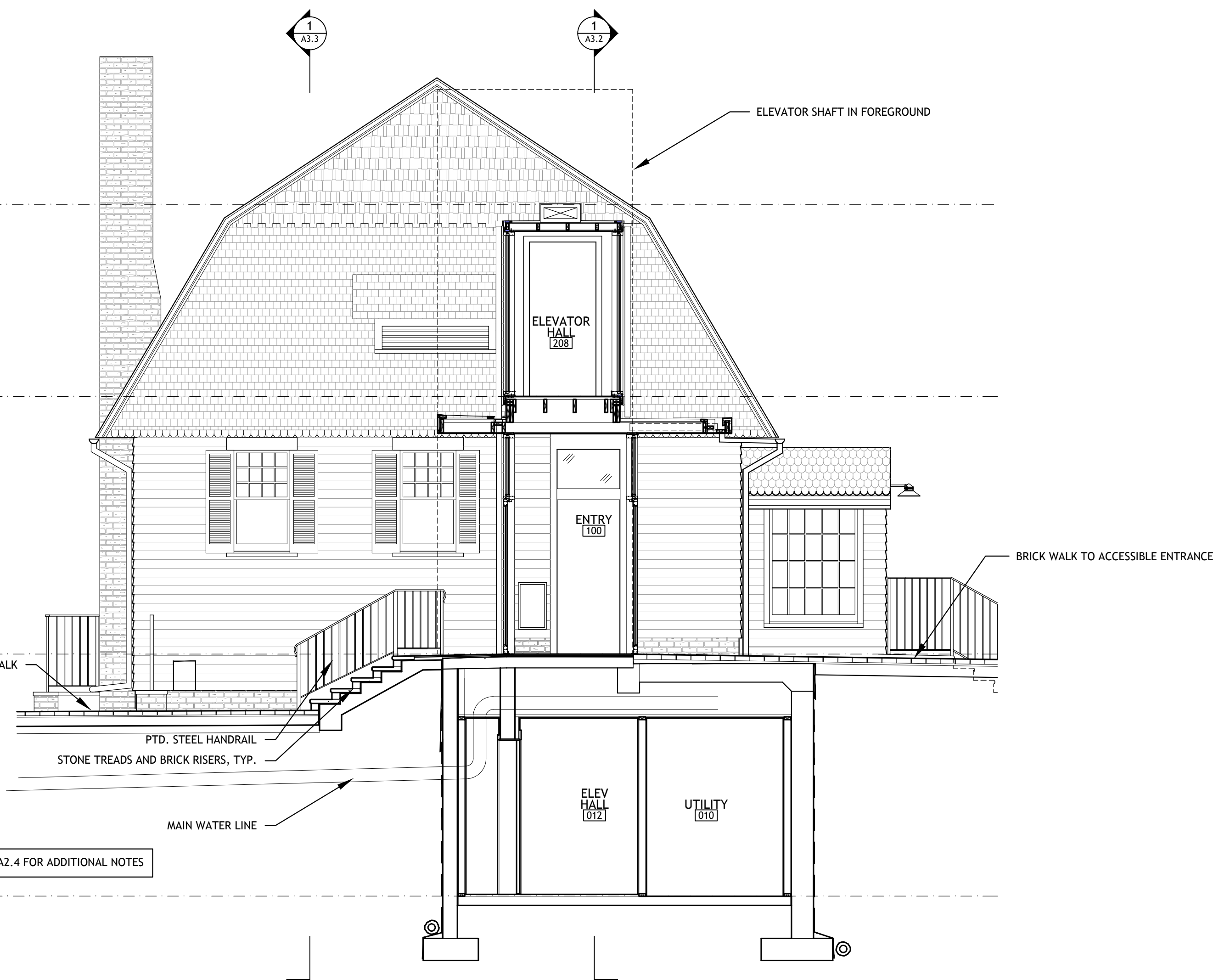
1
A3.4 BUILDING SECTION
SCALE: 1/4" = 1'-0"

FIN. ATTIC ELEV.
305.08'

FIN. 2ND FL. ELEV.
296.37'

FIN. 1ST FL. ELEV.
284.68'

T.O. CONC.
SLAB
273.70'



2
A3.4 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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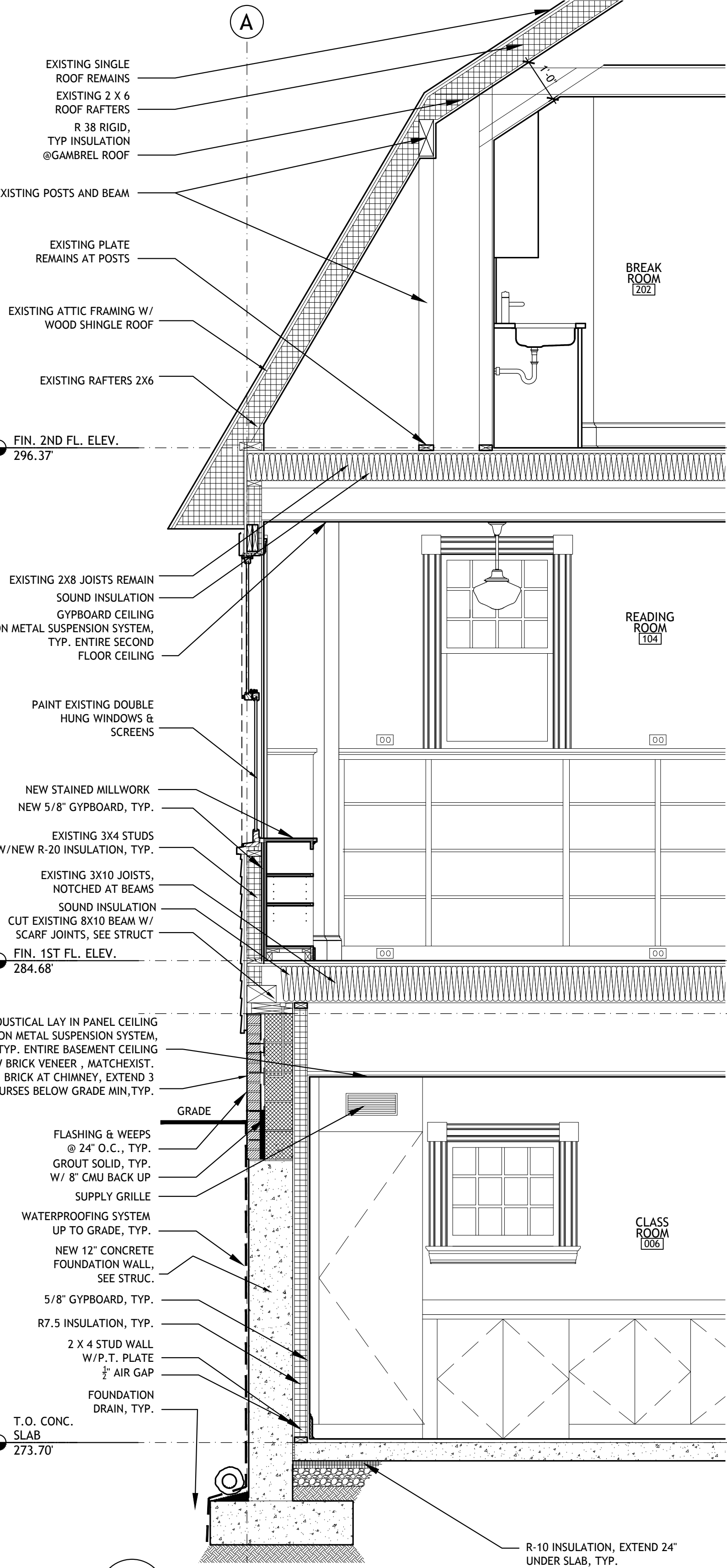
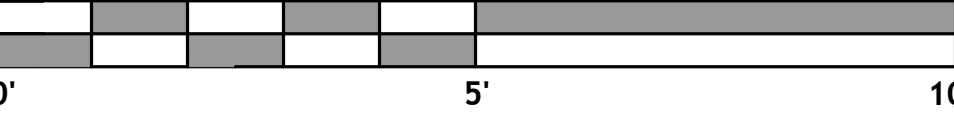
A3.4

BUILDING
SECTIONS

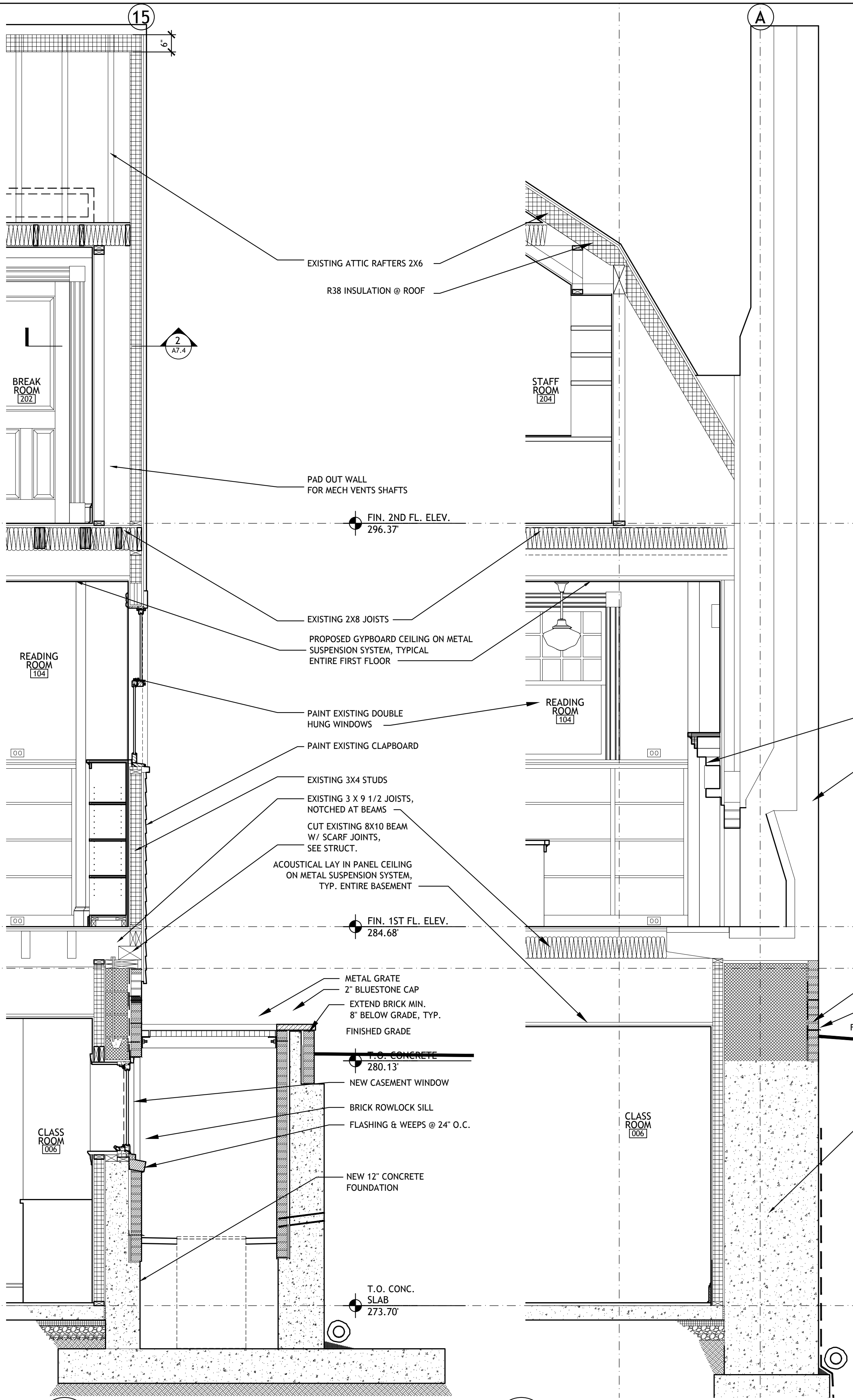
GENERAL WALL SECTION NOTES:

1. GRID DIMENSIONS TO EXTERIOR FACE OF BRICK FND. WALLS & FACE OF EXIST. STUD.
2. DIMENSIONS ARE TO FRAMING, U.N.O., SEE BOXED DIMS. / NOTES FOR CRITICAL WORK POINTS & WALL ASSEMBLY INFORM.
3. REFER TO A3 SERIES BUILDING SECTIONS FOR ADDITIONAL GENERAL NOTES & INFORMATION.
4. REFER TO S SERIES STRUCT. DWGS. FOR ADD. INFORM.

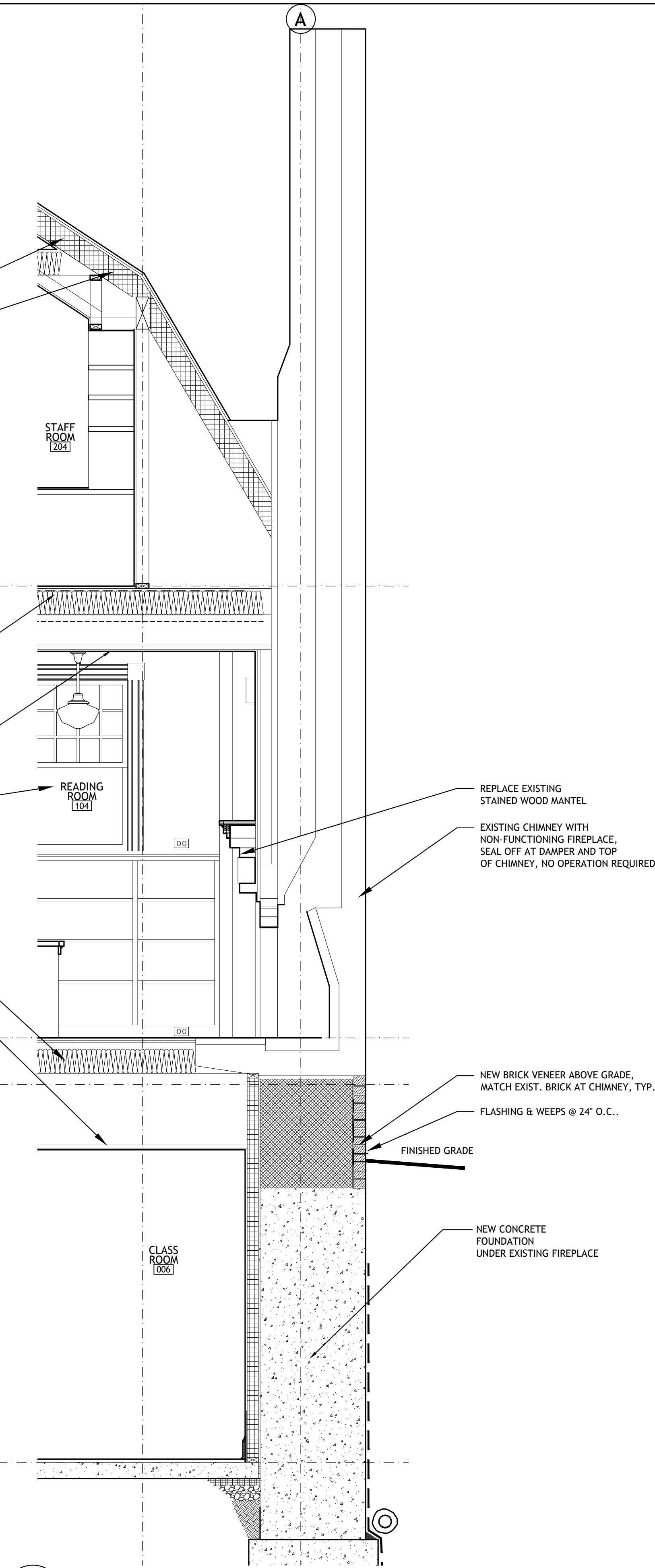
GRAPHIC SCALE: 1/2" = 1'-0"



1 WALL SECTION
A4.1 SCALE: 1/2" = 1'-0"



2 WALL SECTION
A4.1 SCALE: 1/2" = 1'-0"



3 WALL SECTION
A4.1 SCALE: 1/2" = 1'-0"



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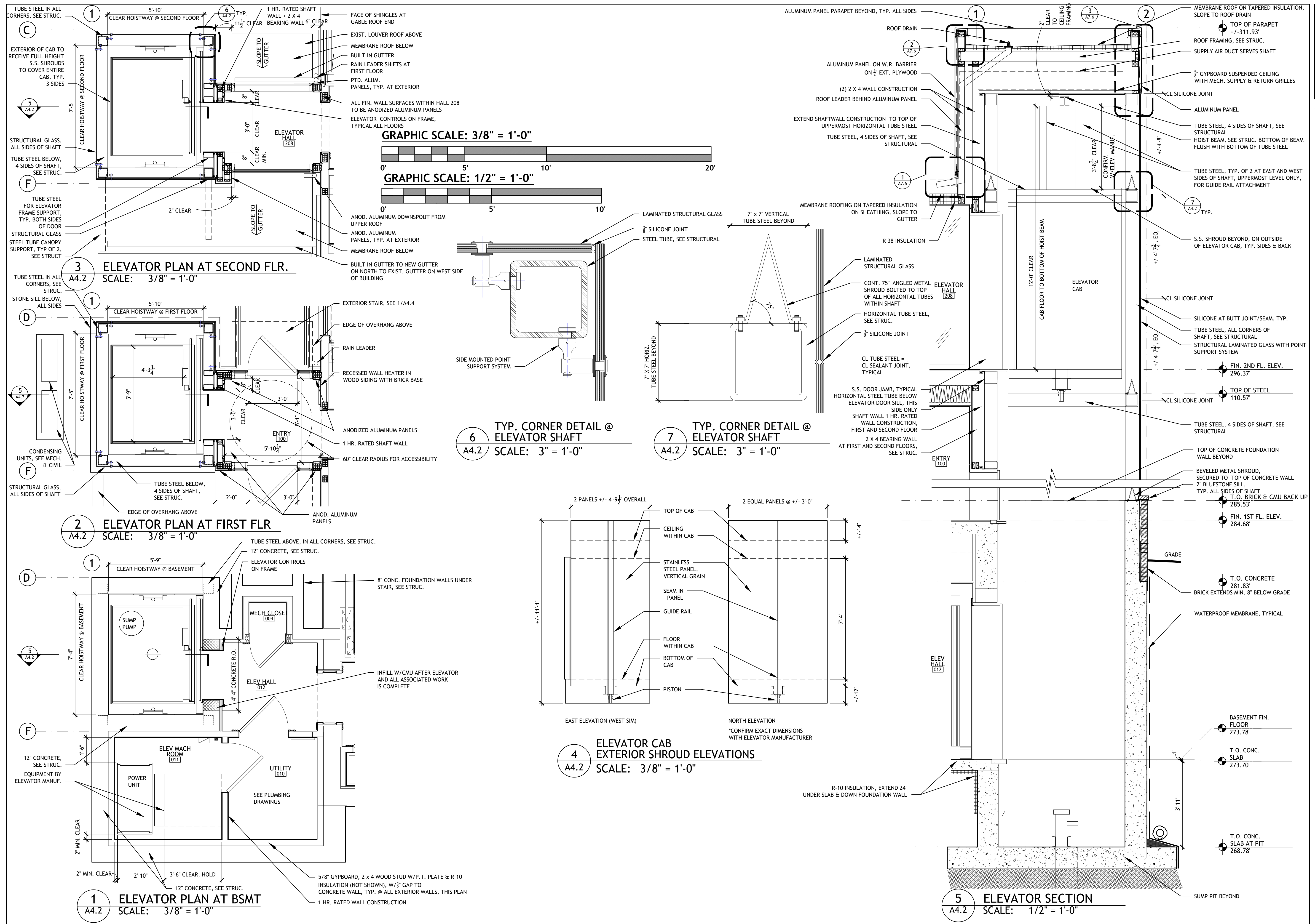
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A4.1
WALL SECTIONS



SHEET

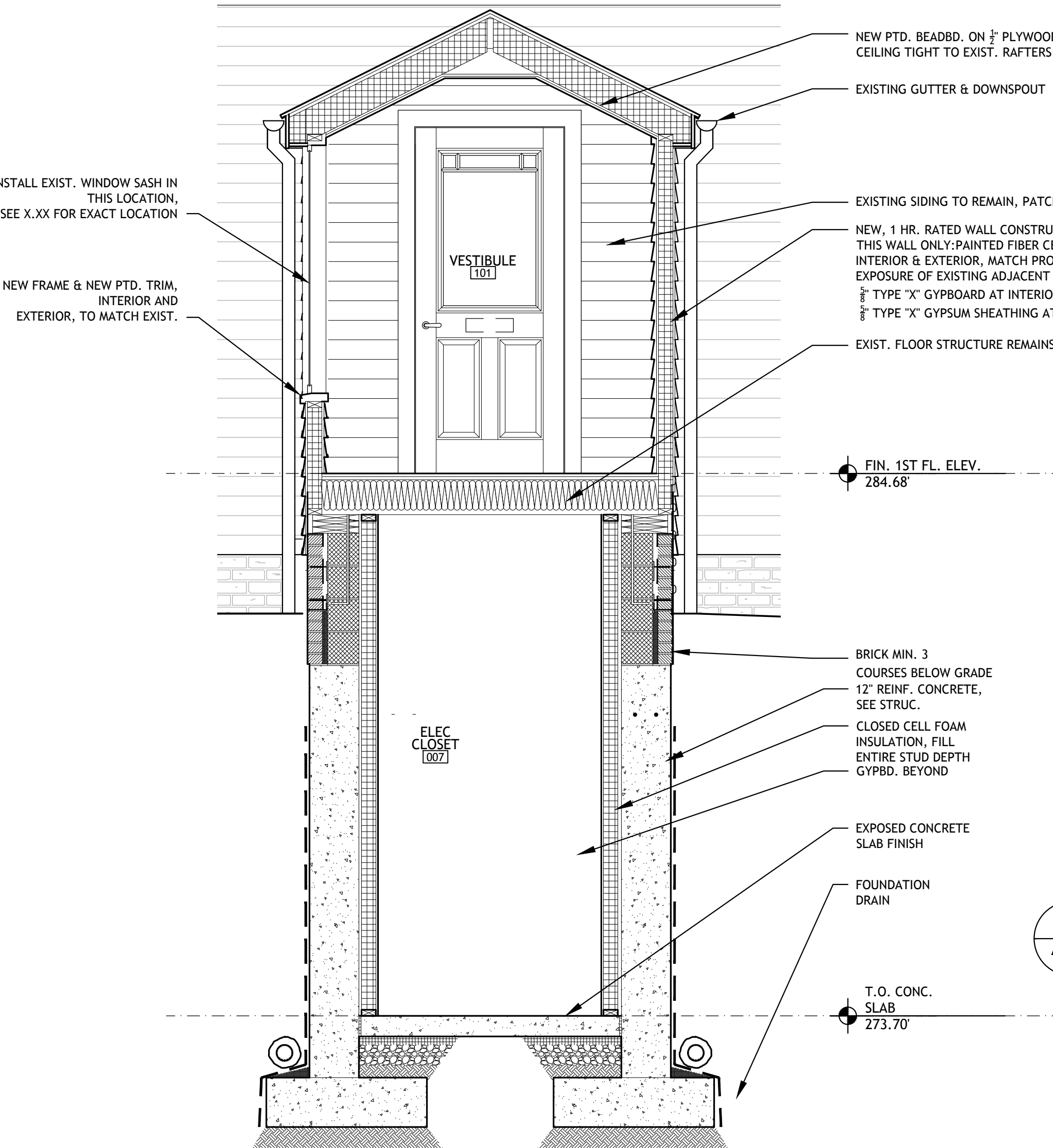
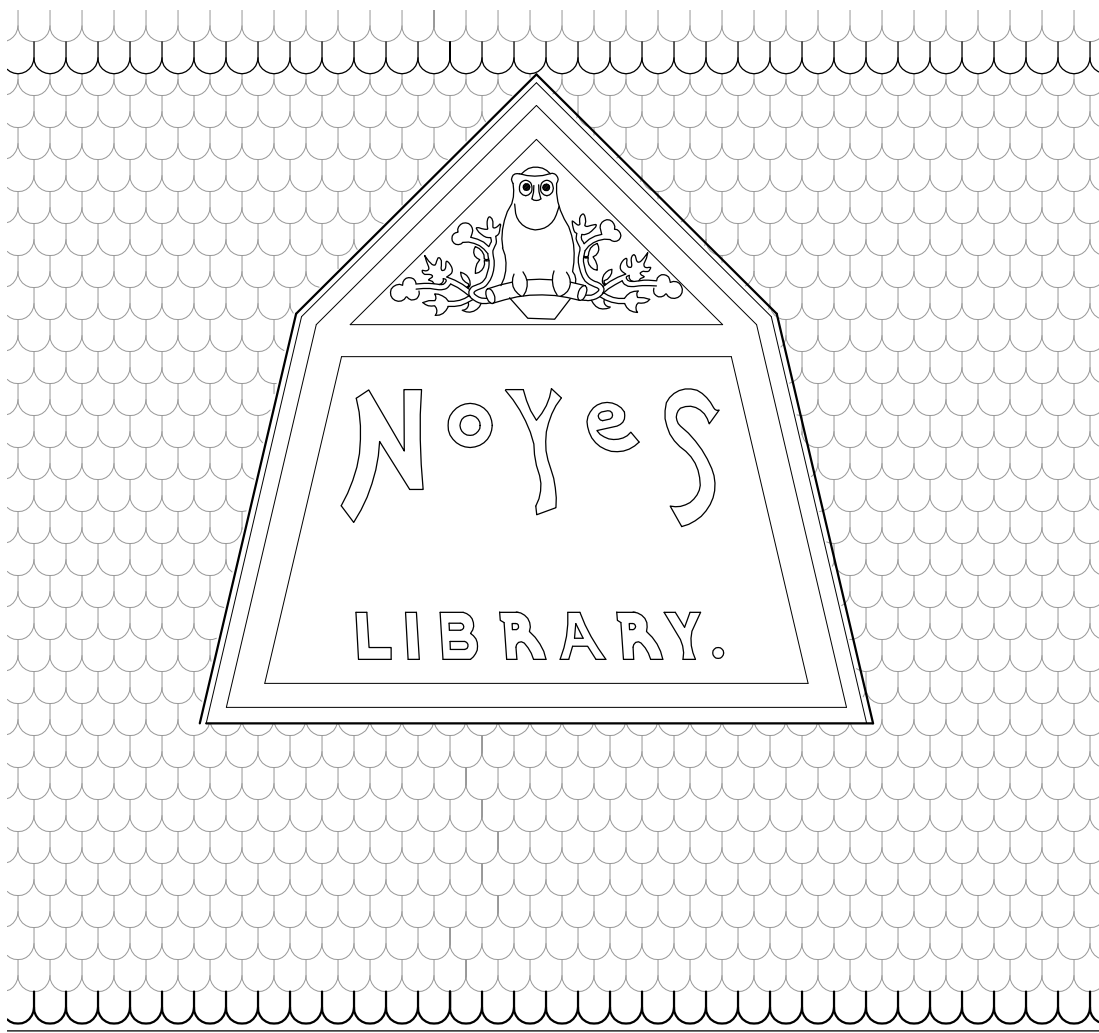
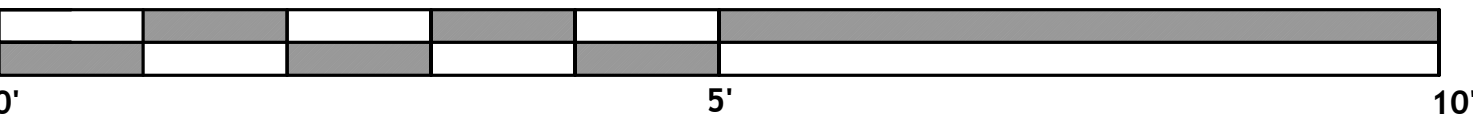
53



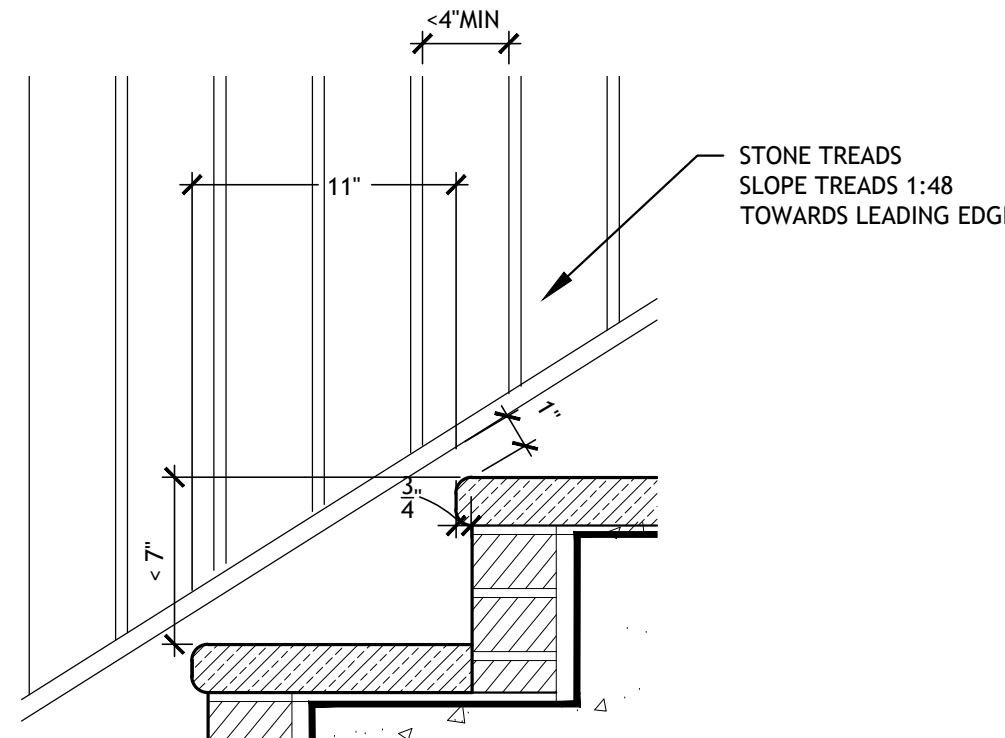
GENERAL WALL SECTION NOTES:

1. REFER TO DRAWING A4.1 FOR WALL SECTION GENERAL NOTES.

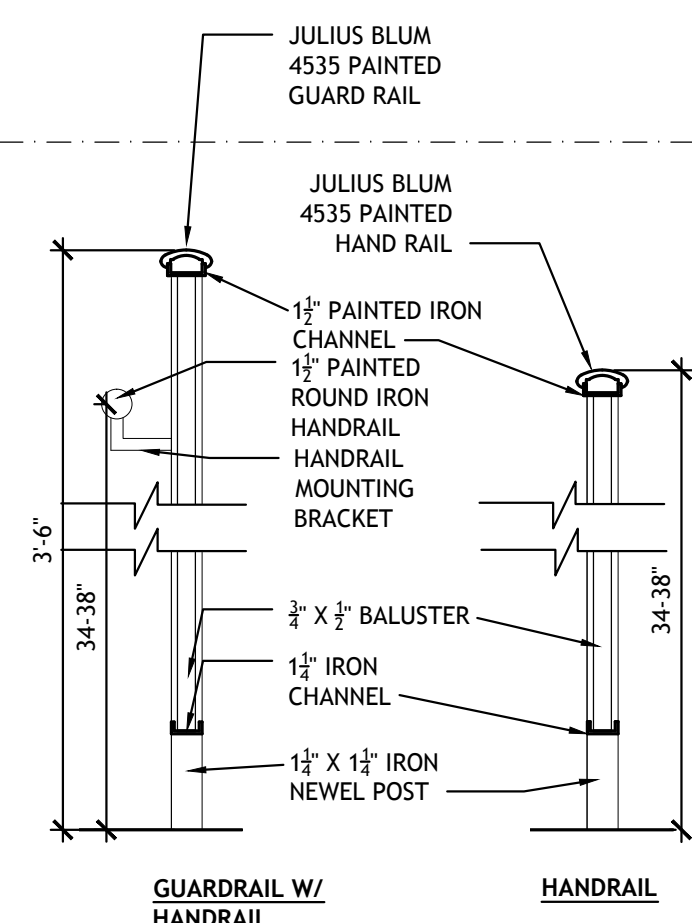
GRAPHIC SCALE: 3/4" = 1'-0"



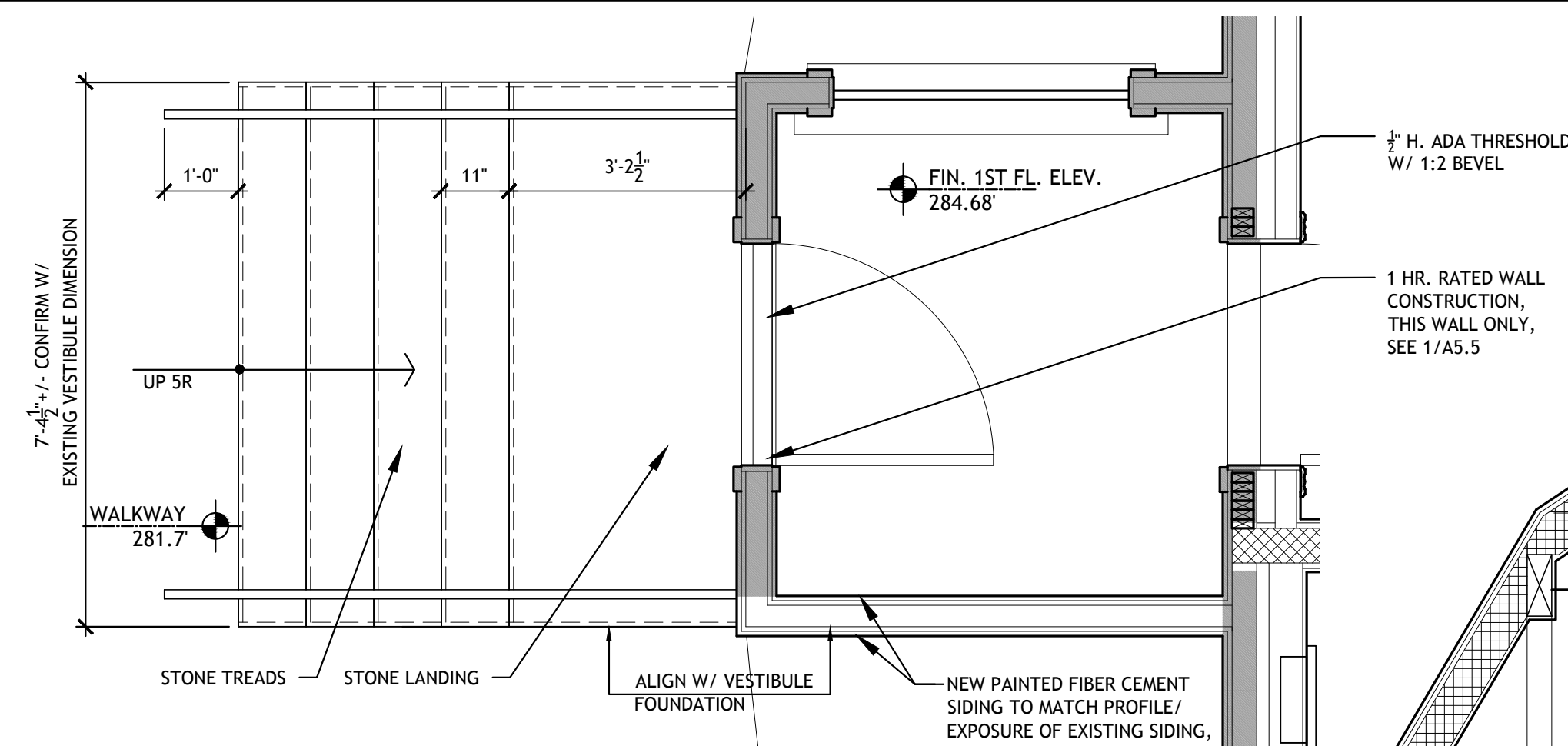
1 WALL/BUILDING SECTION
SCALE: 1/2" = 1'-0"



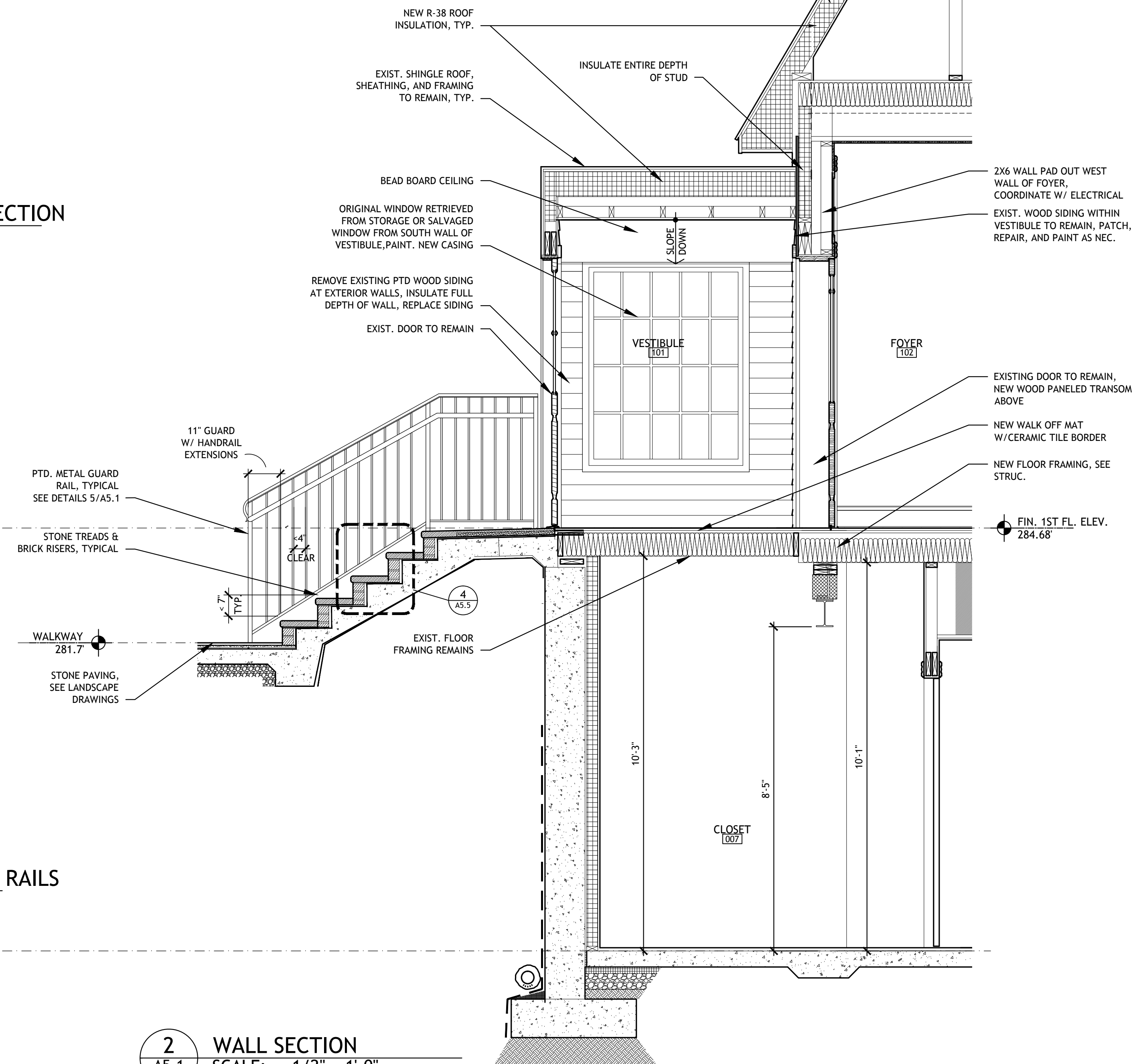
4 TYP. TREAD/RISER SECTION
SCALE: 1 1/2" = 1'-0"



5 TYPICAL EXTERIOR STAIR RAILS
SCALE: 1 1/2" = 1'-0"



3 PLAN DETAIL AT VESIBULE/ STAIR
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



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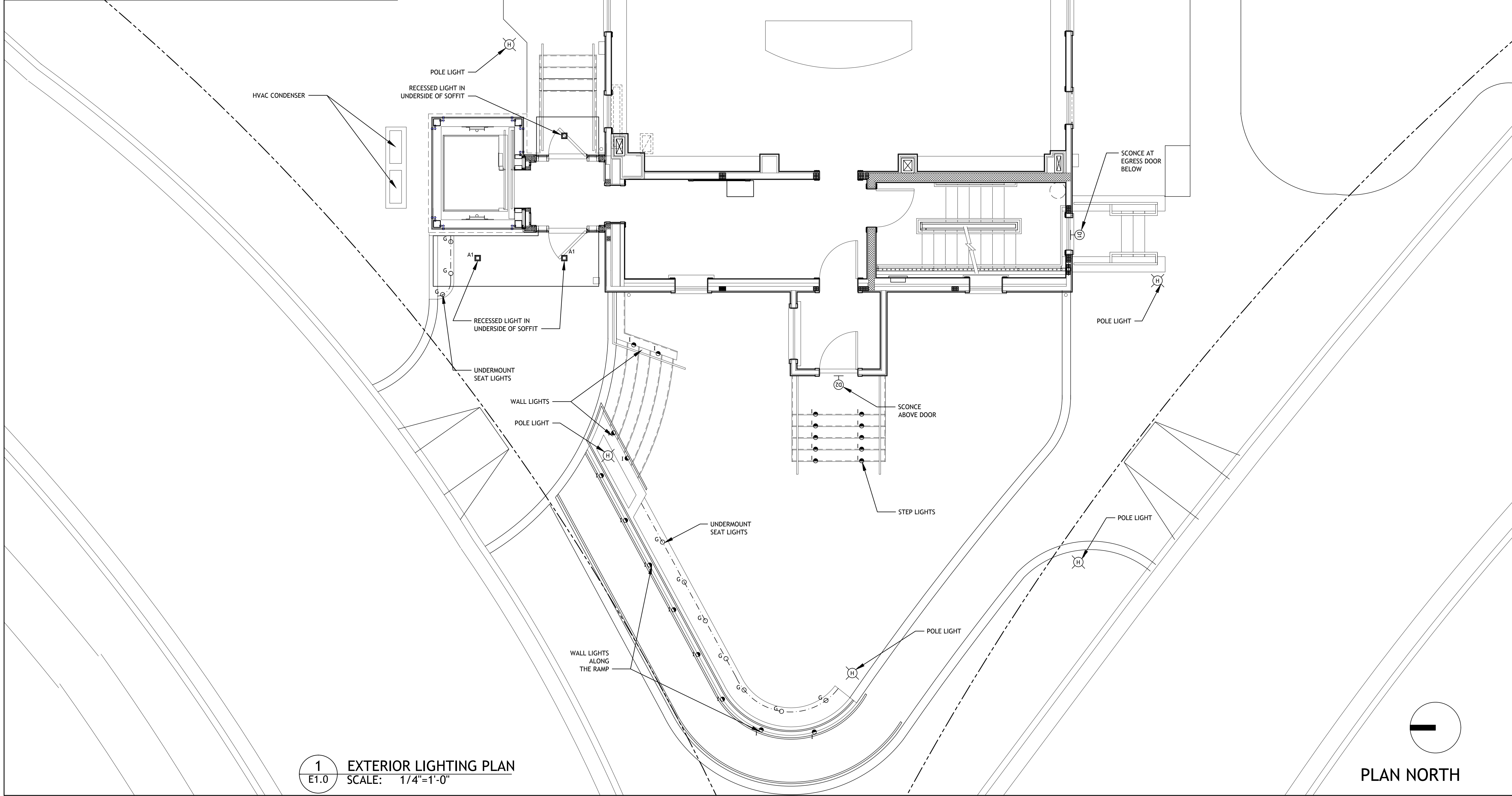
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A5.1
WALL SECTIONS

EXTERIOR ELECTRICAL FIXTURE SCHEDULE										
Issued for Progress DECEMBER 11, 2019										
SYMBOL	TYPE	MANUFACTURER	DESCRIPTION	SIZE	PART NUMBER	LAMP QTY	LAMP WATT	LAMP TYPE	MOUNTING	FINISH
A2	Recessed in Ceiling Soffit	USA	Recessed Light w/ Flat Housing		BASEOF 18C3-302204 40-5 18W 18W-PTC-LMV... (EM) w/ Flat Housing		3000k			White
D1	Exterior Sconce @ Egress Door	Taka	Recessed Wall Mount		C-BWM-SD12-LED-1.6-NAT-B-CRW		3000k	LED		Copper
D2	Exterior Sconce @ Vestibule	Taka	Recessed Wall Mount		C-BWM-LED-1.6-NAT-B-CLR		3000k	LED		Copper
G	Under Bench Lights	Qhan	LED Linear, Fully Encapsulated, Flexible Side Bend		KURV-SW-WSC-WET-30-SO-ENC-TL-S1-BW-WM		3000k	LED		White
H	Exterior Pole Light	Taka	Recessed Pole Mount		C-BPM-SD15-LED-XM-BW-NAT-B-DT-CLR-KT-SD-MT		3000k	LED		Copper
I	Exterior Wall Star Light	WAC	LED One Step Light		VL-LED100-C-BZ		3000k	LED		Copper
I. Electrician Shall Confirm Transformers/ Drivers for LED lighting and Dimming compatibility										
C. Confirm Lengths of LED strip light. Contractor to supply all components for complete and working system										



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E1.1
EXTERIOR LIGHTING PLAN

NOYES LIBRARY PHOTOS



Noyes Children's Library
Image #1



Noyes Children's Library
Image #2



Noyes Children's Library
Image #3



Noyes Children's Library
Image #4



Noyes Children's Library
Image #5



Noyes Children's Library
Image #6



Noyes Children's Library
Image #7

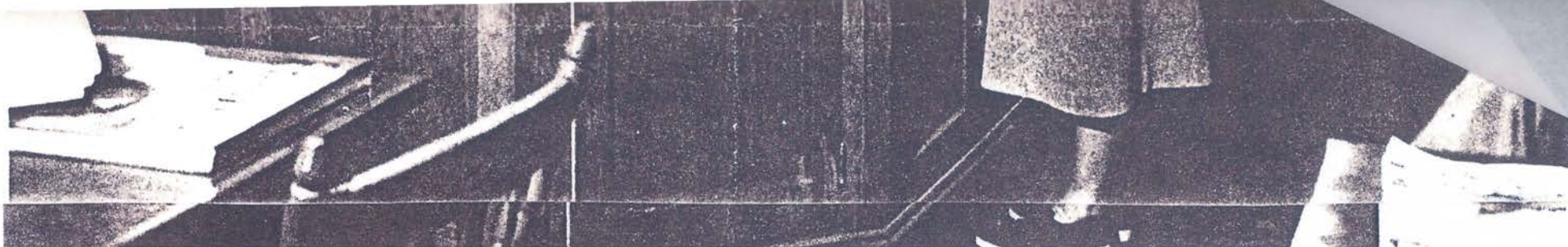
HISTORICAL PHOTOS



Historical Noyes Library
1900 Photo of North West Elevation



Historical Noyes Library
1949 Interior Photo of Reading Room



Miss Helen Clum, acting librarian, issues a book to Mrs. Ashby Lewis at the Noyes Library in Kensington, Md. In the background are Hawthorne Arey and his son Gordon, and at the right is Mrs. Walter B. Wells, director of the Kensington Sketch Class. Art works by members of the class, on display in the library, may be rented or bought.

Community Library Oldest in Area



The library's building, long a Kensington landmark. It stands at Montgomery avenue and Carroll place.
Star Staff Photos.

OLDEST public library in the Washington area (other than the Library of Congress), the Noyes Library in Kensington, Md., plays an important role in community life there. Members of the Kensington Woman's Club serve as volunteer library workers two days a week. The library serves as an art center, too; its walls are decorated with a continuing exhibit of work by the Kensington Sketch Class.

The library was started with a gift of 500 books and \$500 from Crosby S. Noyes, first editor of *The Star*. The Noyes Library Association, incor-

porated late in 1892, was given its building by Brainard H. Warner, founder of Kensington, and the library opened January 10, 1893.

It is open from 7 to 9 p.m., Monday through Thursday; from 10 to 12 a.m. Friday and from 3 to 5 p.m. Saturday. Any one is free to read or study in the library during those hours, but only subscribers—who pay \$2 a year—may take books out. The library is supported by these subscriptions, by the income from a \$5,000 trust fund left by Mr. Noyes and by a yearly contribution of about \$200 from the town.

12/25/1949, Evening Star



1952

WASHINGTON SUBURBAN SANITARY COMMISSION

CONTRACT NO. 1255—W&S
WATER MAIN AND SEWER
CONSTRUCTION

Sealed proposals for construct-
ing in Ogden Road and Ridgefield
Road, Springfield Subdivision,
Montgomery County, approximate-
ly 200 feet of 6-inch, 125 feet of
8-inch and 580 feet of 12-inch
water mains, 100 feet of 6-inch
and 495 feet of 8-inch plain con-
crete or vitrified pipe sewers, and
335 feet of sewer house connec-
tions, will be received at the office
of the Washington Suburban San-
itary Commission, Hamilton Street,
Hyattsville, Maryland, until Mon-
day, May 11, 1953 at 2:00 P.M.,
Eastern Daylight Saving Time, at
which place and time they will be
publicly opened and read.

Plans and specifications may be
obtained from the office of the
Chief Engineer of the Commission,
Hyattsville, Maryland, upon de-
posit of \$5.00, which deposit will
be returned to bidders or to those
returning plans and specifications
in good condition.

Raymond W. Bellamy,
Chairman
L. S. Ray
J. Norman Ager
Commissioners

Attest:
James B. Parkhill
Secretary-Treasurer

R-5-8

NOTICE TO CREDITORS

NOTICE IS HEREBY GIVEN, that the
Subscriber of Montgomery County, has ob-
tained from the Orphans' Court of Mont-
gomery County, in Maryland, Letters
of Administration on the personal Estate
of

LILLIAN MAY DEAN
late of Montgomery County, deceased. All
persons having Claims against the de-

ceased are hereby warned to exhibit the
same, with vouchers thereof, legally au-
thenticated to the subscriber on or before
the 20th day of September next: they may
otherwise by law be excluded from all
benefit of said Estate. All persons indebted
to said Estate are requested to make im-
mediate payment.

Given under my hand this 10th day of
March in the year of our Lord, one thou-
sand nine hundred and fifty-three.

William A. Volkman
7347 Wisconsin Ave.
Bethesda, Md.

R-5-29

PROPOSED BUDGET FOR TOWN OF KENSINGTON, MARYLAND

1953 - 1954

Estimated Revenues

General Fund:

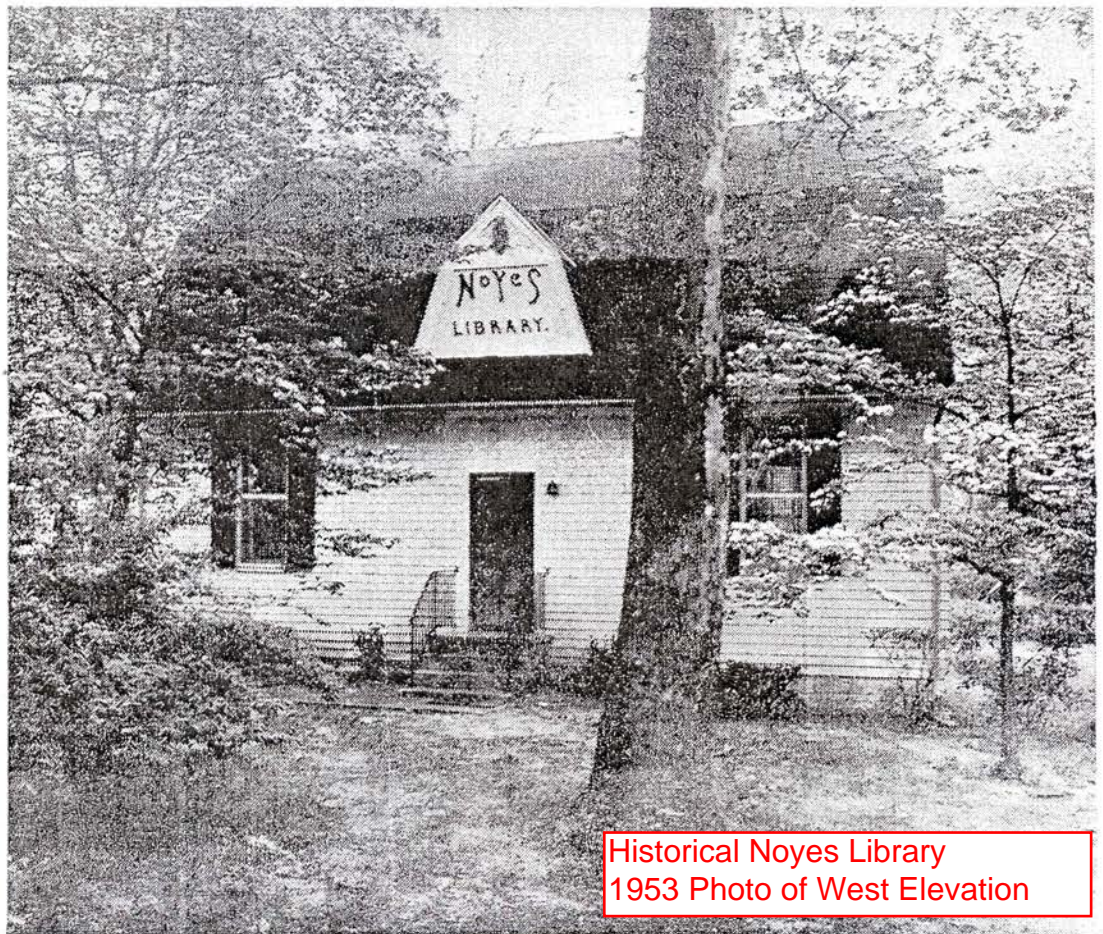
Real Estate Taxes	\$15,350.00
Income Tax	15,000.00
Corporation Taxes	1,500.00
Traders Licenses	1,000.00
Public Utilities	500.00
Bank Shares	800.00
Franchise Taxes	150.00
Admissions Taxes	25.00
Miscellaneous Taxes & Fees	100.00
	<hr/>
	\$34,425.00

Street Fund:

Gasoline & Vehicle Tax	\$ 6,000.00
Pari Mutual	1,600.00
	<hr/>
	\$ 7,600.00

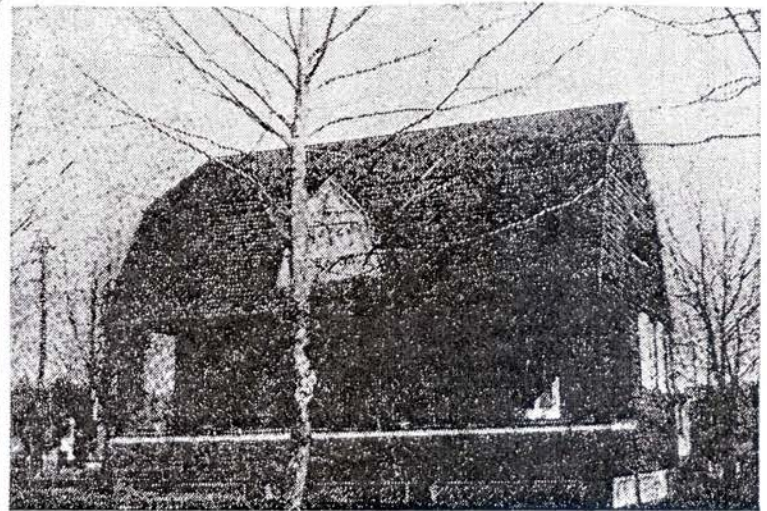
Trash Fund:

Trash & Garbage Assessments	\$ 6,500.00
Commercial Trash Collection	1,475.00



Historical Noyes Library
1953 Photo of West Elevation

The Noyes Library today—renovated and restored by the County Library Board and partially land-
scaped by the Garden Section of the Woman's Community Club.



The Noyes Library as it appeared in 1906.

Renovated Noyes Building State Librarians To Tour

By Mildred B. Harman

The Noyes Library in Kensington will be a shining example of a renovated public library when delegates to the Maryland Library Association will make it one of the important stops on their tour of libraries in Montgomery County tomorrow morning.

The Maryland Library Association is holding its state or spring convention at the Woman's Club in Chevy Chase and from 10:30 to

trance has been changed to its original place, the building has been painted, and which the past two months the grounds have been drained, filled in and the Garden Section of the Woman's Community Club of Kensington has started a long range program of landscaping, which will harmonize with the site and with the general character of the town.

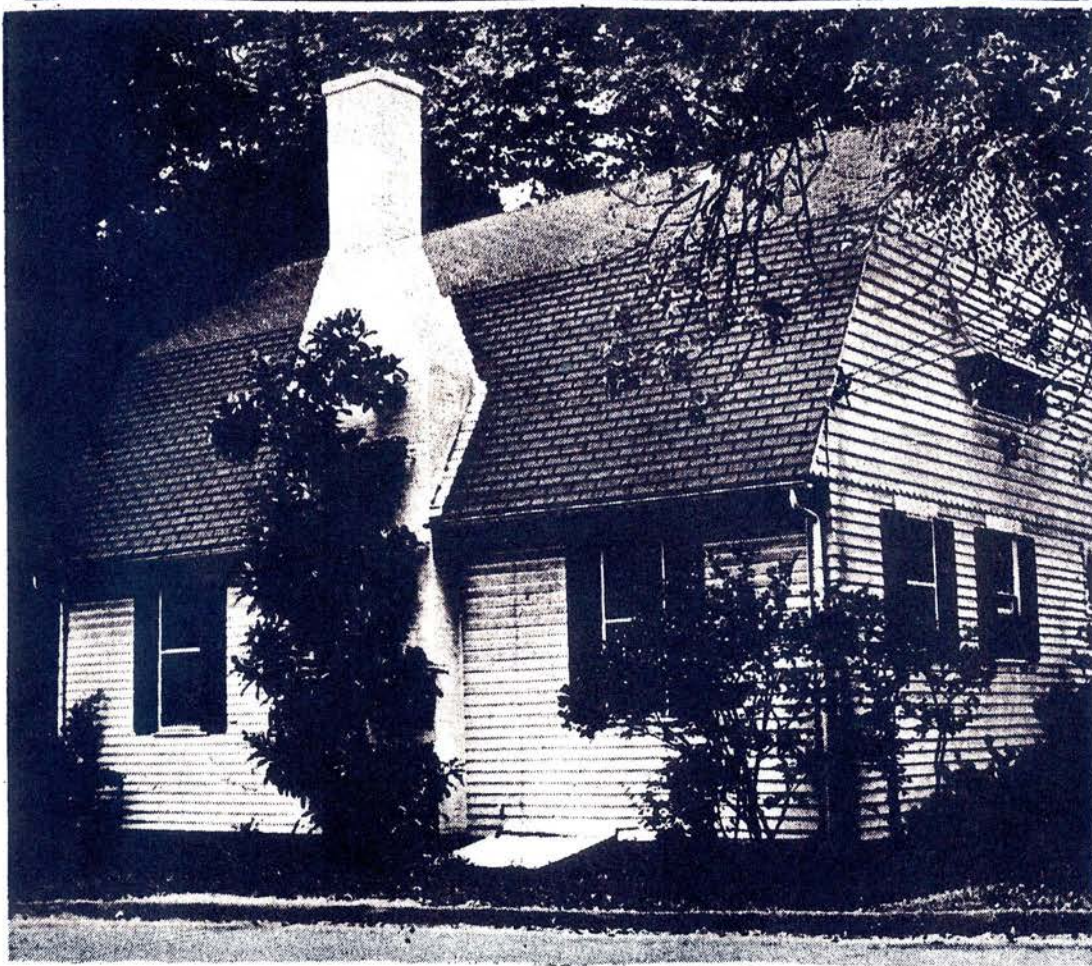
With the exception of the Library of Congress the Noyes Library is said to be the oldest in

Montgomery County Sentinel

Established 1855

Thursday, September 3, 1964

B1



Oldest Library in Washington Area

Noyes Library opened in 1896, a community project at Carroll Place and Montgomery Avenue in Kensington. The library opened its doors before the Library of Congress and is one of the oldest along the East Coast. It

is one of the smallest of the 13 county libraries with only 700 square feet of space. Garrett Park is smaller, with 600 square feet. Sentinel Photo By Ed Mervis.

County Library System:

Rockinghorse Elementary School building. Garret Park is in a community center, and there are no windows in the Twinbrook basement.

Meeting Rooms

Meeting rooms are provided in Little Falls, Wheaton, Davis and in Silver Spring,

Having all books available to borrowers, the library has set up a loan system to other library systems, such as Enoch Pratt in Baltimore. In this manner books not available here can be borrowed from other systems.

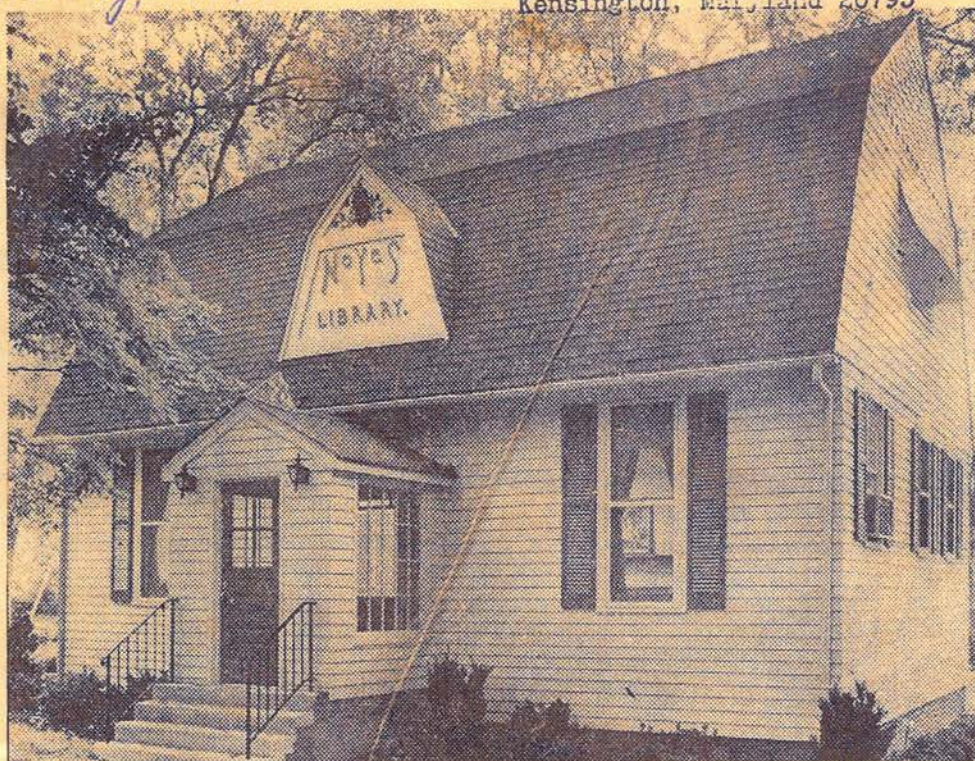
Equally Divided

The county libraries are divided into regional facilities. Each library specialty, in which books on a national libraries -- Pres. hours, a more flexible, a young children's library -- Silver Spring

Historical Noyes Library
1964 Photo of South West Elevation

Washington Star
Sunday, 9/20/70

Noyes Library
Carroll Pl. & Montgomery Avenue
Kensington, Maryland 20795



—Star Staff

Children and books will be together in this Kensington library.

REPLACES NOYES COLLECTION

Children Get Own Library

The oldest public library in the metropolitan area, a frame structure on a shady street in Kensington, is to re-open tomorrow as one of the few libraries in the nation designed exclusively for children.

Noyes Library, named after Crosby S. Noyes, 19th century editor of *The Star*, was built in 1893, four years before the Library of Congress building was completed.

With books on Robin Hood and the Big Dipper replacing Noyes' personal collection—with which the library was founded—the new center will cater to preschool through junior high school youngsters.

The building has been undergoing renovations for three months.

The library will feature filmed stories, puppet shows and a miniature theater. Also available are about 6,500 books geared more to general interests than school studies.

Trustees of the private Noyes Library Association, which has cared for the building over the years, helped finance its interior decoration. It is living room style, with throw cushions and wall-to-wall carpeting. Renovation cost the county about \$10,000.

Ann Seeley, director of children's services for the Montgomery County libraries, said

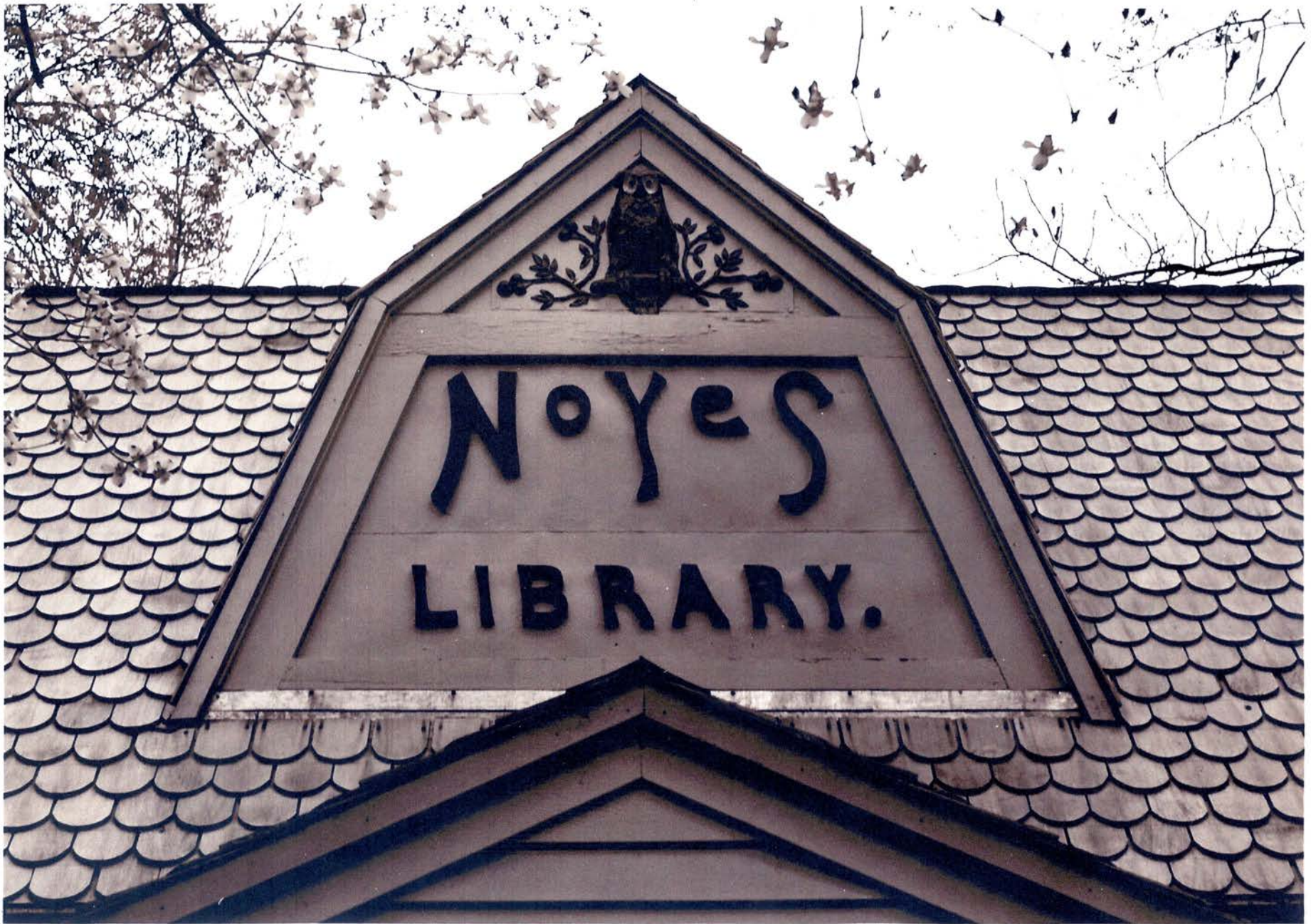
she knows of only two other all-children's libraries in the country which experiment with innovative programs.

Librarian Nora Caplan said staff members hope to set up instructional programs on children's literature for parents and personal reading enrichment sessions for youngsters. The library also will be a place for children to browse, she said.

Hours will be 1 to 5:30 p.m. on weekdays and 9 a.m. to 1 p.m. on Saturdays. The library is at Carroll Place and Montgomery Avenue, a few blocks from the old Kensington railroad station.

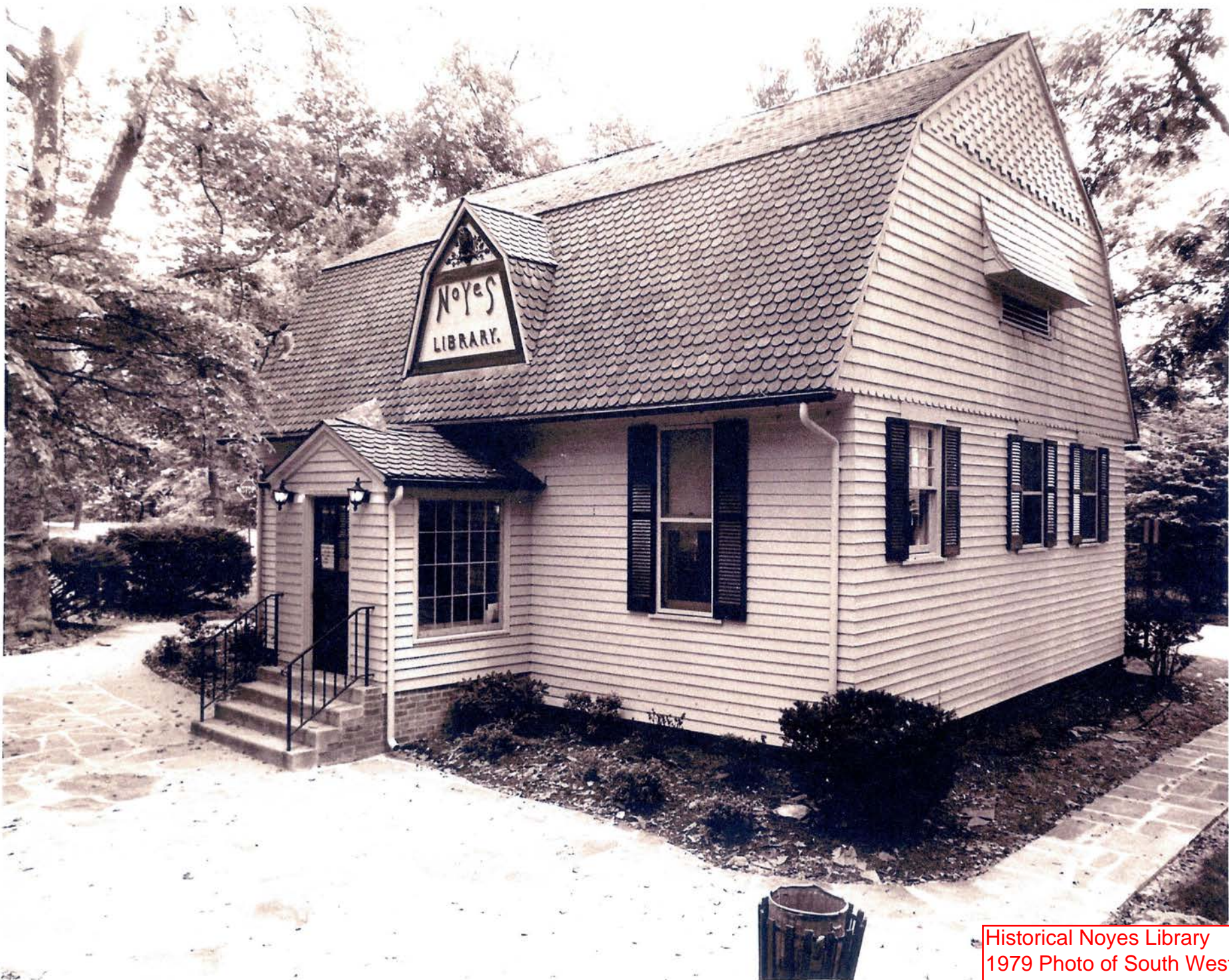
1970

Historical Noyes Library
1970 Photo of North East Elevation



1970's -
80's





Historical Noyes Library
1979 Photo of South West Elevation

CONTEXTUAL PHOTOS



10304 Montgomery Ave
Context- House #1 on C0.1



10234 Carroll Place
Context- House #2 on C0.1



10226 Carroll Place
Context- House #3 on C0.1



10231 Carroll Place
Context- House #4 on C0.1



10231 Carroll Place
Context- House #4 on C0.1



10231 Carroll Place
Context- House #4a on C0.1



10221 Montgomery Ave
Context- House #5 on C0.1



10225 Montgomery Ave
Context- House #6 on C0.1



10303 Montgomery Ave
Context- House #7 on C0.1

Section 7: Tree Survey and Tree Protection Plan

Impact on Existing Trees

A 6" tree inventory and condition rating was conducted by Norton Land Design in the summer of 2018. Based on the inventory, a Tree Protection Plan (TPP) has been developed to show tree removal and preservation based on proposed site updates.

Three (3) trees are proposed for removal, one canopy tree and two understory trees based upon accessible pathway and ADA requirements. The canopy tree, a 32" Black Walnut to the south of the library, is located within the area required to be excavated during the construction phase and will need to be removed. One new canopy tree, a fruitless sweetgum, is proposed in the approximate location of the existing canopy tree removal.

The two understory trees are 8" Japanese maple and a large southern magnolia that was planted as a shrub many years ago. The magnolia is threatening the existing foundations and would not be able to survive the construction of the project. Both trees will be removed. Two new deciduous trees, an eastern redbud and a white Fringetree, are proposed onsite.

An existing 18" white oak at the north end of the site and a 10" redbud on the south end of the site will be protected.

Please refer to the Tree Protection Plan (L-3.1) and the proposed landscape plan (L-2.1) prepared by Norton Land Design showing the location of new trees to replace those that were lost.