

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3804 Bradley Ln., Chevy Chase	Meeting Date:	1/8/2020
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	12/31/2019
Applicant:	David Wodlinger (Phillip Long, Architect)	Public Notice:	12/24/2019
Review:	HAWP	Tax Credit:	No
Case Number:	35/13-20A	Staff:	Michael Kyne
PROPOSAL:	Siding alterations		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Craftsman¹
DATE: 1892-1916

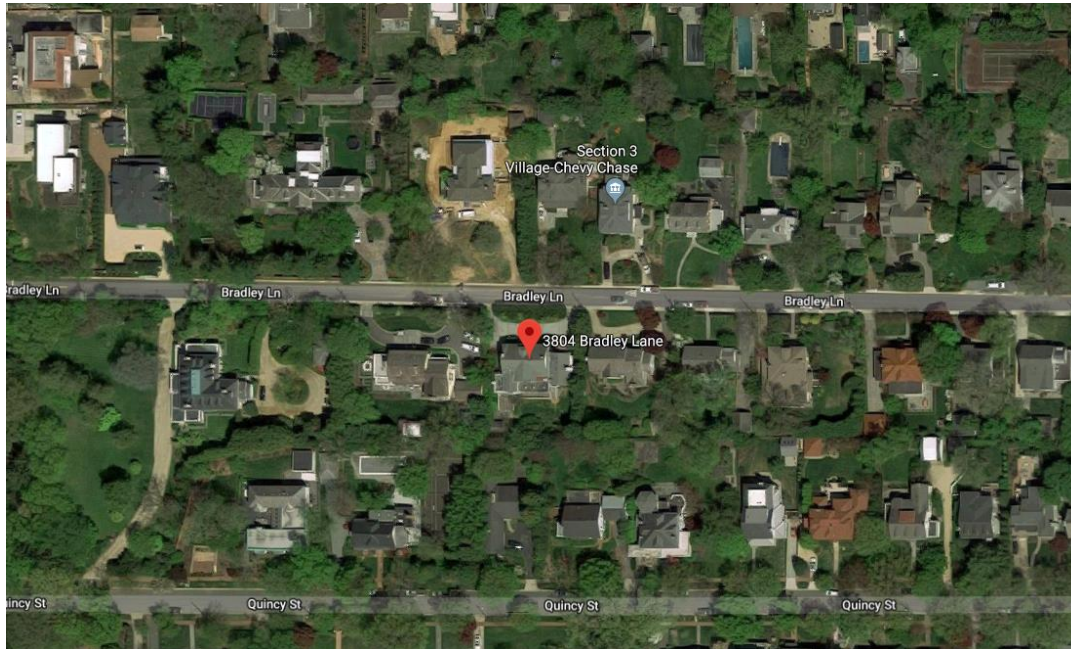


Fig. 1: Subject property.

¹ The *Chevy Chase Village Historic District (Guidelines)* classify the building as Craftsman-style; however, this may be a typo as the building is better classified as an excellent example of the Colonial Revival-style. For the purposes of this report, staff will use the style classification noted in the Amendment.

PROPOSAL:

The applicant proposes to install a painted brick veneer on an existing two-story rear (south) addition and previously enclosed one-story rear/right (southwest) porch. The addition and porch are currently clad with 4" clapboard siding, while the main house is painted brick.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to

moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.

Gutters are not currently subject to review and should not be reviewed.

Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources.

Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION:

The subject property is a c. 1892-1916 Craftsman-style Contributing Resource within the Chevy Chase Village Historic District. The applicant proposes to install a painted brick veneer on an existing two-story rear (south) addition and previously enclosed one-story rear/right (southwest) porch. The addition and porch are currently clad with 4" clapboard siding, while the main house is painted brick.

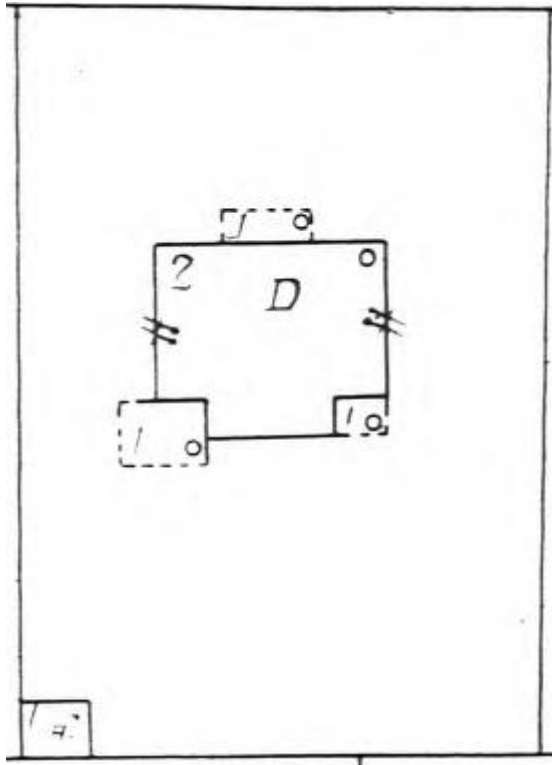


Fig. 2: Subject property, as depicted in the 1927 Sanborn Fire Insurance Map.

Other aspects of the proposal include installation of new copper flashing, flat seam copper roofing, and built in composite/copper gutters on the one-story porch, as well as installation of fiber cement panels below the second floor windows and installation of a decorative attic vent in the gable of the two-story addition. The current proposal does not include window replacement, which will be the subject of a future HAWP application.

Staff supports the applicant's proposal. The proposed alterations consist of compatible alterations to existing additions and/or previously altered features, which are primarily at the rear of the subject property, where they will be minimally visible from the public right-of-way, at best. The proposal will not

remove or alter character defining features of the subject property, in accordance with *Standards #2 and #9*.

After full and fair consideration of the applicant's submission staff finds the proposal, as revised, as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*, and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for *Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 899307
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: David Wodlinger
Address: 3804 Bradley Lane
Daytime Phone: 202-337-7500

E-mail: phil@cas-dc.com
City: Chevy Chase Zip: 20815
Tax Account No.: 07-02104451

AGENT/CONTACT (if applicable):

Name: Phillip Long
Address: 10 S. Bentz Street
Daytime Phone: 301-703-2340/240-418-3204

E-mail: phil@cas-dc.com
City: Frederick Zip: 21701
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 3804 Street: Bradley Lane
Town/City: Chevy Chase Nearest Cross Street: Connecticut Avenue
Lot: 35 Block: 61 Subdivision: Chevy Chase Section Parcel: n/a

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>new brick veneer/facade</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

12/11/19
Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

detached single-family home built circa 1913

Description of Work Proposed: Please give an overview of the work to be undertaken:

Exterior alteration of existing house to include new brick veneer at the master suite and main floor family room

Work Item 1: see attached plans

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 3804 Bradley Lane Chevy Chase, MD 20815	Owner's Agent's mailing address Phillip Long CAS Engineering 10 S. Bentz St. Frederick, MD 21701
Adjacent and confronting Property Owners mailing addresses	
Stephen & Kristen Best 3810 Bradley Lane Chevy Chase, MD 20815	Greg Hornington & June Drummond 3800 Bradley Lane Chevy Chase, MD 20815
Michael & Holly Meers 11 Quincy Street Chevy Chase, MD 20815	Roger & Elizabeth Marmet 19 Quincy Street Chevy Chase MD 20815
Herbert & Barbara Buchanan 3803 Bradley Lane Chevy Chase, MD 20815	Jennifer & Michael Dillon 3801 Bradley Lane Chevy Chase, MD 20815

3806 ~~Brd~~

Benjamin & Nicolle Rippeon
 3807 Bradley Lane
 Chevy Chase, MD 20815



2 EXISTING FRONT ELEVATION OF HOUSE
SCALE: NONE



3 EXISTING REAR ELEVATION OF HOUSE
SCALE: NONE



4 EXISTING SIDE ELEVATION OF FAMILY ROOM
SCALE: NONE

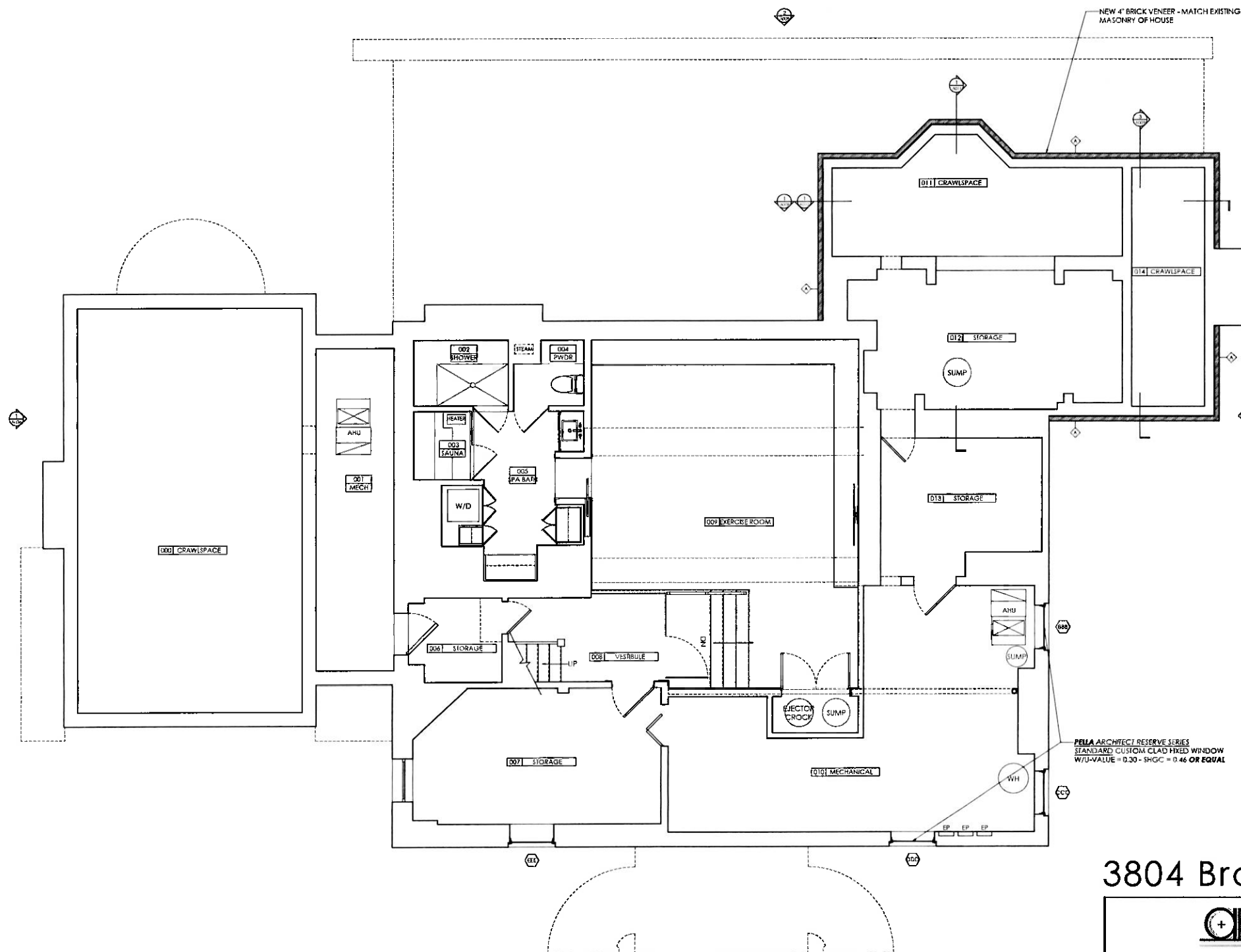


5 EXISTING REAR ELEVATION OF FAMILY ROOM
SCALE: NONE

Wodlinger Residence

3804 Bradley Lane, Chevy Chase, MD 20815

DRAWING INDEX		PROJECT DESCRIPTION													
001	COVERSHEET, PROJECT DESCRIPTION, LOCATION, DRAWING INDEX	EXTERIOR RENOVATION OF EXISTING HOUSE, TO INCLUDE NEW INSULATION, SHEATHING, BRICK VENEER AT THE MASTER SUITE & MAIN FLOOR FAMILY ROOM. AND													
A001	BASEMENT PLAN & GENERAL NOTES														
A002	1ST FLOOR PLAN & GENERAL NOTES														
A003	2ND FLOOR PLAN & GENERAL NOTES														
A004	3RD FLOOR PLAN & GENERAL NOTES														
A005	EXTERIOR ELEVATIONS														
A006	EXTERIOR ELEVATIONS														
A007	DOOR&WINDOWS SCHEDULES, WINDOW REPLACEMNT DETAILS & NOTES														
A008	EXISTING DOORS & WINDOWS PICTURES														
A009	SECTION DETAILS														
A010	SECTION DETAILS														
A011	SECTION DETAILS														
		ZONING INFO													
		LOT: 35	EXIST. LOT OCCUPANCY: 23.1%												
		EXIST. USE: R-3	PROP. LOT OCCUPANCY: 23.1%												
		PROPOSED USE: R-3													
		EXIST. LOT AREA: 15,359 SQ.FT.													
		BUILDING INFO													
		IBC OCCUPANCY CLASSIFICATION	EXISTING BUILDING R RENOVATION R												
		TYPE OF CONSTRUCTION	III III												
		NUMBER OF STORIES ABOVE GRADE	2 2												
		FLOOR AREA OF POOL HOUSE	269.29 SQ.FT. 269.29 SQ.FT.												
		FLOOR AREA OF EXIST. DECK	352 SQ.FT. 352 SQ.FT.												
		FLOOR AREA OF EXIST. SHED	0 SQ.FT. 0 SQ.FT.												
		FLOOR AREA OF MAIN HOUSE	2934.18 SQ.FT. 2934.18 SQ. FT.												
		NOTE													
		ALL DIMENSIONS LISTED CORRELATE WITH THE DESIGN INTENTION. DO NOT SCALE DRAWINGS. IF ANY DIMENSIONS OR NOTES ARE IN QUESTION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.													
		GENERAL INFO													
		OWNER: MR. & MRS. DAVID WODLINGER 3804 BRADLEY LANE CHEVY CHASE, MD 20815	CONTRACTOR: SUPERIOR CONSTRUCTION SERVICES 2201 WISCONSIN AVENUE, NW WASHINGTON, DC 20007 PH: 202.465.4330												
		ARCHITECT: AGGREGATE ARCHITECTURE + DESIGN, PLLC 1308 9th STREET, NW, SUITE 200 WASHINGTON, DC 20001 PH: 202.289.0053													
		CODE REVIEW INFO.													
		ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS & DRAWINGS, & SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS, LICENSES & INSURANCE NECESSARY FOR THE PROPER EXECUTION OF WORK SHALL BE SECURED & PAID FOR BY THE GENERAL CONTRACTOR. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ RELATED MONTGOMERY COUNTY, MD ADDENDUM & ZONING REQUIREMENTS 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015 INTERNATIONAL MECHANICAL CODE (IMC) 2015 WSSC PLUMBING CODE 2014 NATIONAL ELECTRIC CODE (NEC)													
<div> 1308 9th St NW, Suite 200 WASHINGTON, DC 20001 Aggregate Architecture & Design, PLLC © 2019 This Drawing &/or Specifications is provided as an instrument of service by AGGREGATE Architecture & Design, PLLC, and is intended for use on this project only. All designs, drawings, specifications, models, and arrangements appearing herein constitutes the original and unpublished Work (the property) of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.</div>		<div><table><tr><td>SUBMISSION</td><td>DATE</td></tr><tr><td>WINDOWS & EXT RENOVATION</td><td>11.27.19</td></tr><tr><td colspan="2">I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16690 EXPIRATION DATE 10-12-2021</td></tr><tr><td>DRAWN BY:</td><td>VC / LP</td></tr><tr><td>CHECKED BY:</td><td>MF</td></tr><tr><td>PROJECT NO:</td><td>2019-05</td></tr></table></div>	SUBMISSION	DATE	WINDOWS & EXT RENOVATION	11.27.19	I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16690 EXPIRATION DATE 10-12-2021		DRAWN BY:	VC / LP	CHECKED BY:	MF	PROJECT NO:	2019-05	COVER SHEET
SUBMISSION	DATE														
WINDOWS & EXT RENOVATION	11.27.19														
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PROJECT NO:	2019-05														
		001													



TURNOVER REQUIREMENTS

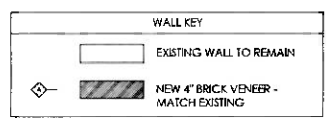
1. The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor is also to provide a type written list of names, addresses and phone numbers of all Subcontractors and Material Suppliers.
2. The Contractor shall be responsible for having the entire basement cleared to the satisfaction of the Owner at the time of Carpet and Furniture Installation and all turnover.
3. General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
4. General Contractor to turn over all keys to the owner's representative and mark each key for identification.
5. The General Contractor shall set all thermostats per the Owner's Requirements.
6. The General Contractor shall explain the operation of all Mechanical Systems to the Owner and provide copies of Operation, Maintenance, and Warranty Manuals.
7. General Contractor and all Subcontractors shall warranty the work for a period of one (1) year from the date of final acceptance by Owner of finished work.
8. The General Contractor shall install new filters in the HVAC Units one week prior to turnover of the project.

PARTITION NOTES

1. General Contractor shall layout partitions as quickly as possible. Layout is to be approved by Architect before studs are installed.
2. All partitions shall be spackled, taped and sanded smooth with no visible joints.
3. All exterior corners of G.W.B. shall have metal corner beads.
4. All interior dimensions are from face of stud wall.
5. Provide bracing at all door and glazing openings in accordance with manufacturer's recommendations.
6. Provide and install fire retardant wood blocking or sheet metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with milwork subcontractor and review with Architect for acceptance prior to fabrication.
7. General Contractor shall coordinate, space and review size and location of all penetrations. All penetrations shall be properly sealed according to applicable codes.
8. Verify door undercuts with Architect prior to installation.
9. All casework work to be installed to A.W.I. standard quality level premium grade. The design, detailing, and fabrication of milwork should be directed toward achieving installation with a minimum of exposed face fastening.

GENERAL NOTES

1. It shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative, in writing, of any and all discrepancies between said existing conditions and these drawings. Further, it shall be the joint responsibility of the General Contractor and all Subcontractors and suppliers of materials to secure all necessary adaptations to same as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claims for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation is approved in advance of proceeding with the work.
2. Commencement of work in any area by the Contractor shall be construed as that the contractor has checked the existing conditions and found them satisfactory to accept this portion of work.
3. All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmental and jurisdictional permits and approvals are obtained.
4. All work shall be performed in a first class manner and shall be in good and usable condition at the date of completion thereof.
5. Contractors are required to give the owner a minimum of twenty four (24) hours advanced written notice of said work.
6. Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the Building.
7. All work shall be confined to the premises and Contractors, Subcontractors or Materialmen are not permitted to perform any said Owner's work (Or store any materials or machinery) outside of the premises, subject to Owner's approval otherwise.
8. No construction material or debris shall be placed in any of the Owner's trash receptacles or compactors at any time. The Contractor shall arrange (If Required) for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.
9. The abbreviation of "N.L.C." indicates work and or material is not in the contract of the General Contractor, however this does not relieve the General Contractor of the Responsibility of coordination.
10. Repair all damage or voids caused during construction to any of the property to the original condition. Protect adjacent areas from dirt and dust.
11. All concealed wood blocking in walls and ceiling shall be flame Retardant treated.
12. All Edits are to remain clear and open during all phases of construction if applicable.
13. The locations of existing utilities are shown in an approximate way only and have not been individually verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
14. The term "Owner" shall refer to MR. & MRS. DAVID WOLUNGER and their agents or representatives. The term "General Contractor" and "G.C." shall refer to the person and/or persons who have contracted or subcontracted for the work.
15. Contractor provide the scheduled pre finished milwork as described and detailed and responsible to receive, check and confirm the milwork's arrival in good condition, and in sufficient quantity and shall notify Owner immediately of any discrepancies. All pieces are sent unassembled and shall be installed by the Contractor in a first class manner, with minimum number of joints possible. Cope all returns, miter all corners and use scarf joints for end to end and jointing. Refinish all cuts and damaged areas as required.
16. General Contractor shall check in with the Owner prior to commencing construction.
17. In addition to the General Notes listed herein, A.I.A. document A201 General Conditions of contract for construction shall apply.
18. General Contractor to provide 5% additional stock of finish materials or as agreed to by the construction manager.
19. General Contractor to adhere to owner provided close out forms if any.



3804 Bradley Lane, Chevy Chase, MD 20815

aggregate architecture+design
1308 9th St NW, Suite 200 WASHINGTON, DC 20001

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ARCH. PLANS

A001

SUBMISSION

WINDOWS & EXT. RENOVATION 11/27/19

DATE

11/27/19

STATE OF MARYLAND

MARK A. FREEMAN

ARCHITECT

NO. 16690

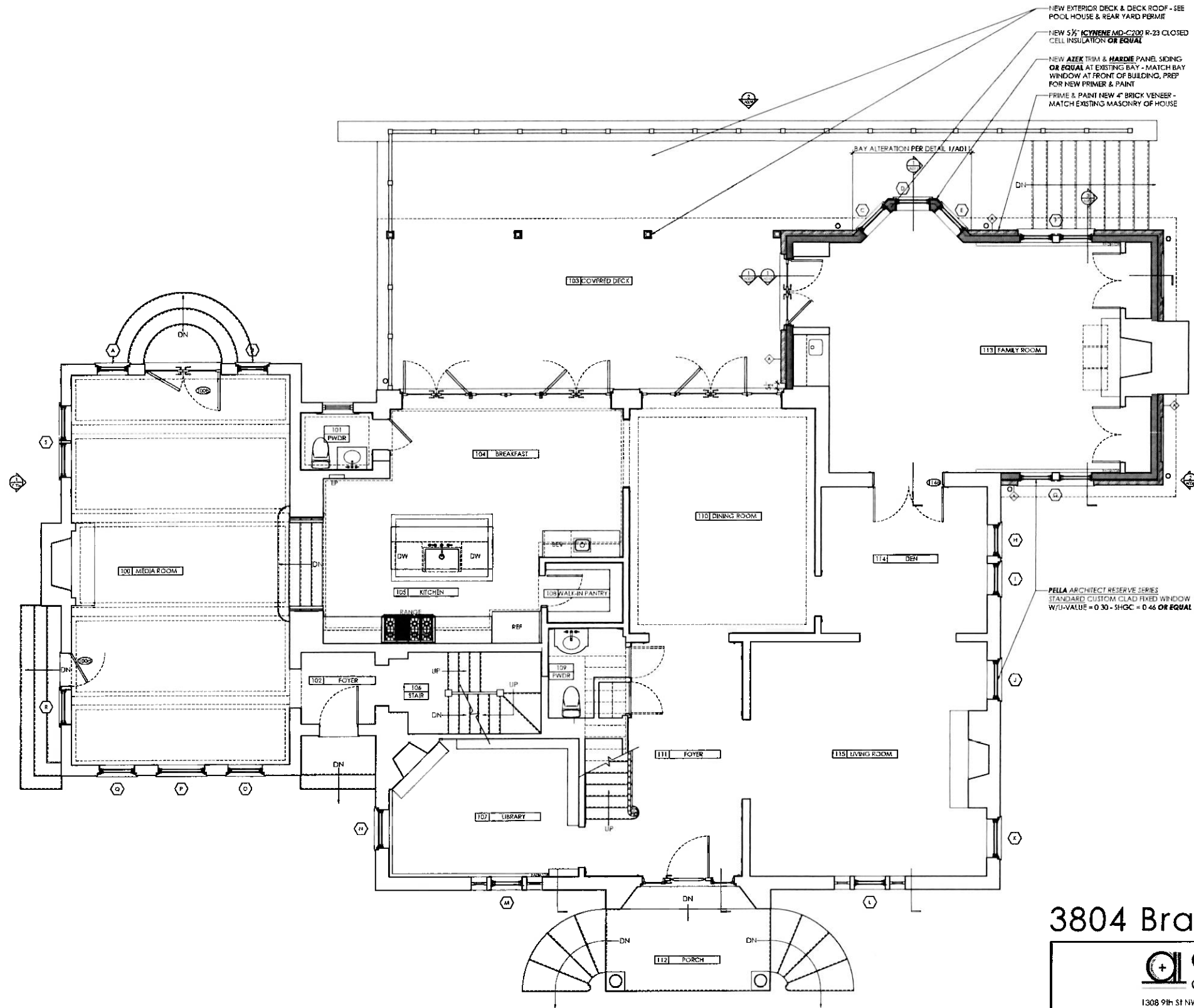
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DRAWN BY: VC / LF

CHECKED BY: MF

PROJECT NO: 2019-05

1 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



TURNOVER REQUIREMENTS

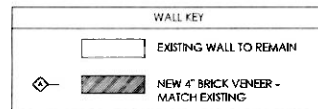
1. The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor is also to provide a type written list of names, addresses and phone numbers of all Subcontractors and Material Suppliers.
2. The Contractor shall be responsible for having the entire basement cleaned to the satisfaction of the Owner at the time of Carpet and Furniture Installation and all turnover.
3. General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
4. General Contractor to turn over all keys to the owner's representative and mark each key for identification.
5. The General Contractor shall set all thermostats per the Owner's Requirements.
6. The General Contractor shall explain the operation of all Mechanical Systems to the Owner and provide copies of Operation, Maintenance, and Warranty Manuals.
7. General Contractor and all Subcontractors shall warrant the work for a Period of one (1) year from the date of final acceptance by Owner of finished work.
8. The General Contractor shall install new filters in the HVAC Units one week prior to turnover of the project.

PARTITION NOTES

1. General Contractor shall layout partitions as quickly as possible. Layout is to be approved by Architect before studs are installed.
2. All partitions shall be spackled, taped and sanded smooth with no visible joints.
3. All exterior corners of G.W.B. shall have metal corner beads.
4. All interior dimensions are from face of stud wall.
5. Provide bracing of all door and glazing openings in accordance with manufacturer's recommendations.
6. Provide and install fire retardant wood blocking or steel metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with millwork subcontractor and review with Architect for acceptance prior to fabrication.
7. General Contractor shall coordinate, space and review size and location of all penetrations. All penetrations shall be properly sealed according to applicable codes.
8. Verify door undercuts with Architect prior to installation.
9. All casework work to be installed to A.W.I. standard quality level premium grade. The design, detailing, and fabrication of millwork should be directed toward achieving installation with a minimum of exposed face fasteners.

GENERAL NOTES

1. It shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative, in writing, of any and all discrepancies between said existing conditions and these drawings. Further, it shall be the joint responsibility of the General Contractor and all Subcontractors and suppliers of materials to secure all necessary adaptations to same as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claim for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation is approved in advance of proceeding with the work.
2. Commencement of work in any area by the Contractor shall be construed as that the contractor has checked the existing conditions & found them satisfactory to accept this portion of work.
3. All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmental and jurisdictional permits and approvals are obtained.
4. All work shall be performed in a first class manner and shall be in good and usable condition at the date of completion thereof.
5. Contractors are required to give the owner a minimum of twenty four (24) hours advanced written notice of said work.
6. Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the Building.
7. All work shall be confined to the premises and Contractors, Subcontractors or Materialmen are not permitted to perform any said Owner's work (Or store any materials or machinery) outside of the premises, subject to Owner's approval otherwise.
8. No construction material or debris shall be placed in any of the Owner's trash receptacles or compactors at any time. The Contractor shall arrange (If Required) for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.
9. The abbreviation of "N.L.C." indicates work and/or material is not in the contract of the General Contractor, however this does not relieve the General Contractor of the Responsibility of coordination.
10. Repair all damage or voids caused during construction to any of the property to the original condition. Protect adjacent areas from dirt and dust.
11. All concealed wood blocking in walls and ceiling shall be Flame Retardant treated.
12. All exits are to remain clear and open during all phases of construction if applicable.
13. The locations of existing utilities are shown in an approximate way only and have not been individually verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
14. The term "Owner" shall refer to MR. & MRS. DAVID WOOLINGER and their agents or representatives. The term "General Contractor" and "G.C." shall refer to the person and/or persons who have contracted or subcontracted for the work.
15. Contractor provide the scheduled pre finished millwork as described and detailed and responsible to relieve, check and confirm the millwork's arrival in good condition, and in sufficient quantity and shall notify Owner immediately of any discrepancies. All pieces are sent unassembled and shall be installed by the Contractor in a first class manner, with minimum number of joints possible. Cape all returns, miter all corners and use scarf joints for end to end jointing. Refinish of all cuts and damaged areas as required.
16. General Contractor shall check-in with the Owner prior to commencing construction.
17. In addition to the General Notes listed herein, A.I.A. document A201 General Conditions of contract for construction shall apply.
18. General Contractor to provide 5% additional stock of finish materials or as agreed to by the construction manager.
19. General Contractor to adhere to owner provided close out forms if any.



1 PROPOSED MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"

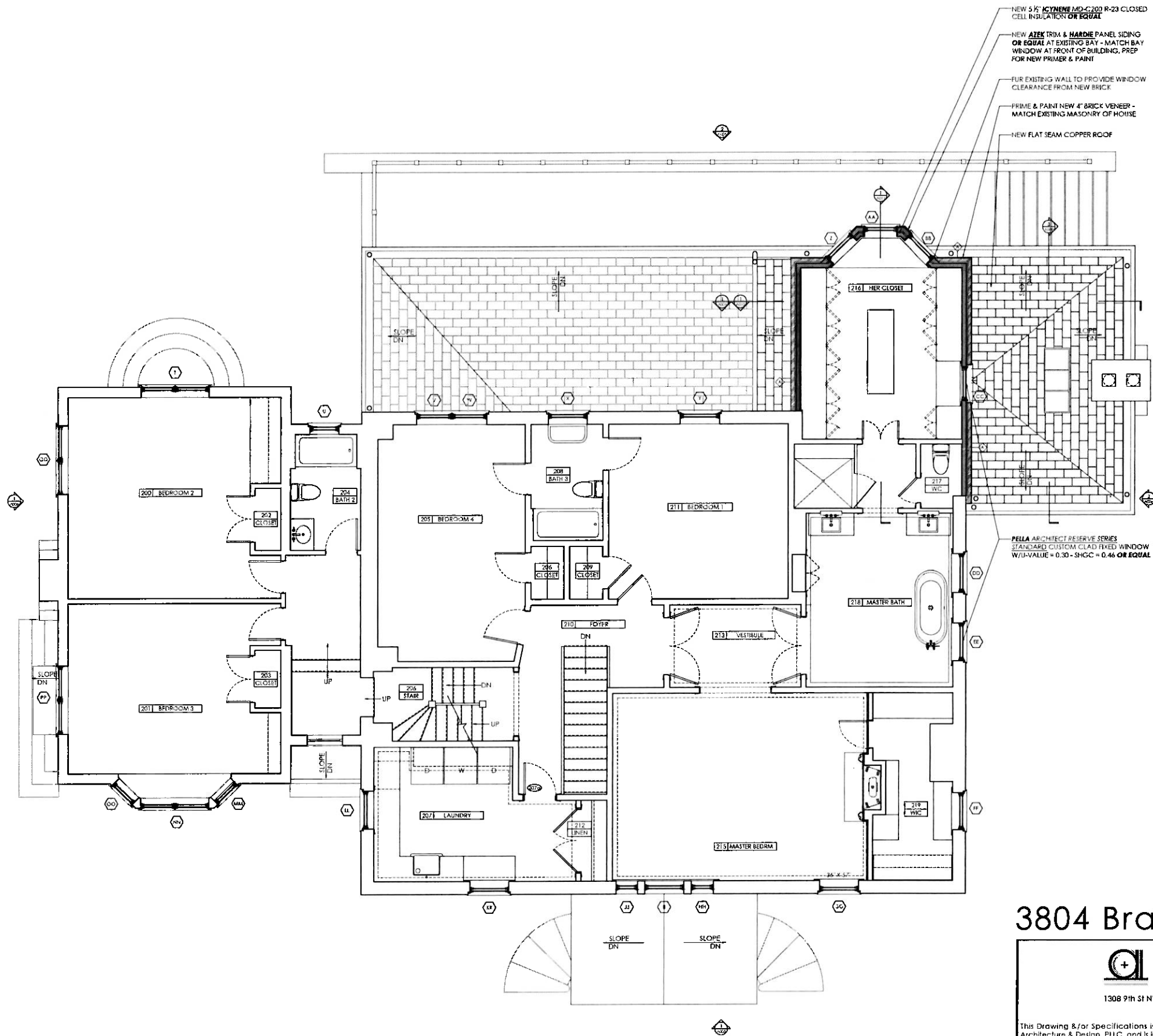
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CHECKED BY:	MF
PROJECT NO:	2019-05
ARCH. PLANS	A002



1 PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

TURNOVER REQUIREMENTS

- The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor is also to provide a type written list of names, addresses and phone numbers of all Subcontractors and Material Suppliers.
- The Contractor shall be responsible for having the entire basement cleaned to the satisfaction of the Owner at the time of Carpet and Furniture Installation and all turnover.
- General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
- General Contractor to turn over all keys to the owner's representative and mark each key for identification.
- The General Contractor shall set all thermostats per the Owner's Requirements.
- The General Contractor shall explain the operation of all Mechanical Systems to the Owner and provide copies of Operation, Maintenance, and Warranty Manuals.
- General Contractor and all Subcontractors shall warrant the work for a period of one (1) year from the date of final acceptance by Owner of finished work.
- The General Contractor shall install new filters in the HVAC Units one week prior to turnover of the project.

PARTITION NOTES

- General Contractor shall layout partitions as quickly as possible. Layout is to be approved by Architect before studs are installed.
- All partitions shall be spackled, taped and sanded smooth with no visible joints.
- All exterior corners of G.W.B. shall have metal corner beads.
- All interior dimensions are from face of stud wall.
- Provide bracing at all door and glazing openings in accordance with manufacturer's recommendations.
- Provide and install the retardant wood blocking or steel metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with millwork subcontractor and review with Architect for acceptance prior to fabrication.
- General Contractor shall coordinate, space and review size and location of all penetrations. All penetrations shall be properly sealed according to applicable codes.
- Verify door undercuts with Architect prior to installation.
- All casework work to be installed to A.W.I. standard quality level premium grade. The design, detailing, and fabrication of millwork should be directed toward achieving installation with a minimum of exposed face fastening.

GENERAL NOTES

- It shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative, in writing, of any and all discrepancies between said existing conditions and these drawings. Further, it shall be the joint responsibility of the General Contractor and all Subcontractors and suppliers of materials to secure all necessary adaptations to same as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claim for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation is approved in advance of proceeding with the work.
- Commencement of work in any area by the Contractor shall be construed as that the contractor has checked the existing conditions & found them satisfactory to accept this portion of work.
- All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmental and jurisdictional permits and approvals are obtained.
- All work shall be performed in a first class manner and shall be in good and usable condition at the date of completion thereof.
- Contractors are required to give the owner a minimum of twenty four (24) hours advanced written notice of said work.
- Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the Building.
- All work shall be confined to the premises and Contractors, Subcontractors or Materialmen are not permitted to perform any said Owner's work (Or store any materials or machinery) outside of the premises, subject to Owner's approval otherwise.
- No construction material or debris shall be placed in any of the Owner's trash receptacles or compartments at any time. The Contractor shall arrange (If Required) for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.
- The abbreviation of "N.L.C." indicates work and or material is not in the contract of the General Contractor, however this does not relieve the General Contractor of the Responsibility of coordination.
- Repair all damage or voids caused during construction to any of the property to the original condition. Protect adjacent areas from dirt and dust.
- All conceded wood blocking in walls and ceiling shall be flame Retardant Treated.
- All Efts are to remain clear and open during all phases of construction if applicable.
- The locations of existing utilities are shown in an approximate way only and have not been individually verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
- The term "Owner" shall refer to MR. & MRS. DAVID WOODBINE and their agents or representatives. The term "General Contractor" and "G.C." shall refer to the person and/or persons who have contracted or subcontracted for the work.
- Contractor provide the scheduled pre finished millwork as described and detailed and responsible to receive, check and confirm the millwork's arrival in good condition, and in sufficient quantity and shall notify Owner immediately of any discrepancies. All pieces are sent unassembled and shall be installed by the Contractor in a first class manner, with minimum number of joints possible. Cope all returns, miter all corners and use scarf joints for and to and jointing. Refinish all cut and damaged areas as required.
- General Contractor shall check-in with the Owner prior to commencing construction.
- In addition to the General Notes listed herein, A.I.A. document A201 General Conditions of contract for construction shall apply.
- General Contractor to provide 5% additional stock of trim materials or as agreed to by the construction manager.
- General Contractor to adhere to owner provided close out forms if any.



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STATE OF MARYLAND
MARK A. FREEMAN
ARCHITECT
No. 16690

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CHECKED BY	MF	
PROJECT NO.	2019-05	





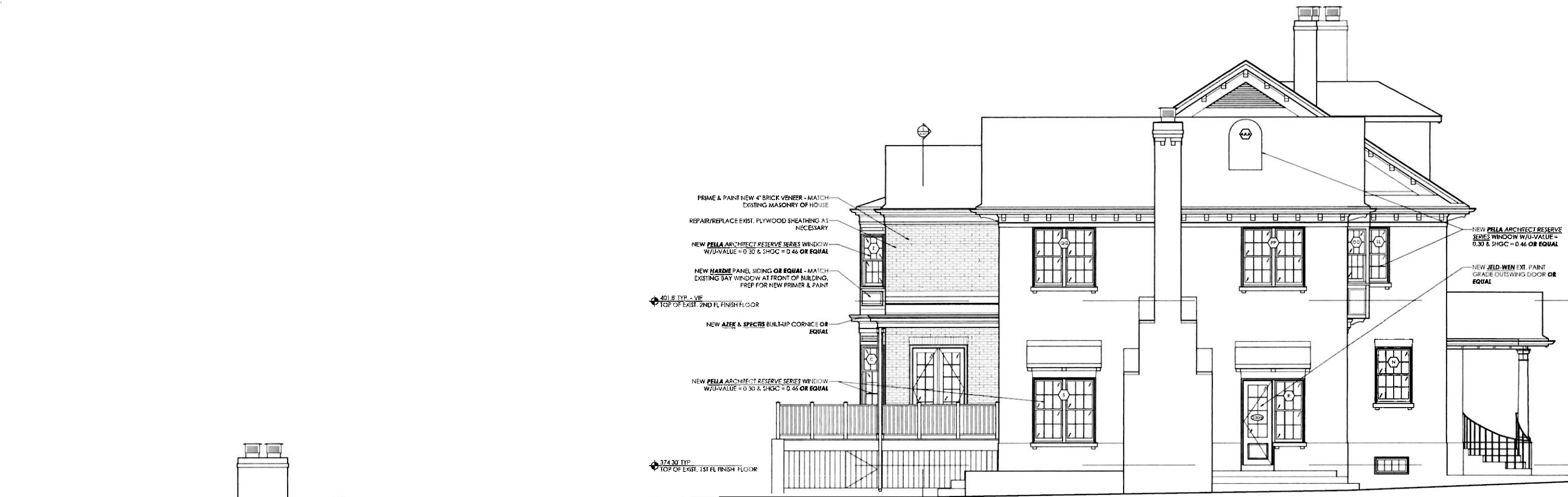
1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

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1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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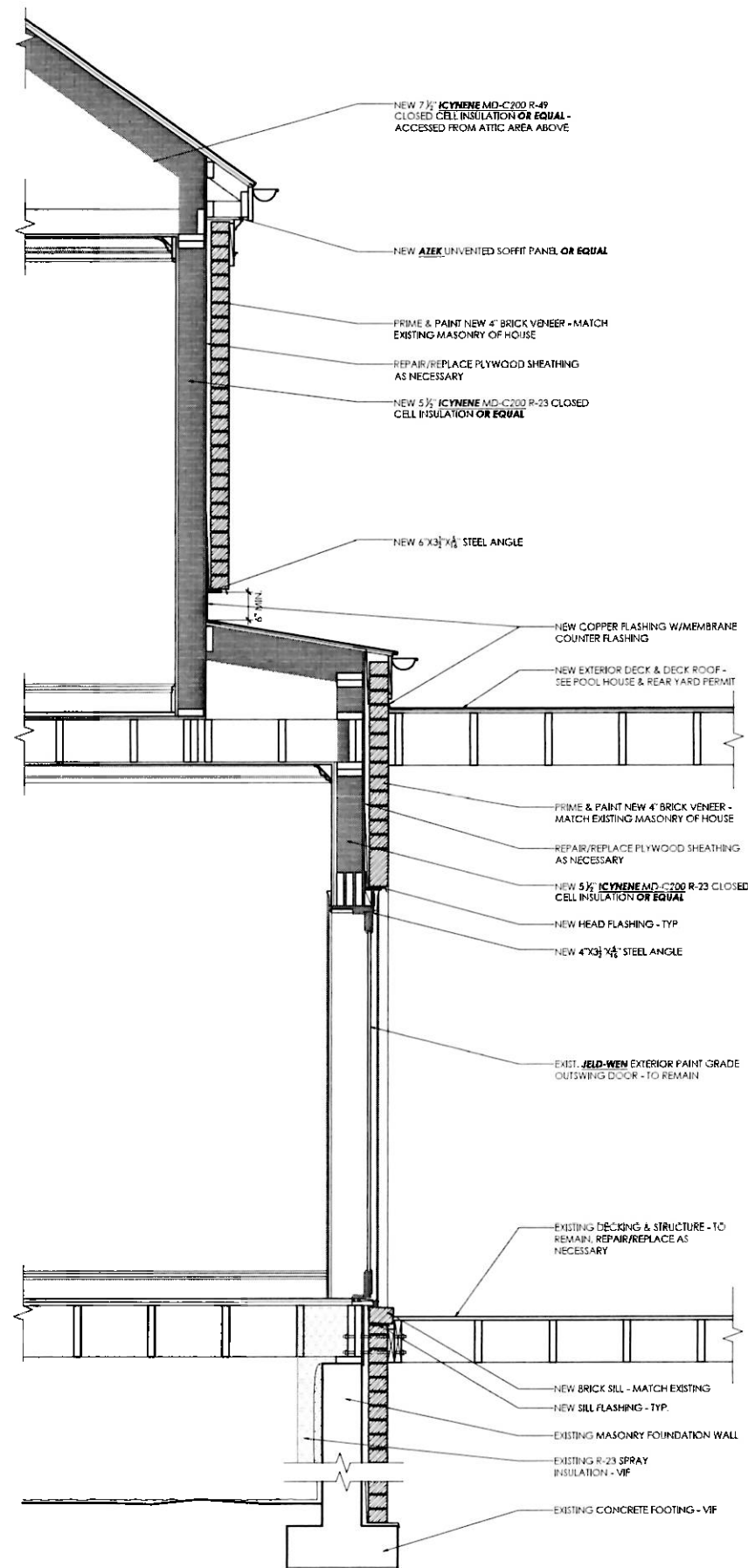
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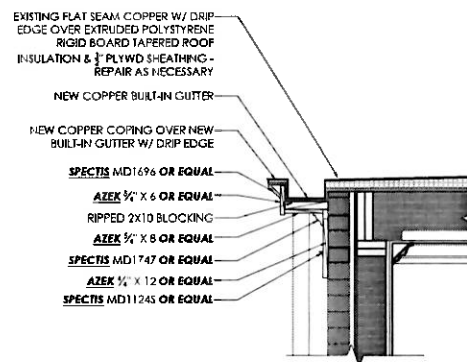
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PROJECT NO.	2019-01

EXTERIOR
ELEVATIONS

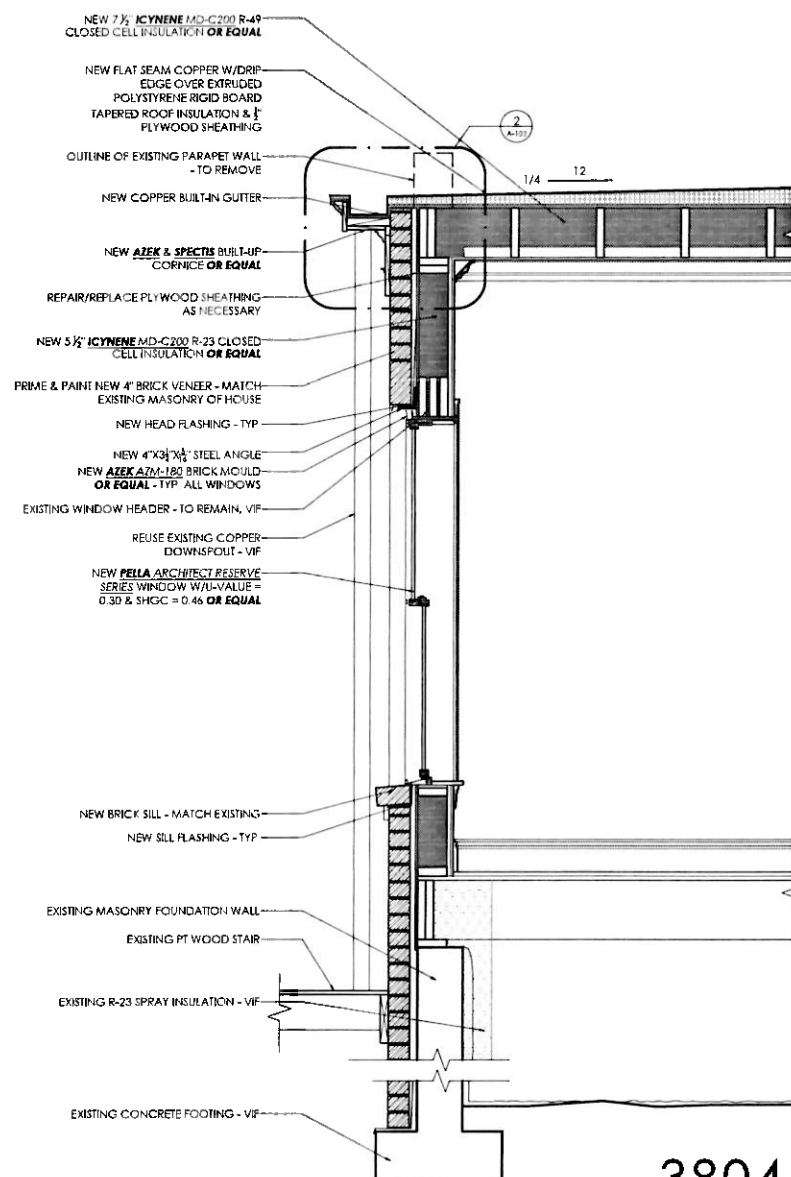
A006



1 FAMILY ROOM SECTION DETAIL
SCALE: 1/4" = 1'-0"



2 BUILT-IN GUTTER SECTION DETAIL
SCALE: 3/4" = 1'-0"



3 FAMILY ROOM SECTION DETAIL
SCALE: 1/4" = 1'-0"

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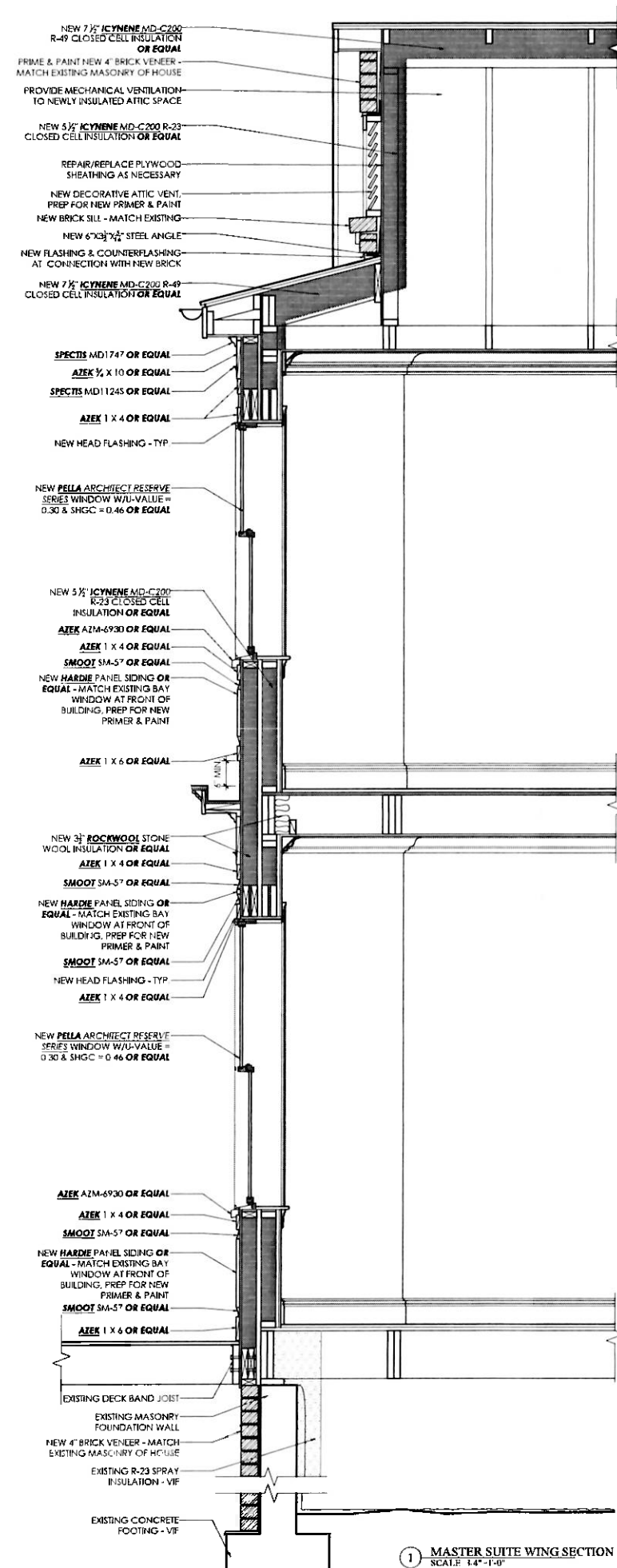
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SECTIONS
DETAILS

A009



1 MASTER SUITE WING SECTION DETAIL
SCALE: 1/4"=1'-0"

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PROJECT NO:		2019-05		