

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7207 Thornapple Place, Chevy Chase	Meeting Date:	11/13/2019
Resource:	Master Plan Site #35/96 (Harper House)	Report Date:	11/6/2019
Applicant:	Thomas Dyszkiewicz (Claude Lapp, Architect)	Public Notice:	10/30/2019
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/96-19A REVISION		
PROPOSAL:	Building addition		

STAFF RECOMMENDATION:



☒ Approve



☐ Approve with conditions

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #35/96, *Harper House*
STYLE: Four Square with Victorian Vernacular Detailing
DATE: c. 1906

Excerpt from *Places from the Past*:

The Harper House demonstrates the persistence of picturesque Victorian-era detailing well into the 20th century. The frame dwelling features late examples of wrap-around porch with chamfered posts and scrolled brackets. The residence has outstanding architectural integrity with original details including louvered shutters, and chamfered porch posts with open brackets. The house is adorned with corner pilasters and features grand picture windows in the south front bays on both first and second levels.

In October 1906, James E. Harper acquired lots 9 and 10 from Louise H. Earll. The house was built in the following months since the property was assessed in 1907 with improvements valued at \$1,800. By 1909, Harper was living in Chevy Chase, according to the Washington directory. A native of South Carolina, he was an auditor for the U.S. Postal Service, and was married to Nelly E. Harper. The Harpers resided at this address for more than 25 years. After 1927, the property was reduced to the northern portion of Lots 9 and 10.

BACKGROUND:

PROPOSAL:

- Removal of the existing louvered vent from the dormer on the north (left) elevation of the historic house and installation of a fixed six-lite TDL wood window in its place.
- Installation of steel bilco doors for egress on the south (right) elevation of the previously approved rear addition.

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

2. Modifications to a property, which do not significantly alter its visual character.

¹ Link to September 11, 2019 staff report: <https://montgomeryplanning.org/wp-content/uploads/2019/09/I.L-7207-Thornapple-Place-Chevy-Chase.pdf>

http://mncppc.granicus.com/MediaPlayer.php?publish_id=88b51f16-d56f-11e9-b703-0050569183fa

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Because the property is a Master Plan Site, the Commission’s focus in reviewing the proposal should be the *Secretary of the Interior's Standards for Rehabilitation*. The relevant *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior’s Standards for *Rehabilitation* #2, #9, and #10.

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: chris@calarchitects.com Contact Person: Claude C. Lapp
Daytime Phone No.: 301-881-6850
Tax Account No.: _____
Name of Property Owner: Thomas Dyszkiewicz Daytime Phone No.: (917) 608-4918
Address: 7207 Thornapple Place Chevy Chase MD 20815
Street Number City State Zip Code
Contractor: Jodi Longo Phone No.: 240-374-2525
Contractor Registration No.: 92710
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING PREMISE

House Number: 7207 Street: Thornapple Place
Town/City: Chevy Chase Nearest Cross Street: Underwood Street
Lot: 9+10 Block: 4 Subdivision: Otherbourne
Liber: 0070 Folio: 55 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

☒ Construct ☒ Extend ☒ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☒ Other: Bilco door/areaway

1B. Construction cost estimate: \$ 13,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

10/16/19
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single family home built in 1903 with a large wrap around porch. House has original white pine flooring and wood trim moldings. Materials used on this house are wood siding on the exterior and asphalt shingles on the roof.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Removal of existing lower on left facade dormer and replacement with new window sash to match front dormer. Add new Bilco door egress on right side of house from basement.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

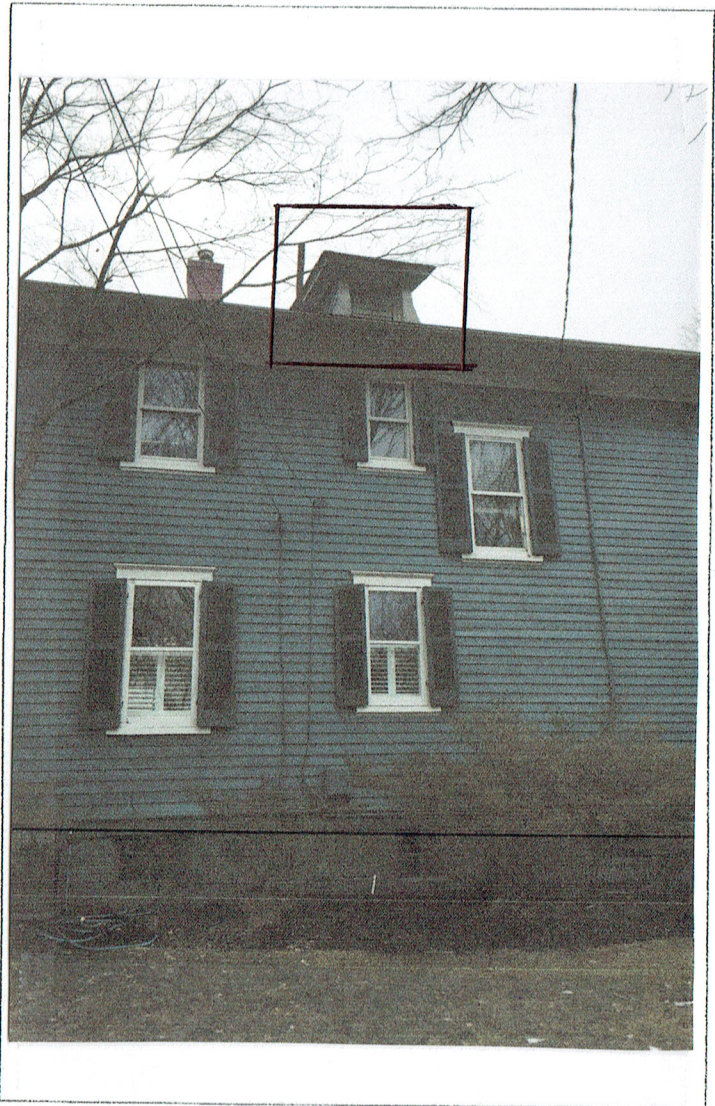
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

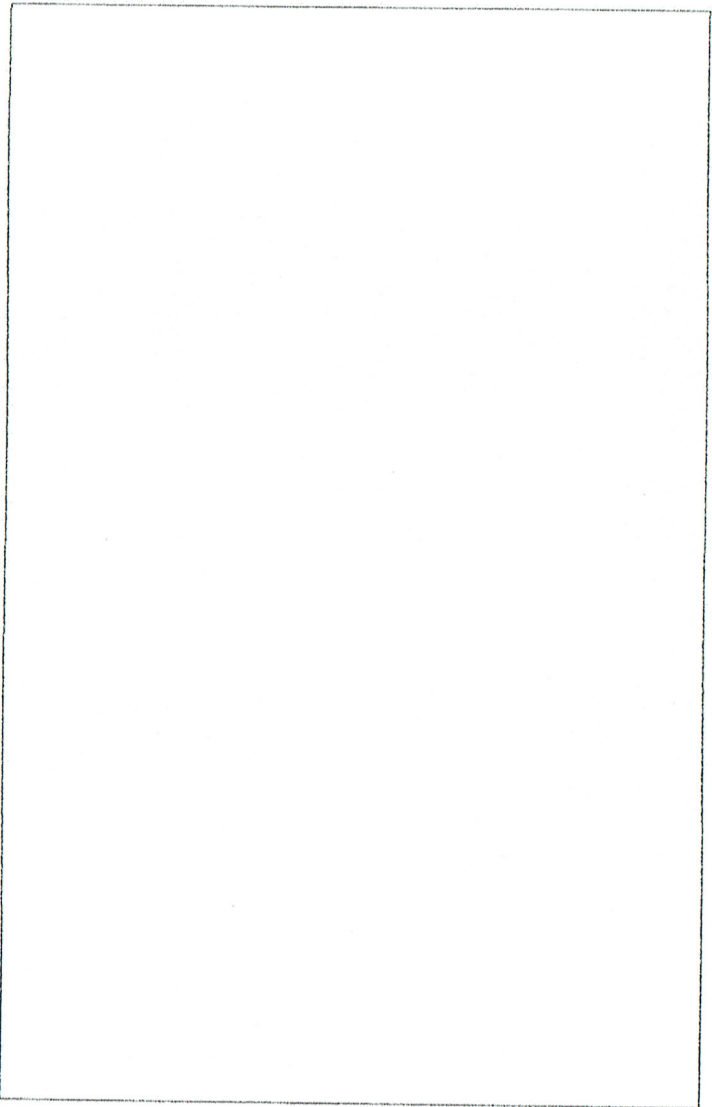
PLEASE PRINT (IN BLUE OR BLACK INK OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Thomas Dyszkiewicz 7207 Thornapple Place Chevy Chase, MD. 20815	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Farooq Thacher 7205 Thornapple Place Chevy Chase, MD. 20815	
Daniel Radovsky 3610 Underwood Street Chevy Chase, MD. 20815	



Detail: Add new windows in existing dormer



Detail: _____



Detail: *road New Bilco door to side of house*

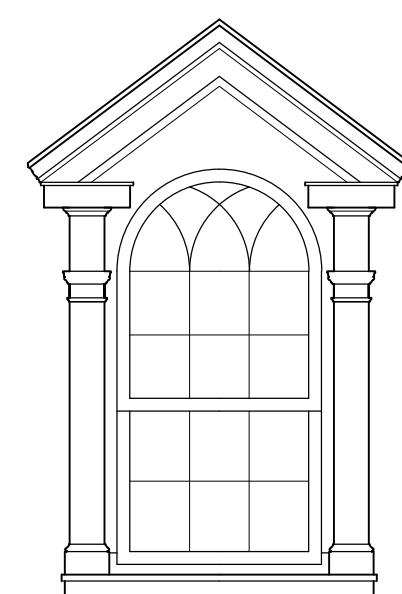


Detail: *Add New Bilco door to side of house.*

JOBSITE LOCATION:
7207 THORNAPPLE PLACE
CHEVY CHASE, MD 20815
DATE: 08-19-2019 / 10-16-19

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHEILD UNDER- LAYMENT REQUIRED		FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP																																												
			Weathering	Post line depth	Termite	Decay		Slight to Moderate	Moderate to Severe																																															
30	115	B	Sewer	30			13	Yes	7-2-79		300	55																																												
1) All construction to be in conformance with 2015 I.R.C., one and two family dwelling code & all MONTGOMERY COUNTY additions and revisions thereto. 2) Design live loads: - Sleeping room load .. 30 p.s.f. - Floor load 40 p.s.f. - Roof load 30 p.s.f. - Deck load 60 p.s.f. - Garage load..... 50 p.s.f. 3) Soil bearing to be 2000 p.s.f. minimum. Design for 60 p.s.f. lateral soil pressure 4) Design wind load 115 mph. 5) Bottom of all concrete footings to be 30" minimum below finished grade. 6) Foundation walls shall comply to I.R.C. Sec. R-401. thru 404. 7) Foundation drainage shall comply to I.R.C. Sec. R-405. 8) Foundation waterproofing shall comply to I.R.C. Sec. R-406. 9) Attached Garages shall comply to I.R.C. Sec. R-309. 10) Concrete floors shall comply to I.R.C. Sec. R-506. 11) All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Proches, garages, slabs and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 4000 p.s.i. 12) All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90-70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum. 13) All c.m.u. walls shall have standard truss type DUR-O-WALL bed joint reinforcing at maximum 16" vertical spacing. 14) All brick units used in exterior shall conform to A.S.T.M. C 62 or A.S.T.M. C 216																																																								
15) All mortar shall be type "S" conforming to A.S.T.M. C 270. 16) Stone and masonry veneer shall conform to I.R.C. Sec. R-703.7. 17) Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning. 18) Maximum allowable lateral pressure on basement walls 60 p.s.f. 19) All reinforcing steel to be grade 60 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted. Provide corner bars at all wall corners. Submit reinforcing steel shop drawings for approval. 20) Steel post cap plates to conform to A.S.T.M., Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better. 21) Steel columns in basement to be adjustable 3".D. S40 columns unless specified otherwise. structural steel shall meet A.S.T.M.982 standards. All connections to be A.I.S.C. standard. 22) All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better: <table border="1"> <thead> <tr> <th>CLASSIFICATION</th><th>SIZE</th><th>BENDING F_b</th><th>MODULUS OF ELASTICITY "E"</th></tr> </thead> <tbody> <tr> <td>POSTS #1 D.F.</td><td></td><td>1200</td><td>1600000</td></tr> <tr> <td rowspan="5">HEADERS, BEAMS, ROOF HIPS #1 S.P.</td><td>2X4</td><td>1850</td><td>1700000</td></tr> <tr> <td>2X6</td><td>1650</td><td>1700000</td></tr> <tr> <td>2X8</td><td>1500</td><td>1700000</td></tr> <tr> <td>2X10</td><td>1300</td><td>1700000</td></tr> <tr> <td>2X12</td><td>1250</td><td>1700000</td></tr> <tr> <td rowspan="5">RAFTERS, JOISTS AND STUDS #2 H.F.</td><td>2X4</td><td>1000</td><td>1500000</td></tr> <tr> <td>2X6</td><td>1000</td><td>1500000</td></tr> <tr> <td>2X8</td><td>1000</td><td>1500000</td></tr> <tr> <td>2X10</td><td>1000</td><td>1500000</td></tr> <tr> <td>2X12</td><td>1000</td><td>1500000</td></tr> <tr> <td>Gang-Lam Beams (Fv = 285 PSI)</td><td>all</td><td>2800</td><td>2000000</td></tr> </tbody> </table>													CLASSIFICATION	SIZE	BENDING F _b	MODULUS OF ELASTICITY "E"	POSTS #1 D.F.		1200	1600000	HEADERS, BEAMS, ROOF HIPS #1 S.P.	2X4	1850	1700000	2X6	1650	1700000	2X8	1500	1700000	2X10	1300	1700000	2X12	1250	1700000	RAFTERS, JOISTS AND STUDS #2 H.F.	2X4	1000	1500000	2X6	1000	1500000	2X8	1000	1500000	2X10	1000	1500000	2X12	1000	1500000	Gang-Lam Beams (Fv = 285 PSI)	all	2800	2000000
CLASSIFICATION	SIZE	BENDING F _b	MODULUS OF ELASTICITY "E"																																																					
POSTS #1 D.F.		1200	1600000																																																					
HEADERS, BEAMS, ROOF HIPS #1 S.P.	2X4	1850	1700000																																																					
	2X6	1650	1700000																																																					
	2X8	1500	1700000																																																					
	2X10	1300	1700000																																																					
	2X12	1250	1700000																																																					
RAFTERS, JOISTS AND STUDS #2 H.F.	2X4	1000	1500000																																																					
	2X6	1000	1500000																																																					
	2X8	1000	1500000																																																					
	2X10	1000	1500000																																																					
	2X12	1000	1500000																																																					
Gang-Lam Beams (Fv = 285 PSI)	all	2800	2000000																																																					
23) All headers to be 2 - 2" x 12" unless specified otherwise. 24) Provide double jack studs at each end of headers and beams, 4'-0" to 5'-11", and triple jack studs for 6'-0" or longer, unless noted otherwise. 25) Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".																																																								
26) All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications. 27) Contractor to provide architect with shop drawings for all roof and floor trusses. Shop drawings to be provided to architect for approval prior to ordering trusses. 28) Provide solid blocking under all jack studs not bearing directly on joists or T.J.I.'s. 29) In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs. 30) Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty-five thousandths (0.045)" thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails. 31) Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load. 32) Unless specified otherwise provide the following lintel over masonry openings: <table border="1"> <tbody> <tr> <td rowspan="4">BRICK & STONE: UP TO 4"</td><td>3'-0"</td><td>3 1/2" X 3 1/2" X 1/4"</td></tr> <tr> <td>5'-0"</td><td>3 1/2" X 4" X 1/4"</td></tr> <tr> <td>8'-0"</td><td>3 1/2" X 5" X 5/16"</td></tr> <tr> <td>9'-0"</td><td>3 1/2" X 6" X 5/16"</td></tr> <tr> <td rowspan="4">STONE: UP TO 6"</td><td>3'-0"</td><td>6" X 4" X 5/16"</td></tr> <tr> <td>5'-0"</td><td>6" X 6" X 5/16"</td></tr> <tr> <td>8'-0"</td><td>6" X 6" X 3/8"</td></tr> <tr> <td>9'-0"</td><td>6" X 8" X 7/16"</td></tr> </tbody> </table>													BRICK & STONE: UP TO 4"	3'-0"	3 1/2" X 3 1/2" X 1/4"	5'-0"	3 1/2" X 4" X 1/4"	8'-0"	3 1/2" X 5" X 5/16"	9'-0"	3 1/2" X 6" X 5/16"	STONE: UP TO 6"	3'-0"	6" X 4" X 5/16"	5'-0"	6" X 6" X 5/16"	8'-0"	6" X 6" X 3/8"	9'-0"	6" X 8" X 7/16"																										
BRICK & STONE: UP TO 4"	3'-0"	3 1/2" X 3 1/2" X 1/4"																																																						
	5'-0"	3 1/2" X 4" X 1/4"																																																						
	8'-0"	3 1/2" X 5" X 5/16"																																																						
	9'-0"	3 1/2" X 6" X 5/16"																																																						
STONE: UP TO 6"	3'-0"	6" X 4" X 5/16"																																																						
	5'-0"	6" X 6" X 5/16"																																																						
	8'-0"	6" X 6" X 3/8"																																																						
	9'-0"	6" X 8" X 7/16"																																																						
33) All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated. 34) All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications. 35) Chimney and fireplace construction to be in accordance with I.R.C. Chapter 10 and fig. R-1001.1.																																																								
36) Fireplace hearth to project 20" from front of facing and 12" to side of opening. 37) Firestopping shall be provided according to I.R.C. Sec. R - 602.8. The integrity of all firestopping shall be maintained. 38) Draftstopping shall be provided according to I.R.C. Sec. R - 302.12. 39) Provide radon mitigation according to I.R.C. - Appendix F. 40) Provide interconnected smoke detectors, carbon monoxide detectors to protect all floors, bedrooms, and basements according to I.R.C. Sec. R-313 & R-314. 41) Stairways shall comply with I.R.C. Sec. R-311. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 10". Maximum riser to be 7 3/4". 42) Handrails & guardrails shall comply to I.R.C. Sec. R-311 & 312. 43) All exits shall comply to I.R.C. Sec. R-311. 44) Sleeping room windows shall comply with I.R.C. Sec. R-310 Maximum sill height 44" above finished floor. 45) All Glazing shall comply to I.R.C. Sec. R-308. 46) All Ceiling heights shall comply to I.R.C. Sec. R-305. 47) All exterior wall coverings shall comply to I.R.C. Sec. R-703. 48) All gas piping shall conform to N.F.P.A. 54 or 2011 IFGC. 49) Electrical wiring must conform to																																																								

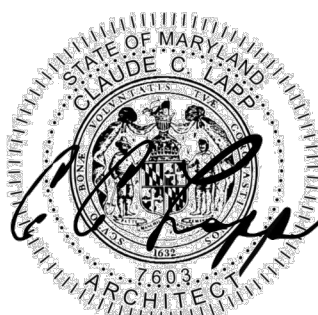
INDEX	
000	COVER SHEET
Z100	SITE PLAN
D100	DEMOLITION PLANS
A100	UNDERPINNING & BASEMENT FLOOR PLANS
A101	FIRST & SECOND FLOOR PLANS
A102	ROOF PLAN
A200	FRONT & RIGHT ELEVATIONS
A201	REAR & LEFT ELEVATIONS
A300	SECTIONS A & B
A301	SECTION C & D; UNDERPIN NOTES & DETAILS
A302	DETAILS
A303	SECTION E: DETAILS
A400	WIND BRACING DETAILS
S100	FIRST & SECOND FLOOR FRAMING PLANS
S101	ROOF FRAMING PLAN
S110	BEAM CALCULATIONS
S200	STRUCTURAL PANEL ANALYSIS



CLAUDE C. LAPP
— ARCHITECTS, LLC —

**11820 PARKLAWN DRIVE, SUITE 100
ROCKVILLE, MD 20852
TEL. 301-881-6856
WWW.CCLARCHITECTS.COM
INFO@CCLARCHITECTS.COM**

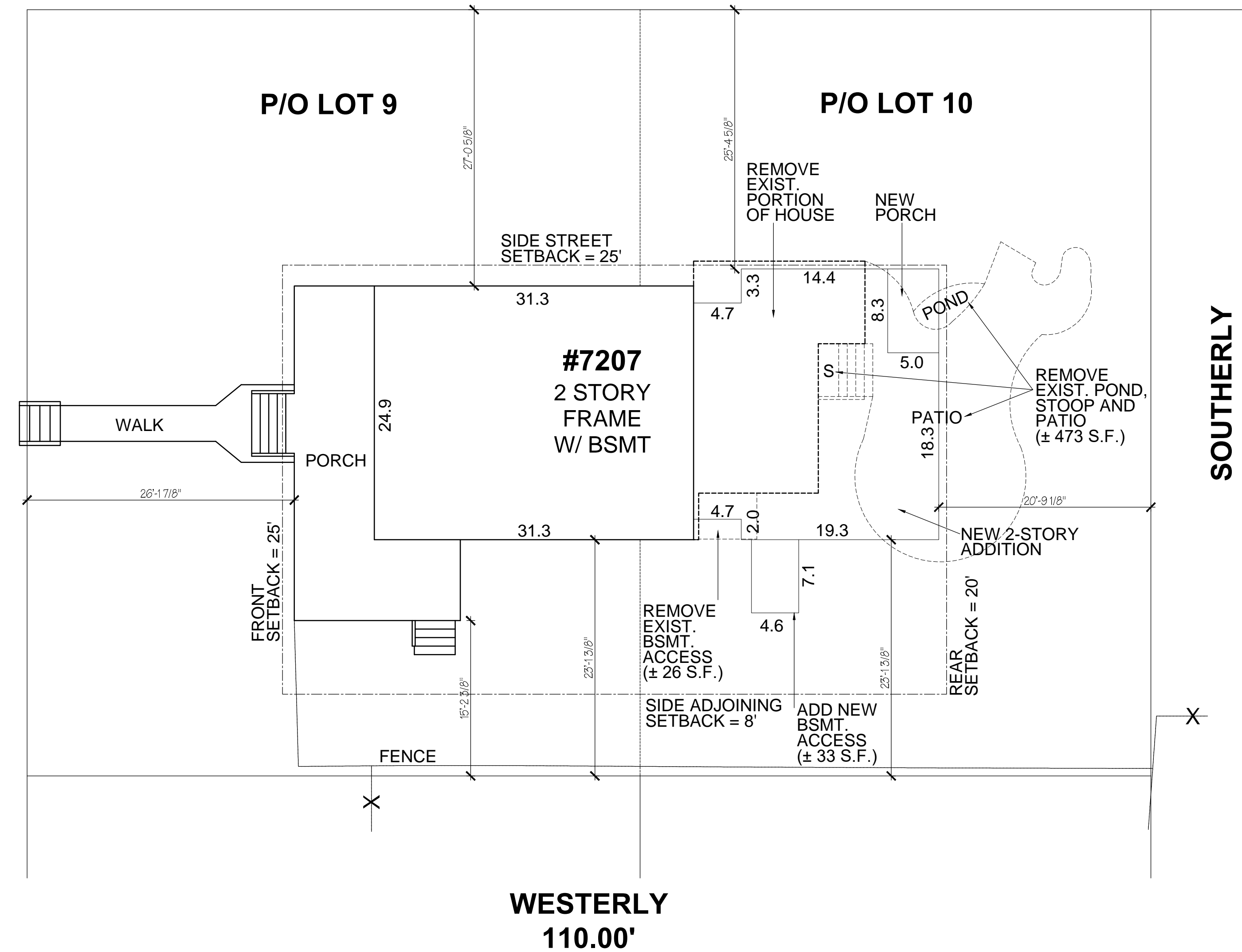
INDEX		
S201	STRUCTURAL PANEL ANALYSIS	
EC100	THERMAL ENVELOPE	
EC101	THERMAL ENVELOPE	
EC110	RESCHECK	
REVISIONS		
10/16/19	ADDED BILCO DOOR ACCESS FROM	
	BASEMENT; REPLACED LOUVER	
	IN EXIST DORMER	



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE 7603-R, EXPIRATION DATE 04-26-2021



EASTERLY
110.00'



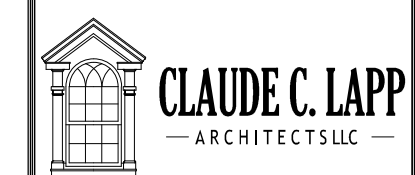
SCALE: 1" = 10'
DATE: 05-09-2019

NEW BSMT FL. = 519 S.F.
NEW 1ST FL. = 570 S.F.
NEW PORCH = 41 S.F.
NEW 2ND FL. = 611 S.F.

[illegible]

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

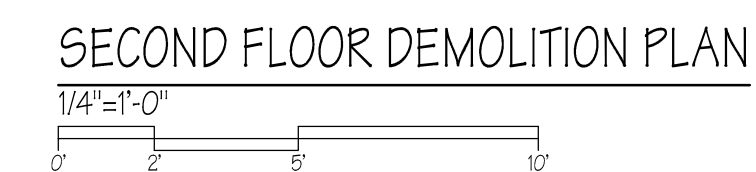
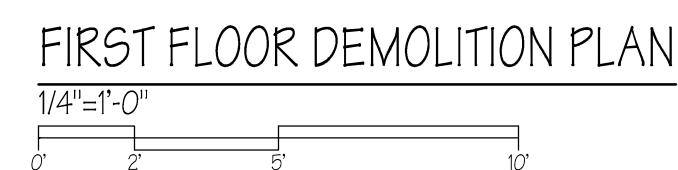
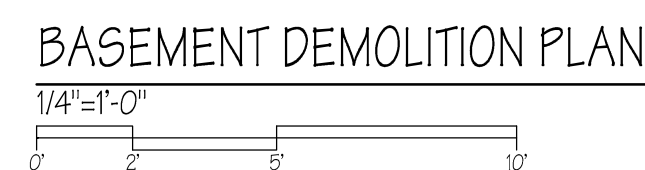
ADDITION FOR: **MR. & MRS. THOMAS DYSKIEWICZ**
7207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815
TEL: (240) 832-8769

MODEL: **CUSTOM HOME RENOVATION & ADDITION**

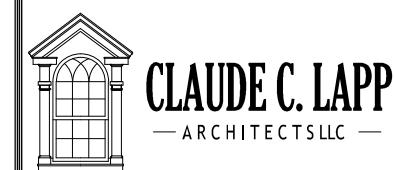
DRAWING TITLE: **SITE PLAN**

DRAWN BY JRS	DATE 08-19-19	SHEET NO. Z100
CHECKED BY CCL	10-16-19	
PAGE 2 OF 19		

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-28-2021

[illegible]

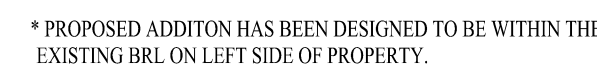
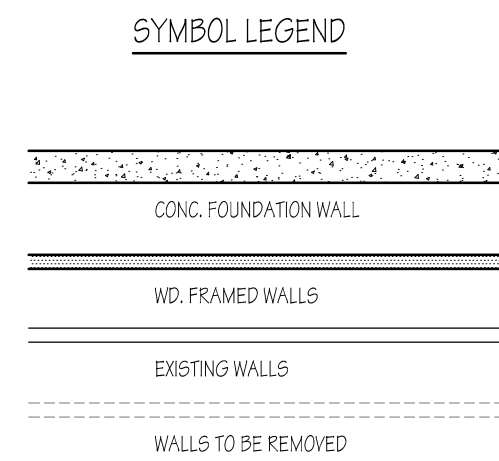
CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

EDITION 1792
MR. & MRS. THOMAS DYSKIEWICZ
7207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815
TEL: (240) 832-8769
MODEL
CUSTOM HOME RENOVATION & ADDITION
DEMOLITION PLANS

DRAWN BY JRS	DATE 08-19-19	SHEET NO. D100
CHECKED BY CCL		
PAGE 3 OF 19		



DRAWN BY JRS	DATE 08-19-19	SHEET NO. A100
CHECKED BY CCL	10-16-19	
PAGE 4 OF 10		


$$\frac{1}{4} = 1 - 0.75$$

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 7603-R, EXPIRATION DATE 04-26-2021

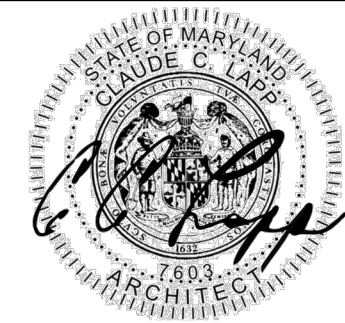
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



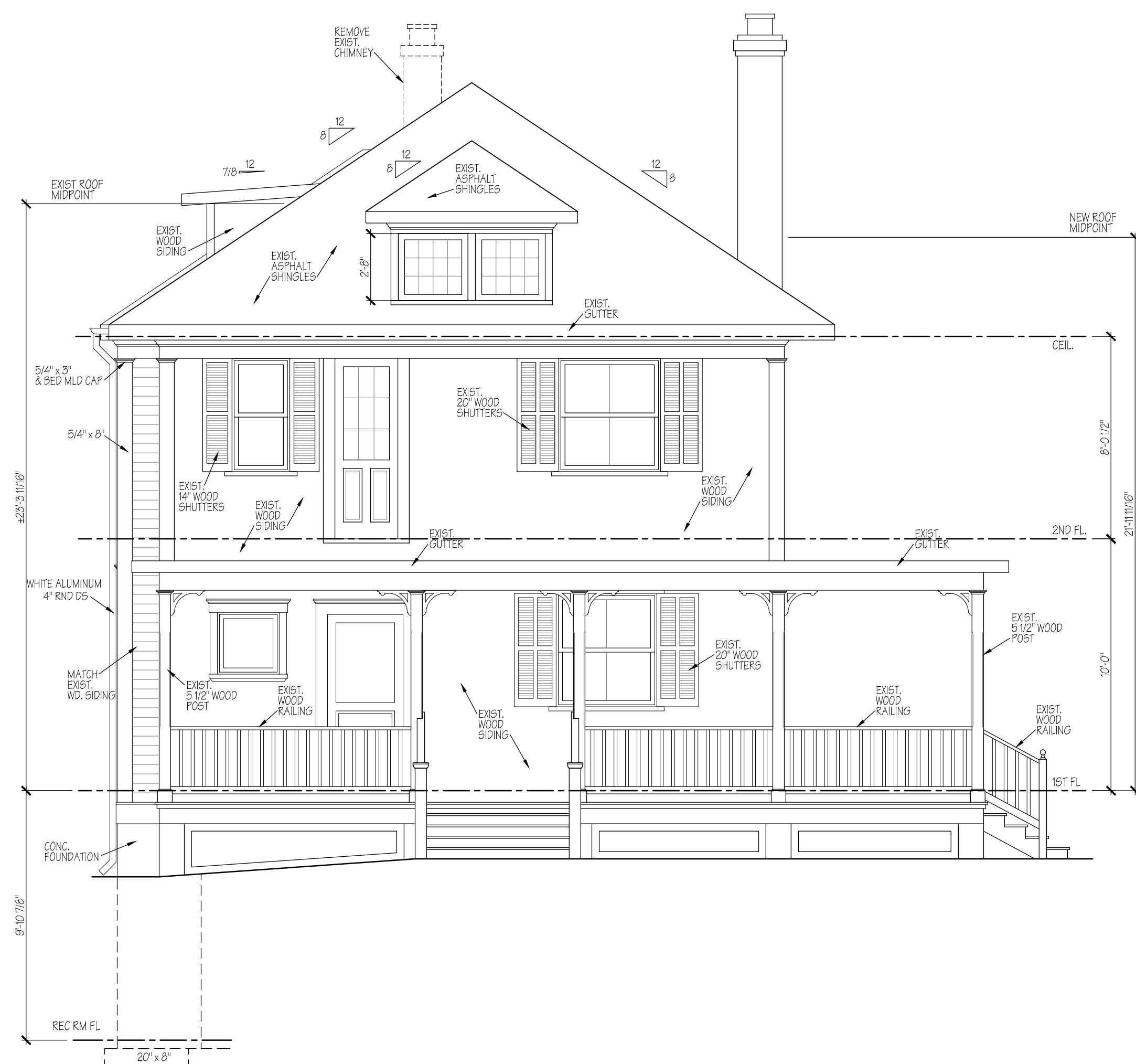
11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

ADDITION FOR:
MR. & MRS. THOMAS DYSKIEWICZ
7207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815
TEL: (240) 832-8769

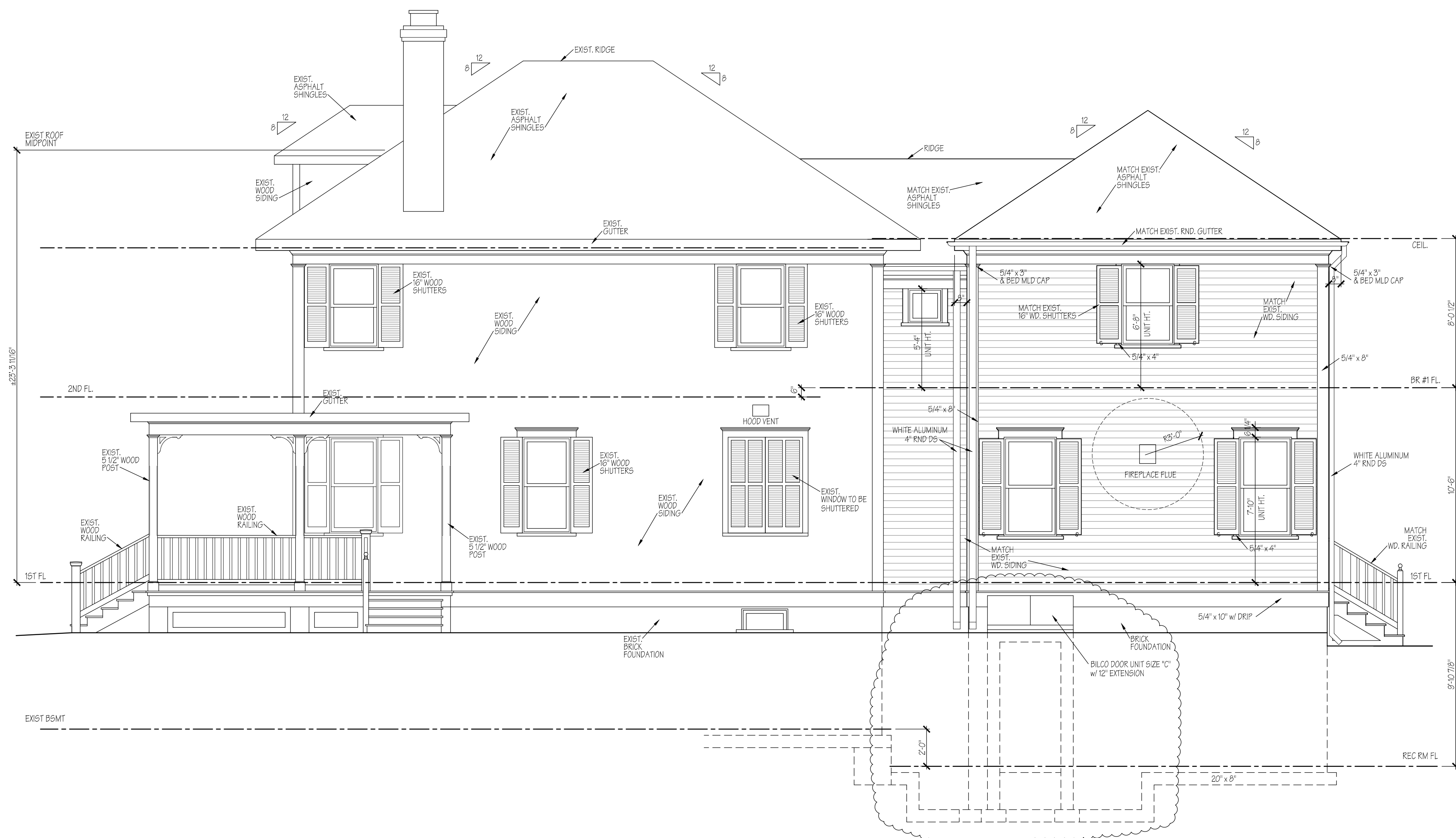
CUSTOM HOME RENOVATION & ADDITION

DRAWING TITLE
ROOF PLAN

DRAWN BY JRS	DATE 08-19-19	SHEET NO. A102
CHECKED BY CCL		
PAGE 6 OF 19		



LEFT SIDE OF ADDITION ADJUSTED TO BE WITHIN SIDE BRL



ALL SHUTTERS ARE OPERABLE

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R, EXPIRATION DATE 04-26-2021

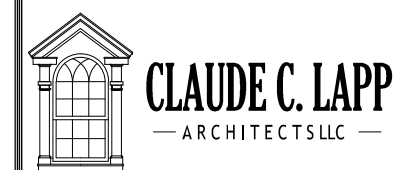
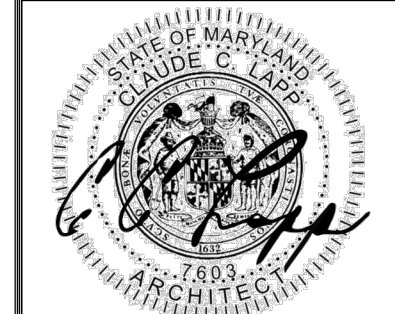
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

EDITION 1792
MR. & MRS. THOMAS DYSKIEWICZ
7207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815
TEL: (240) 832-8769
MODEL
CUSTOM HOME RENOVATION & ADDITION
DRAWING TITLE
FRONT & RIGHT ELEVATIONS

DRAWN BY JRS	DATE 08-19-19	SHEET NO. A200
CHECKED BY CCL	10-16-19	
PAGE 1 OF 19		

DRAWN BY JRS	DATE 08-19-19	SHEET NO. A300
CHECKED BY CCL		
PAGE 3 OF 38		

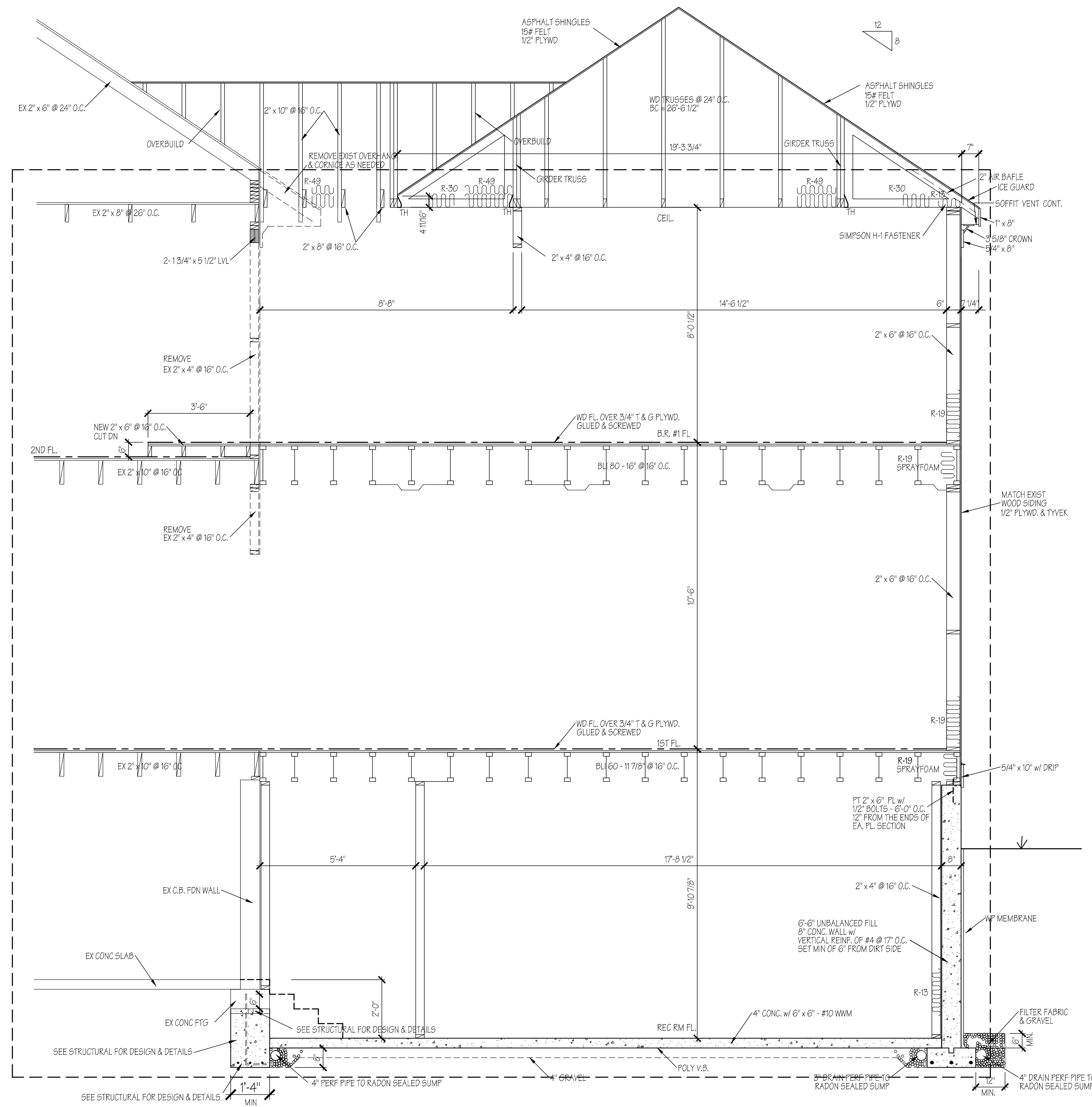
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARY AND
EXPIRATION DATE 04-28-2021
7603-R
LICENSE #

DR	ADDITION FOR:
JR	
CH	
CO	
RE	

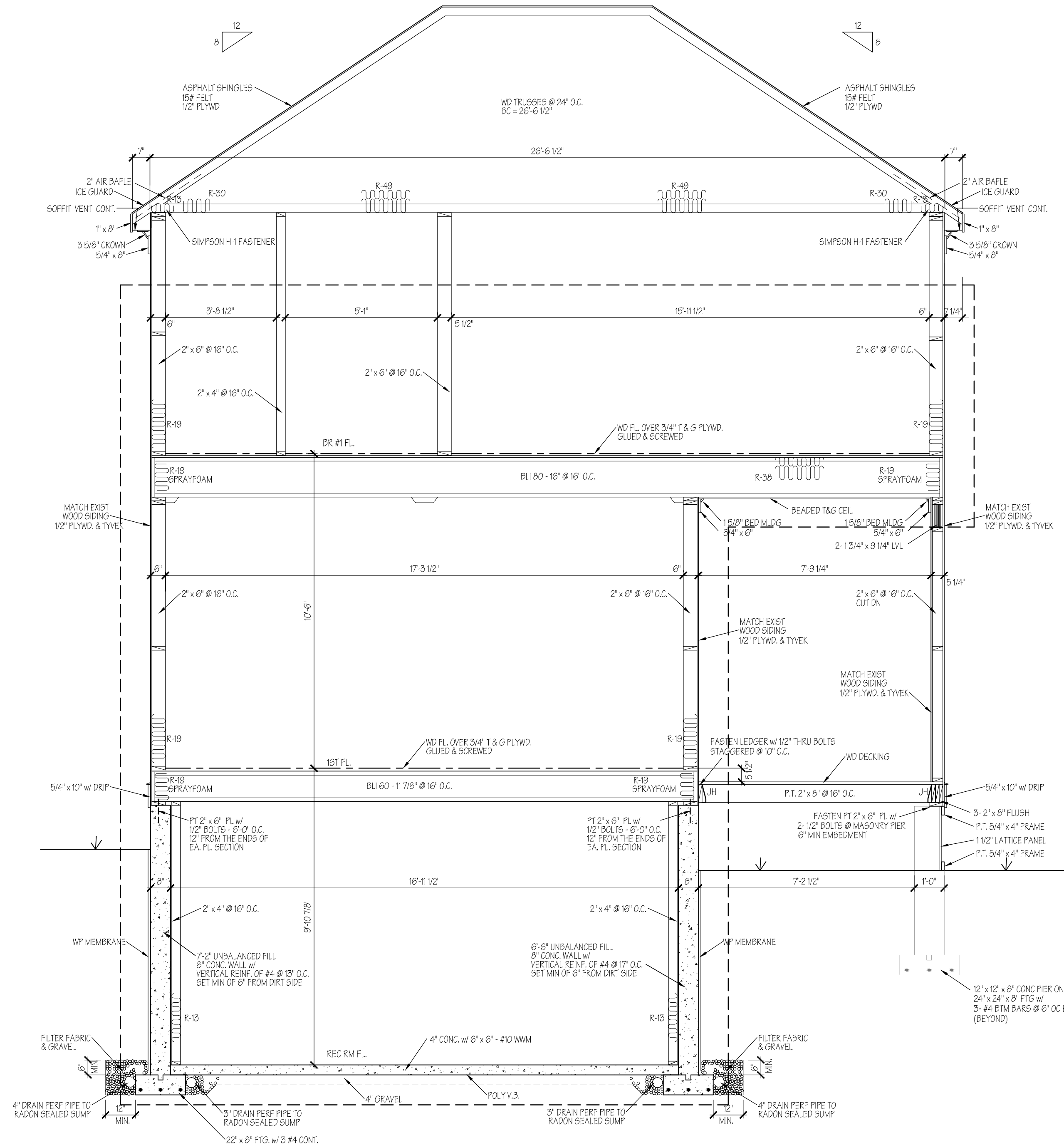
DRAWN BY JRS
CHECKED BY CCL
PAGE 005

SHEET NO.
A300

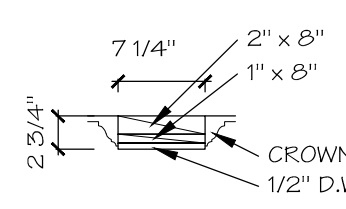
18



SECTION
3/8"=1'-0"



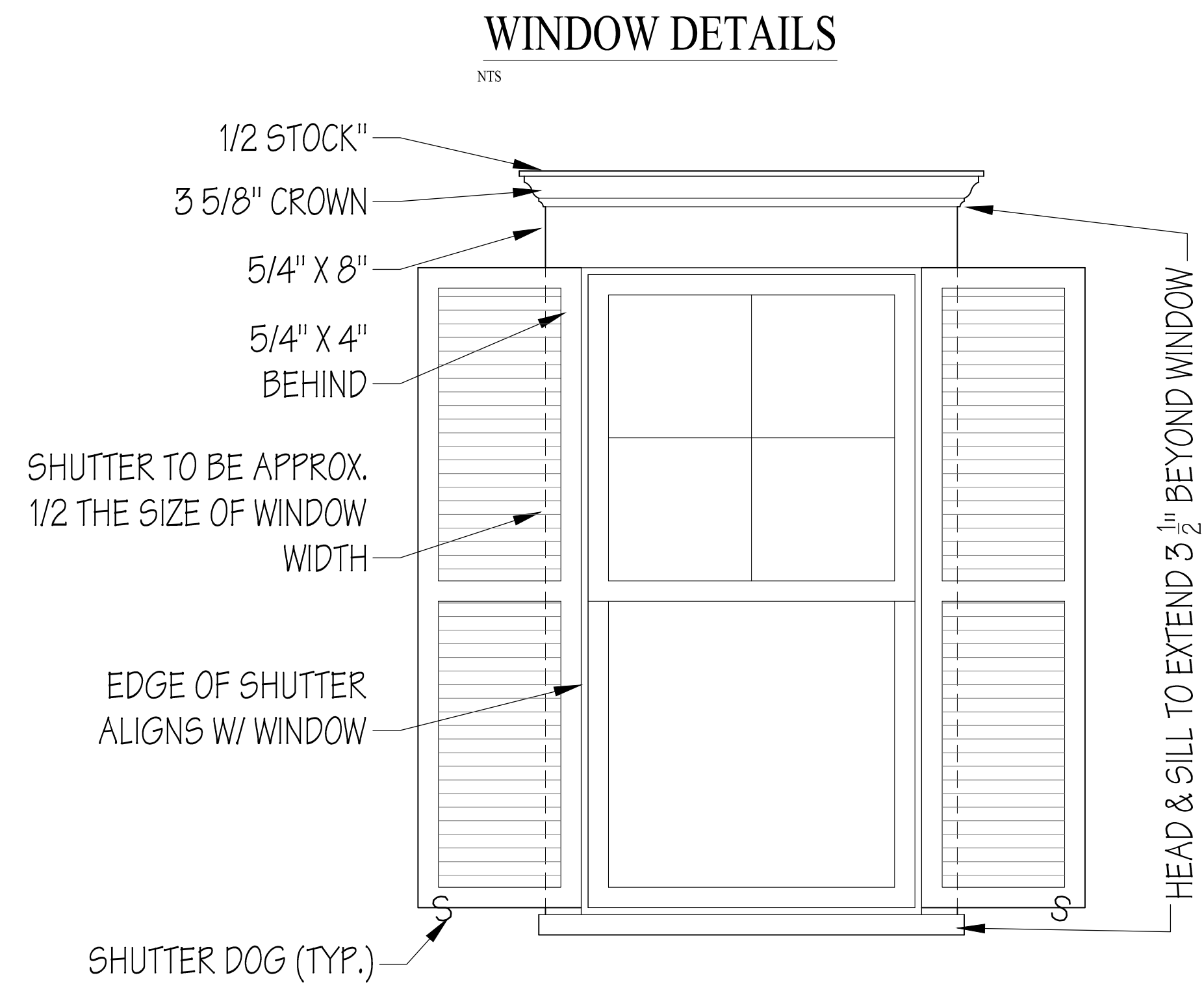
SECTION
3/8"=1'-0"



BEAMED COFFER DETAIL

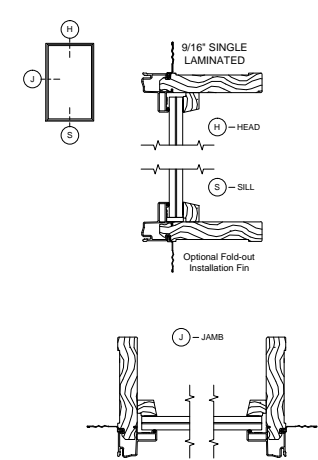
SCALE: 3/4"=1'-0"

THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE R402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION.



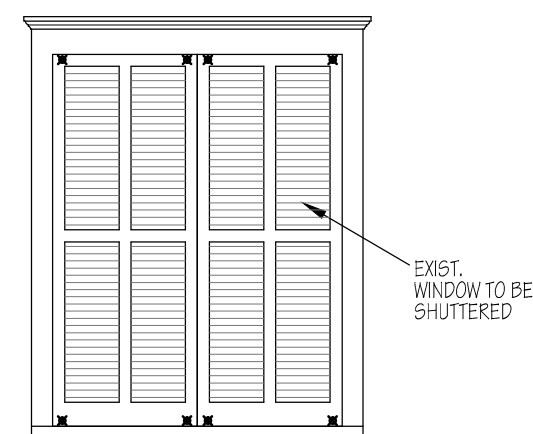
WINDOW DETAILS

NTS



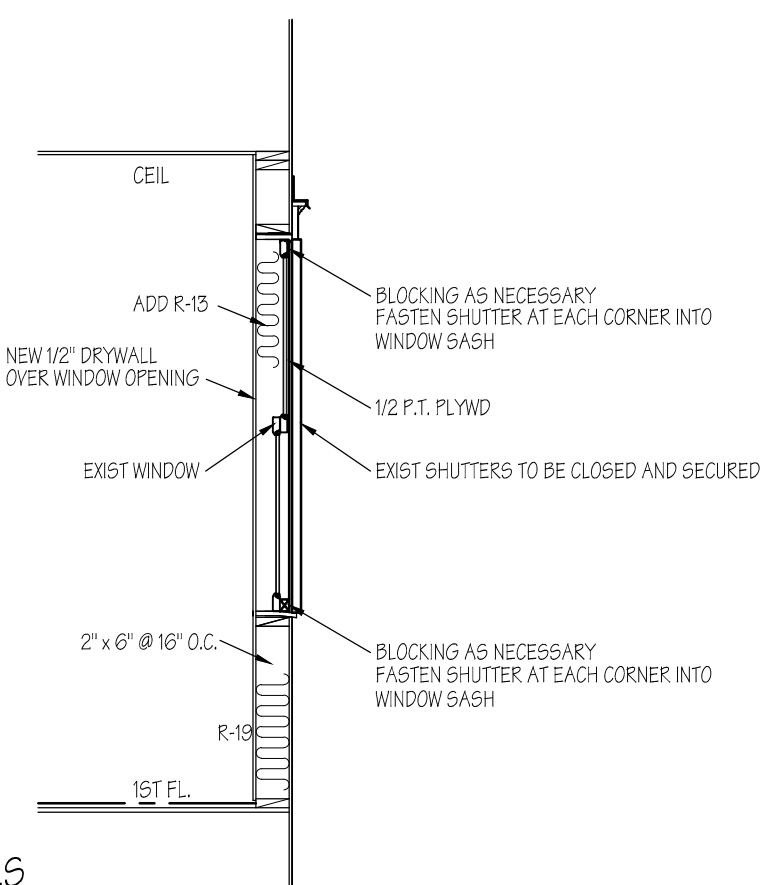
DORMER SASH DETAIL

N.T.S.



✱ LOCATION OF FASTENER THRU SHUTTER INTO EXISTING WINDOW SASH FOR FUTURE REMOVAL IF NECESSARY

WINDOW SHUTTER DETAILS

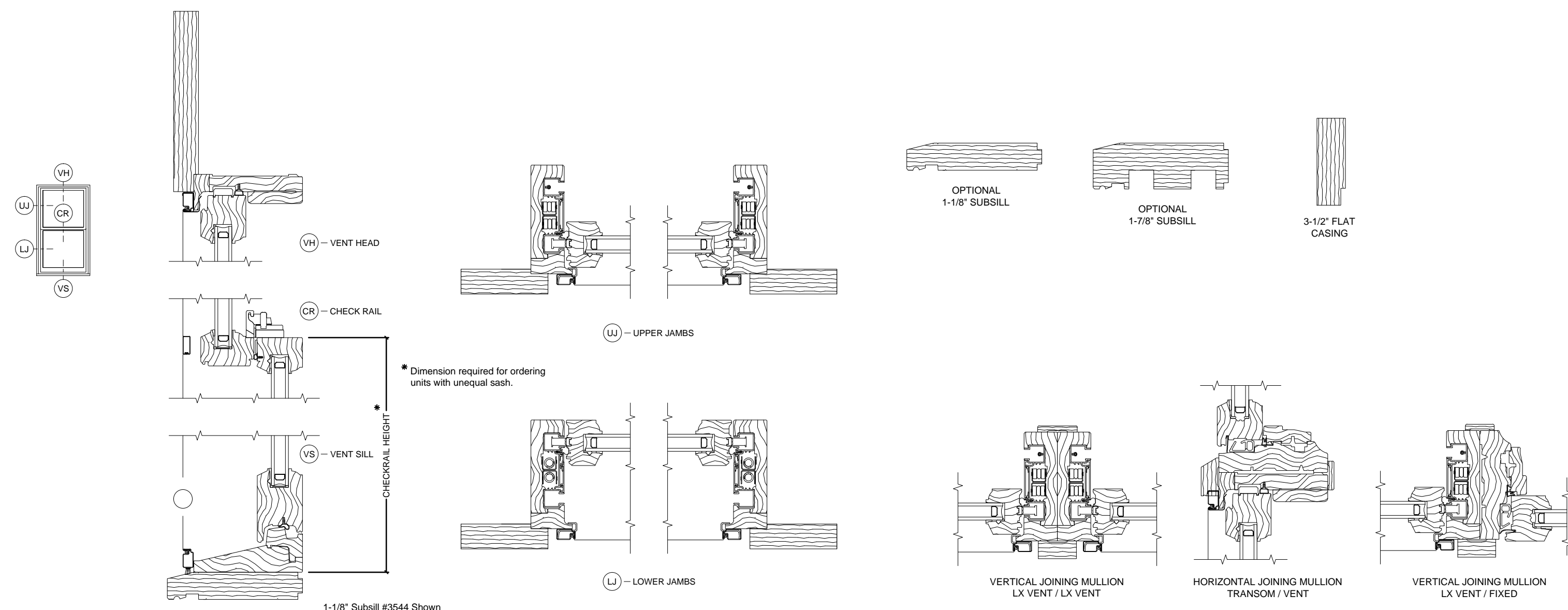
$$3/8'' = 1' - 0''$$


RAILING COMPONENT DETAIL

N.T.S.

NEWEL POST DETAIL

N.T.S.



WINDOW DETAILS

N.T.S.

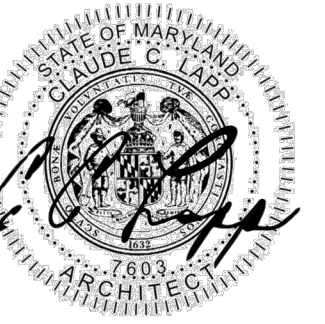
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

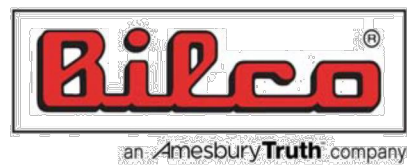
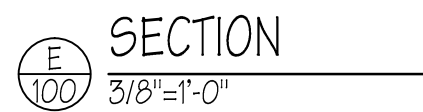
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

PROFESSIONAL CERTIFICATION:

MR. & MRS. THOMAS DYSKIEWICZ
77207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815
TEL: (240) 832-8769

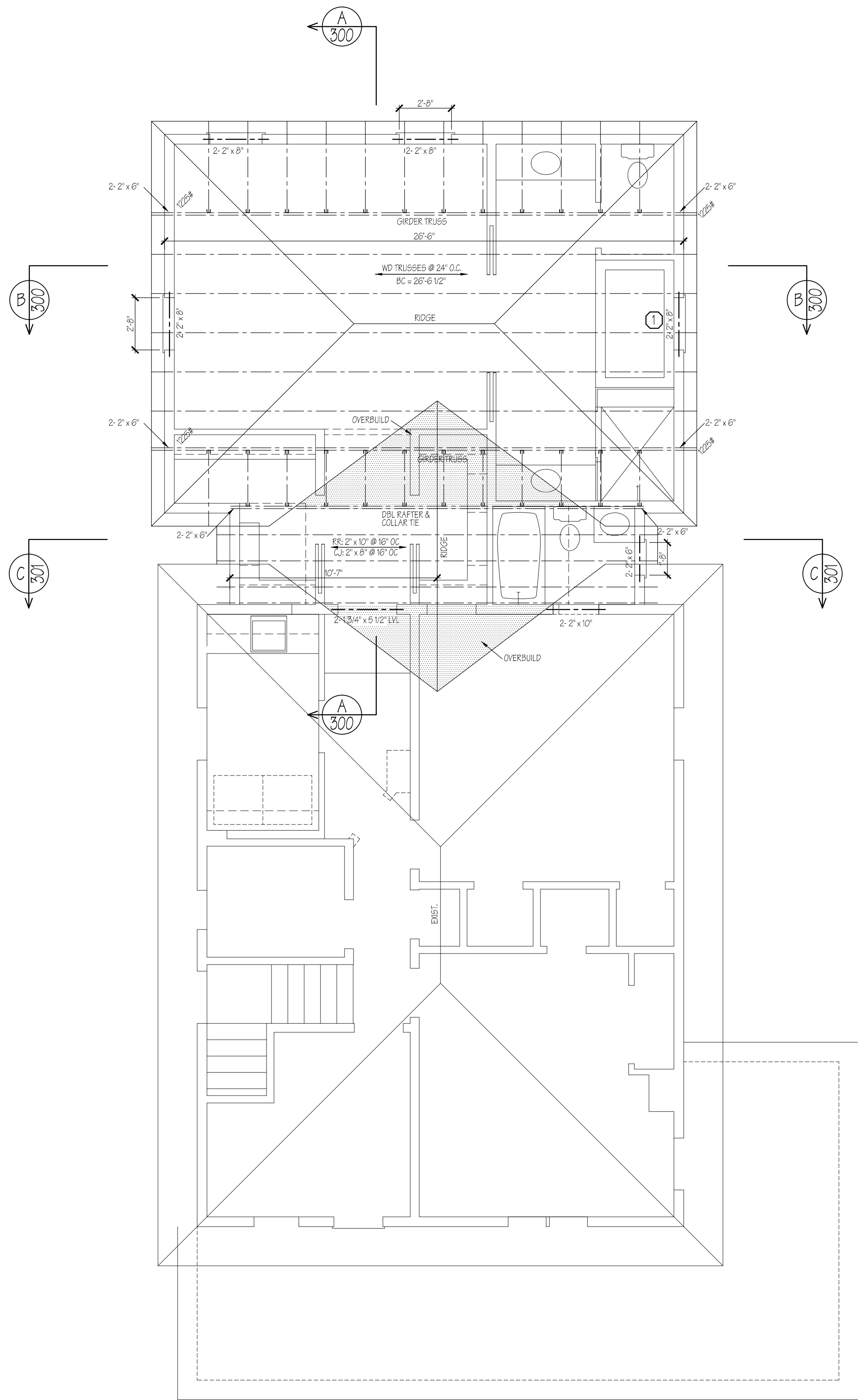
CUSTOM HOME RENOVATION & ADDITION DRAWING TITLE DETAILS

DRAWN BY JRS	DATE 08-19-19	SHEET NO. A302
CHECKED BY CCL	10-16-19	
PAGE 11 OF 19		

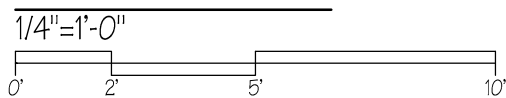


BILCO Basement Doors meet the International Building Codes found in section R310.3

DRAWN BY JRS	DATE 08-19-19	SHEET NO. A303
CHECKED BY CCL	10-16-19	
PAGE 1-8 OF 19		



ROOF FRAMING



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 7603-R, EXPIRATION DATE 04-26-2021

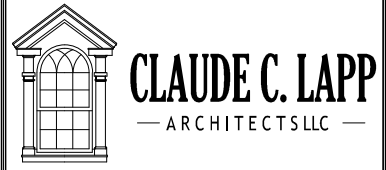
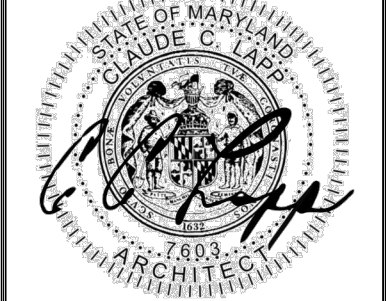
DATE	REMARKS

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDE C. LAPP ARCHITECTS, LLC



11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

ADDITION FOR: MR. & MRS. THOMAS DYSKIEWICZ 7207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815 TEL: (240) 832-8769	MODEL: CUSTOM HOME RENOVATION & ADDITION ROOF FRAMING
--	---

DRAWN BY JRS	DATE 08-19-19	SHEET NO. S101
CHECKED BY CCL	PAGE 11 OF 11	

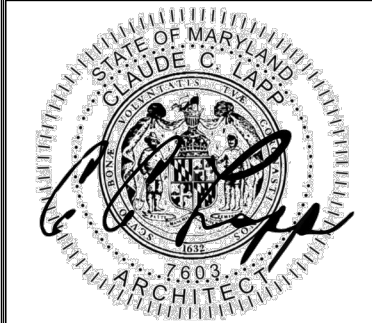
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

MD 20815

EDITION FOR:
MR. & MRS. THOMAS DYSKIEWICZ
12707 THORNAPPLE PLACE, CHEVY CHASE
TEL: (240) 832-8769

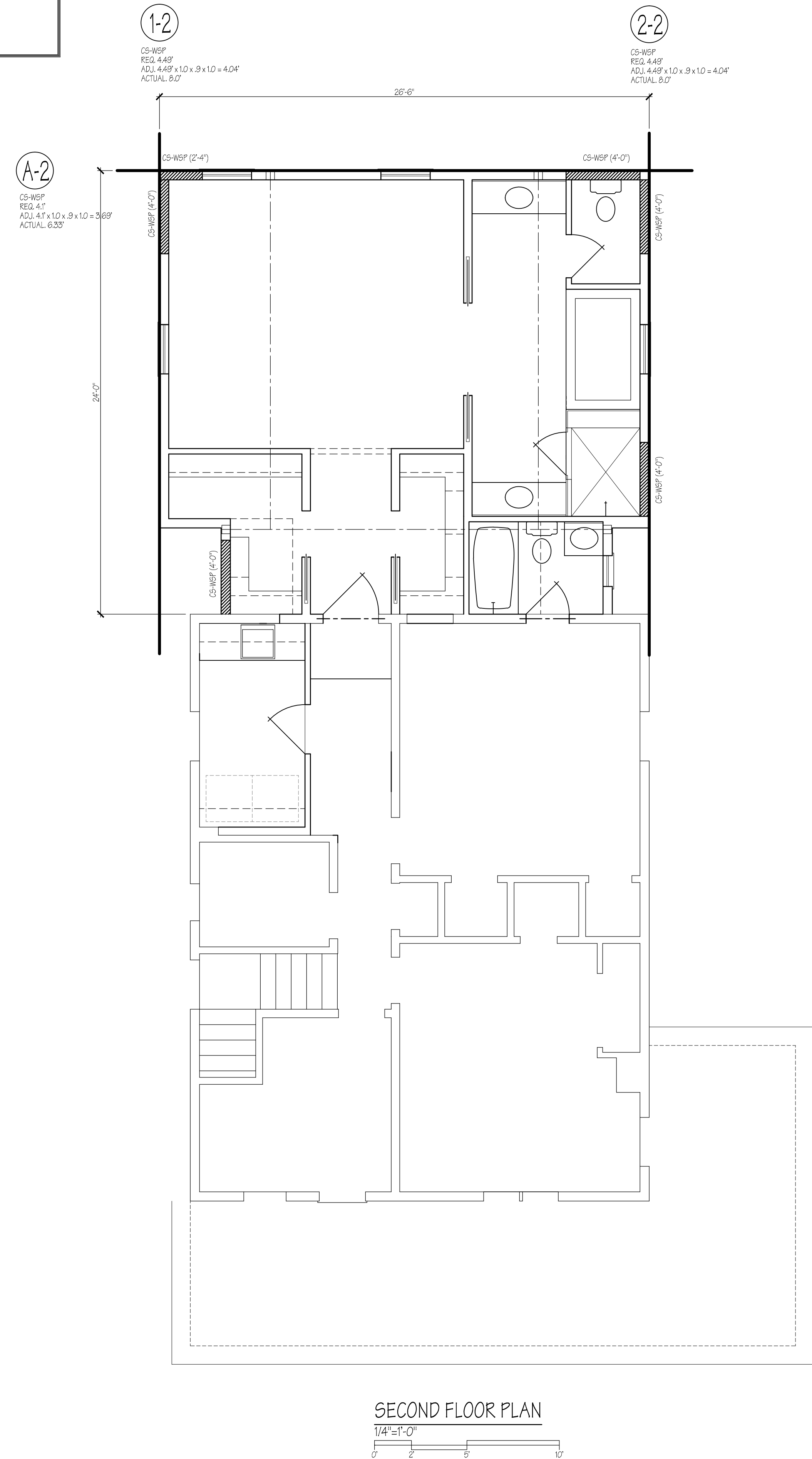
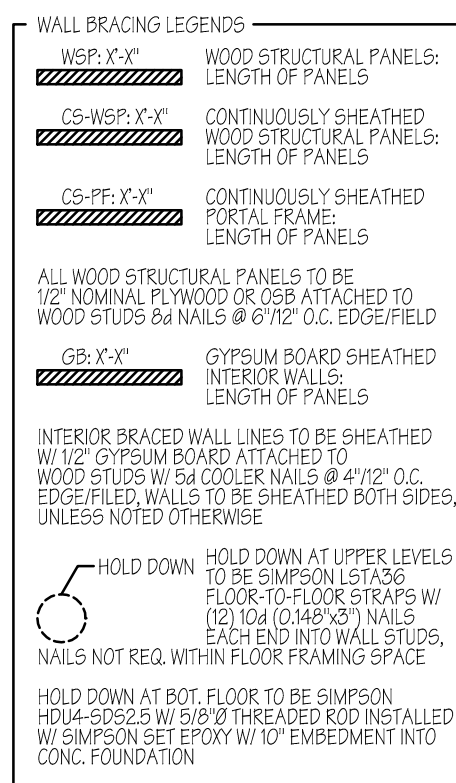
MODEL

CUSTOM HOME RENOVATION & ADDITION

DRAWING TITLE

BEAM CALCULATIONS

DRAWN BY JRS	DATE 08-19-19	SHEET NO. S110
CHECKED BY CCL		
PAGE 14 OF 19		

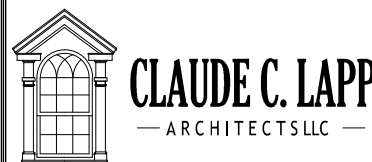
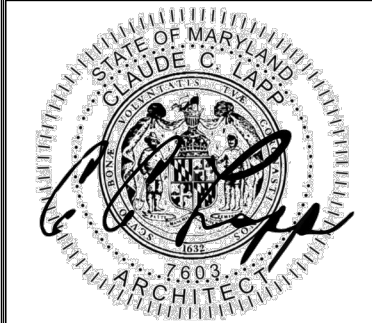
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC

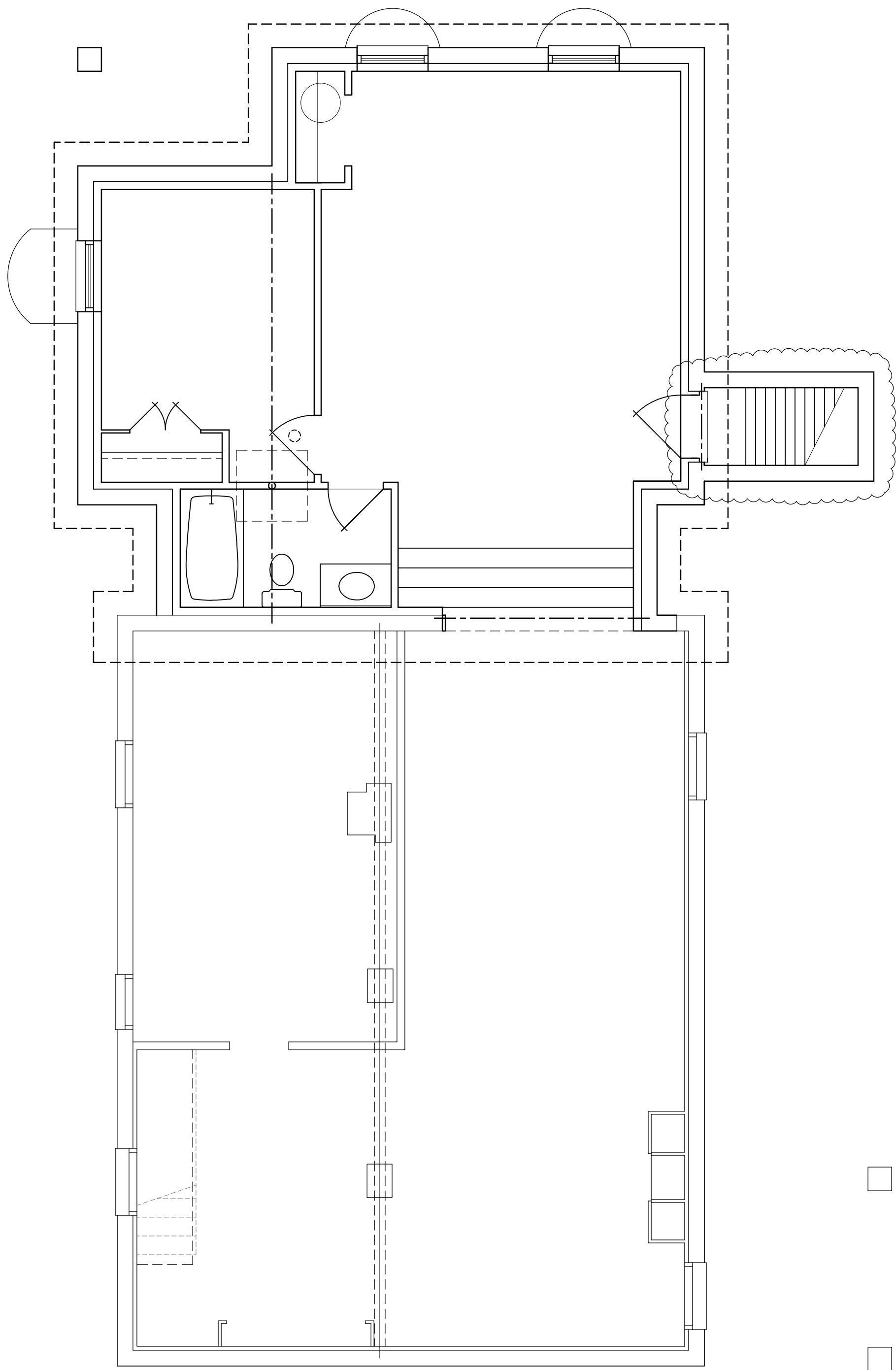


11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

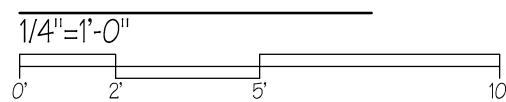
ADDITION FOR:
MR. & MRS. THOMAS DYSKIEWICZ
 7207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815
 TEL: (240) 832-8769
 MODEL
 CUSTOM HOME RENOVATION & ADDITION
 DRAWING TITLE
STRUCTURAL PANEL ANALYSIS

DRAWN BY JRS	DATE 08-19-19	SHEET NO. 10-16-19
CHECKED BY CCL		S200
PAGE 15 OF 19		

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 7603-R, EXPIRATION DATE 04-26-2021



BASEMENT PLAN

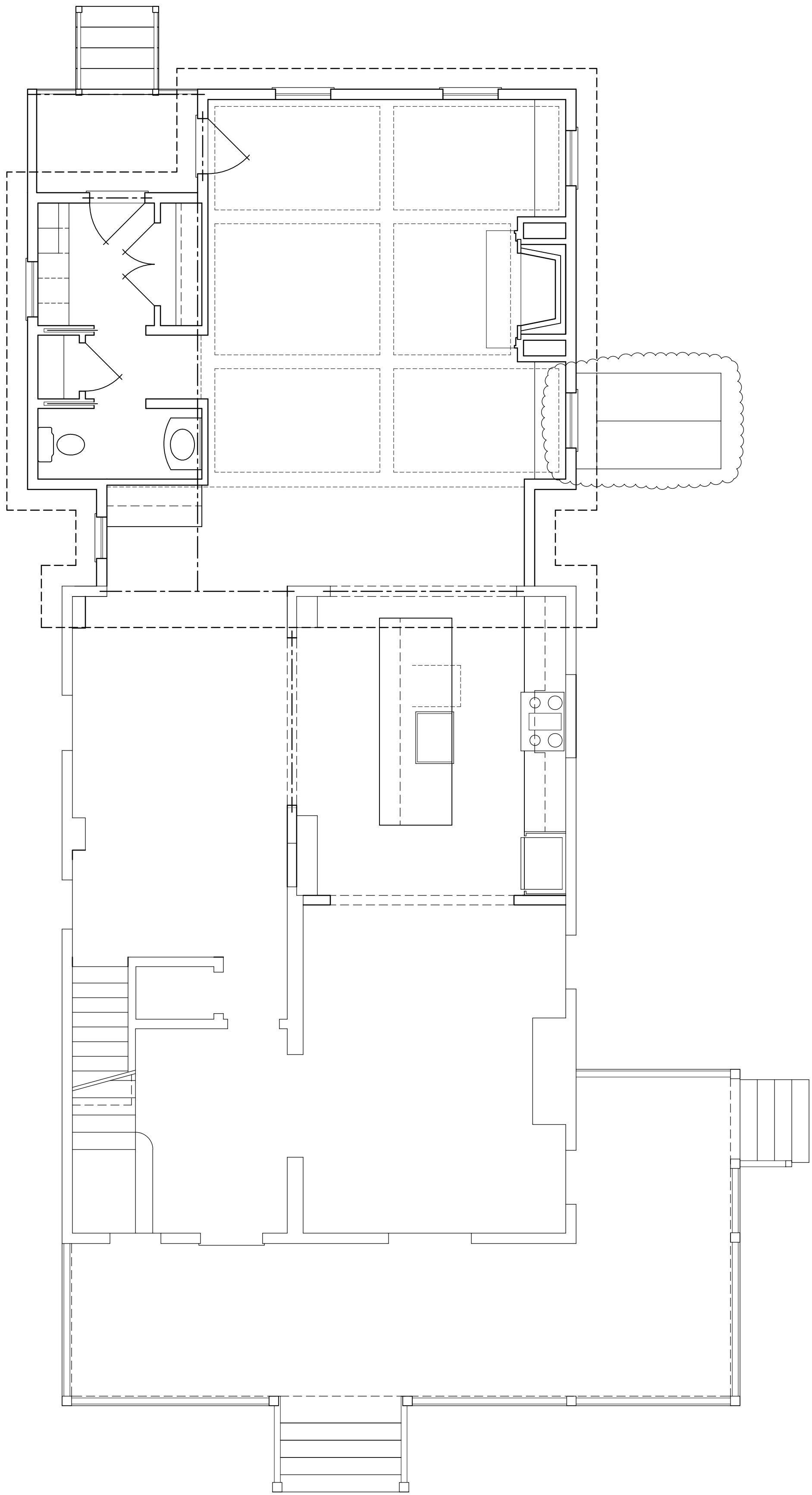


LEGENDS

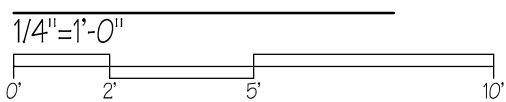
- LINE OF BUILDING THERMAL ENVELOPE
- CELL THERMAL AREA R-49
- CELL THERMAL AREA R-30
- THERMAL AREA OVER UNCONDITIONED SPACE
- THERMAL AREA OVER OUTSIDE AIR

NOTES

1. ALL DUCTS TO BE INSUL W/ MINIMUM R-6; R-8 IN ATTICS
2. ALL DUCTS TO BE SEALED PER IRC M601.4.1



FIRST FLOOR PLAN



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 7603-R, EXPIRATION DATE 04-26-2021

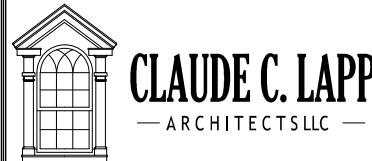
DATE	REMARKS
10-16-19	ADDED BILCO DOOR

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDE C. LAPP ARCHITECTS, LLC



11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

ADDITION FOR:

MR. & MRS. THOMAS DYSKIEWICZ
7207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815
TEL: (240) 832-8769

MODEL

CUSTOM HOME RENOVATION & ADDITION

DRAWING TITLE

THERMAL ENVELOPE

DRAWN BY JRS	DATE 08-19-19	SHEET NO.
CHECKED BY CCL	10-16-19	EC100
PAGE 11 OF 11		

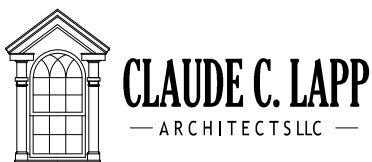
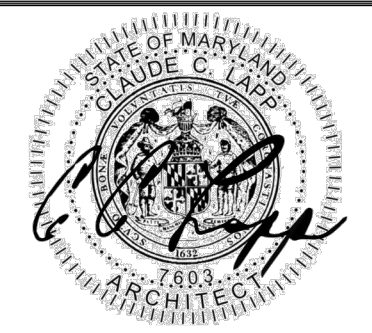
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



11820 PARKLAWN DRIVE
SUITE 100
ROCKVILLE, MD 20852
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

HASE, MD 20815
 ON

ADDITION FOR:
MR. & MRS. THOMAS DYSKIEWICZ
7207 THORNAPPLE PLACE, CHEVY CHASE
TEL: (240) 832-8769

MODEL
CUSTOM HOME RENOVATION & ADDITION
DRAWING TITLE
RESCHECK

DRAWN BY JRS	DATE 08-19-19	SHEET NO. EC110
CHECKED BY CCL		
PAGE 19 OF 19		