

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3804 Bradley Ln., Chevy Chase	Meeting Date:	11/13/2019
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	11/6/2019
Applicant:	David Wodlinger (Phillip Long, Architect)	Public Notice:	10/30/2019
Review:	HAWP	Tax Credit:	No
Case Number:	35/13-19QQ	Staff:	Michael Kyne
PROPOSAL:	Pool house and pool construction, and other alterations		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Craftsman
DATE: 1892-1916

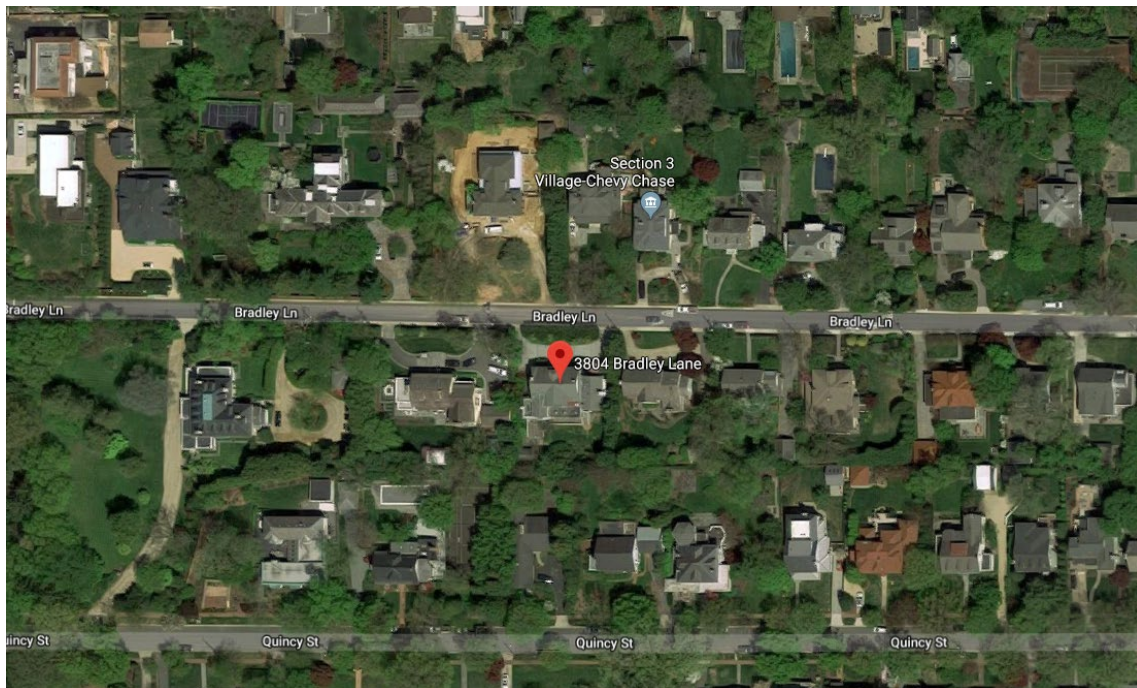


Fig. 1: Subject property.

PROPOSAL:

The applicant propose construction of a swimming pool, construction of a pool house, and other alterations at the rear of the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny if they are visible from the public right-of-way. Addition of compatible storm doors should be encouraged.

Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.

Fences should be subject to strict scrutiny if they detract significantly from the existing open streetscape. Otherwise, fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building.

Gutters are not currently subject to review and should not be reviewed.

Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources.

Skylights should subject to strict scrutiny if visible from the public right-of-way, otherwise they should be subject to lenient scrutiny.

Swimming pools should be subject to lenient scrutiny. However, tree removal should be subject to strict scrutiny as noted below.

Tree removal should be subject to strict scrutiny and consistent with the Chevy Chase Village Forest Ordinance.

Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Vinyl and aluminum windows (other than storm windows) should be discouraged.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The subject property is a c. 1892-1916 Craftsman-style Contributing Resource within the Chevy Chase Village Historic District. The applicant proposes the following work items at the subject property:

- Construct a 39'-6" x 12' swimming pool at the rear of the subject property.
- Construct a pool house with deck and pergola at the rear of the subject property.
 - Pool house to be constructed from painted brick to match the historic house.
 - Pool house doors and windows to be aluminum-clad SDL with permanently affixed muntins and spacer bars.
 - Pool house to have three skylights on the roof.
 - Deck to be at grade And constructed from wood.
 - Pergola to be constructed from wood with synthetic trim.
 - Pool house and pergola to have flat seamed copper roof with built-in gutters and copper downspouts.
 - Built-in grill and cabinets to be installed on deck at east side of the proposed pool house.
- Install hardscaping, including walkways, a terrace, outdoor fireplace, and retaining walls at the

rear of the subject property.

- Walkways to be stone with pea gravel surround.
- Terrace to be 24' x 22'-2" and made from stone.
- Outdoor fireplace to be brick, 15' high x 6' wide.
- Retaining walls at west side of the proposed terrace to be brick and approximately 1' to 2' high.
- Retaining wall at the rear/base of the existing deck to be brick and approximately 4' high, with attached stainless-steel cables/rose trellis.
- Install a 3' high wood with wire mesh deck railing on the existing deck at the rear of the subject property.
- Construct a roof over the existing deck at the rear of the subject property.
 - New roof and posts to be constructed from wood with synthetic trim.
 - New roof to have flat seamed copper roof with built-in gutters and copper downspouts.
- Construct new stairs to grade at the west side of the existing deck at the rear of the subject property.
 - Stairs to be constructed with stone treads and brick risers, with powder coated steel handrail.
- Install a 6' high wooden board-on-board fence at the rear of the subject property.
 - A 4' high wooden gate will be installed at the east (replacement) and west sides, connecting the historic house to west side fence.
- Remove the existing deck stairs to grade at the east side of the existing deck at the rear of the property.
- Remove the existing half circle stairs to grade at the rear of the historic house (from the media room).
- Construct new stairs to grade at the rear of the historic house (from the media room).
 - Stairs to be constructed with stone treads and brick risers, with powder coated steel handrail.
- Remove several ornamental trees at the rear of the subject property, including a 15" dbh twin cedar, 7" twin magnolia, and 10" holly.

Staff supports the applicant's proposal. The proposed alterations are at the rear of the subject property, where they will be minimally visible from the public right-of-way, at best. Staff finds that the proposed alterations should be reviewed with lenient scrutiny, in accordance with the *Guidelines*. The proposal will not remove or alter character defining features of the subject property, in accordance with *Standards #2* and *#9*. In accordance with *Standard #10*, the alterations can be removed in the future without impairing the essential form and integrity of the historic property and its environment.

After full and fair consideration of the applicant's submission staff finds the proposal, as revised, as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*, and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for *Rehabilitation #2, 9, and 10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPB - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: phil@cas-dc.com Contact Person: Phillip Long
Tax Account No.: _____ Daytime Phone No.: 301-763-2346-0
240-418-3204-M
Name of Property Owner: David Wodlinger Daytime Phone No.: 202-337-7506
Address: 3804 Bradley Ln Chevy Chase MD 20815
Street Number City State Zip Code
Contractor: TBD Phone No.: 202-337-7506
Contractor Registration No.: _____
Agent for Owner: Katia Goffin Daytime Phone No.: 202-352-5928

LOCATION OF BUILDING/PREMISE

House Number: 3804 Street: Bradley Lane
Town/City: Bethesda Nearest Cross Street: Connecticut Ave
Lot: 35 Block: 61 Subdivision: Chevy Chase Section 2
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☒ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☒ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☒ Fence/Wall (complete Section 4) ☐ Other: Pool House

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 6 inches - Fence 5'-0" - wall

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

10/1/19
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Detached single family home built circa 1913

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Proposed pool house, pool, deck, fencing, retaining walls, outdoor fireplace, walks & terraces landscaping and associated appurtenances

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 3804 Bradley Lane Chevy Chase, MD 20815	Owner's Agent's mailing address Phillip Long CAS Engineering 10 S. Bentz St. Frederick, MD 21701
Adjacent and confronting Property Owners mailing addresses	
Stephen & Kristen Best 3810 Bradley Lane Chevy Chase, MD 20815	Greg Hornington & June Drummond 3800 Bradley Lane Chevy Chase, MD 20815
Michael & Holly Meers 11 Quincy Street Chevy Chase, MD 20815	Roger & Elizabeth Marmet 14 Quincy Street Chevy Chase MD 20815
Herbert & Barbara Buchanan 3803 Bradley Lane Chevy Chase, MD 20815	Jennifer & Michael Dillon 3801 Bradley Lane Chevy Chase, MD 20815

3807 ~~Brad~~

Benjamin & Nicolle Rippeon
 3807 Bradley Lane
 Chevy Chase, MD 20815



Rear



Front



West
Side



Rear / East
Side

GENERAL NOTES

- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated May, 2019.
- Total lot area: Lot 35 = 15,359 sq. ft. (0.353 Acres)
- Property is located on Tax Map HN341 and WSSC 2007 Sheet 208 NW 04.
- Property is located on Soils Survey Map Number 27.
Soil type(s): ZUB, Glenelig-Urban land complex, HSG "B".
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0455D.
- Property is located in the Rock Creek Watershed & Potomac River Watershed.
- Water Category - 1, Sewer Category - 1
- Local utilities include:
Water / Sewer - Washington Suburban Sanitary Commission
Electric - PEPCO
Telephone - Verizon
Gas - Washington Gas
- Property is located in the incorporated municipality of Chevy Chase Village and in the Chevy Chase Village Historic District.
- This plan was created without the benefit of a title report.

ZONING DATA

- Zoning: R-60**
Minimum Lot Area = 6,000 sq. ft.
Minimum Lot Width at R/W = 25 ft.
Minimum Lot Width at B.R.L. = 60 ft.
Front B.R.L. = 25 ft. (Per CCV & MoCo)
Rear B.R.L. = 20 ft. min. (Per CCV & MoCo)
Side B.R.L. = 8 ft. min., 18 ft. total (Per MoCo)

2. Lot Coverage Requirements (Non-infill)

- Verify (Non-Infill) lot coverage in accordance with the Zoning Ordinance.**

Coverage is the area of a lot or site occupied by a building, including an accessory building, structured parking, or other roofed structure such as a porch, patio, deck, or steps.

Coverage does not include paved areas such as a driveway, a pedestrian walkway, a bay window measuring 10 feet in width or less and 3 feet in depth or less, an uncovered porch or patio, deck, a swimming pool, or roof overhang.

Allowable Lot Coverage: 35% of total lot area.

Lot 35 = 15,359 sq. ft. (Per Plat)
15,359 x 0.35 = 5,375.65 sq. ft.

Allowable area to be covered by buildings (including acc. buildings) = 5,375.65 sq. ft.

Proposed Combined Area Covered by Buildings = 3,141 sq. ft.

- Verify lot coverage in accordance with the Chevy Chase Village Ordinance, Section 8-16(m).

Per Chevy Chase Village: Lot coverage is the portion of a lot which is covered by buildings, accessory buildings, and raised structures such as covered and uncovered porches, balconies, and decks, covered and uncovered steps, stairways, and stoops, and bay and bow windows. Lot coverage does not include: (1) eaves, gutters, and similar overhangs; and (2) features that are not raised such as walkways, patios, terraces, driveways, swimming pools and tennis courts.

Allowable lot coverage 35% of total lot area.

Lot 35 = 15,359 square feet (per plat)
15,359 x 0.35 = 5,375.65 sq. ft.

Allowable area to be covered by buildings (Including Accessory Buildings) = 5,375.65 sq. ft.

Proposed Combined Area Covered by Buildings = 4,181 sq. ft.

3. Building Height Requirements

- Verify accessory building height in accordance with the Chevy Chase Village Ordinance, Section 8-20(d)(2).

Height of any detached garage or other accessory building, when measured from the average grade in front of the building to the highest point of roof surface regardless of roof type, shall not exceed sixteen (16) feet.

Height of building from first floor to the highest point: 12.9 ft. (per architect)
First floor elevation: 372.0 ft.
Height of building to highest point: 12.9 ft.
Elevation of building at highest point: 384.9 ft.
Average grade elevation along front of building: 371.05 ft.

Height of building at highest point = 384.9 - 371.05 = 13.85 feet

Allowable height of building = 15 feet

Proposed Height of Building to the highest point = 13.85 feet

- Verify accessory building height in accordance with the Montgomery County Zoning Ordinance.

Height of building from first floor: 12.9 ft. (12.9 per architect)
First floor elevation: 372.0 ft.
Height of building to highest point: 12.9 ft.
Elevation of building at highest point: 384.9 ft.
Average grade elevation along front of building: 371.05 ft.

Height of building = 384.9 - 371.05 = 13.85 feet

Allowable height of building = 15 feet

Proposed Height of Building = 13.85 feet

4. Rear Yard Coverage

- Verify accessory rear yard coverage in accordance with the Chevy Chase Village Ordinance, Section 8-20(e).

No detached garage or other accessory building or structure shall be erected, except in the rear yard of an premises. The combined lot coverage of all accessory buildings shall not exceed twenty (20) percent of the rear yard.

Allowable rear lot coverage: 20% of rear yard area.

Lot 35 rear yard area = 5,542 square feet
5,542 x 0.20 = 1,108.4 sq. ft.

Allowable rear yard area to be covered by accessory buildings = 1,108.4 sq. ft.

Proposed Rear Yard Area Covered by Accessory Building = 270 sq. ft.

UTILITY INFORMATION

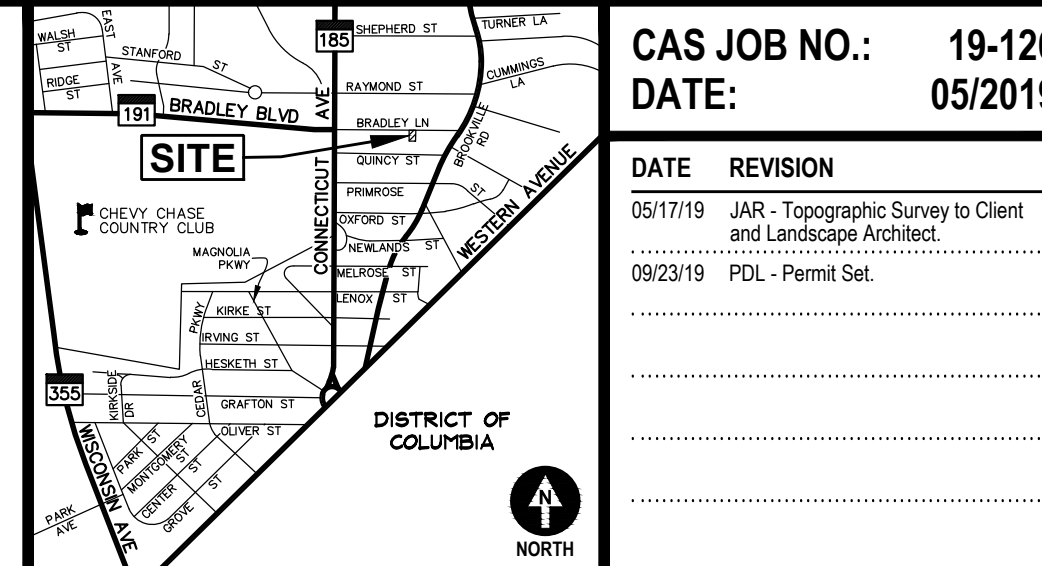
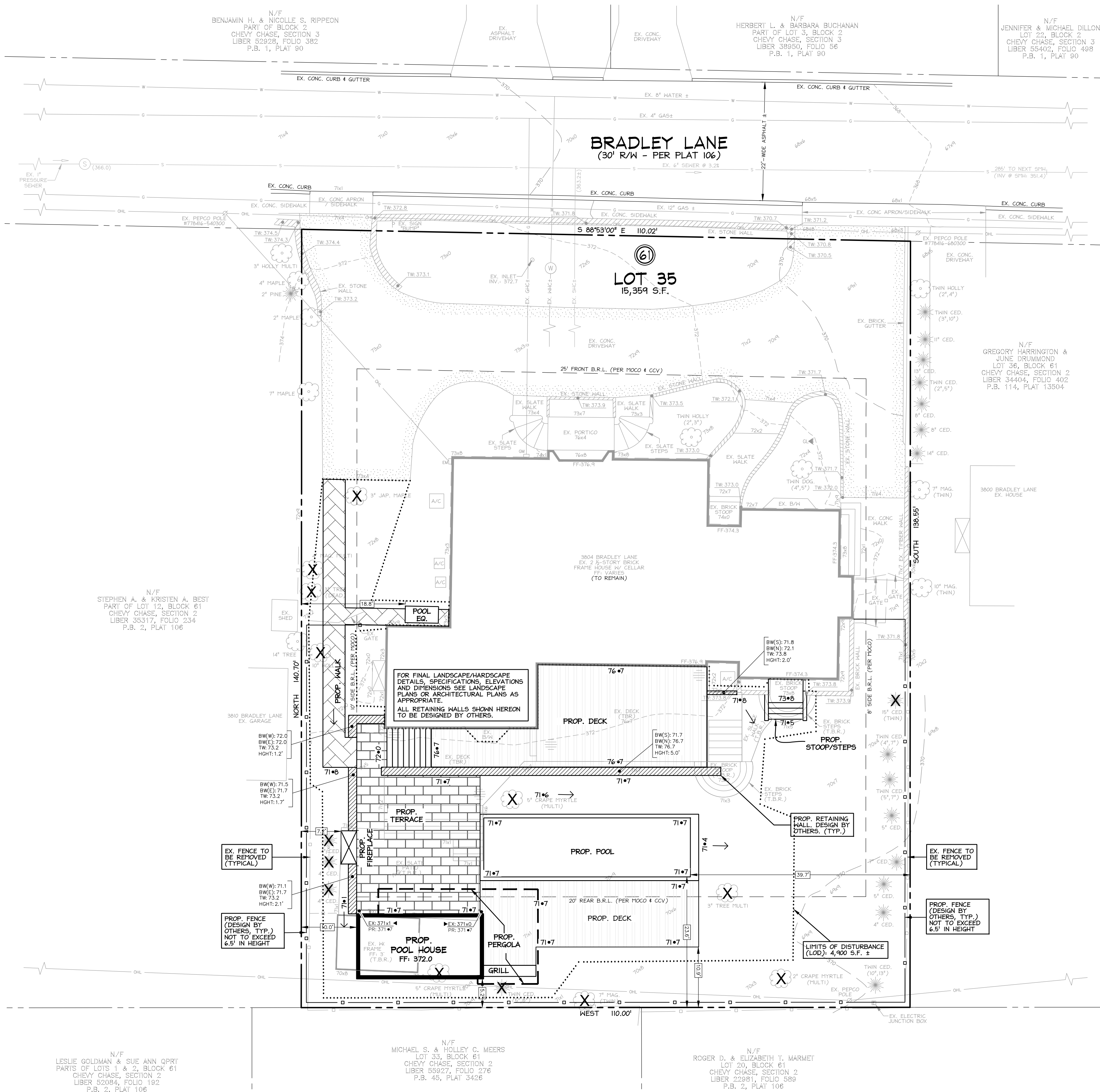
EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

UTILITY CO.	REQUEST DATE	BY	INFO. RECEIVED	PLAN REVISED	BY
ASR	04/22/2019	DMJ			
COMCAST	04/22/2019	DMJ	04/22/2019	U/G UTILITY	DMJ
PEPCO	04/22/2019	DMJ			
VERIZON/DCI	04/22/2019	DMJ	04/22/2019	NO FACILITIES	DMJ
WASH. GAS	04/22/2019	DMJ	04/23/2019	05/16/2019	DMJ
W.S.C.					
SEWER CONTRACT DRAWING	04/22/2019		05/16/2019		DMJ
WATER CONTRACT DRAWING	04/22/2019		05/16/2019		DMJ
HOUSE - CONNECTION PLUMBING CARDS	04/22/2019		05/16/2019		DMJ

MISS UTILITY
FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-251-7777, OR LOG ON TO WWW.MISSUTILITY.NET/24 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

LEGEND

EXISTING FEATURES	PROPOSED FEATURES
— S — (62.7) Limit Of Disturbance (L.O.D.)
— W — (64)	— 16 — Prop. Contour with Elevation
— G — (64)	— 20+0 — Prop. Spot Elevation
— OH — (64)	===== Prop. Retaining Wall
— 420 — (430)	→ Prop. Surface Flow Direction
— 20+0 — (430)	⊗ Tree To Be Removed
— 20+0 — (430)	⊠ Prop. Fence
⊗ Ex. Spot Elevation	
⊠ Ex. Wood or Stockade Fence	
⊠ Ex. Retaining Wall	
⊠ Ex. Tree	



VICINITY MAP
ADC MAP 5407, GRID J-4, SCALE: 1" = 200'

CAS JOB NO.: 19-126
DATE: 05/2019

DATE	REVISION
02/17/19	JAR - Topographic Survey to Client and Landscape Architect.
09/23/19	PDL - Permit Set.

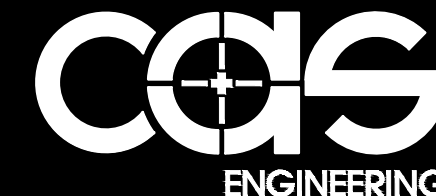


Curt A. Schreffler, PE
CURT A. SCHREFFLER, PE
09/23/2019

PROFESSIONAL ENGINEER CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 16568, expiration date 3/6/2020, and that this plan meets MCDPS criteria for building permit applications.

Lot 35, Block 61, Chevy Chase, Section 2
Plat Book 114, Plat No. 13504, Recorded 6/30/1981
Bethesda (7th) Election District, Montgomery County, MD

3804 Bradley Lane
Chevy Chase, Maryland 20815



CAS ENGINEERING-MD
10 South Bards Street
Frederick, Maryland 21701
301-507-6031 Phone
info@casengr.com
www.casengr.com

CAS ENGINEERING-DC, LLC
1001 Connecticut Avenue, NW, Suite 401
Washington, DC 20036
info@cas-dc.com
202-355-1200 Phone
www.cas-dc.com

OWNER/APPLICANT

David Wodlinger
3804 Bradley Lane
Chevy Chase, MD 20815
dwodlinger@arlingtoncap.com

LANDSCAPE ARCHITECT

Katia Goffin Gardens
Attn: Katia Goffin
7217 Evans Mill Road
McLean, VA 22101
202-352-5928 cell
katia@goffingardens.com

3804 Bradley Lane
Lot 35, Block 61
Chevy Chase, Section 2
- Chevy Chase Village -
Building Permit Site Plan

SECTION 1 - GENERAL DATA

GENERAL CONDITIONS:

THESE NOTES AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT THE WORKING DRAWINGS WHICH TOGETHER ARE TO BE USED FOR PERFORMING THE WORK.

THE DRAWINGS AND THE SPECIFICATIONS ARE COMPLIMENTARY TO EACH OTHER AND WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY BOTH. WHERE THE SPECIFICATIONS DISAGREE WITH THE DRAWINGS, THE ARCHITECT WILL CLARIFY.

DIMENSIONS ON THE DRAWINGS SHALL BE FOLLOWED IN LIEU OF SCALE MEASUREMENTS. DO NOT SCALE DRAWINGS.

ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE TO ROUGH FRAMING UNLESS OTHERWISE INDICATED. DIMENSIONS, NOTES, FINISHES, ETC. INDICATED ON PLANS, SECTIONS AND/OR DETAILS, SHALL APPLY TO SIMILAR, SYMMETRICAL AND/OR OPPOSITE PLANS, SECTIONS AND/OR DETAILS, UNLESS OTHERWISE NOTED OR DETAILED.

ALL BUILDING AND SANITARY LAWS, RULES AND REGULATIONS, HAVING JURISDICTION OVER THIS PROJECT, SHALL BE A PART OF THESE SPECIFICATIONS AND SHALL BE COMPLIED WITH BY THE OWNER AND CONTRACTOR WHETHER HEREIN SPECIFIED OR NOT.

ALL WORK, MATERIAL, AND EQUIPMENT INCORPORATED IN THE PROJECT INCLUDING PLUMBING, HEATING AND ELECTRICAL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE OWNER.

GENERAL CONTRACTOR TO FURNISH ALL LABOR, EQUIPMENT, MATERIALS, CONNECTIONS AND SUPERVISION TO COMPLETE THE PROJECT AS SPECIFIED HEREIN. SHOWN ON THE PLANS, AND/OR REASONABLY INFERRED FROM EITHER, UNLESS OTHERWISE NOTED.

THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN THE SPECIFICATIONS ARE INTENDED TO MEAN "FURNISHED" (AND "INSTALLED" AND/OR "CONNECTED"), UNLESS SPECIFICALLY MENTIONED OTHERWISE.

WHERE THE WORDS "SHOWN" OR "SHOWN ON DRAWINGS" ARE USED IN THE SPECIFICATIONS, IT SHALL BE CONSTRUED TO MEAN "NOTED", "INDICATED", "SCHEDULED", "DETAILED", OR ANY OTHER DIAGRAMMATIC OR WRITTEN REFERENCE MADE ON ANY OF THE CONTRACT DOCUMENTS, INCLUDING BOTH THE DRAWINGS AND SECTIONS OF THE SPECIFICATIONS, AND ALL OF THE AFOREMENTIONED TERMS SHALL BE CONSTRUED INTERCHANGEABLE.

THE TERM "BY OWNER", WHEN RELATED TO EQUIPMENT, ACCESSORIES, FIXTURES, APPLIANCES, CABINETS, ETC. MEANS SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.

"THE OWNER" SHALL BE USED TO REFER TO **MR. & MRS. DAVID WODLINGER**.

"THE CONTRACTOR" SHALL BE USED TO REFER TO THE GENERAL CONTRACTOR AND SUB CONTRACTORS PERFORMING THE WORK DESCRIBED IN THESE PLANS AND SPECIFICATIONS FOR "THE OWNER".

LICENSE, INSURANCE AND BONDS:

THE CONTRACTOR/ SUBCONTRACTORS PERFORMING THE WORK SHALL BE LICENSED IN THE STATE OF MARYLAND AND SHALL HOLD ALL REQUIRED JURISDICTIONAL LICENSES.

THE CONTRACTOR SHALL CARRY FOR EVERY PERSON EMPLOYED BY THEM ON THE PREMISES THE INSURANCES AS TO PROTECT THE OWNER, INCLUDING WORKMEN'S COMPENSATION AND LIABILITY INSURANCE AND PROPERTY DAMAGE INSURANCE.

APPLICABLE BUILDING CODE:

CURRENT EDITION AND AMENDMENTS OF THE INTERNATIONAL RESIDENTIAL CODE WITH MONTGOMERY COUNTY, MD AMENDMENTS, AND ALL LAWS AND CODES CURRENTLY ENFORCED AT THE BUILDING LOCATION. ALL MATERIALS AND WORK SHALL COMPLY WITH THE AFOREMENTIONED CODE.

PERMITS:

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND SHALL OBTAIN ALL REQUIRED BUILDING DEPARTMENT INSPECTIONS.

GENERAL CONSTRUCTION NOTES:

ALL WORKMANSHIP SHALL BE PERFORMED AND COMPLETED IN A WORKMANLIKE MANNER MAINTAINING THE HIGH QUALITY STANDARDS OF EACH TRADE.

THE CONTRACTOR SHALL INSPECT THE SITE AND EXAMINE THE DRAWINGS AND SPECIFICATIONS THOROUGHLY TO INFORM THEMSELVES OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS BEFORE COMMENCING WORK AND/OR ORDERING MANUFACTURED ITEMS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS BEFORE COMMENCING WORK OR ORDERING MANUFACTURED ITEMS. WAIVER OF RESPONSIBILITY OR REQUEST FOR ADDITIONAL PAYMENT BASED ON LACK OF KNOWLEDGE OF EXISTING OBSERVABLE OR REASONABLY ASSUMABLE CONDITIONS AT THE SITE WILL NOT BE ACCEPTED OR CONSIDERED.

THE CONTRACTOR SHALL STORE MATERIALS IN A SAFE AND DRY LOCATION AND SHALL PROTECT ALL WORK, EQUIPMENT, AND MATERIALS THROUGHOUT THE CONSTRUCTION PROCESS.

SCHEDULE OF COMPLETION AND PAYMENTS FOR THE WORK SHALL BE AS AGREED TO BY THE OWNER AND CONTRACTOR.

THE CONTRACTOR SHALL PROVIDE COMPETENT DAILY SUPERVISION, INCLUDING CAREFULLY SECURING THE PROPERTY AT THE END OF EACH WORK DAY(COORDINATE ALARM AND/OR OTHER SECURITY ISSUES AT THE SITE WITH THE OWNER).

ALL STRUCTURAL WORK REQUIRED BY THESE PLANS SHALL TAKE PLACE USING THE MOST CUSTOMARY AND PRECAUTIONARY PRACTICES TO CAUSE NO MOVEMENT TO THE EXISTING STRUCTURE NOR DAMAGE TO EXISTING FINISHES. SHORING AND BRACING SHALL OCCUR FROM THE FOUNDATION UP AS REQUIRED AND SHALL BE WELL ANCHORED AND PADDED TO PROTECT FINISHES.

IN AREAS WHERE EXISTING STRUCTURES OR FINISHES ARE INDICATED TO BE MODIFIED OR REMOVED, ALL DISTURBED FINISHES SHALL BE REPAIRED TO MATCH EXISTING UNLESS OTHER WISE NOTED.

THE CONTRACTOR SHALL DURING THE COURSE OF THE WORK PROVIDE ADEQUATE PROTECTION TO STOP THE SPREAD OF DIRT, DEBRIS, DUST, ETC. AND SHALL REMOVE TRASH, DEBRIS, ETC. ACCUMULATED BY THE CONSTRUCTION WEEKLY. THE PROJECT, UPON COMPLETION SHALL BE TURNED OVER TO THE OWNER "GLOVE" CLEAN, AND ALL EQUIPMENT AND OPERABLE COMPONENTS SHALL BE FUNCTIONING AND ALL SURFACES FINISHED.

THE BUILDING AND GROUNDS SHALL BE KEPT CLEAN AT ALL TIMES. AFTER COMPLETION OF THE CONTRACT AND BEFORE RECEIVING FINAL PAYMENT, THE CONTRACTOR SHALL HAVE ALL PARTS OF RENOVATED AREAS CLEANED AS NECESSARY.

ALL EQUIPMENT, FIXTURES AND APPLIANCES REQUIRING ELECTRIC POWER SHALL BE SUITED FOR USE WITH THE POWER TO BE SUPPLIED. ALL ELECTRICAL REQUIREMENTS SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR.

VERIFY ALL DIMENSIONS EXISTING FOR HORIZONTAL AND VERTICAL CONTROL BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT FOR INSTRUCTIONS PRIOR TO STARTING.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE FINAL SELECTION OF APPLIANCES, CABINETRY, FIXTURES AND ACCESSORIES NOT SPECIFIED. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL THESE ITEMS AS PART OF THIS CONTRACT.

THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SCHEDULE TIMING AS NOT TO CAUSE DELAYS TO ANY PHASE OF CONSTRUCTION DUE TO LATE SCHEDULING OF INTERCONNECTED WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS SHALL BE MADE IN ACCORDANCE WITH THE DECISION OF THE OWNER.

ALL EQUIPMENT WARRANTIES AND MAINTENANCE MANUALS SHALL BE GIVEN TO THE OWNER IN ONE CONSOLIDATED PACKAGE. WARRANTY PERIOD SHALL BEGIN UPON COMPLETION OF WORK.

UNLESS OTHERWISE NOTED, ALL EQUIPMENT, MATERIALS AND COMPONENTS SHALL BE NEW AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

THE CONTRACTOR SHALL EXTEND OR RELOCATE, AS REQUIRED, ALL VISIBLE INTERIOR UTILITIES DISTURBED BY THE DEMOLITION/RENOVATION, TO THE NEAREST REASONABLE LOCATION UNLESS OTHERWISE NOTED. (I.E.: ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, TELEPHONE OUTLETS, CABLE CONNECTIONS, HVAC SUPPLY, ETC.) COORDINATE THE NEW LOCATION WITH THE OWNER AND/OR ARCHITECT.

THE CONTRACTOR SHALL COORDINATE THE TEMPORARY "SHUT DOWN" OF ALL UTILITIES, INCLUDING FIRE PROTECTION AND ALARM SYSTEMS WITH THE OWNER.

SECTION 2 - SITE WORK:

SEE SITE PLAN

SECTION 3 - CONCRETE:

SEE STRUCTURAL NOTES S001

SECTION 4 - MASONRY:

SEE STRUCTURAL NOTES S001

SECTION 5 - METALS:

SEE STRUCTURAL NOTES S001

MISC. METALS:

THE CONTRACTOR SHALL PROVIDE ALL MISC. NAILS, BOLTS, SUPPORTS, SCREWS AND FASTENERS AS REQUIRED TO COMPLETE THE WORK DELINEATED IN THE DRAWINGS.

SECTION 6 - WOOD AND PLASTICS:

FRAMING:

SEE STRUCTURAL NOTES S001

FINISH CARPENTRY & MILLWORK:

ALL WORKMANSHIP AND MATERIALS SHALL MAINTAIN THE HIGHEST QUALITY STANDARDS FOR EACH TYPE OF INSTALLATION AND MATERIAL, PREMIUM GRADE TYPICAL, UNLESS OTHER WISE NOTED.

SEE EXTERIOR ELEVATIONS A002 & A003, INTERIOR ELEVATIONS A004 FOR MORE INFORMATION.

ALL CABINETRY TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.

FINISH HARDWARE:

ALL HARDWARE ITEMS FOR ARCHITECTURAL CARPENTRY/ WOODWORK SHALL BE PROVIDED BY CONTRACTOR COMPLETE, WITH FASTENERS AND RELATED ACCESSORIES.

SECTION 7 - THERMAL & MOISTURE PROTECTION:

ALL NEW AND ACCESSIBLE EXISTING WASTE LINES INSTALLED IN WALLS ADJACENT TO LIVING SPACES SHALL BE WRAPPED WITH SOUND ATTENUATION BATTS, TYPICAL.

ALL INSULATION PRODUCTS ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.

SECTION 8 - DOORS & WINDOWS

SEE INTERIOR DOOR SCHEDULE PAGES A001 FOR MORE INFORMATION.

FINISH HARDWARE SCHEDULE TBD.

SECTION 9 - FINISHES:

GYPSUM DRYWALL:

TILED WALLS SHALL BE FINISHED WITH 1/2" WATER RESISTANT GYPSUM BOARD WHERE NOTED W/ TILE, AND SHALL BE MESH TAPED, SPACKLED, AND SMOOTH SANDED. PROVIDE CORNER BEADS FOR ALL EXPOSED CORNERS, AND CASING BEADS WHERE GYPSUM BOARD IS ADJACENT TO DIFFERENT MATERIAL.

ALL GYPSUM BOARD PRODUCTS SHALL BE HANDLED, INSTALLED AND FINISHED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY THE U.S. GYPSUM COMPANY.

TILE:

TILED FLOORS AND WALL SELECTIONS TO BE SELECTED & PURCHASED BY OWNER & INSTALLED BY GENERAL CONTRACTOR.

PAINTING & STAIN:

METAL HARDWARE AND MISC. FITTING ARE NOT TO BE PAINTED, UNLESS SPECIFIED OR NOTED.

THE CONTRACTOR SHALL REMOVE ALL SWITCH PLATES, COVER PLATES, TRIM RINGS AND MISC. SURFACE HARDWARE AS REQUIRED, PRIOR TO PAINTING AND REINSTALL THEM AS COMPLETION OF THE PAINTING WORK.

CAULKING & SEALANTS:

LATEX CAULKING SHALL ONLY BE USED FOR FINAL FILL OR CRACKS IN NONEXPANDING, PAINTABLE SURFACES SUCH AS WOOD TRIM ON DRYWALL.

COUNTERTOPS:

COUNTERTOPS SHALL BE SELECTED BY OWNER AND INSTALLED BY THE GC. ALL EDGES SHALL BE DETERMINED. MATCHING COUNTERTOP MATERIAL SHALL BE USED FOR 4" BACKSPLASH ON KITCHEN COUNTERS. THE CONTRACTOR SHALL INSTALL WHERE SHOWN.

SECTION 10 - SPECIALTIES:

N/A

SECTION 11 - EQUIPMENT:

APPLIANCES:

SELECTIONS TO BE PURCHASED AND INSTALLED BY CONTRACTOR

SECTION 12 - FURNISHINGS:

N/A

SECTION 13 - SPECIAL CONSTRUCTION:

N/A

SECTION 14 - CONVEYING SYSTEMS:

N/A

SECTION 15 - MECHANICAL:

SEE PAGE M001.



PLUMBING:

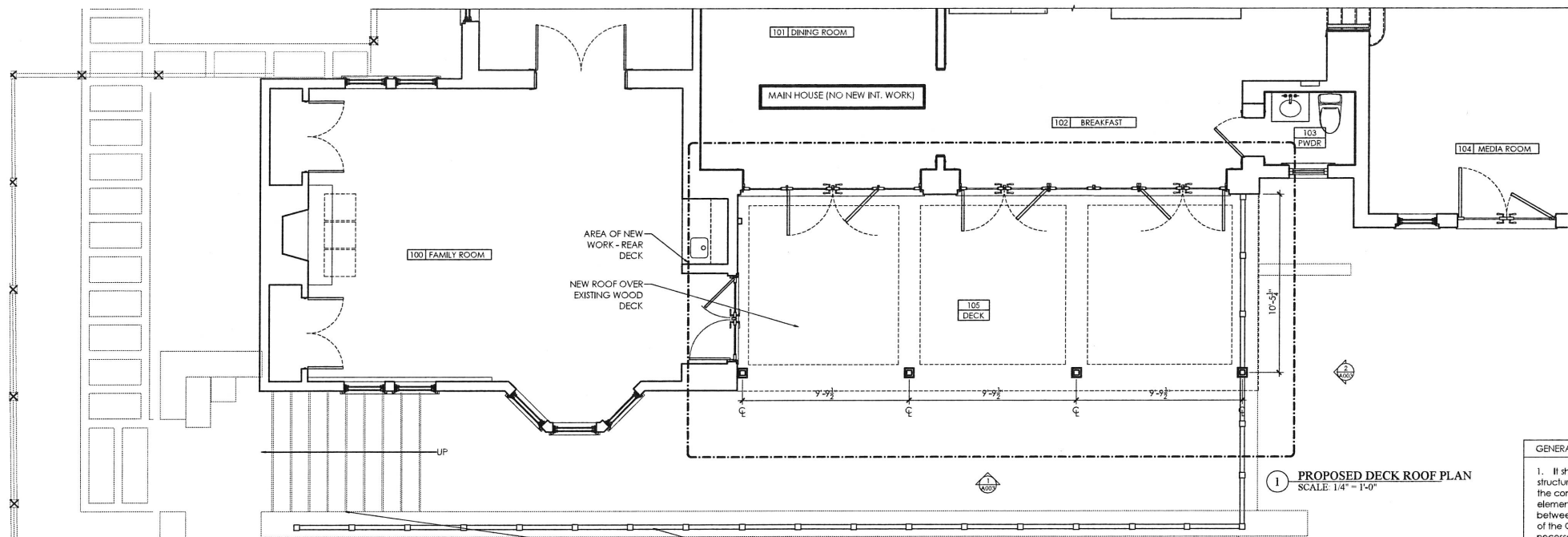
SEE PAGE P001.

SECTION 16 - ELECTRICAL:

SEE PAGE E001.

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		PRICING	07.29.19	
		PERMIT	09.24.19	
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CHECKED BY:		MF		
PROJECT NO:		2019-05		



1 PROPOSED DECK ROOF PLAN
SCALE: 1/4" = 1'-0"

WALL KEY	
	BRICK VENEER
	2X4 WALL FRAMING
	2X6 WALL FRAMING

- TURNOVER REQUIREMENTS**
- The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor is also to provide a type written list of names, addresses and phone numbers of all Subcontractors and Material Suppliers.
 - The Contractor shall be responsible for having the entire basement cleaned to the satisfaction of the Owner at the time of Carpet and Furniture Installation and at turnover.
 - General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
 - General Contractor to turn over all keys to the owner's representative and mark each key for identification.
 - The General Contractor shall set all thermostats per the Owner's Requirements.
 - The General Contractor shall explain the operation of all Mechanical Systems to the Owner and provide copies of Operation, Maintenance, and Warranty Manuals.
 - General Contractor and all Subcontractors shall warrant the work for a period of one (1) year from the date of final acceptance by Owner of finished work.
 - The General Contractor shall install new filters in the HVAC Units one week prior to turnover of the project.

- PARTITION NOTES**
- General Contractor shall layout partitions as quickly as possible. Layout is to be approved by Architect before studs are installed.
 - All partitions shall be spoked, tapered and sanded smooth with no visible joints.
 - All exterior corners of G.W.B. shall have metal corner beads.
 - All interior dimensions are from face of stud wall.
 - Provide bracing at all door and glazing openings in accordance with manufacturer's recommendations.
 - Provide and install fire retardant wood blocking or steel metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with millwork subcontractor and review with Architect for acceptance prior to fabrication.
 - General Contractor shall coordinate, space, and review size and location of all penetrations. All penetrations shall be properly sealed according to applicable codes.
 - Verify door undercuts with Architect prior to installation.
 - All casework work to be installed to A.W.I. standard quality level premium grade. The design, detailing, and fabrication of millwork should be directed toward achieving installation with a minimum of exposed face fastening.

GENERAL NOTES

- It shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative, in writing, of any and all discrepancies between said existing conditions and these drawings. Further, it shall be the joint responsibility of the General Contractor and all Subcontractors and suppliers of materials to secure all necessary adaptations to same as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claims for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation is approved in advance of proceeding with the work.
- Commencement of work in any area by the Contractor shall be construed as that the contractor has checked the existing conditions & found them satisfactory to accept this portion of work.
- All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmental and jurisdictional permits and approvals are obtained.
- All work shall be performed in a first class manner and shall be in good and usable condition at the date of completion thereof.
- Contractors are required to give the owner a minimum of twenty four (24) hours advanced written notice of said work.
- Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the Building.
- All work shall be confined to the premises and Contractors, Subcontractors or Materialmen are not permitted to perform any said Owner's work (Or store any materials or machinery) outside of the premises, subject to Owner's approval otherwise.
- No construction material or debris shall be placed in any of the Owner's trash receptacles or compactors at any time. The Contractor shall arrange (If Required) for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.
- The abbreviation of "N.L.C." indicates work and/or material is not in the contract of the General Contractor, however this does not relieve the General Contractor of the Responsibility of coordination.
- Repair all damage or voids caused during construction to any of the property to the original condition. Protect adjacent areas from dirt and dust.
- All bills are to remain clear and open during all phases of construction if applicable.
- The locations of existing utilities are shown in an approximate way only and have not been individually verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
- The term "Owner" shall refer to **MR. & MRS. DAVID WODUNGER** and their agents or representatives. The term "General Contractor" and "G.C." shall refer to the person and/or persons who have contracted or subcontracted for the work.
- The Contractor shall provide the scheduled pre finished millwork as described and detailed and responsible to receive, check and confirm the millwork's arrival in good condition, and in sufficient quantity and shall notify Owner immediately of any discrepancies. All pieces are sent unassembled and shall be installed by the Contractor in a first class manner, with minimum number of joints possible. Cope all returns, miter all corners and use scarf joints for end to end jointing. Refinish at all cuts and damaged areas as required.
- General Contractor shall check-in with the Owner prior to commencing construction.
- In addition to the General Notes listed herein, A.I.A. document A201 General Conditions of contract for construction shall apply.
- General Contractor to provide 5% additional stock of finish materials or as agreed to by the construction manager.
- General Contractor to adhere to owner provided close out forms if any.

DOOR SCHEDULE

DOOR DESCRIPTION							FRAME			HARDWARE	COMMENTS
NO.	WIDTH	HEIGHT	THK.	MAT.	FINISH	QTY	MAT.	CASING	FINISH		
001a	2'-0"	6'-8"	TBD	MDF/WD	PAINTED	01	WOOD	TBD	PAINTED	DUMMY	CUSTOM PANELED DOOR
002a	2'-0"	6'-8"	TBD	MDF/WD	PAINTED	01	WOOD	TBD	PAINTED	DUMMY	CUSTOM PANELED DOOR
003a	3'-4'-0"	6'-8"	1 3/8"	CLAD	N/A	01	WOOD	TBD	PAINTED	ENTRY	LA CANTINA SLIDING DOOR OR EQUAL
003b	4'-0"	7'-0"	1 3/8"	CLAD	N/A	01	WOOD	TBD	PAINTED	ENTRY	LA CANTINA SLIDING DOOR OR EQUAL

NOTE: PROVIDE TEMPERED SAFETY GLASS PER BUILDING CODE.

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

WINDOW SCHEDULE

WINDOW DESCRIPTION							DETAILS				COMMENTS
NO.	WIDTH	HGT.	TYPE	MAT.	QTY		HEAD	JAMB	SILL	MULL	
A	2'-1"	3'-1"	DBL HUNG	CLAD	1	6 5/8"	6 5/8"	6 5/8"	N/A	N/A	PELLA PROLINE SERIES #2535 W/ .29 U-VALUE / .25 SHGC OR EQUAL
B	2'-1"	3'-1"	DBL HUNG	CLAD	1	6 5/8"	6 5/8"	6 5/8"	N/A	N/A	PELLA PROLINE SERIES #2535 W/ .29 U-VALUE / .25 SHGC OR EQUAL
C	4'-4"	1'-4"	FIXED	CLAD	1	6 5/8"	6 5/8"	6 5/8"	N/A	N/A	PELLA PROLINE SERIES W/ .29 U-VALUE / .25 SHGC OR EQUAL - COORDINATE WIDTH OF TRANSOMS W/ LA-CANTINA DOOR BELOW TO MATCH
D	4'-9"	1'-4"	FIXED	CLAD	1	6 5/8"	6 5/8"	6 5/8"	N/A	N/A	PELLA PROLINE SERIES W/ .29 U-VALUE / .25 SHGC OR EQUAL - COORDINATE WIDTH OF TRANSOMS W/ LA-CANTINA DOOR BELOW TO MATCH
E	4'-9"	1'-4"	FIXED	CLAD	1	6 5/8"	6 5/8"	6 5/8"	N/A	N/A	PELLA PROLINE SERIES W/ .29 U-VALUE / .25 SHGC OR EQUAL - COORDINATE WIDTH OF TRANSOMS W/ LA-CANTINA DOOR BELOW TO MATCH
F	4'-9"	1'-4"	FIXED	CLAD	1	6 5/8"	6 5/8"	6 5/8"	N/A	N/A	PELLA PROLINE SERIES W/ .29 U-VALUE / .25 SHGC OR EQUAL - COORDINATE WIDTH OF TRANSOMS W/ LA-CANTINA DOOR BELOW TO MATCH

NOTE: PROVIDE TEMPERED SAFETY GLASS PER BUILDING CODE.

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

NEW FIREPLACE & MASONRY KNEEWALL - SEE LANDSCAPE PLANS FOR MORE INFORMATION

COORD. PROPOSED HARDSCAPE/LANDSCAPE SCOPE OF WORK W/ LANDSCAPING DWGS

NEW HANDRAIL / STAIR / MASONRY WALL / POOL - SEE LANDSCAPING PLANS FOR MORE INFORMATION

RONSTAN TENSILE ARCHITECTURE AG33C - DIAGONAL CABLE-CABLE GRID STYLE TRELLIS SYSTEM - STAINLESS STEEL OR EQUAL

PELLA PROLINE SERIES W/ .29 U-VALUE / .25 SHGC OR EQUAL

NEW BUILT-IN MEDIA CONSOLE

VELUX CURB MOUNTED SKYLIGHTS W/ U-VALUE= 48 - SHGU = 0.27 OR EQUAL

LA CANTINA SLIDING / POCKETING DOORS, OR EQUAL

BUILT-IN GRILL - TBD

ATLANTIS OUTDOOR CABINETS, OR EQUAL

PERGOLA ADJACENT TO POOL HOUSE

AREA OF NEW WORK - POOL HOUSE

NEW FENCE - SEE LANDSCAPING PLANS

2 PROPOSED POOL HOUSE PLAN
SCALE: 1/4" = 1'-0"

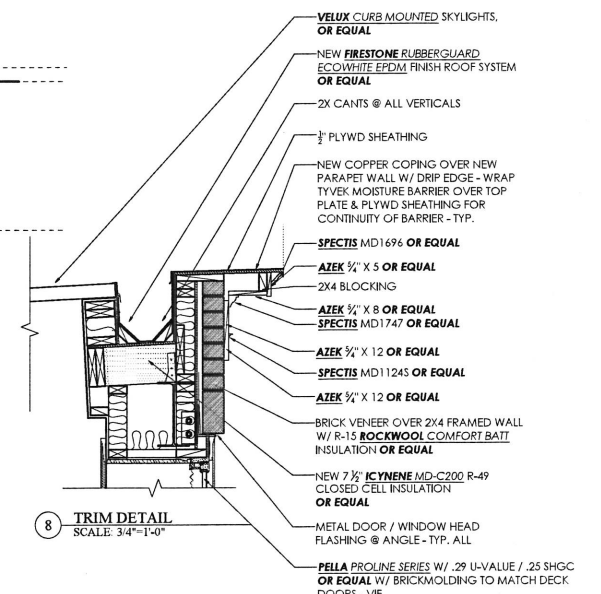
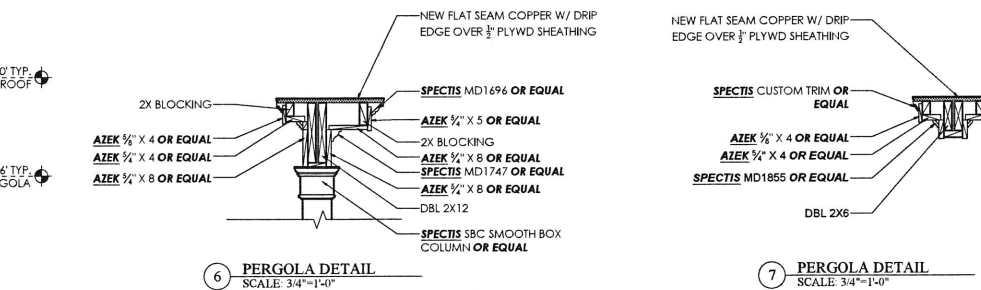
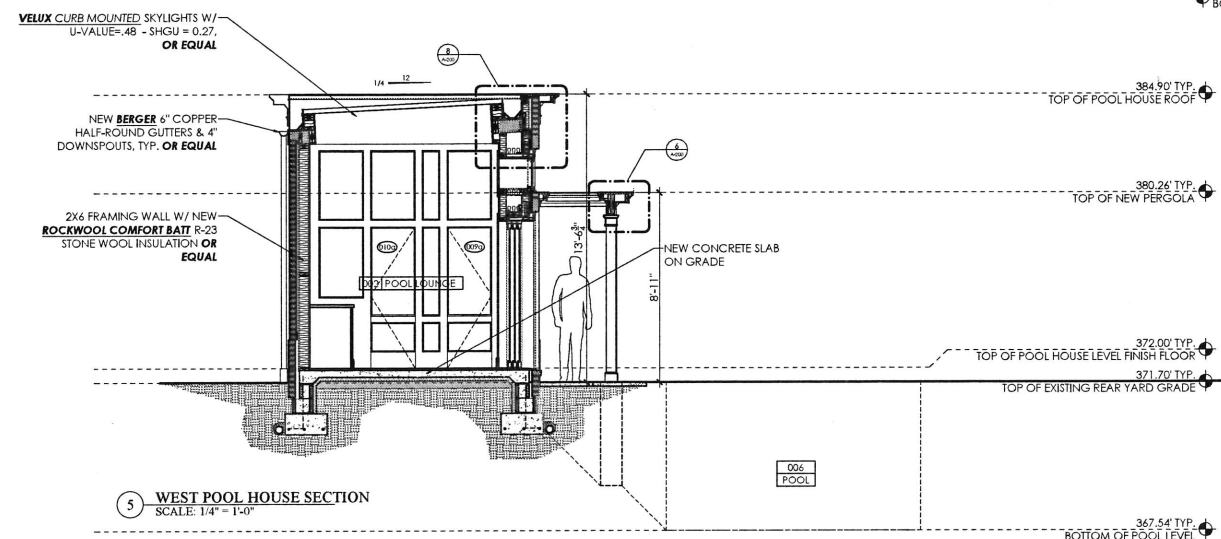
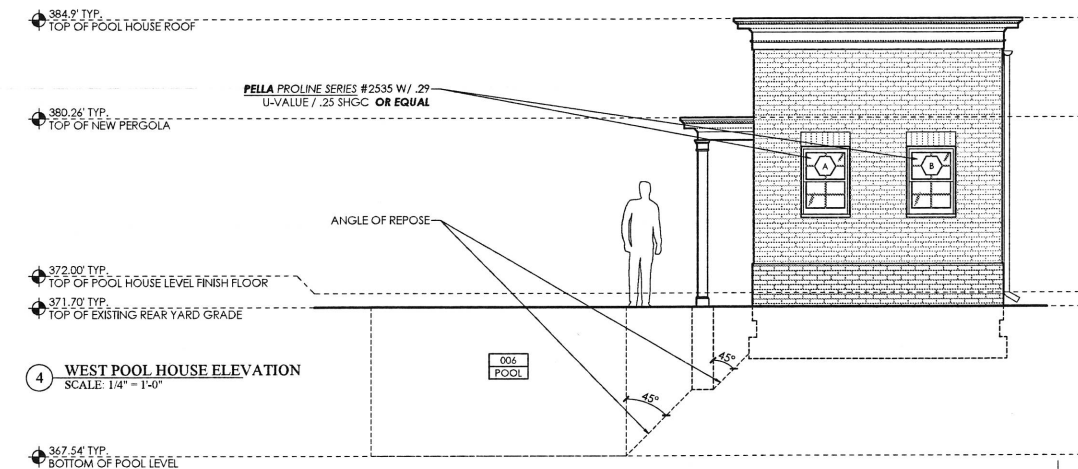
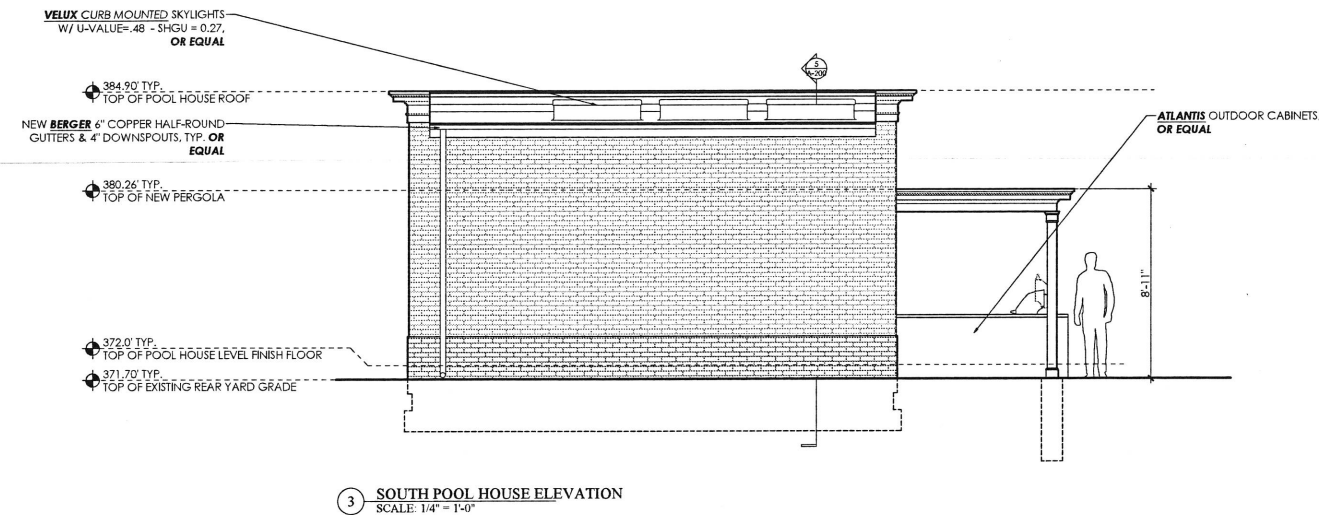
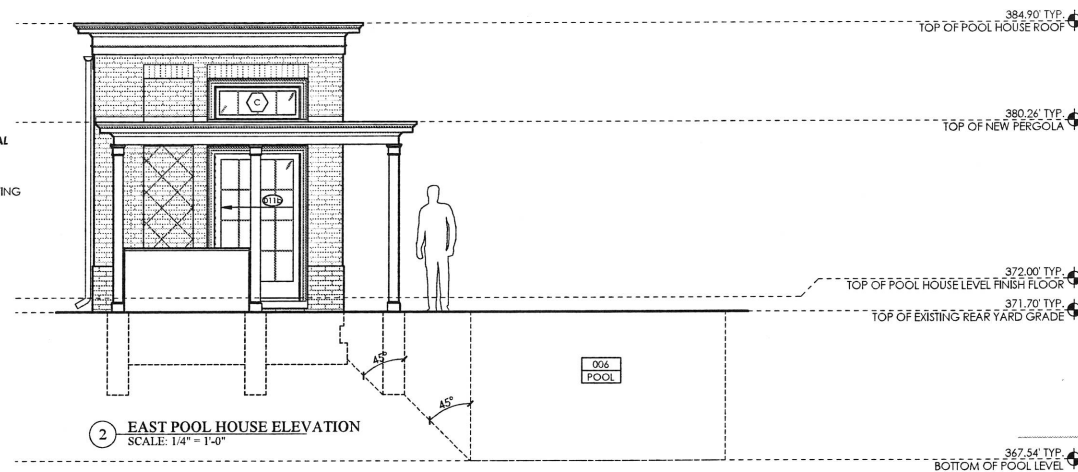
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PROPOSED PLAN

A001

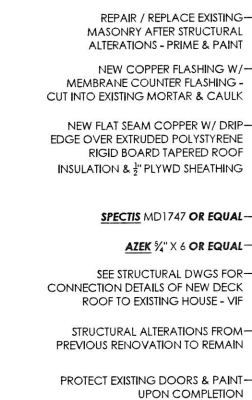
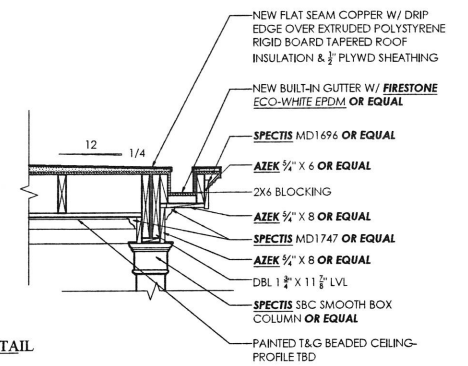


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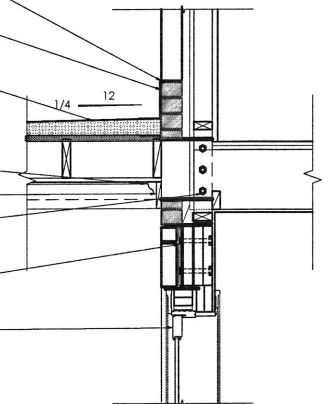
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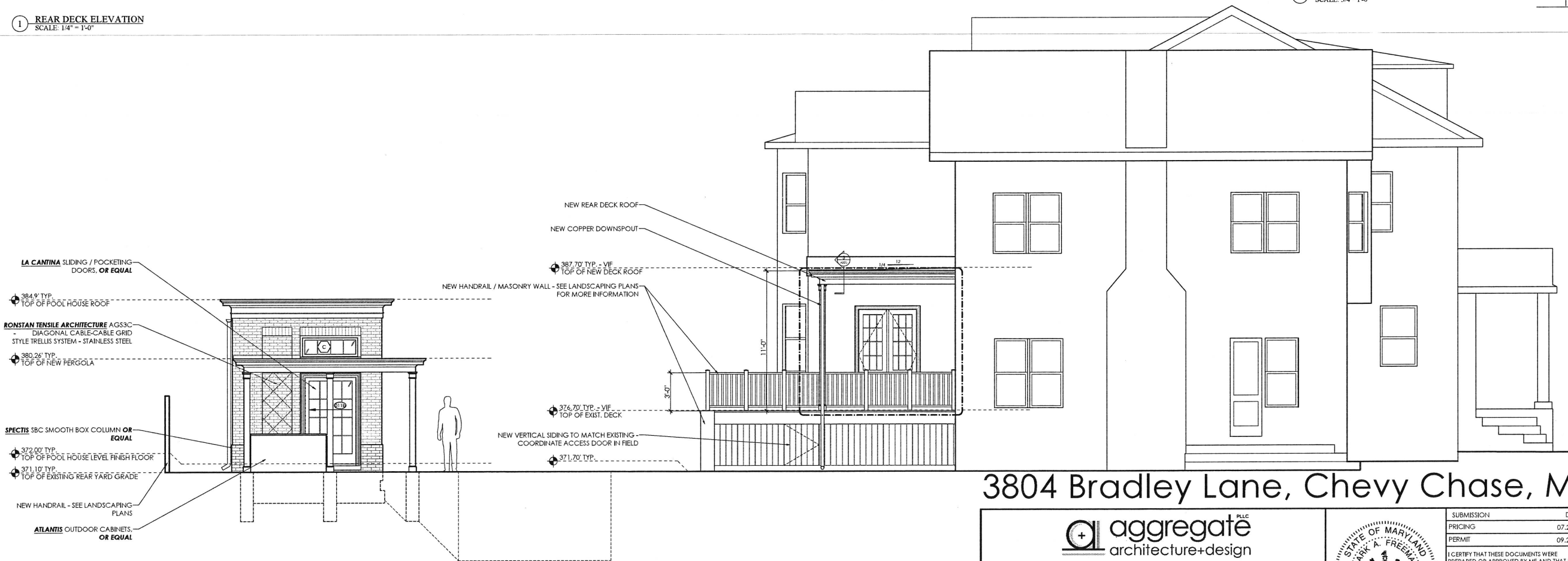
③ REAR DECK ROOF DETAIL
SCALE: 3/4"=1'-0"



④ REAR DECK ROOF DETAIL
SCALE: 3/4"=1'-0"



① REAR DECK ELEVATION
SCALE: 1/4"=1'-0"



② REAR DECK ELEVATION
SCALE: 1/4"=1'-0"

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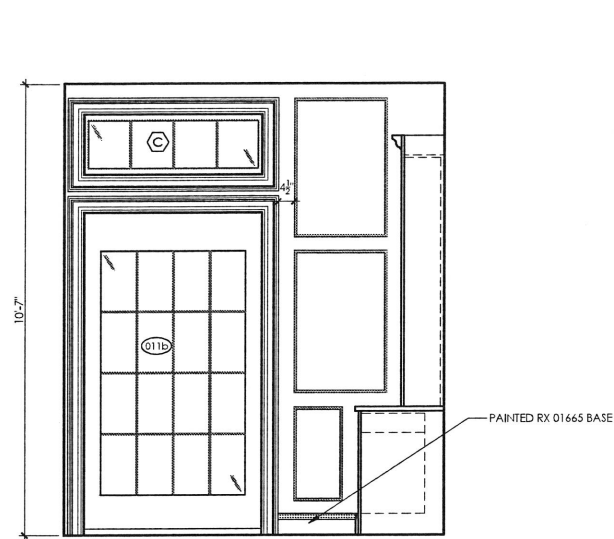
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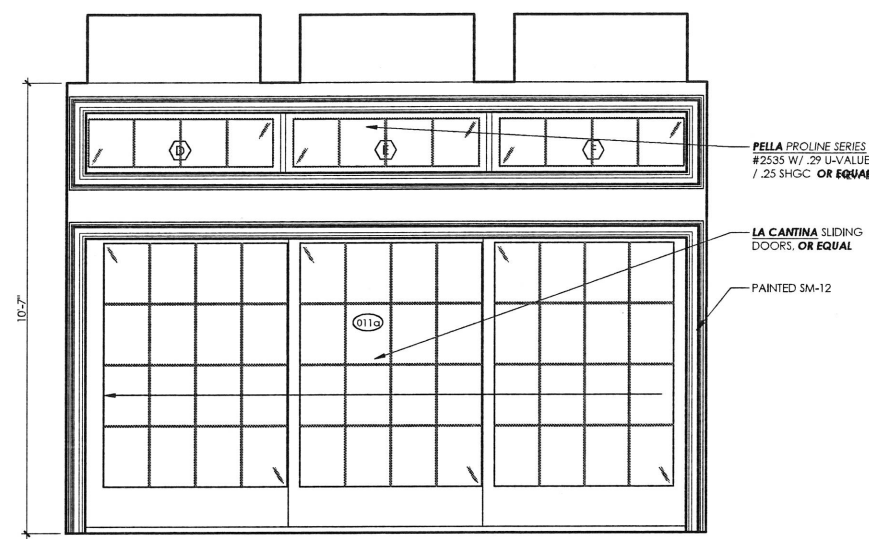
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PROJECT NO:	2019-05

REAR DECK & POOL HOUSE ELEVATIONS

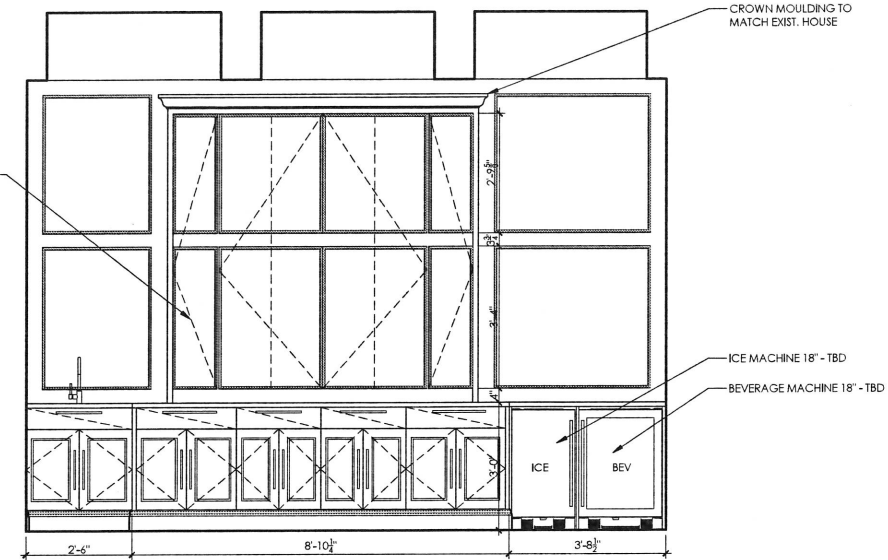
A003



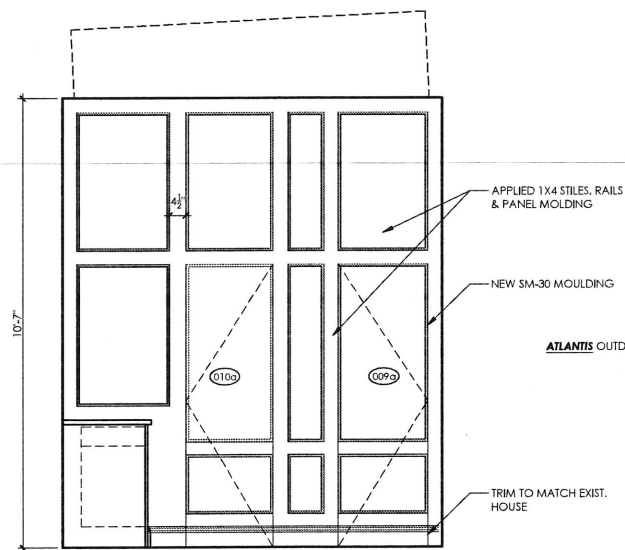
1 POOL LOUNGE INT. ELEVATION
SCALE: 1/2" = 1'-0"



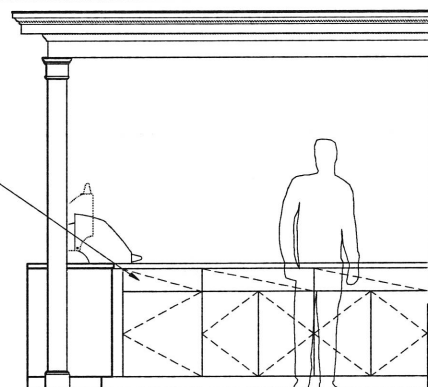
2 POOL LOUNGE INT. ELEVATION
SCALE: 1/2" = 1'-0"



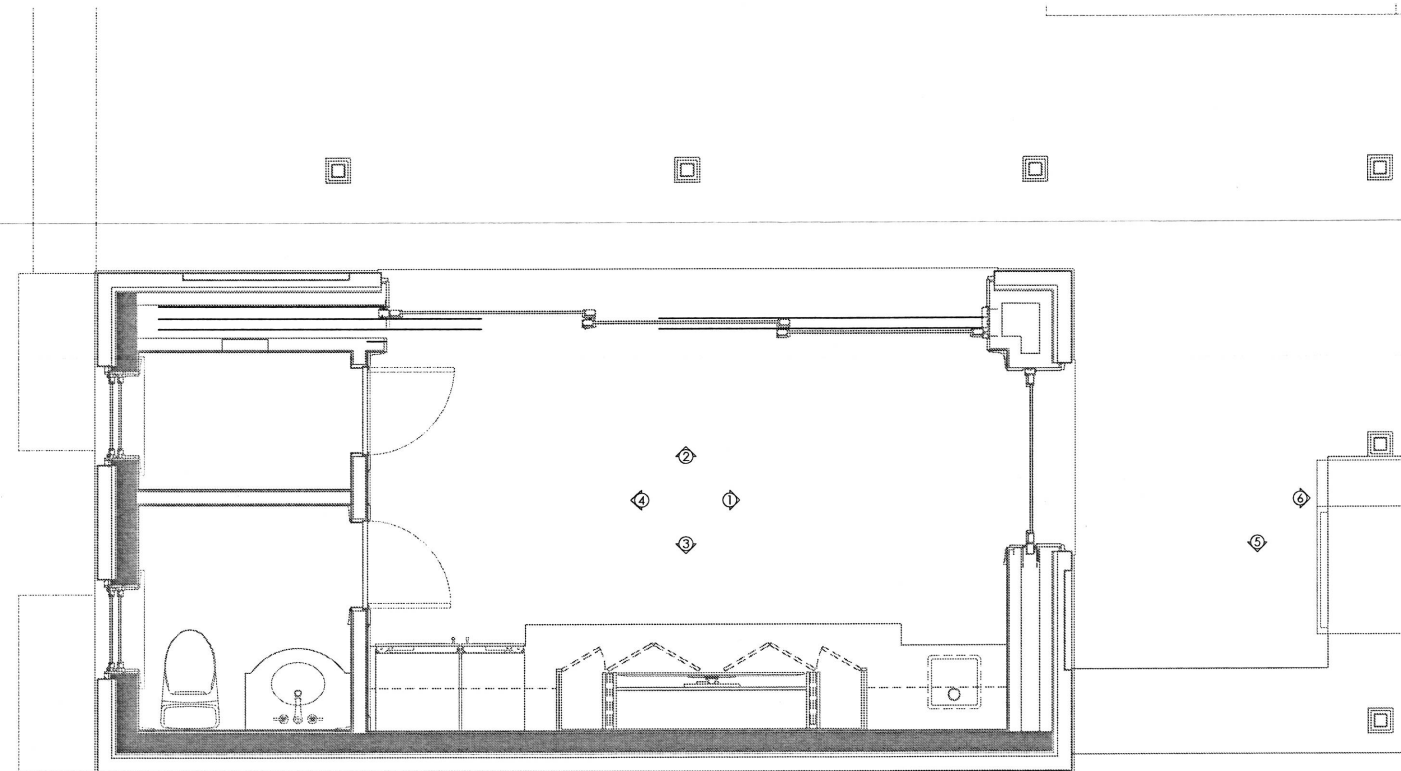
3 POOL LOUNGE INT. ELEVATION
SCALE: 1/2" = 1'-0"



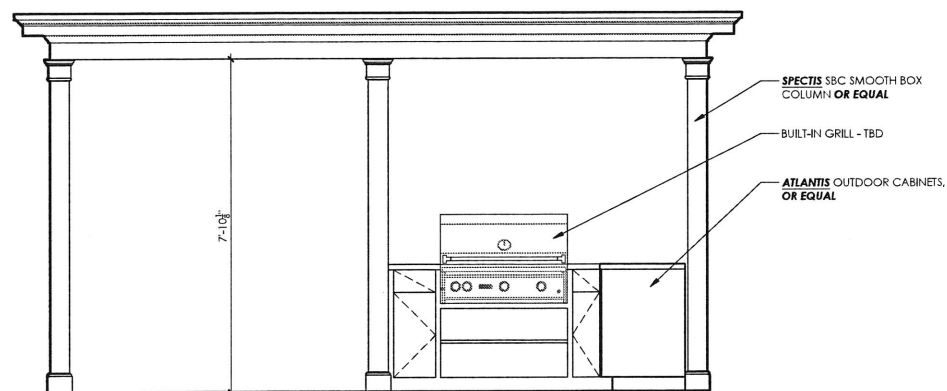
4 POOL LOUNGE INT. ELEVATION
SCALE: 1/2" = 1'-0"



5 OUTDOOR KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"





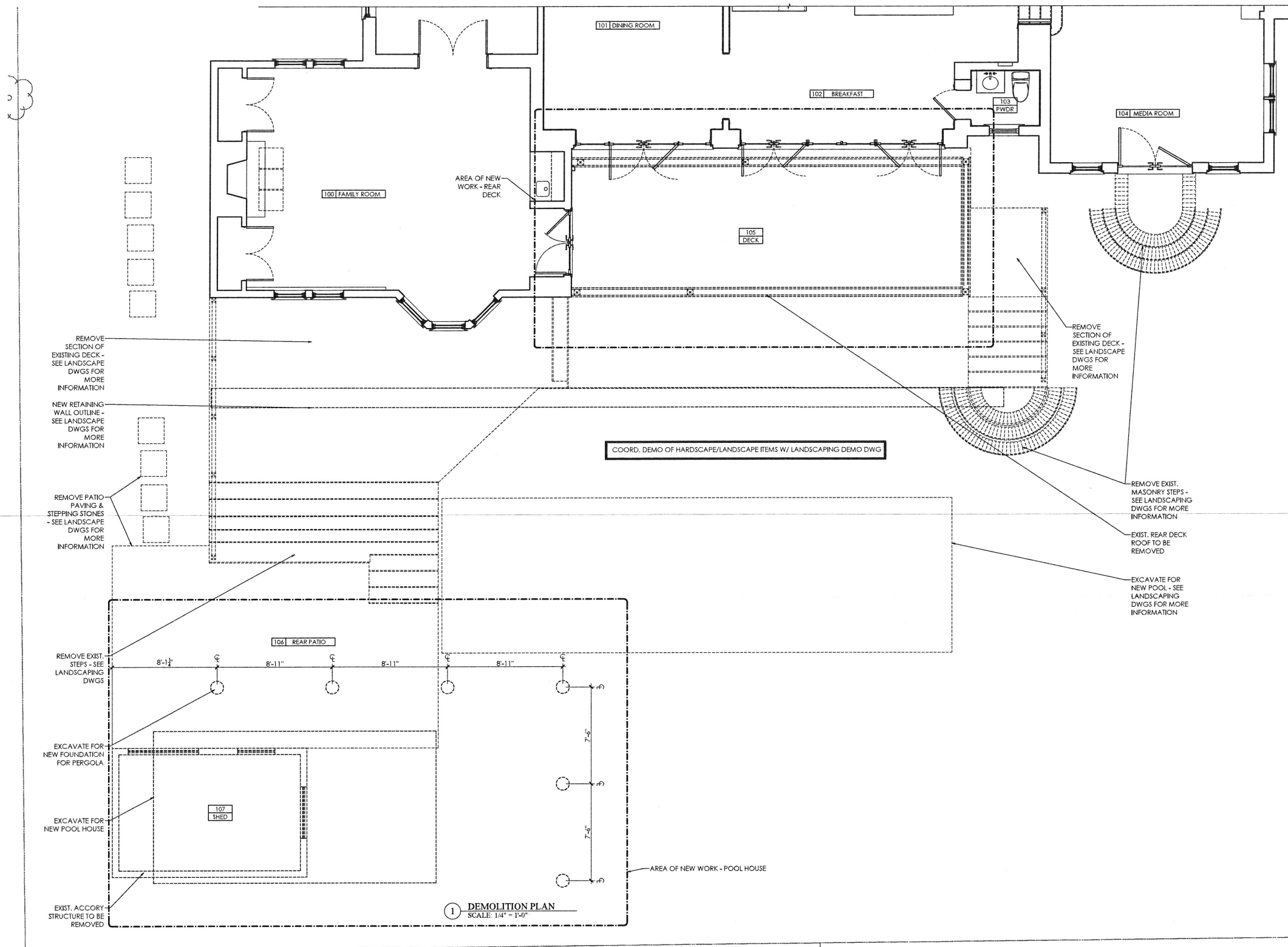
A KEY PLAN
SCALE: 1/2" = 1'-0"



6 OUTDOOR KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"

3804 Bradley Lane, Chevy Chase, MD 20815

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		I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16690. EXPIRATION DATE 10-12-2019		
		DRAWN BY: GC / MF CHECKED BY: MF PROJECT NO: 2019-05		

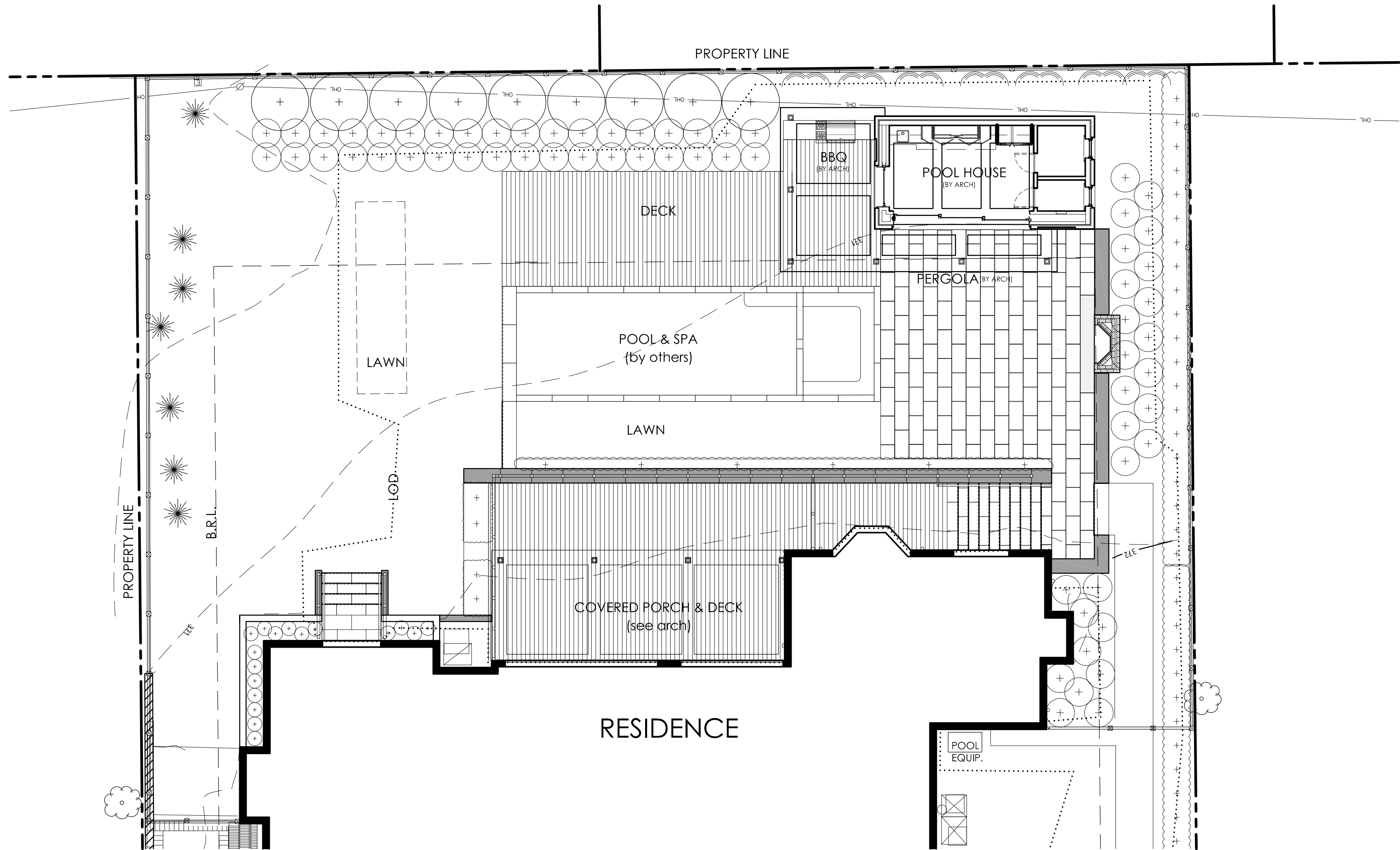


WALL KEY	
	EXISTING WALL TO REMAIN
	TO BE REMOVED

DEMO NOTE	
SHORING & DEMOLITION	
1. The General Contractor shall be experienced in shoring and demolition work and should carefully evaluate the situation that exists prior to starting work.	
2. The General Contractor shall notify the Architect or Engineer immediately if any circumstance exist which affect the stability of the existing structure or the shoring.	
3. The General Contractor is cautioned that heeding, shoring, and demolition work are potentially hazardous and are difficult types of work requiring care and caution during performance.	
4. The General Contractor is responsible for monitoring the performance of the temporary shoring and have additional shoring readily available on site in the event of deflection or movement of the shoring.	
5. The General Contractor is responsible for the design, installation, maintenance, and performance of all temporary bracing and shoring.	
6. Adequate bracing and connections between the components of the shoring system shall be provided by and the responsibility of the General Contractor.	

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	<p>I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.</p> <p>LICENSE NO. 16690, EXPIRATION DATE 10-12-2019</p> <p>DRAWN BY: GC / MF</p> <p>CHECKED BY: MF</p> <p>PROJECT NO: 2019-05</p>	
		<p>D001</p>



- LAYOUT NOTES:
1. The proposed plans are based on survey information provided by Civil Engineer, see Civil plans.
 2. Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements and conditions with the drawings before commencing work. Should any discrepancies, omissions, ambiguities, or conflicts emerge in or among the contract documents, or be in doubt as to their meaning, Contractor shall bring these items to the attention of the Landscape Designer for clarification and direction prior to proceeding with work.
 3. Contractor shall contact MISS UTILITY, a minimum of 72 hours prior to any excavation, to determine the exact location of all existing utilities, and shall be fully responsible for any and all damages which may result by the Contractor's failure to exactly locate and preserve any and all existing utilities.
 4. Any new work shall meet and match existing alignment of features and finished grades at existing pavement or other facilities that are to remain. Contractor shall make any necessary minor adjustments in the proposed work to meet the intent of the plans and to provide smooth transitions between existing conditions and all new work.
 5. For layout purposes, all angles are understood to be 90° unless otherwise noted.
 6. Contractor shall stake the alignment of all steel edging in the field and shall receive approval of the layout by the Landscape Designer prior to installation.

- GRADING NOTES
1. Install staked haybale &/or silt fence at edge of proposed grading as shown on permit/civil drawings. Maintain haybale fence in good condition throughout project.
 2. The location of utilities as shown on site plan are approximate. The contractor shall call Miss Utility to verify precise location of all utilities on site before initiating demolition activities and protect existing utilities throughout construction. Any utilities damaged by construction activities will be repaired by the contractor at no cost to owner.
 3. Promptly notify Landscape Designer of unexpected subsurface conditions.
 4. Contractor to set grade stakes showing lines and elevations for review and approval by Landscape Designer prior to rough grading.
 5. Perform grading within contract limit of construction on permit/civil drawings. Provide subgrade surfaces parallel to finished surface grades. Provide uniform levels and slopes between new elevations and existing grades. Grade surfaces to assure areas drain away from structures and to prevent ponding and pockets of surface drainage. All grading must slope away from building at a minimum slope of 2%.
 6. All work must be located and installed so that no flooding will occur even if a failure of the drainage system occurs.
 7. The site must be graded such that if the drainage system did not exist, there would be no flooding of any buildings. The site plan will be reviewed against the above standard and must conform to it.
 8. Protect finish graded areas from traffic and erosion. Keep free of trash and debris.
 9. Backfill from project masonry work that is devoid of any debris may be used for site grading after being approved by Landscape Designer.
 10. Contractor to notify, and receive approval from, the Landscape Designer of any additional trade work prior to commencement of any such additional operations.
 11. Upon completion of earthwork operations, clean areas within contract limits, remove tools, and equipment. Provide site clear, clean, free of debris and suitable for further site work.

katia goffin gardens LLC

DRAWING INDEX :

- L COVER
LX1 EXISTING CONDITIONS
LX2 DEMOLITION
L1 MATERIAL PLAN
L3 DIMENSION PLAN
L5 WALLS
L6 STEPS & PAVING
L7 FIREPLACE
L8 DECK PLANS
L9 DECK DETAILS
L10 FENCE
L11 RAILING
L12 HANDRAILS
S110 STRUCTURAL LANDSCAPE DETAIL

10/16/2019
PERMIT

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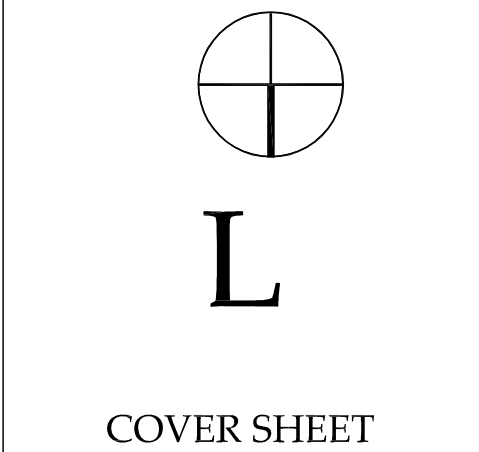
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(C) 202,352,5928 (O) 703,821,1821

WODLINGER RESIDENCE
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PERMIT SET

Date: September 30th 2019

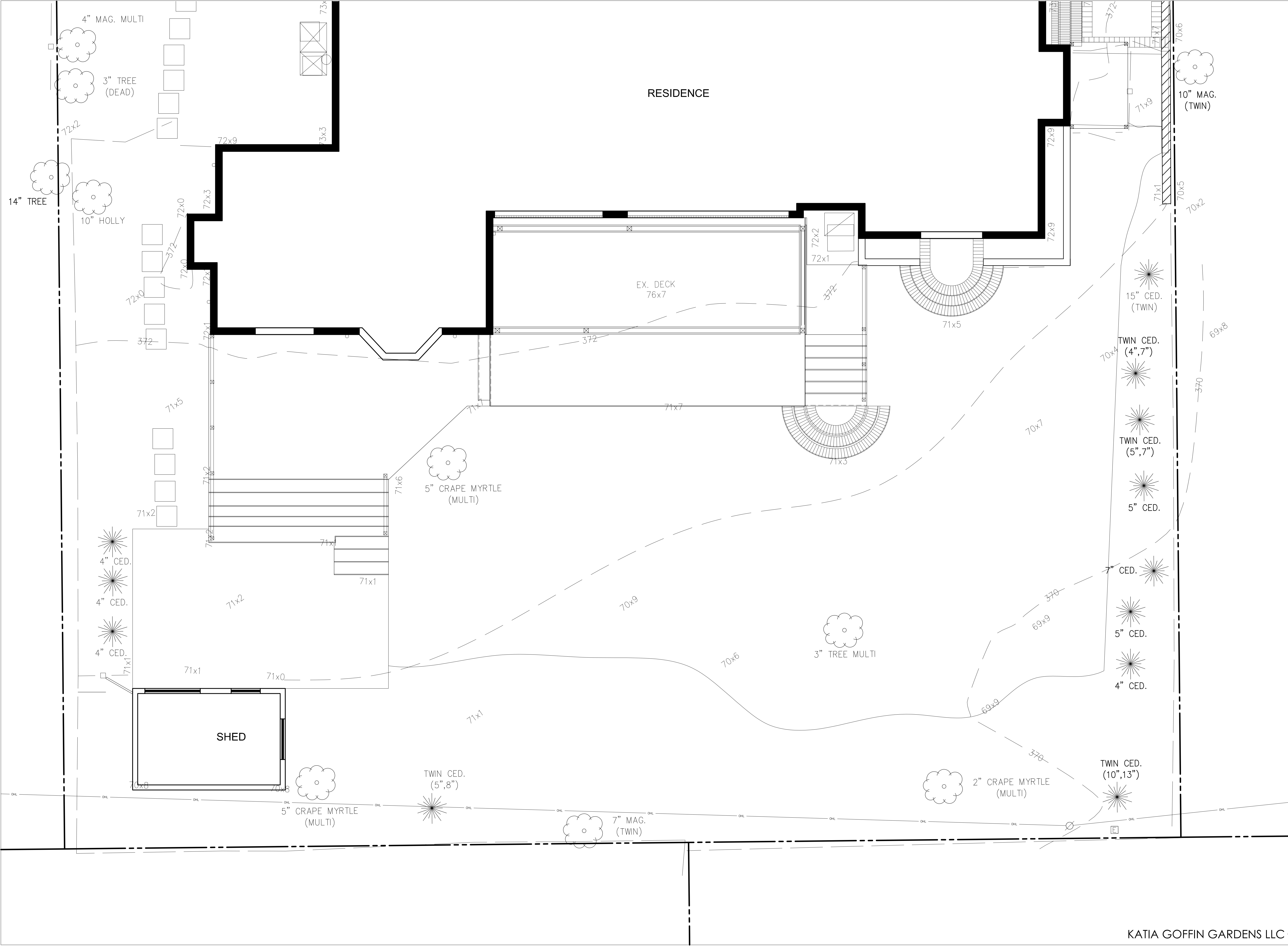
SCALE: 1/8" = 1'-0"



COVER SHEET

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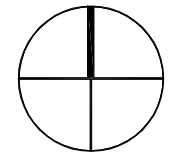
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LX1
EXISTING
CONDITIONS
BACK

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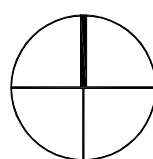
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SCALE: 1/4" = 1'-0"



LX2

DEMOLITION

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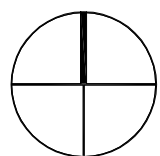
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Date: September 30th 2019

SCALE: 3/16" = 1'-0"



L1

MATERIAL
PLAN

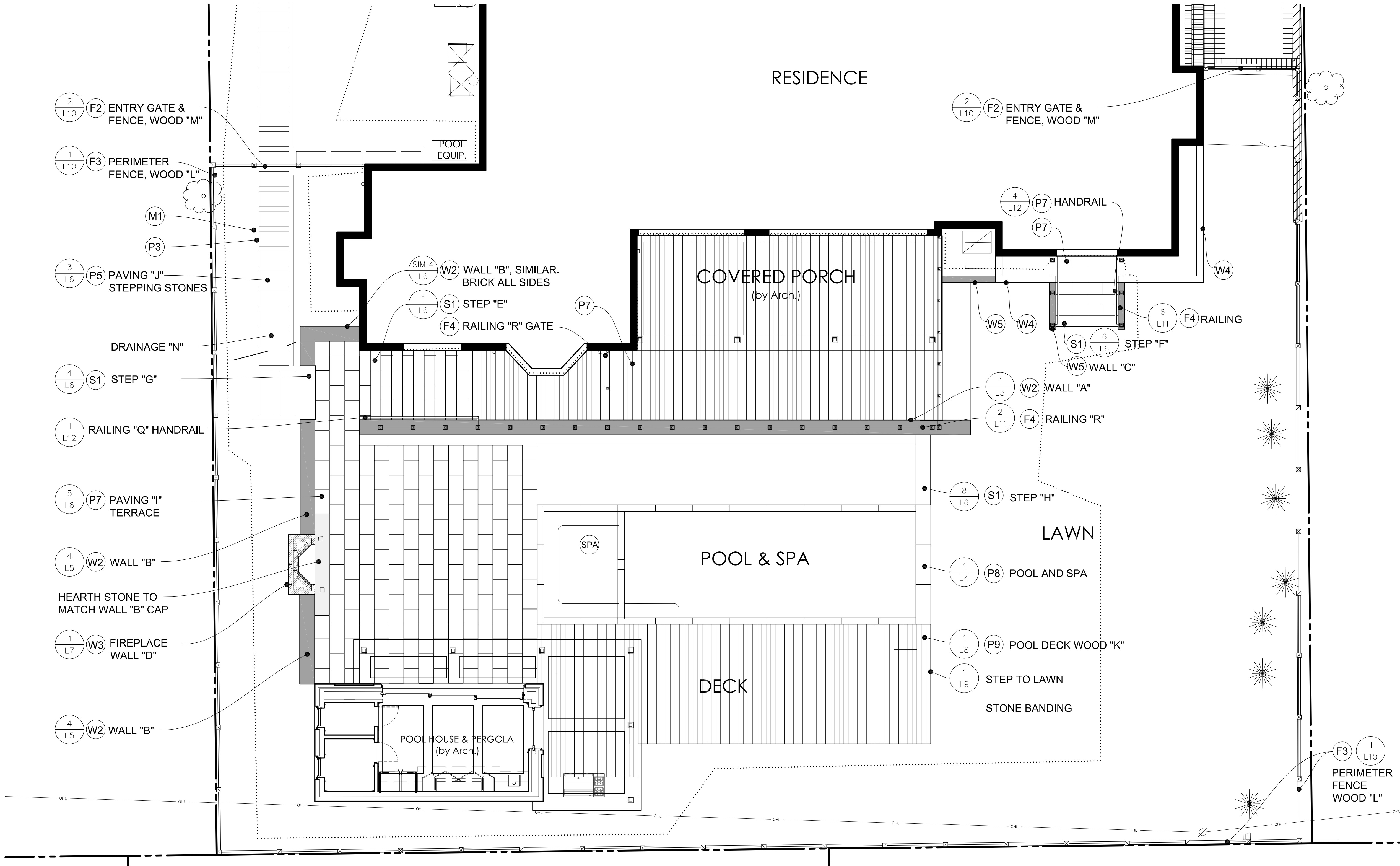
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MATERIALS LEGEND

P3	Pea Gravel	W2	C.I.P. Concrete Wall with Stone Cap, Brick Veneer	M1	Metal Edging
P5	Stone Steppers in Pea Gravel Surround	W3	Masonry Fireplace	F2	Wood Gate & Low Fence
P7	Stone Pavers on Concrete Base	W4	Existing Brick Wall	F3	Wood Tall Board Fence
P8	Stone Cap	W5	Brick Wall	F4	Wood Railing
P9	Synthetic Deck Boards with PT Lumber Framing	S1	C.I.P. Concrete Steps w/ Stone Tread, Brick Riser		

ANNOTATION KEY

LX

DETAIL # AND SHEET CALLOUT

X

MATERIAL TAG

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DIMENSION PLAN

REVISIONS

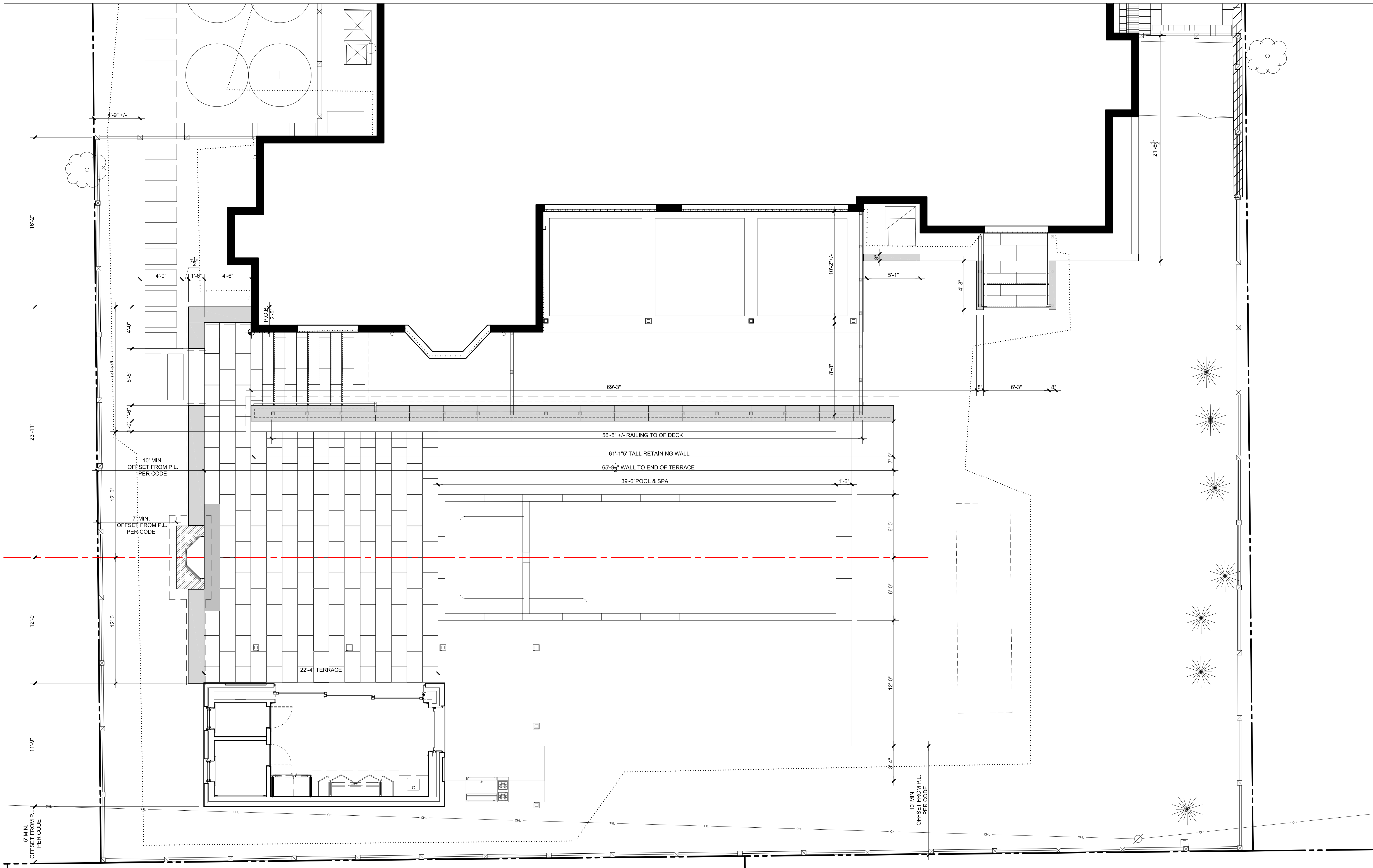
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26



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6. Contractor shall stake the alignment of all steel edging in the field and shall receive approval of the layout by the LA prior to installation.

1. ALL FEATURES TO BE SQUARE TO HOUSE.
2. MEET ALL MIN. OFFSETS FROM P.L. PER JURSDICTION'S CODE REQUIREMENTS. VERIFY IN FIELD ALL MIN. SETBACKS ARE MET.

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SCALE: AS NOTED

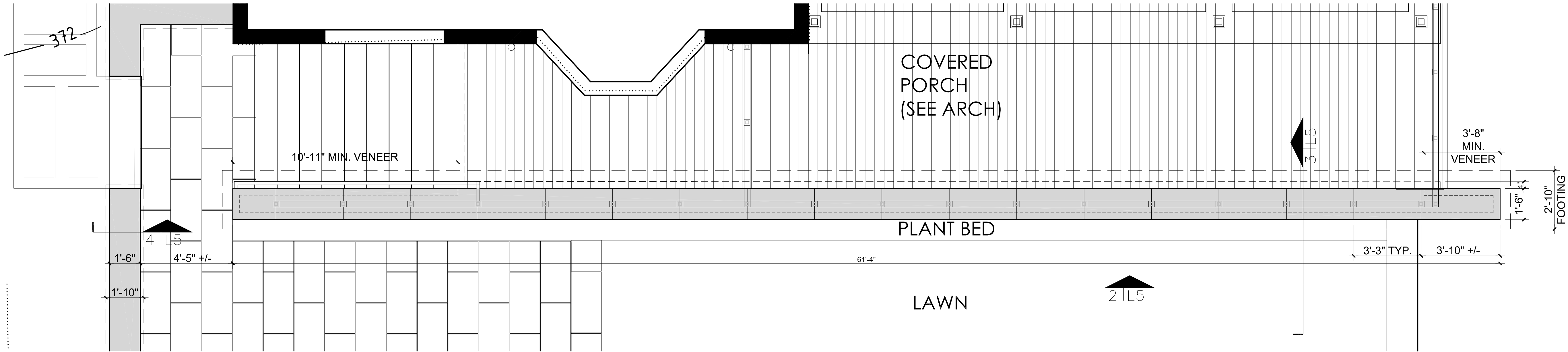
L5

WALLS

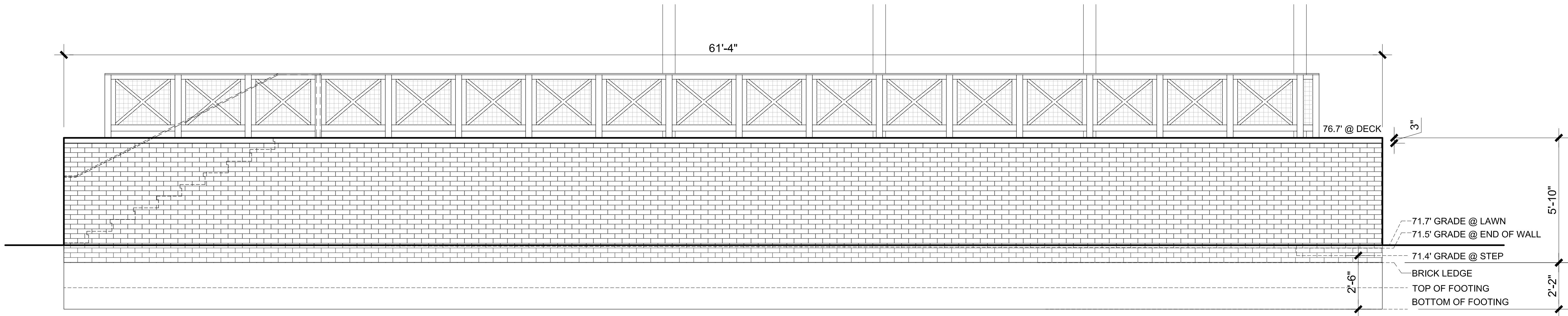
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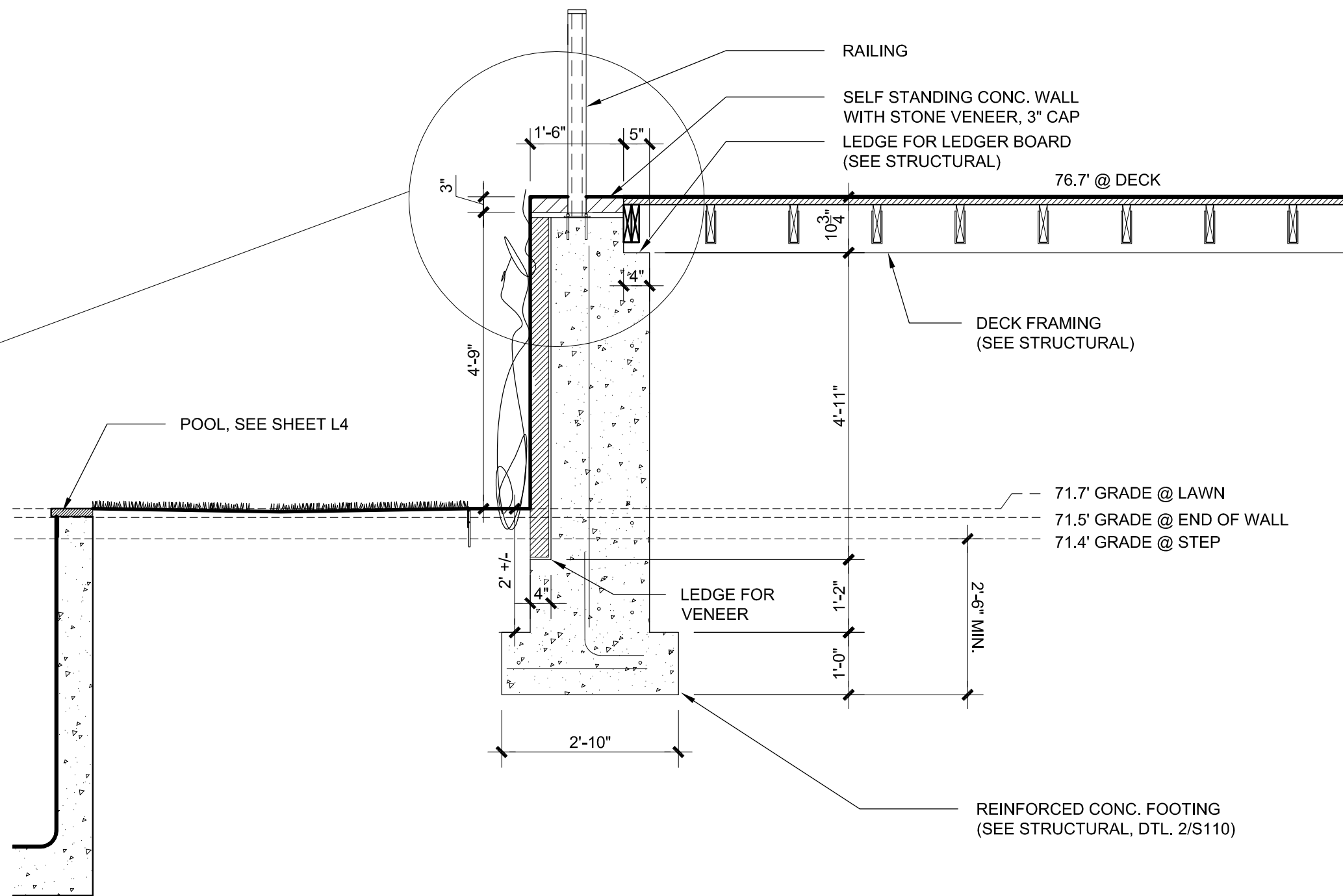
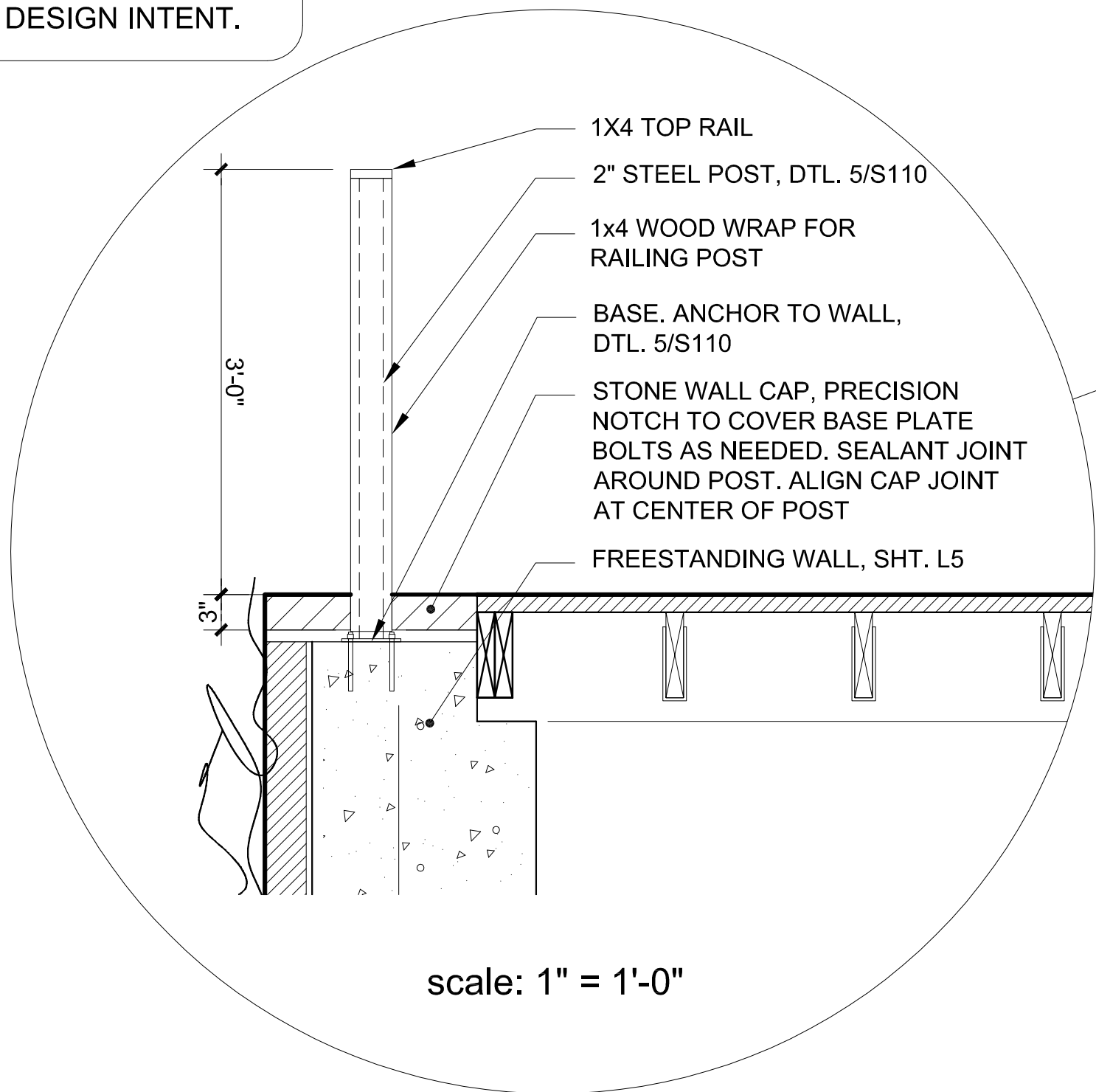


1 L5 LAYOUT - WALL "A"
Scale: 3/8" = 1'-0"

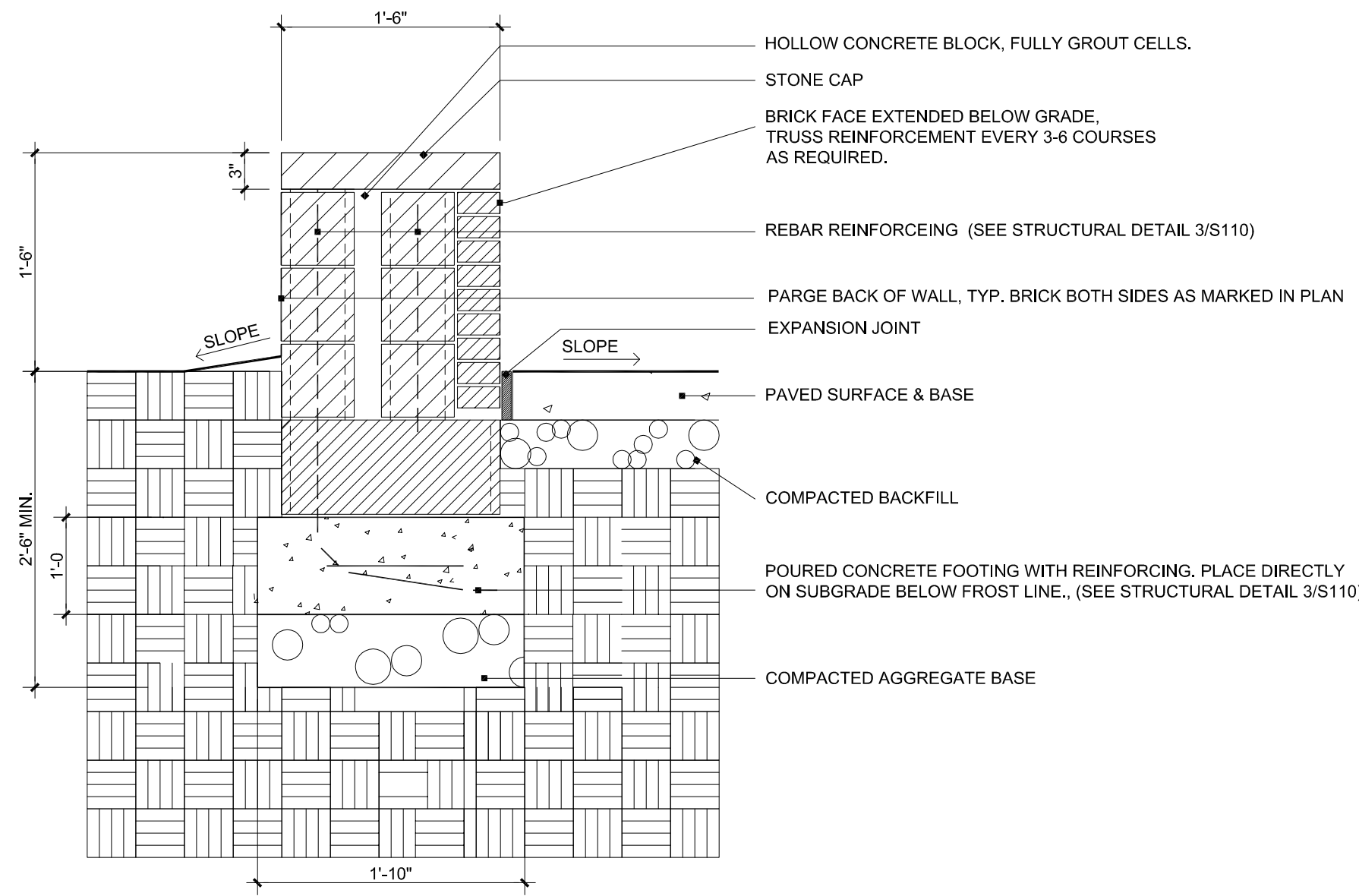


2 L5 ELEVATION - WALL "A"
Scale: 3/8" = 1'-0"

BASE PLATE PER DTL. 5/S110 RECOMMENDED FOR RAILING POST CONNECTION. CONTRACTOR RESPONSIBLE FOR ALL POSTS TO BE PROPERLY ANCHORED TO WALL FOUNDATION. THESE DRAWINGS PROVIDED FOR DESIGN INTENT.

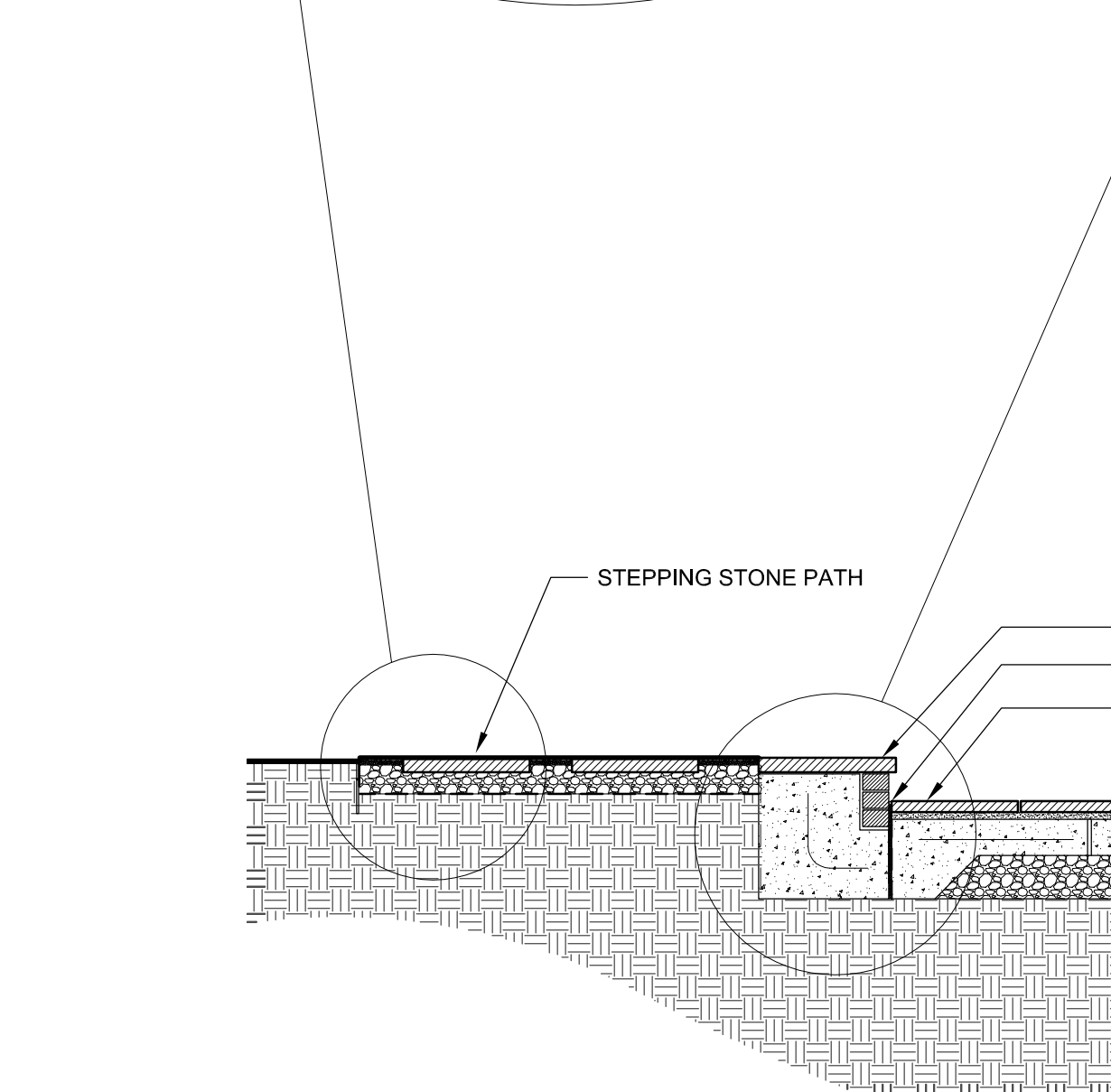


3 L5 CROSS SECTION - WALL "A"
Scale: 1/2" = 1'-0"

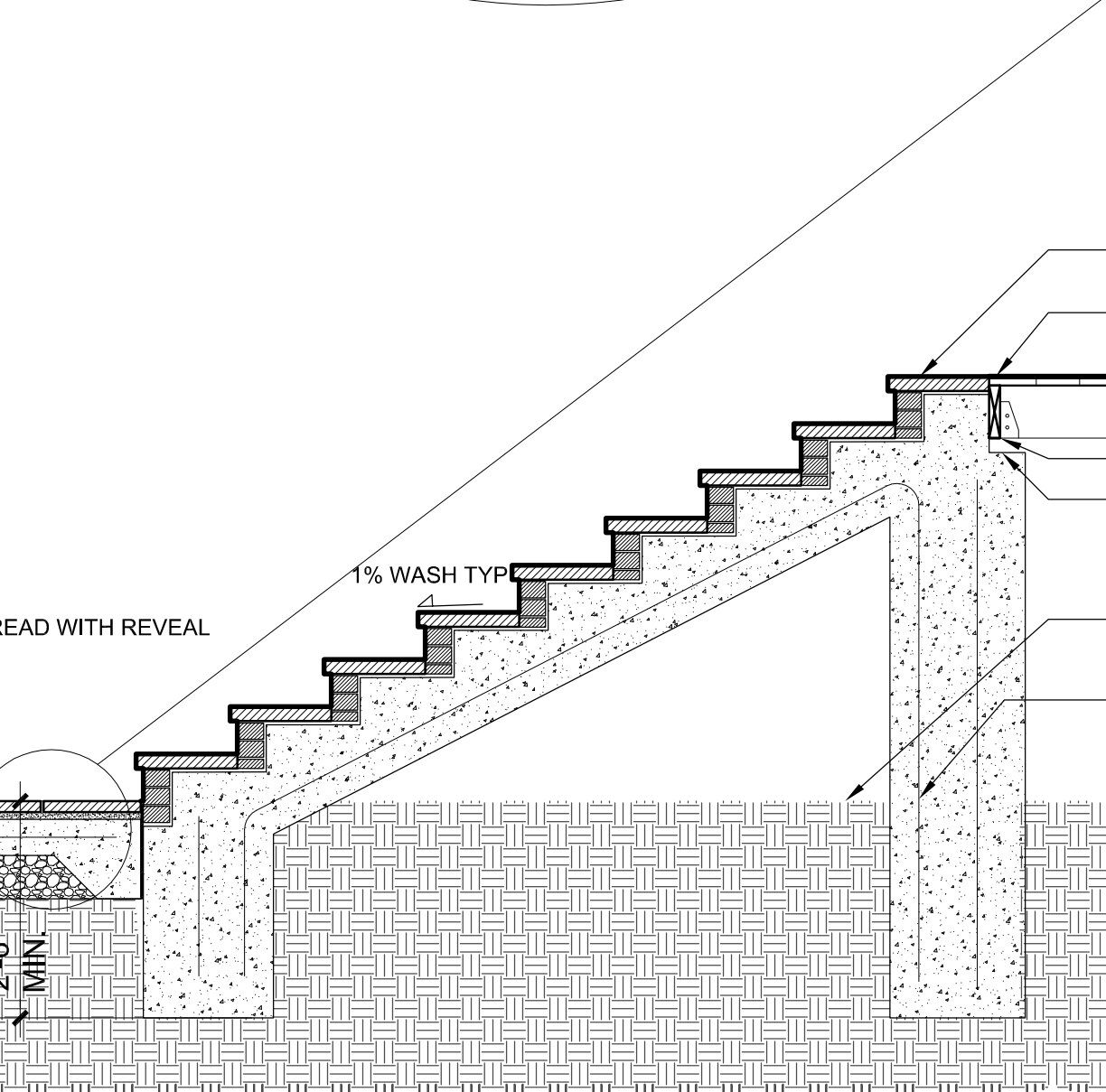


4 L5 CROSS SECTION - WALL "B"
Scale: 1" = 1'-0"

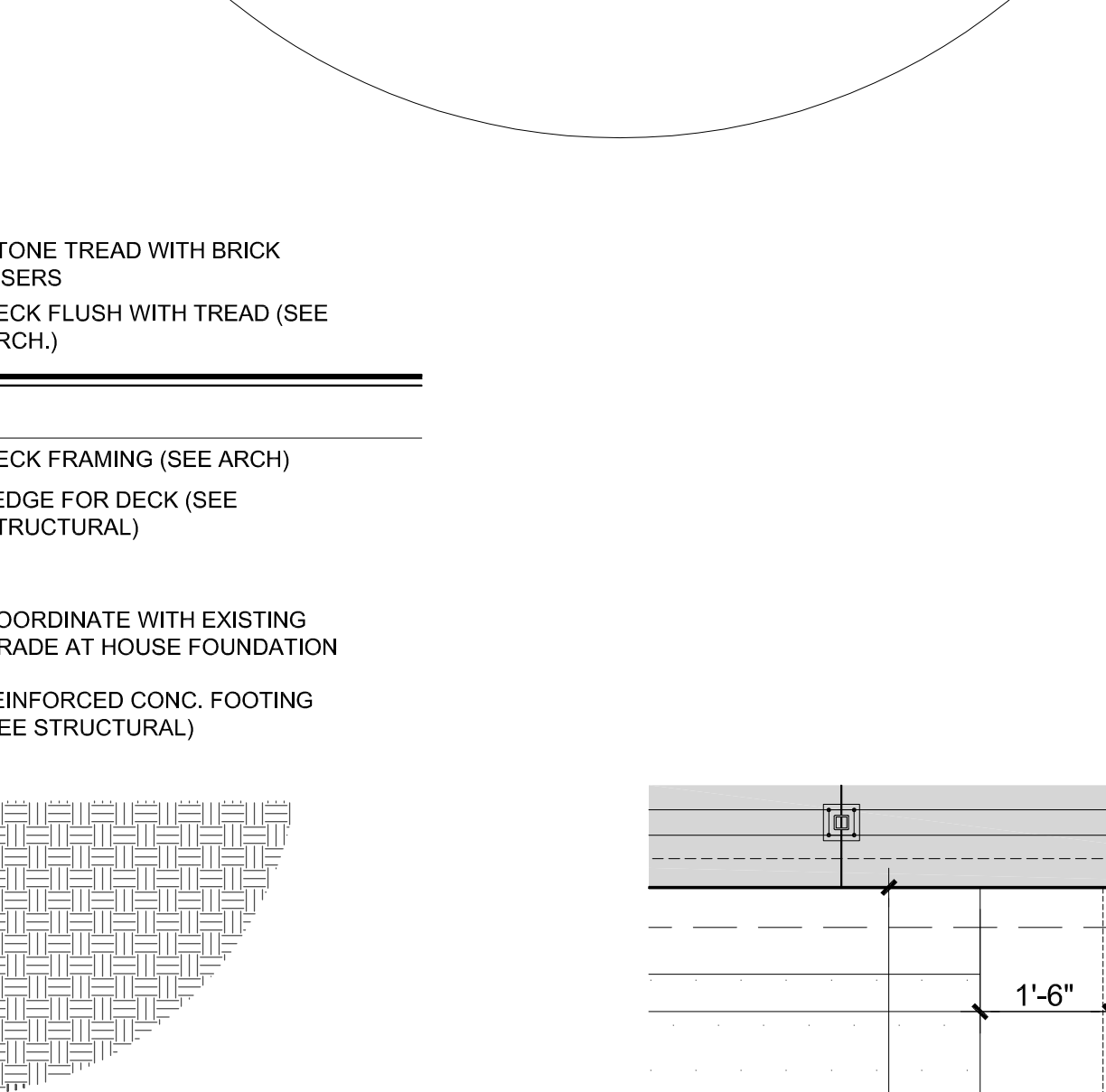
L6 Scale: 1" = 1'-0"



L6 Scale: 1" = 1'-0"



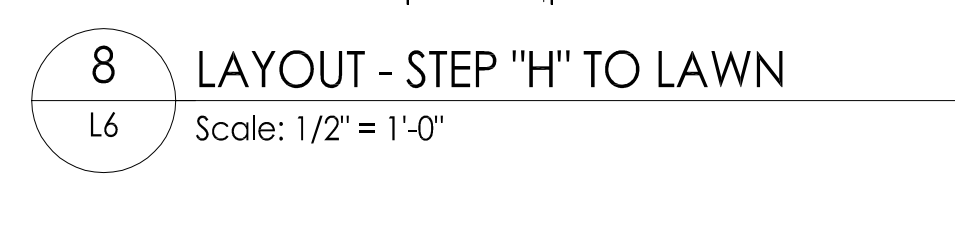
16 Scale: 1" = 1'-0"



L6 Scale: 1/2" = 1'-0"



L6 Scale: 1/2" = 1'-0"

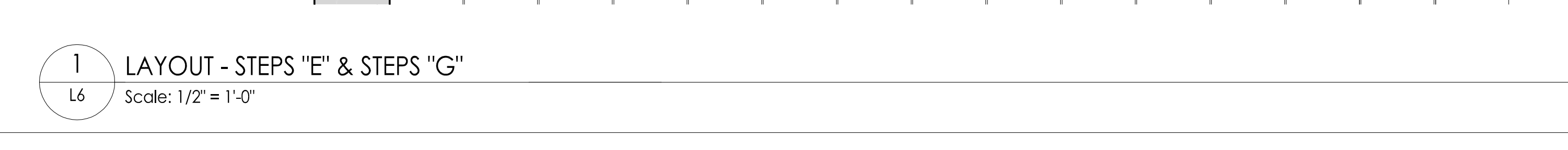


L6 Scale: 1/2" = 1'-0"



L6 Scale: 1" = 1'-0"

16 Scale: $1/2" = 1'-0"$



L6 Scale: 1/2" = 1'-0"

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TEPS & PAVING

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SCALE: 1/2" = 1'-0"

L7

FIREPLACE

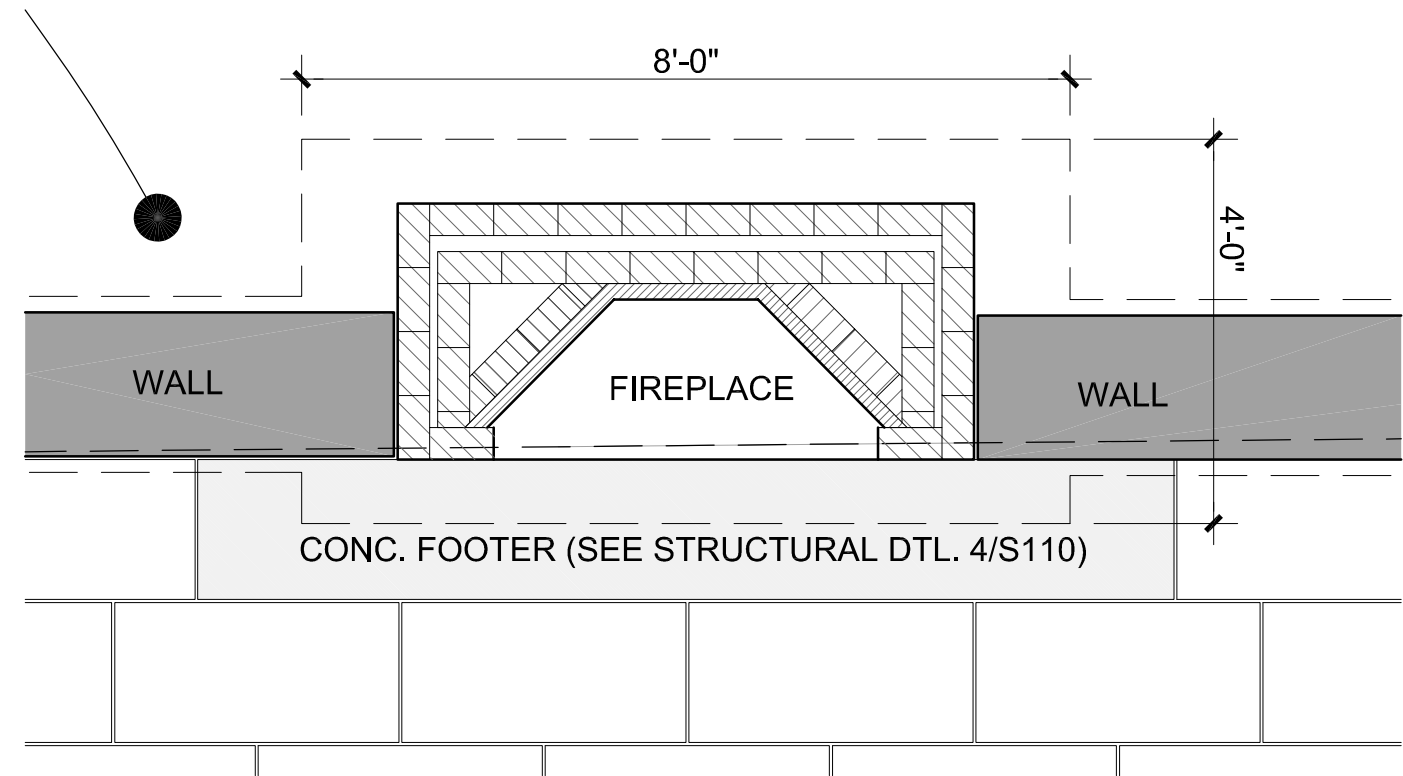
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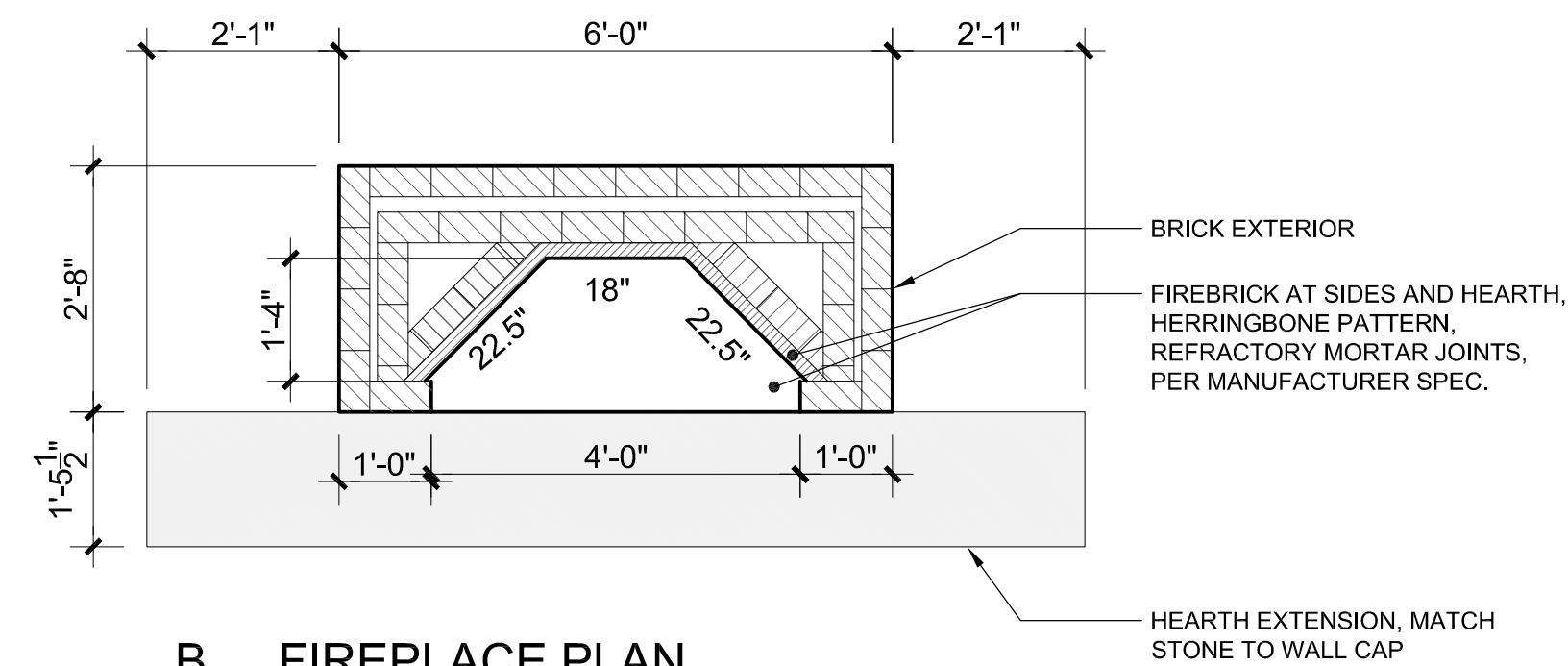
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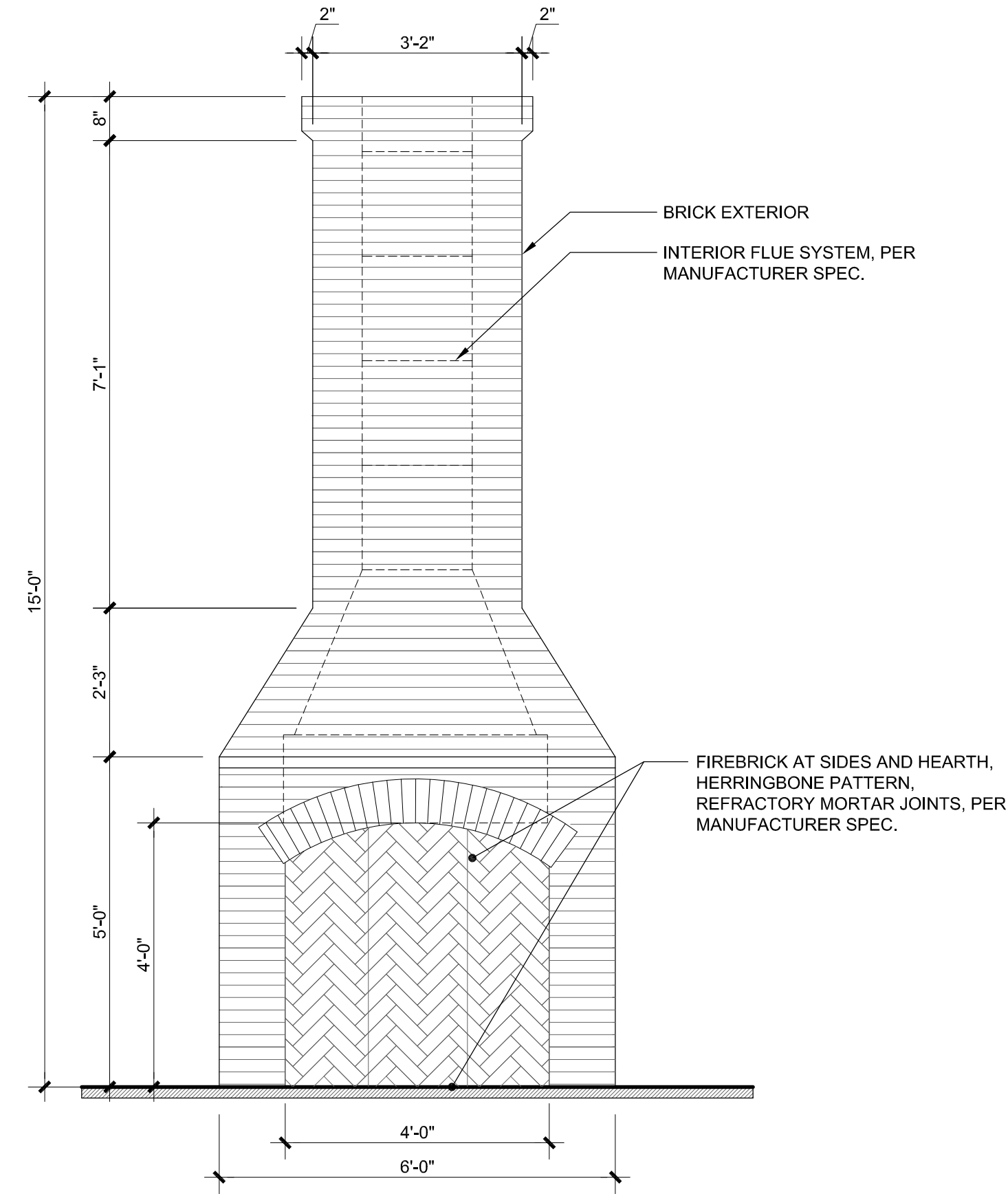
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A. FIREPLACE CONTEXT PLAN



B. FIREPLACE PLAN



C. FIREPLACE ELEVATION

1 WALL "D" - FIREPLACE
Scale: 1/2" = 1'-0"

9/19/2019

One-Piece Throat System

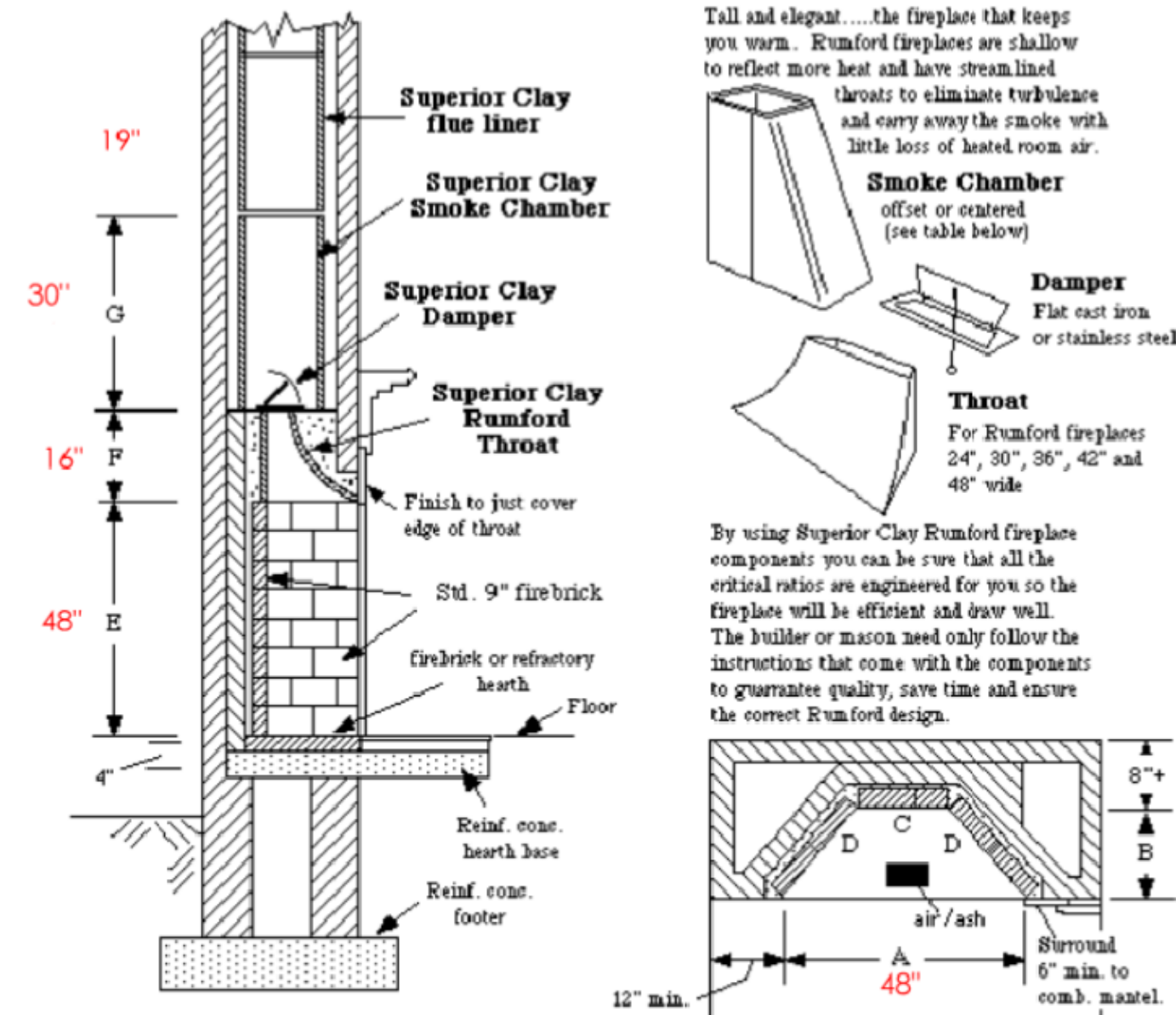
Buckley Rumford Fireplaces

One-Piece Throat System

10/24/12

Rumford Fireplace

.....Components by Superior Clay Corp.



FIREPLACE	THROAT	DAMPER	SMOKE CHAMBER	FLUE	OTHER DIMENSIONS								THROAT D x Wmax
					A	B	C	D	E	F	G		
R2428	TR24	KW24	812 or 1212	812 or 1212	24"	12.5"	13.5"	13.5"	28"	12"	19"	3"x16.25"	
R3030	TR30	smCI or KW30	913 or 1212	913 or 1212	30"	12.5"	13.5"	15"	30"	13"	19"	3.5"x18.5"	
R3636	TR36	smCI or KW36	1216 or 1313	1216 or 1313	36"	14"	13.5"	18"	36"	14"	19"	4"x20"	
R4242	TR42	lgCI or KW42	1616 or 1318	1616 or 1318	42"	15"	15"	21"	42"	15"	19"	4.5"x23.5"	
R4848	TR48	lgCI or KW48	1620	1620	48"	16"	18"	22.5"	48"	16"	19"	5"x27.5"	

Superior Clay Corporation, Uhrichsville, OH (800 848 6166)
(Design & Technical Service, Buckley Rumford Co. 360 385 9974 or buckley@rumford.com)

For large or modified Rumfords use [Segmented Throat System](#)
For damper and flue size options see [Components & Accessories](#)

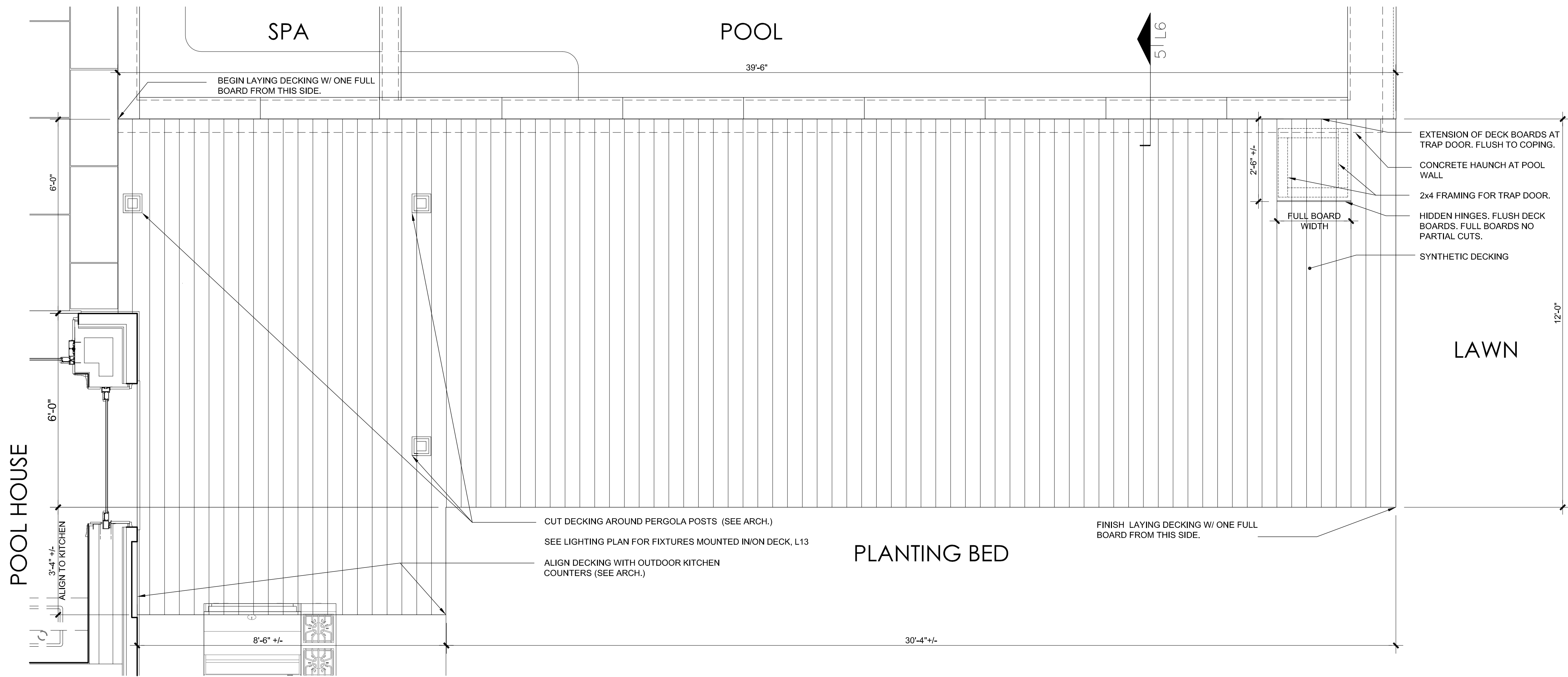
[Plans & Instructions](#)

Buckley Rumford Fireplaces

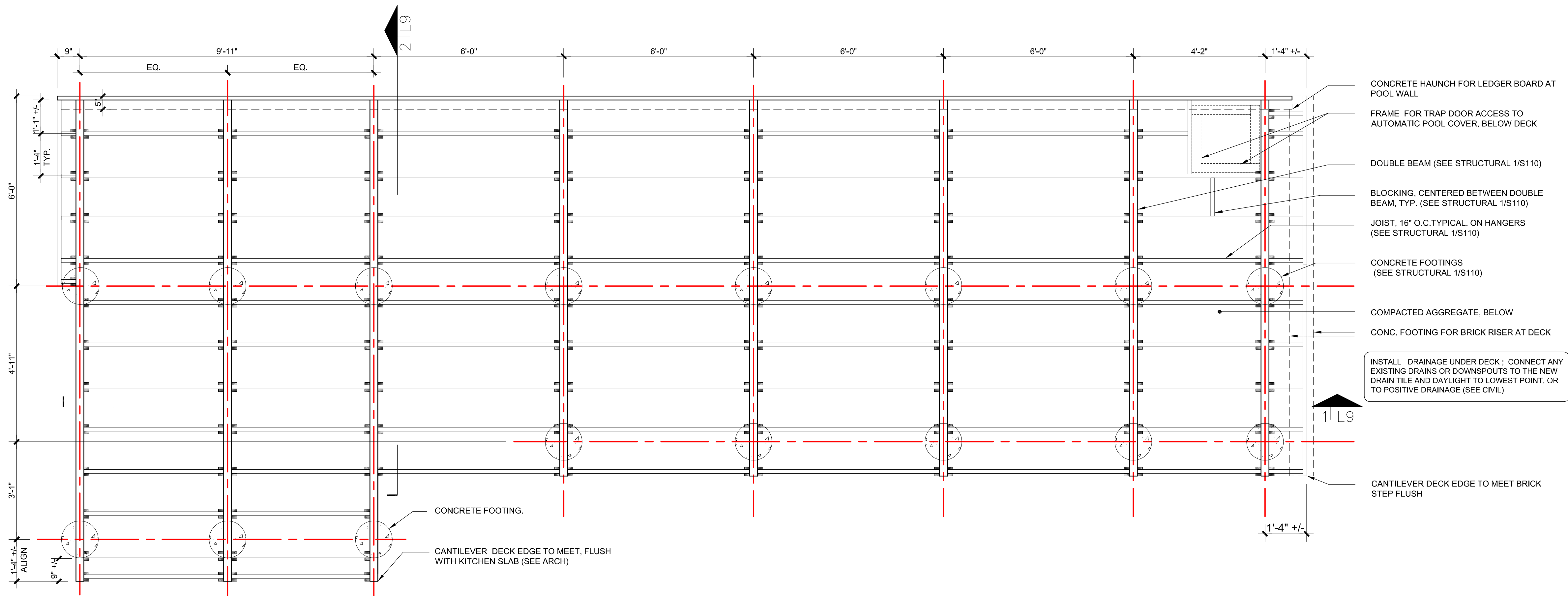
Copyright 1995 - 2012 Jim Buckley

www.rumford.com/classifyerplan.html

1/2



1 L8 LAYOUT - DECKING WOOD "K"
Scale: 1/2" = 1'-0"



2 L8 LAYOUT - DECK FRAMING WOOD "K"
Scale: 1/2" = 1'-0"

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katia goffin gardens
7217 Evans MB Road, McLean, VA 22101
(C) 202,352,5928 (O) 703,821,1821

WODLINGER RESIDENCE
3804 BRADLEY LANE, CHEVY CHASE, MD 20815

PERMIT SET

Date: September 30th 2019

SCALE: 1/2" = 1'-0"

L8

DECK PLANS

REVISIONS

09-30-2019 Permit

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Date: September 30th 2019

SCALE: 1/2" =1'-0"

L9

DECK DETAILS

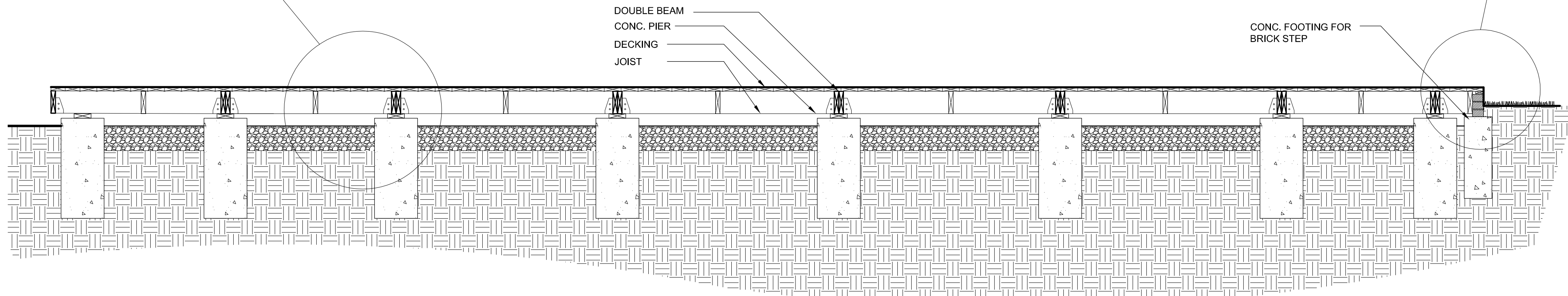
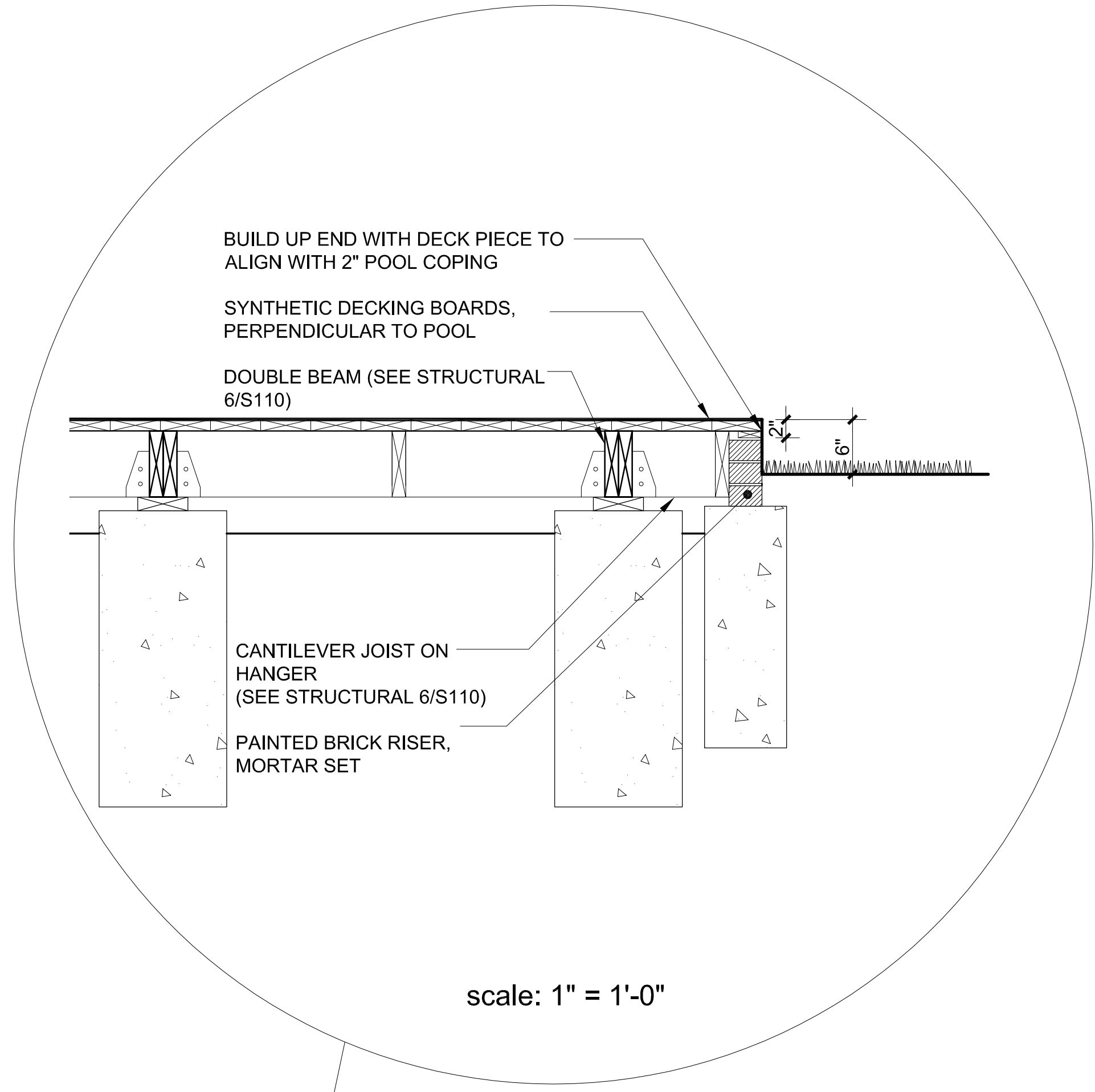
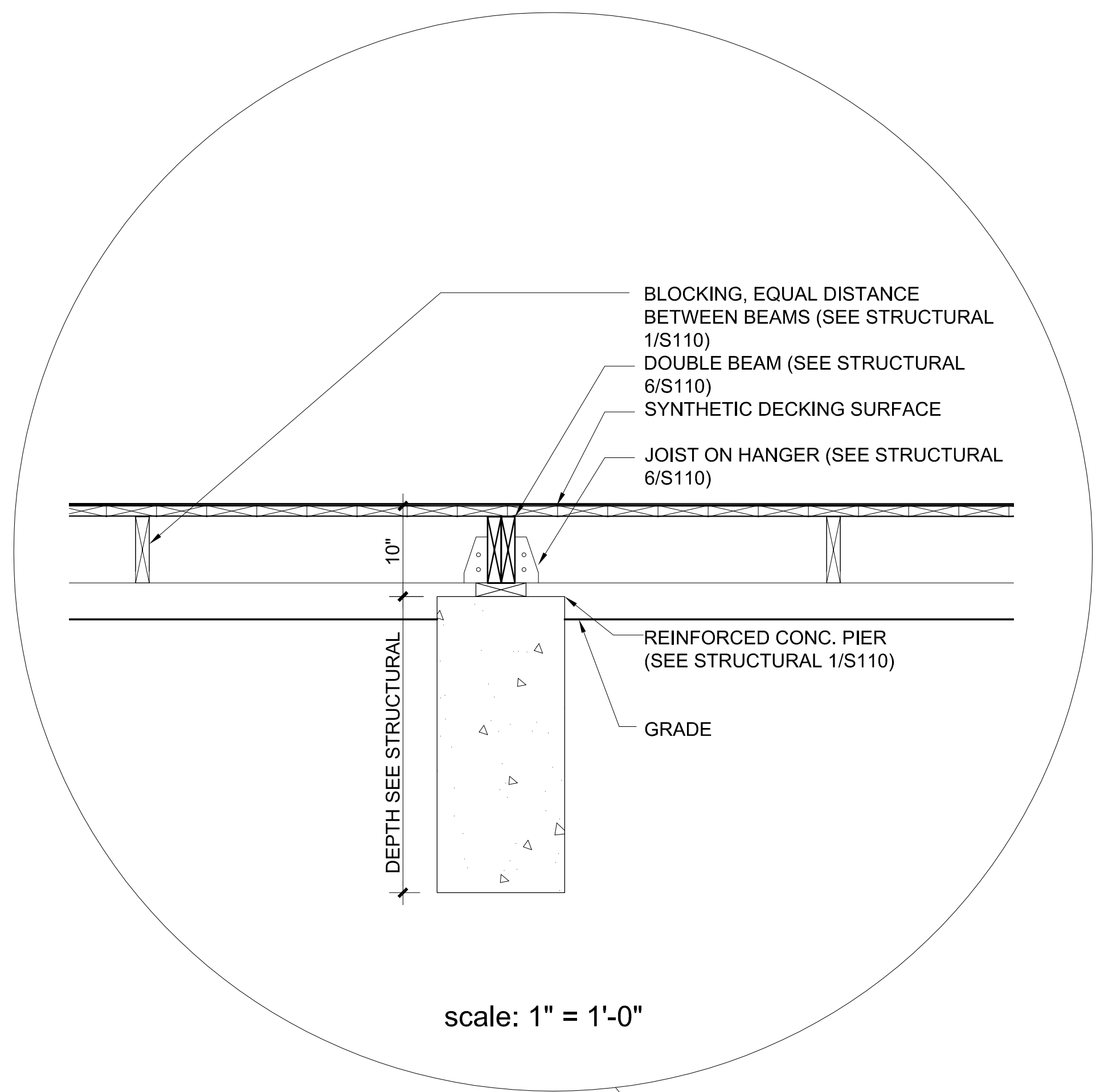
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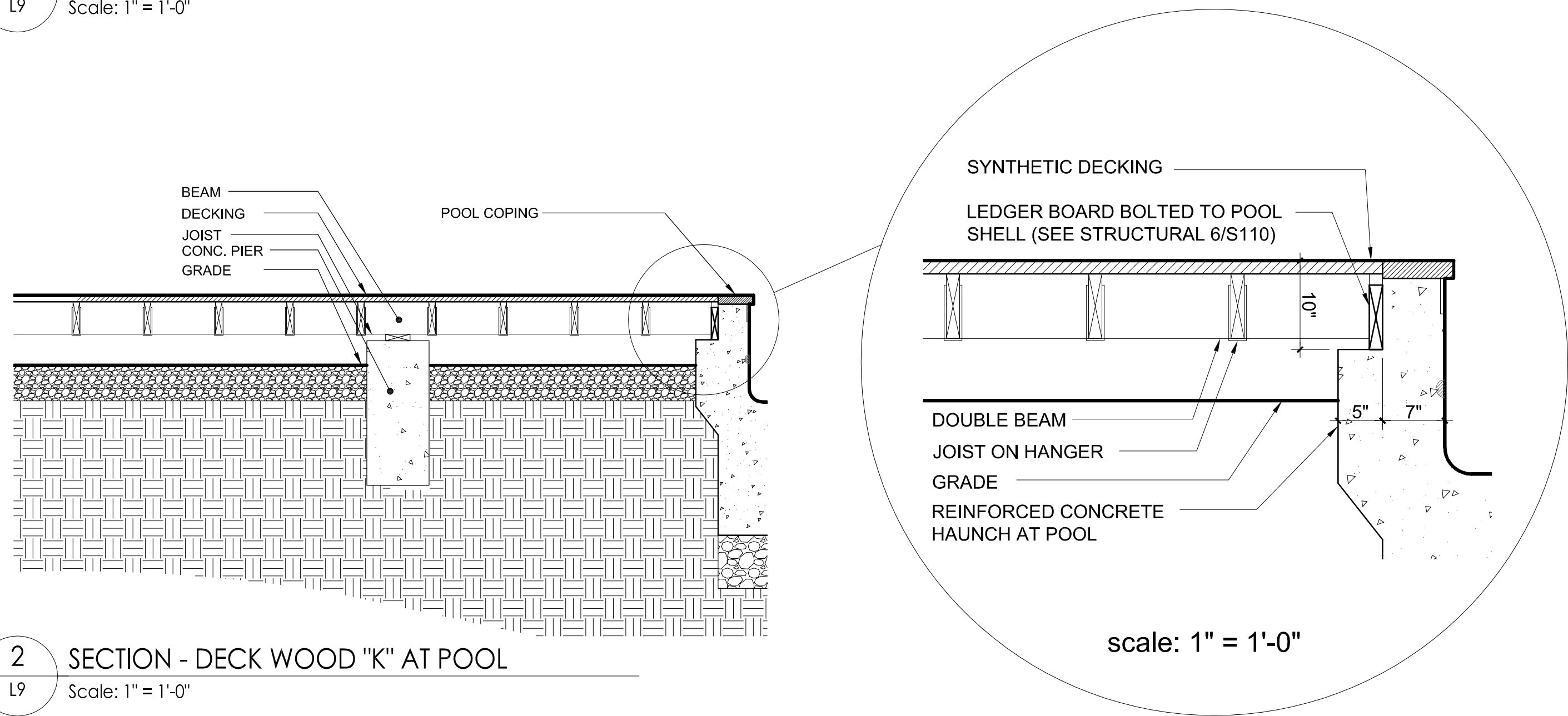
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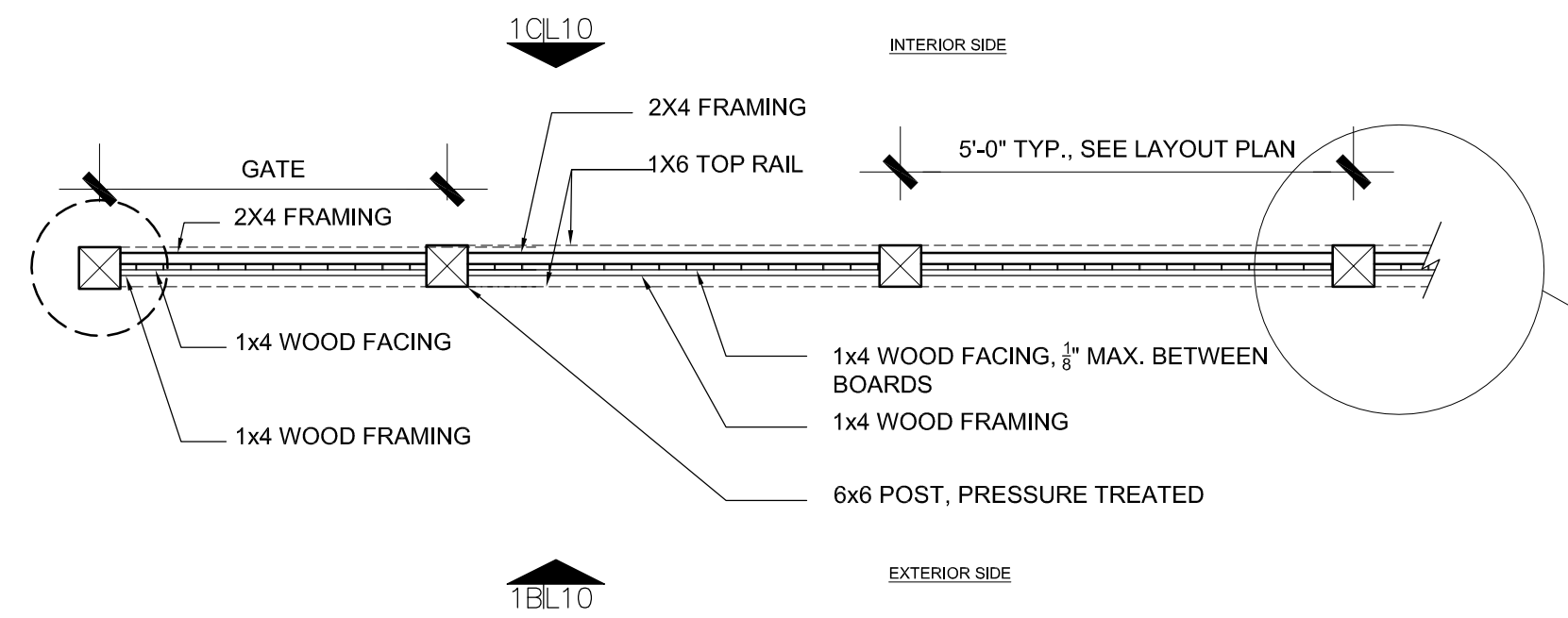
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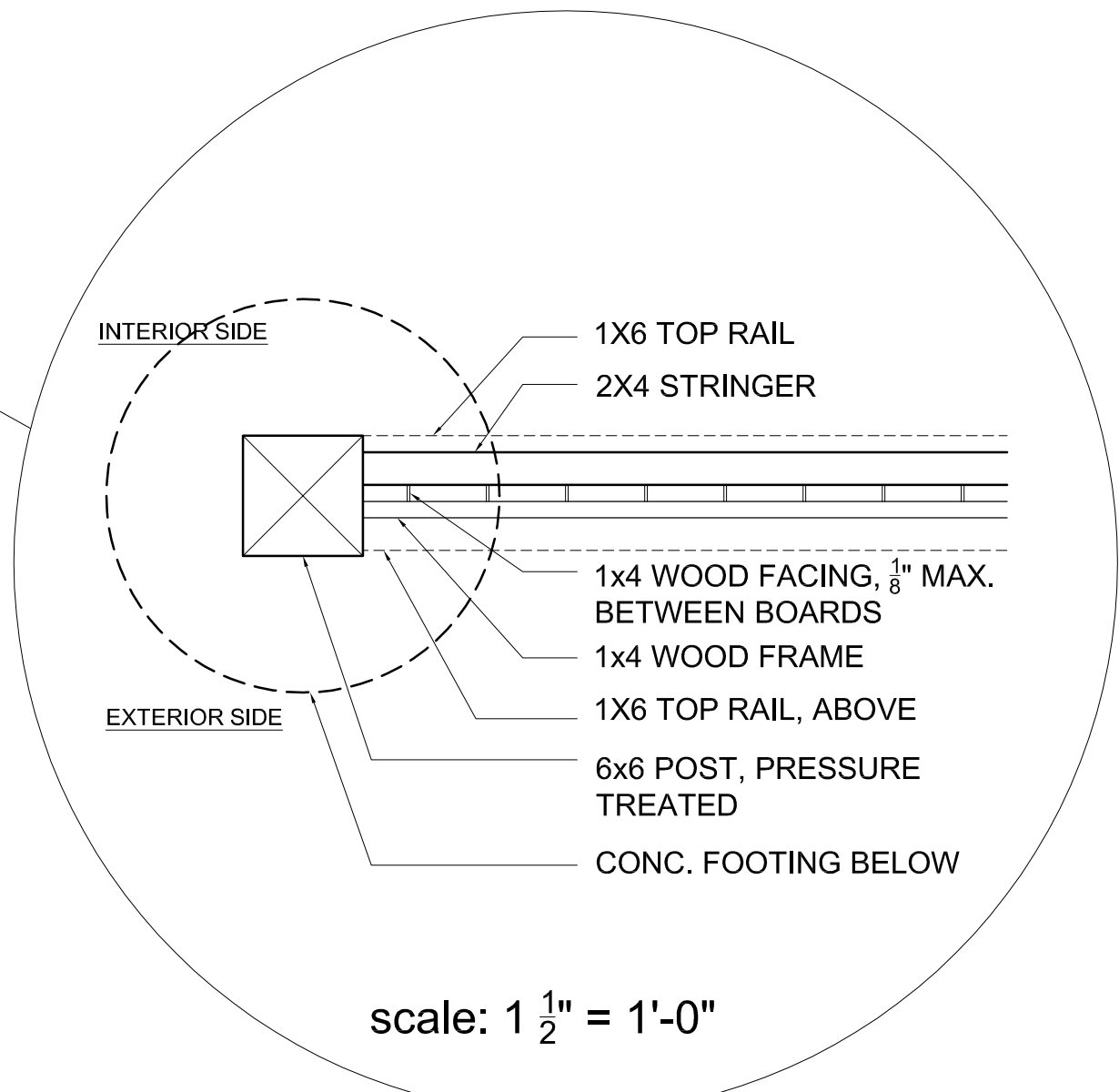
1 SECTION - DECK WOOD "K" AT OUTDOOR BBQ
L9 Scale: 1" = 1'-0"



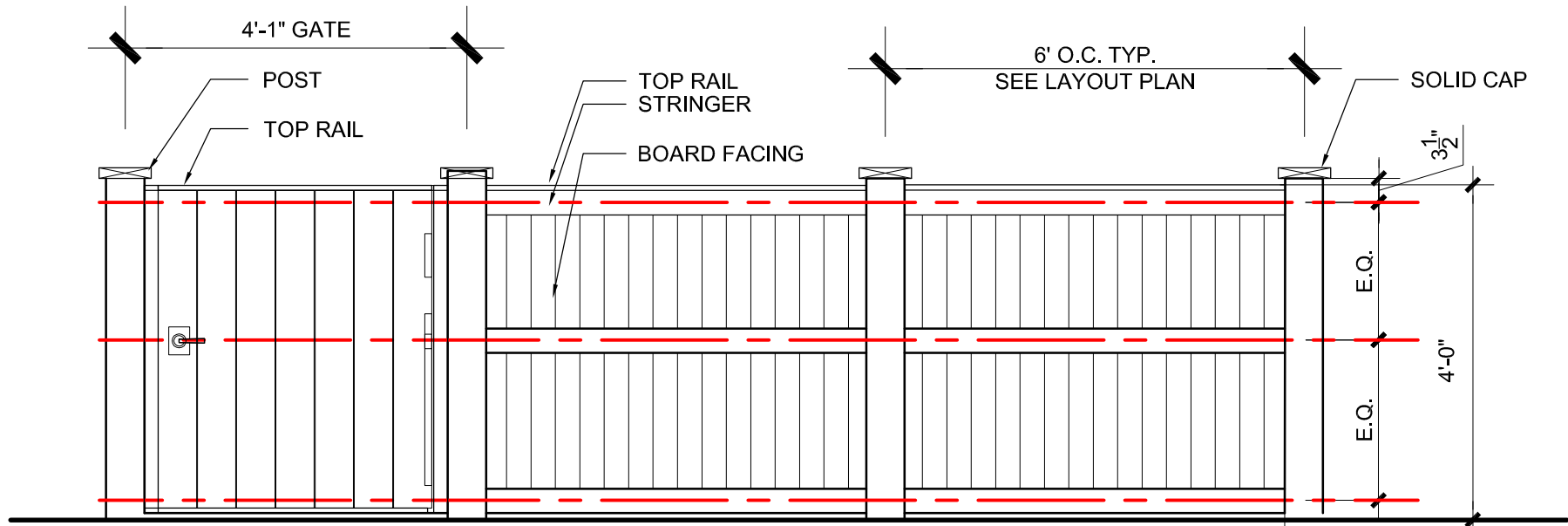
2 SECTION - DECK WOOD "K" AT POOL
L9 Scale: 1" = 1'-0"



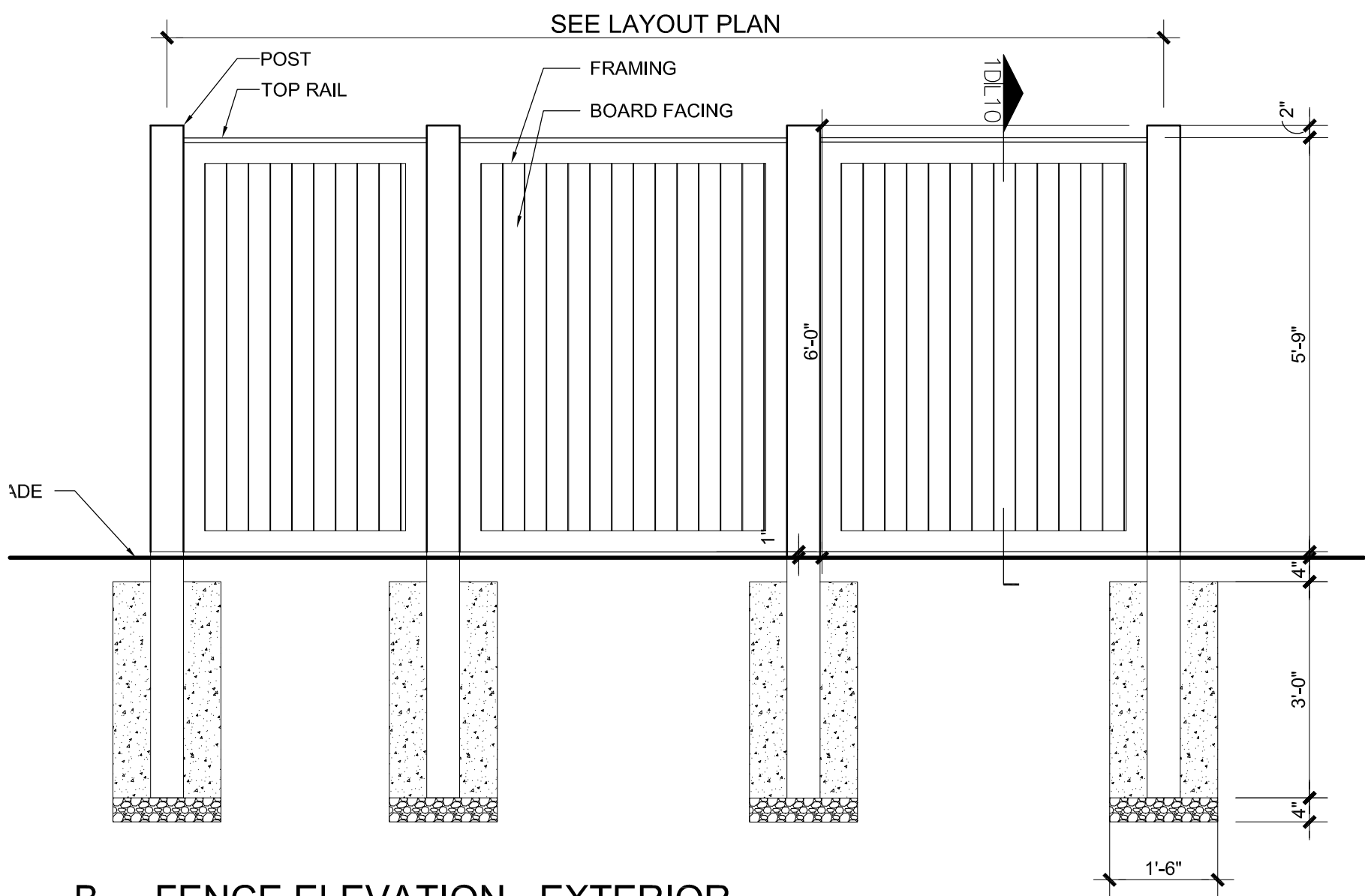
A. FENCE PLAN



scale: 1 1/2" = 1'-0"

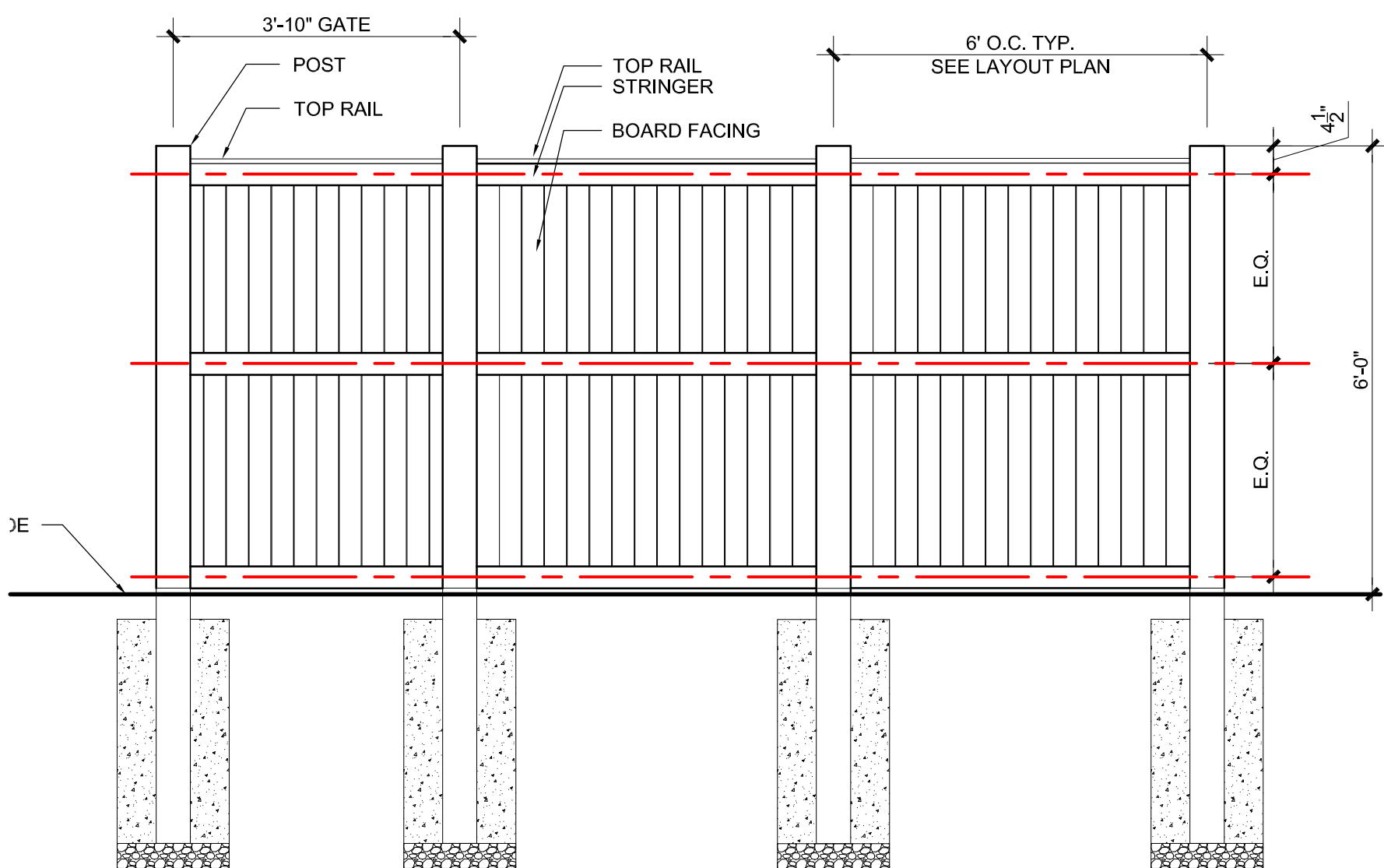


2 ENTRY GATE AND LOW FENCE - WOOD "M"
L10 Scale: 1/2" = 1'-0"

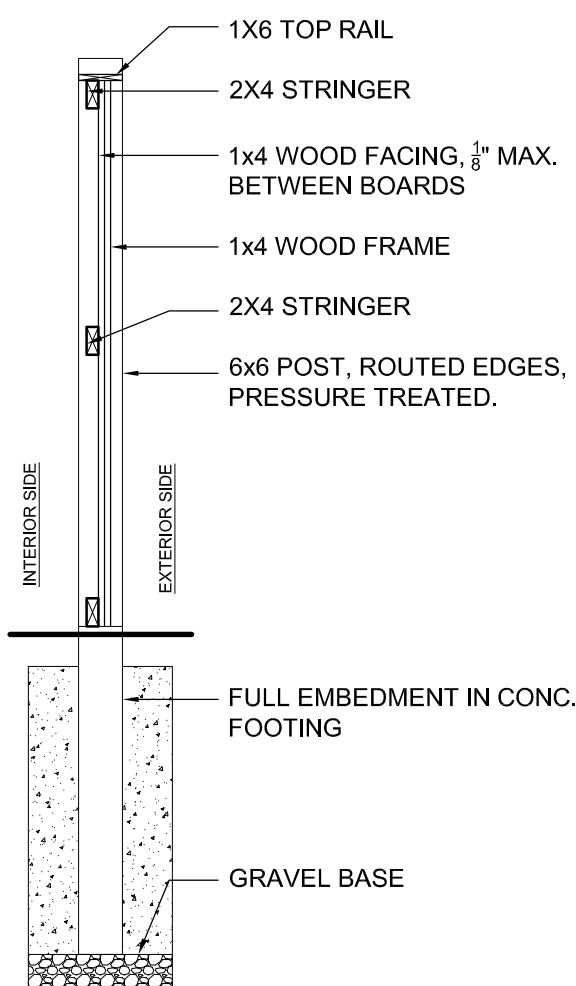


B. FENCE ELEVATION - EXTERIOR

TOP OF FENCE TO BE AT CONTINUOUS ELEVATION.
IF GRADE FALLS, FENCE TO BE CONTINUOUS ELEVATION OR STEP IN UNIFORM SECTIONS WHEN NECESSARY TO FOLLOW GRADE. TOP OF FENCE SHOULD NOT SLANT OR ANGLE ANYWHERE.
LOCAL CODE FOR POOL FENCES TO BE FOLLOWED.
ALL DIMENSIONS TO BE VERIFIED ON SITE
DOOR OPEN OUTWARD AWAY FROM POOL



C. FENCE ELEVATION - INTERIOR



D. FENCE SECTION

1 PERIMETER FENCE - WOOD "L"
L10 Scale: 1/2" = 1'-0"

1. All local code for pool enclosures to be followed, including but not limited to the below
2. 305.3 Gates. Access gates shall comply with the requirements of Sections 305.3.1 through 305.3.3 and shall be equipped to accommodate a locking device.
3. Pedestrian access gates shall open outward away from the vessel and shall be self-closing and have a self-latching device.
4. 305.3.2 Double or multiple gates. Double gates or multiple gates shall have at least one leaf secured in place and the adjacent leaf shall be secured with a self-latching device.
5. The gate and barrier shall not have openings larger than 1/2 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.
6. 305.3.3 Latches. Where the release mechanism of the self-latching device is located less than 54 inches (1372 mm) from grade, the release mechanism shall be located on the vessel side of the gate at least 3 inches (76 mm) below the top of the gate, and the gate and barrier shall not have openings greater than 1/2 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.

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WODLINGER RESIDENCE
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PERMIT SET

Date: September 30th 2019

SCALE: AS NOTED

L10
FENCE

REVISIONS

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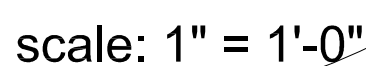
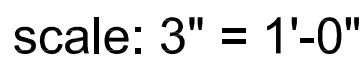
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SCALE: AS NOTED

RAILING

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33



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SCALE: AS NOTED

L12

HANDRAILS

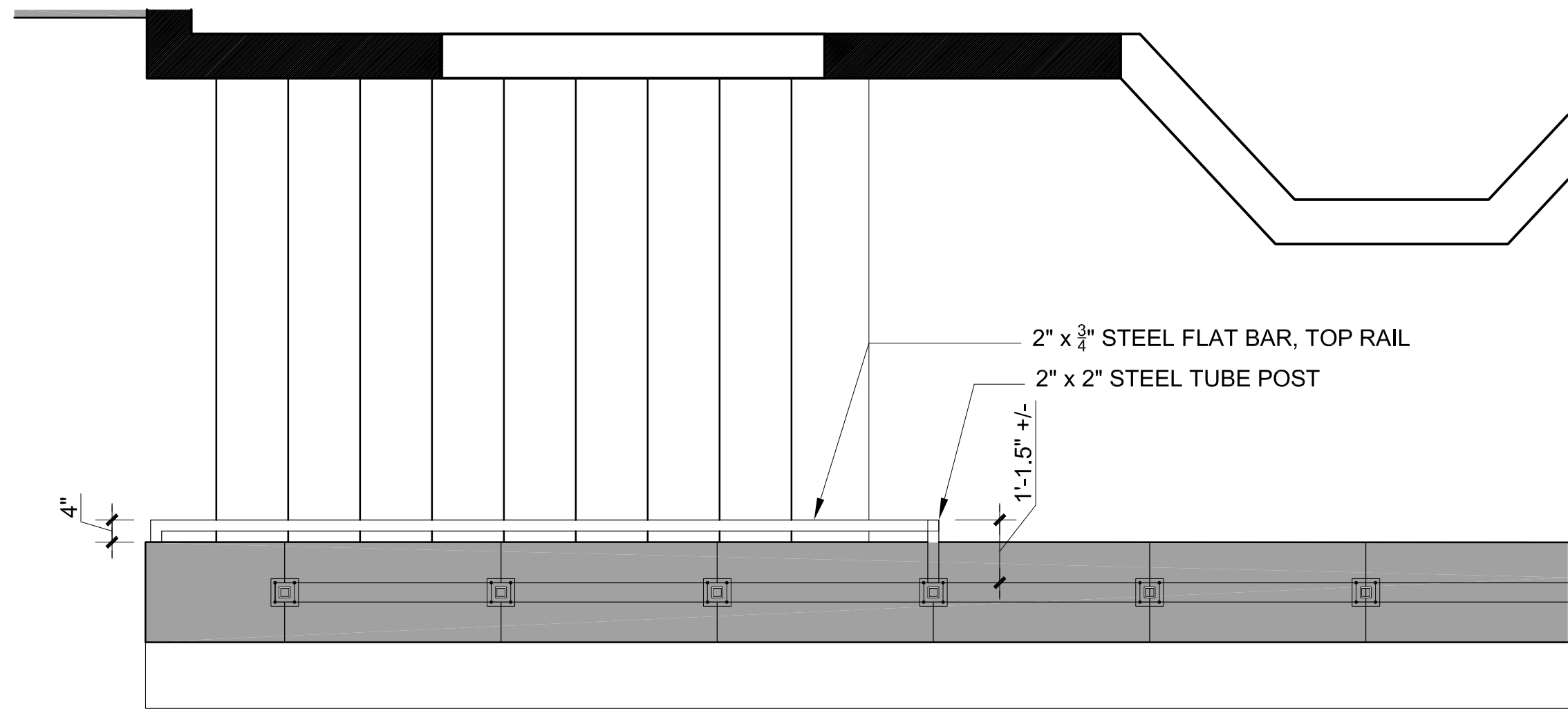
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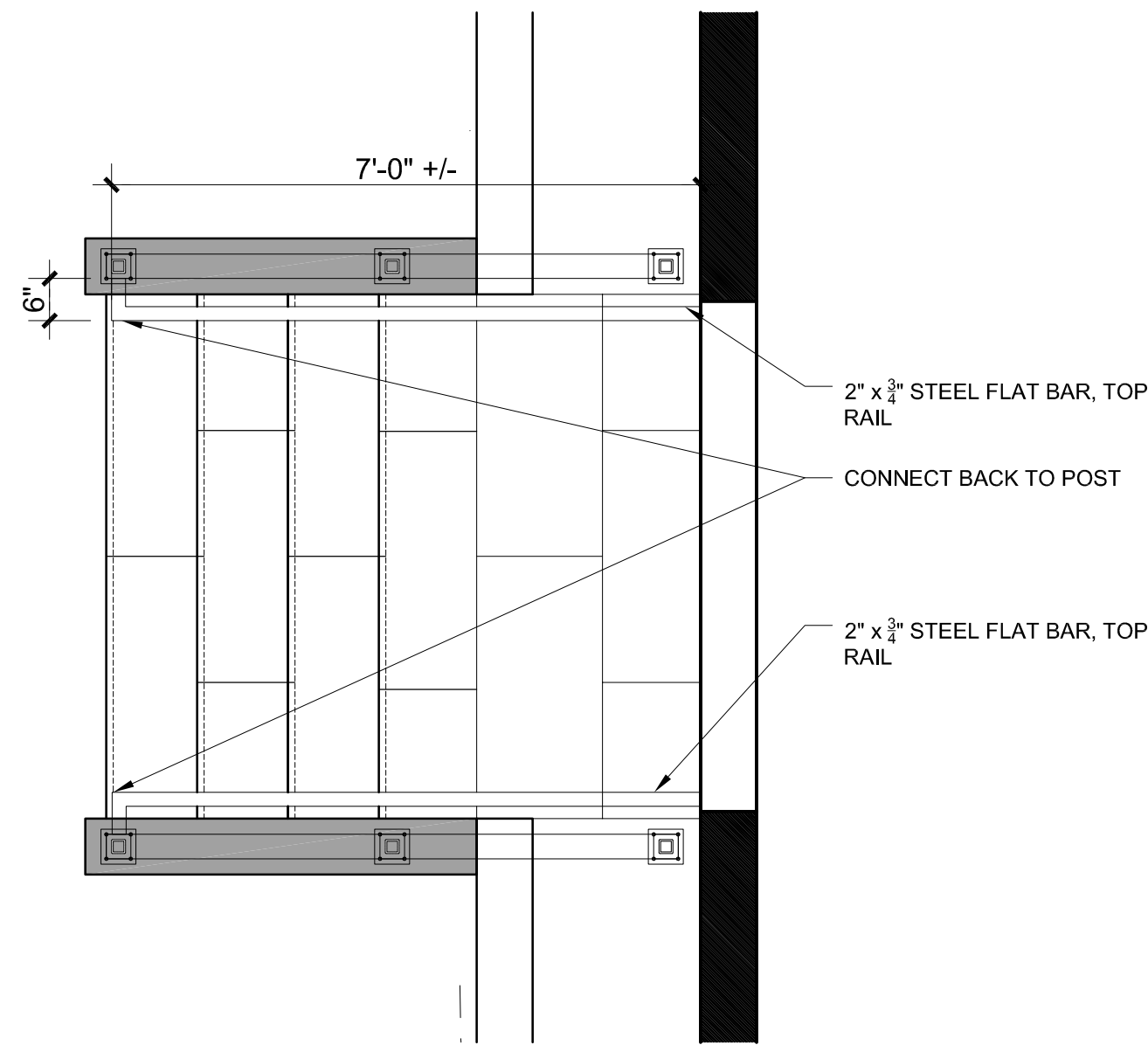
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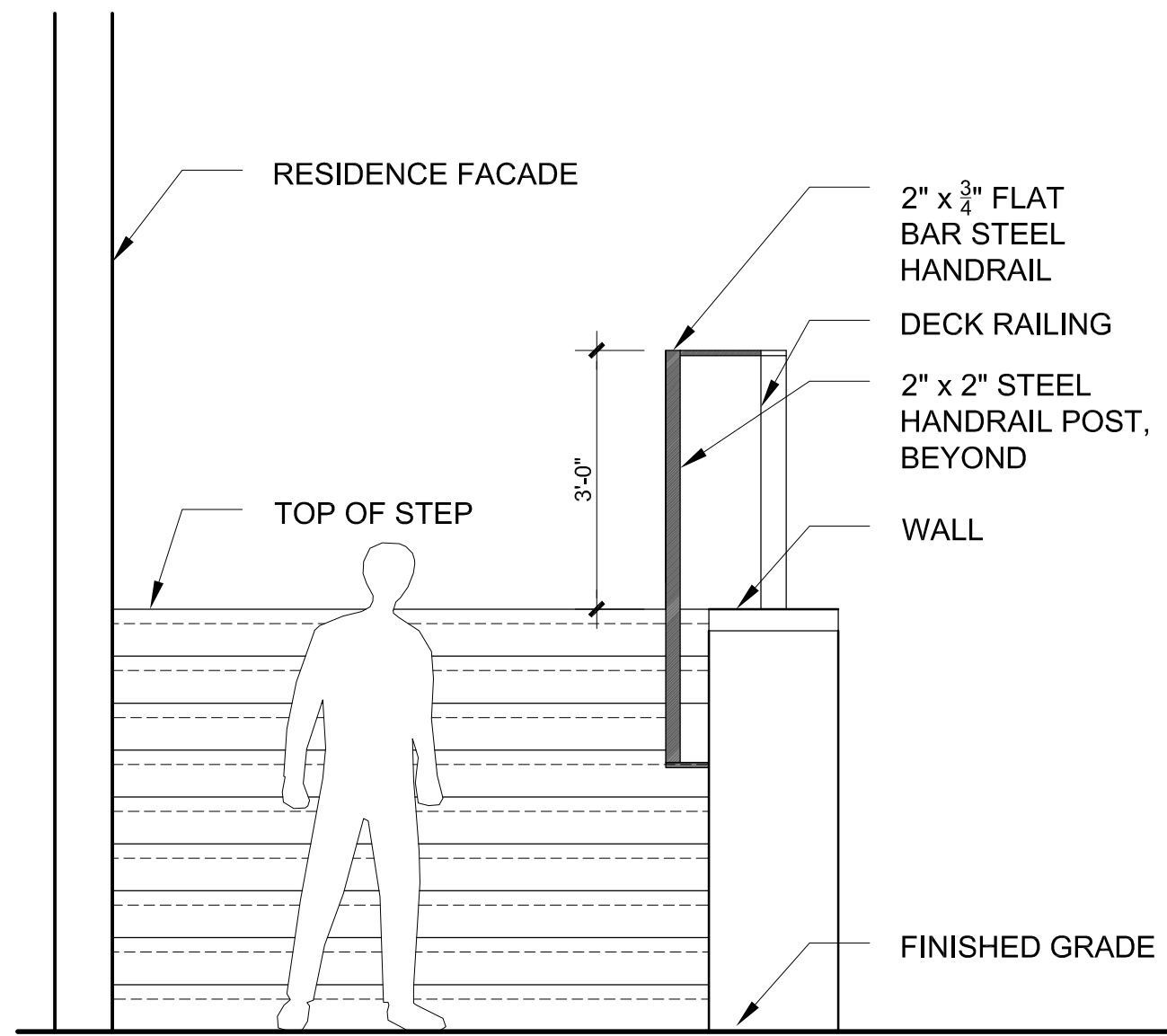
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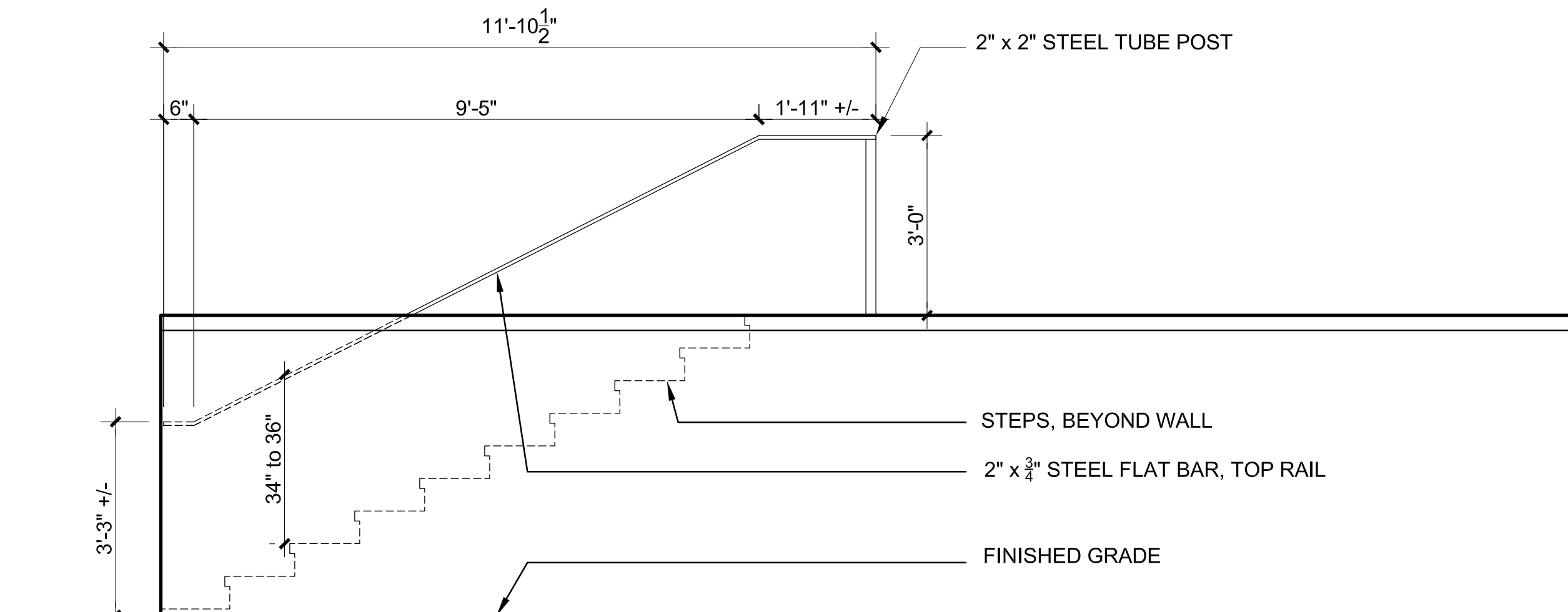
1 LAYOUT - HANDRAIL "Q"
L12 Scale: 1/2" = 1'-0"



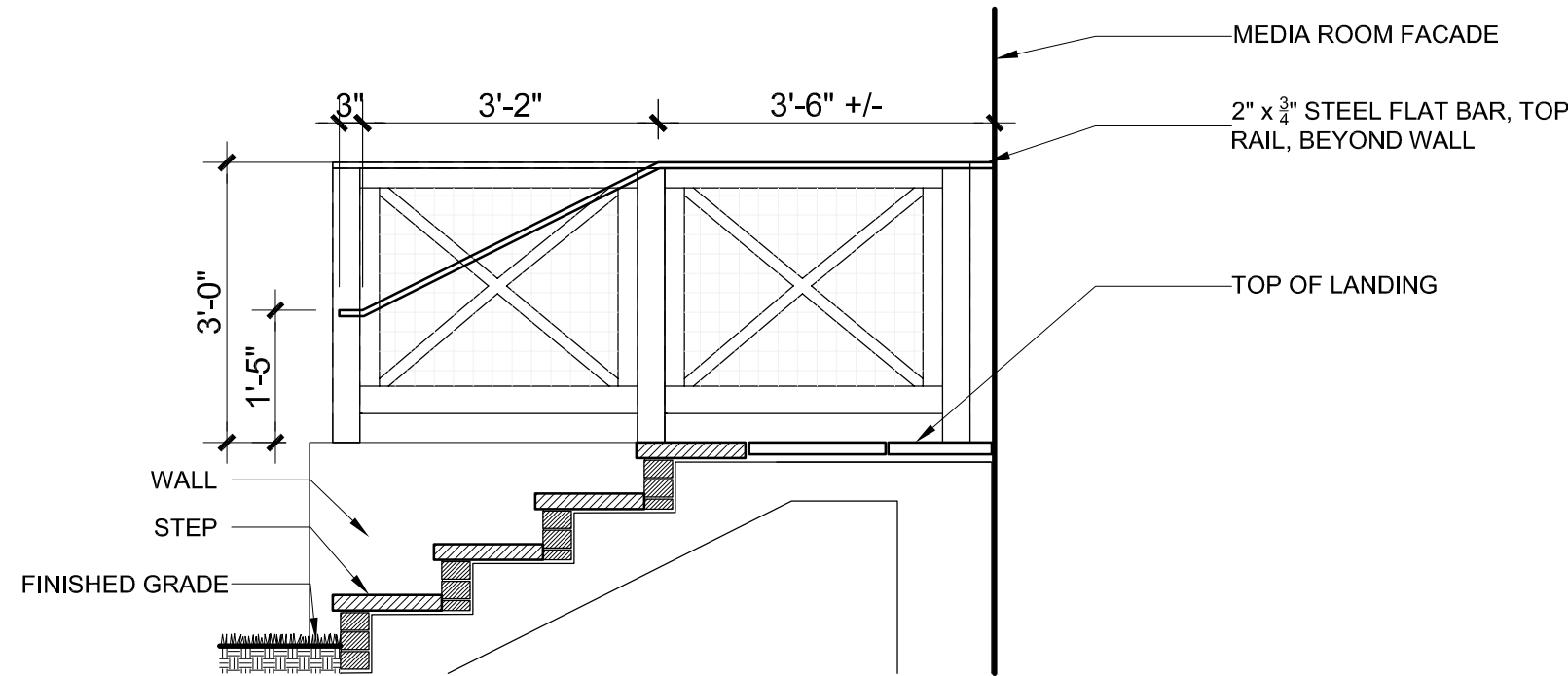
4 LAYOUT - HANDRAIL TO HOUSE
L12 Scale: 1/2" = 1'-0"



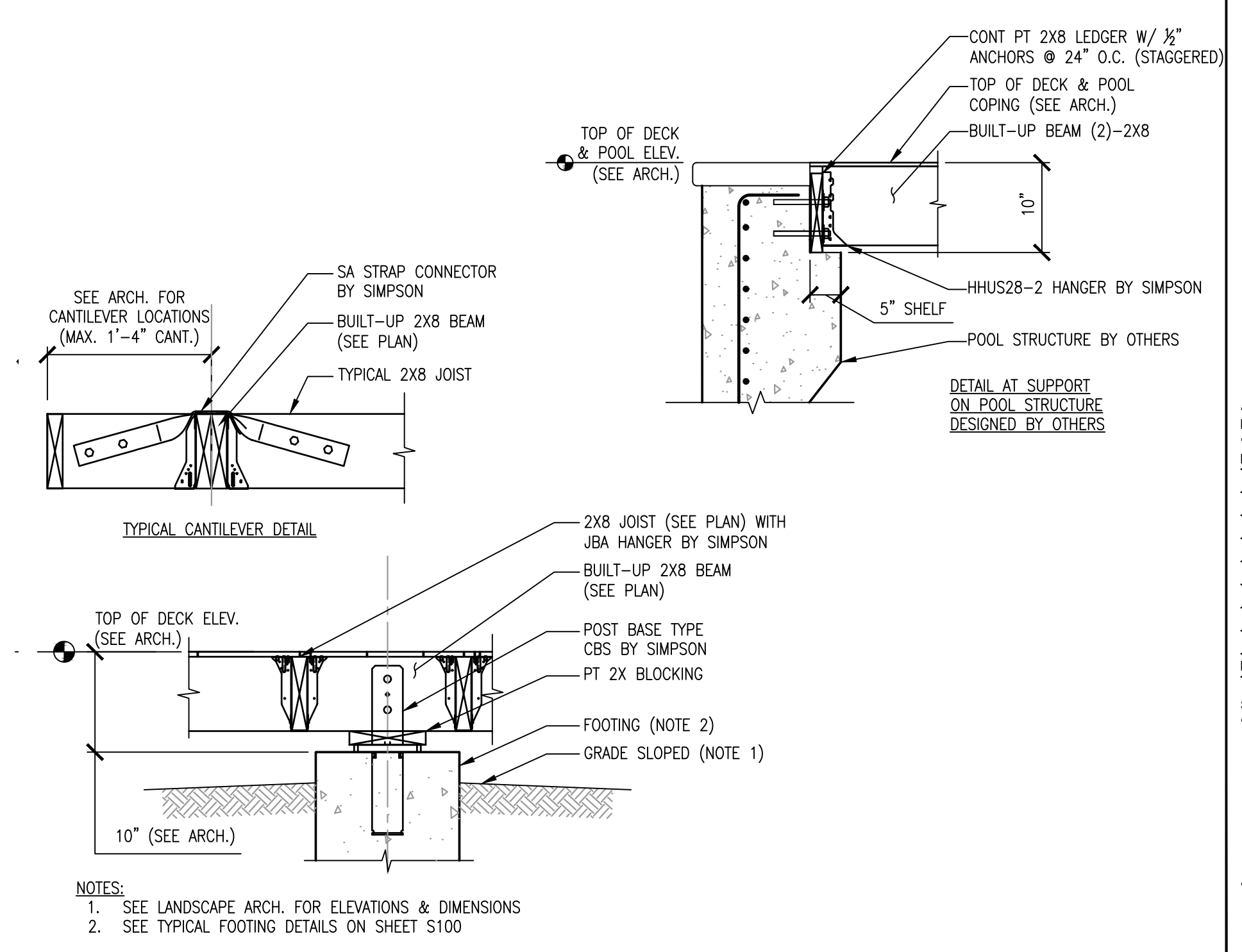
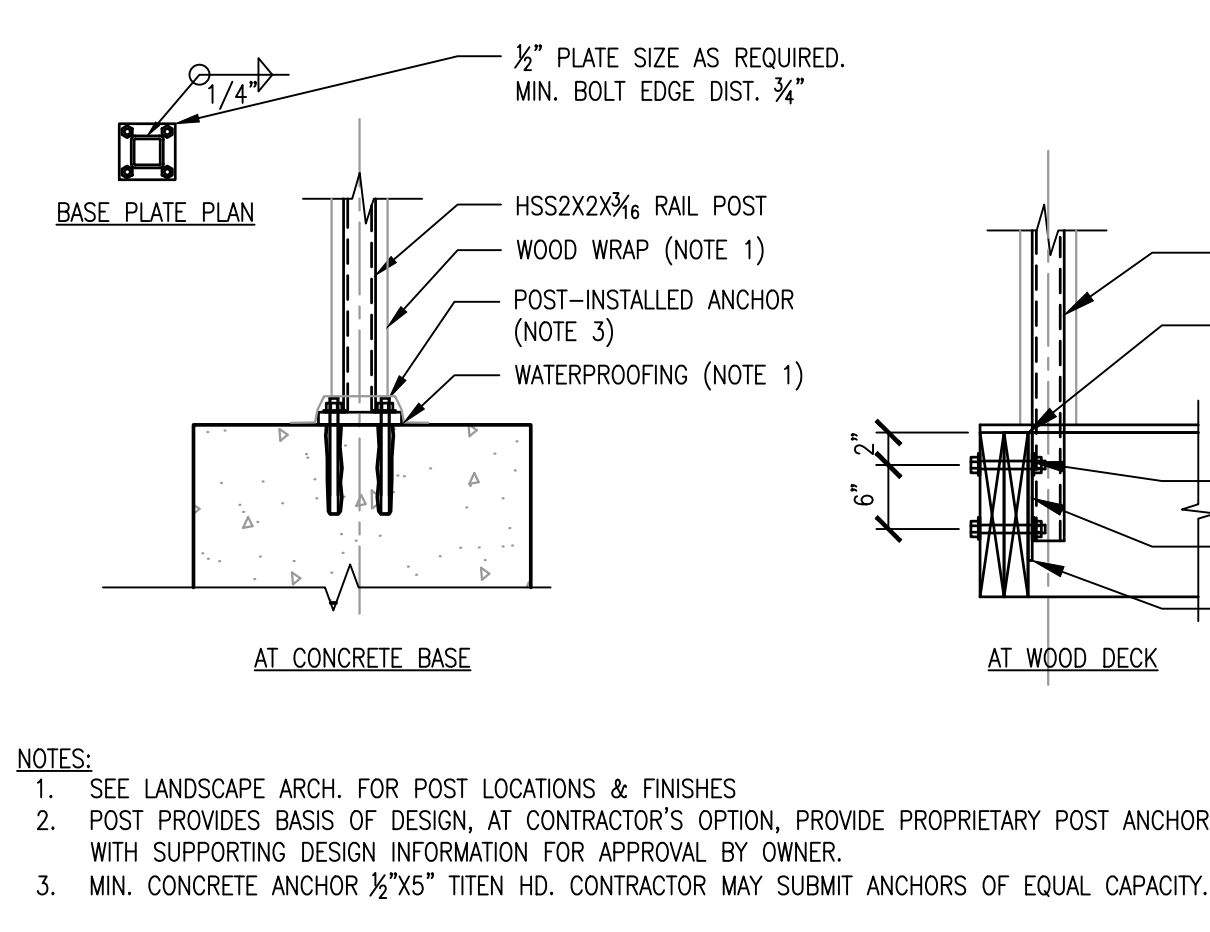
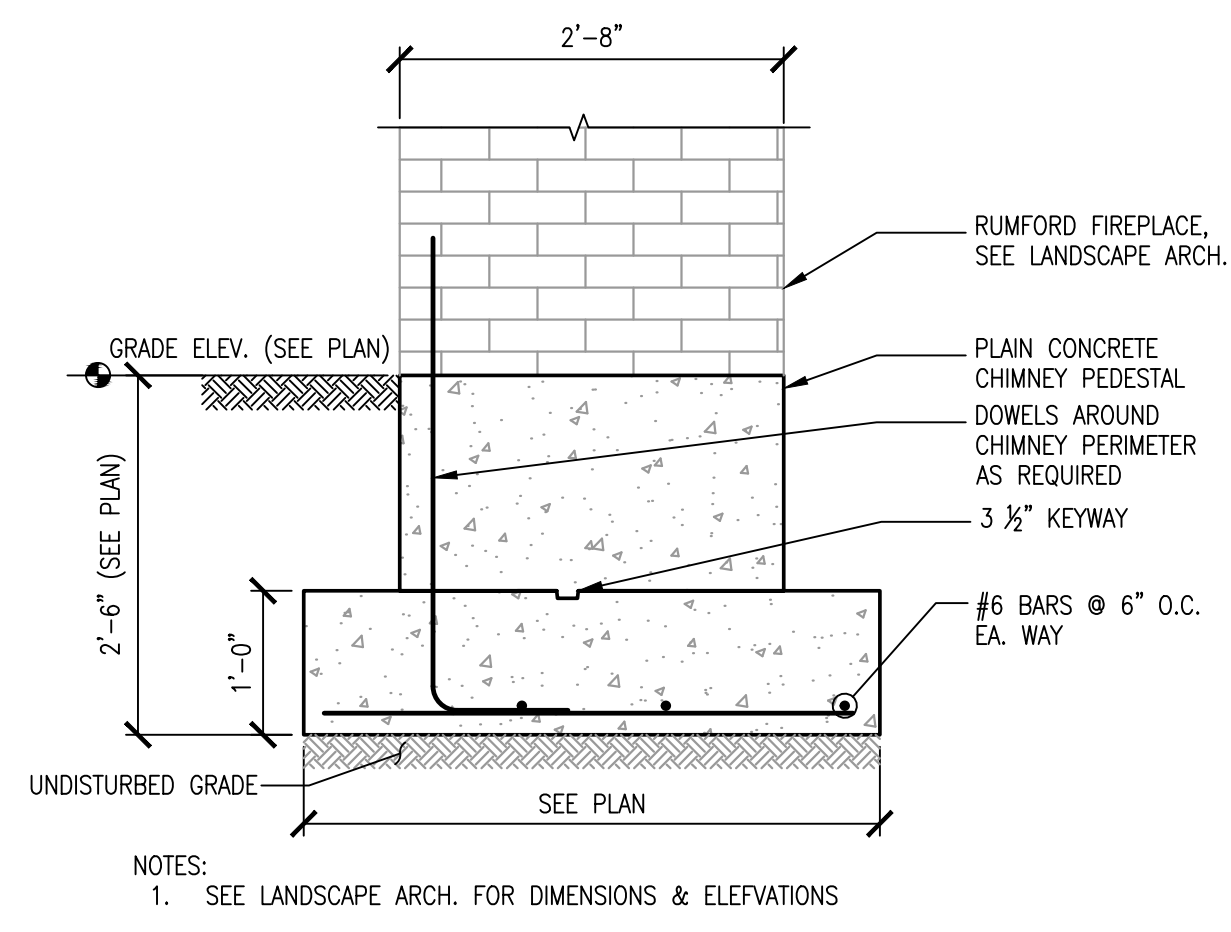
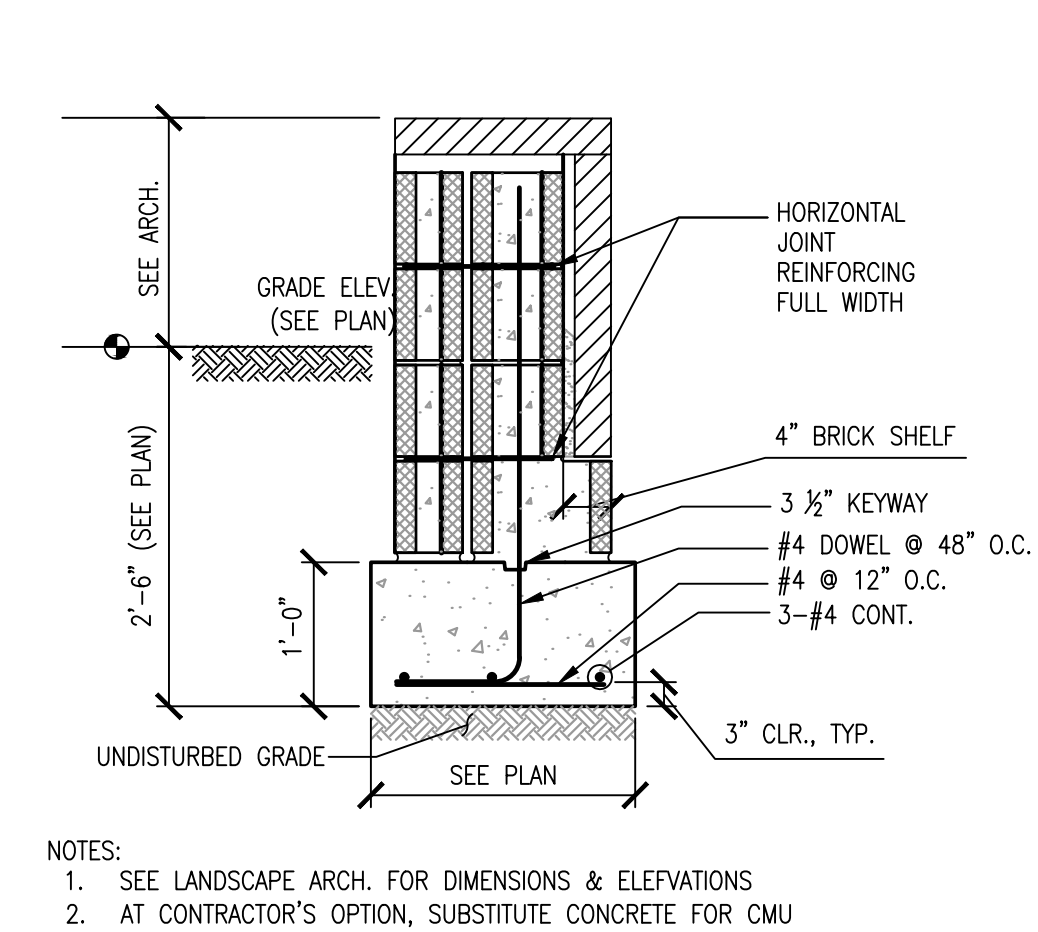
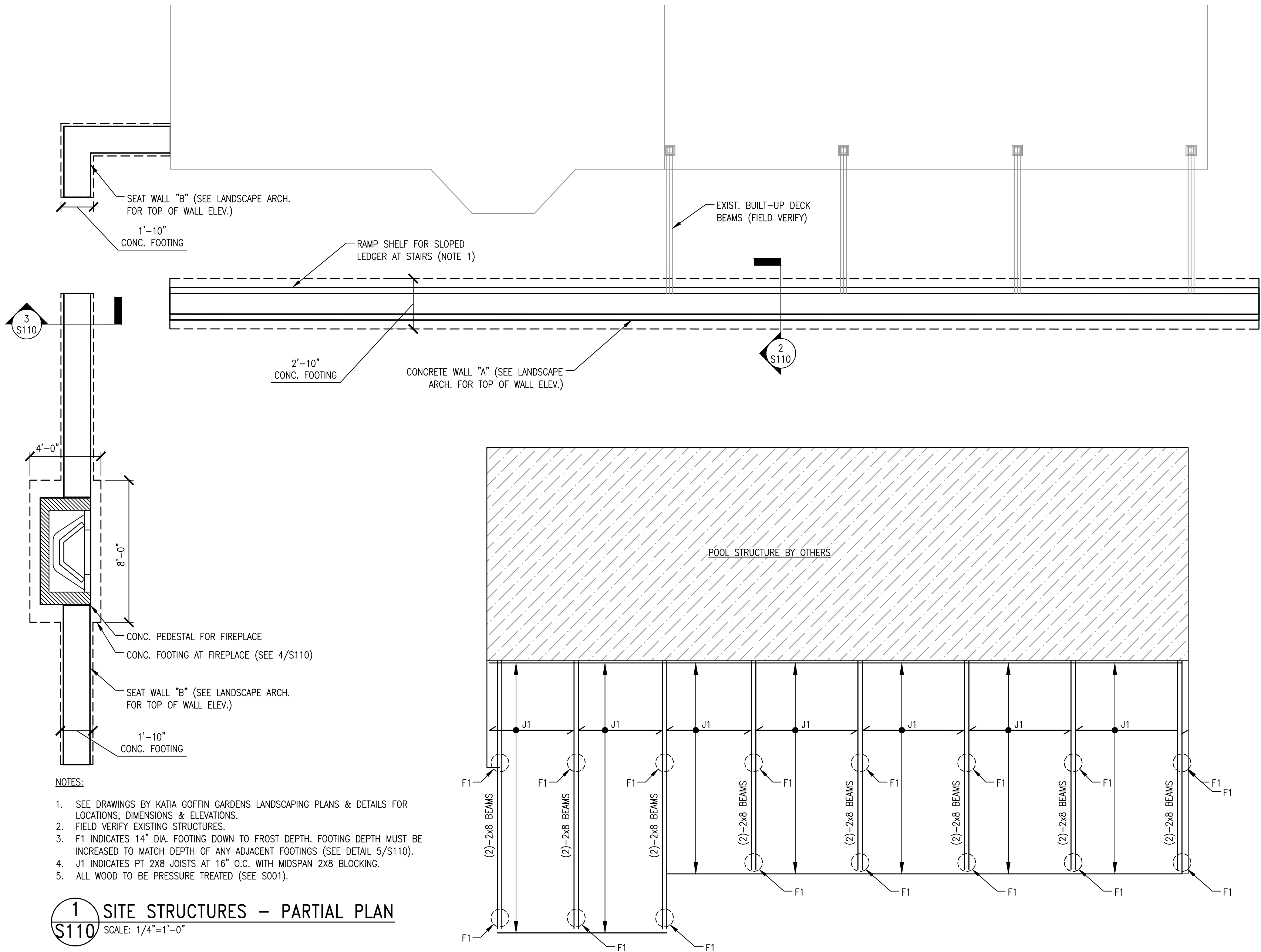
3 SIDE ELEVATION - HANDRAIL "Q"
L12 Scale: 3/8" = 1'-0"



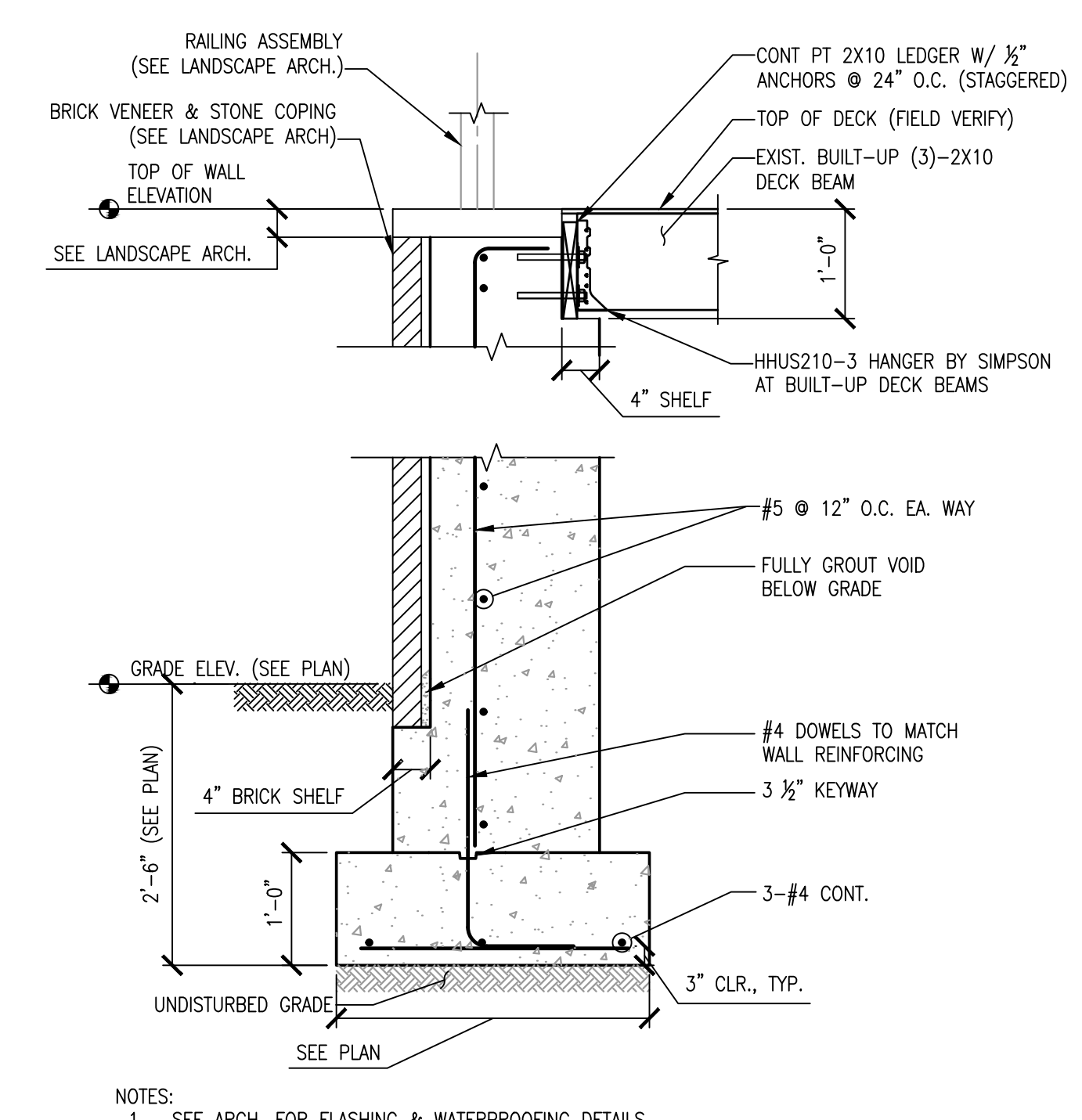
2 ELEVATION - HANDRAIL "Q"
L12 Scale: 1/2" = 1'-0"



5 ELEVATION - HANDRAIL TO HOUSE
L12 Scale: 1/2" = 1'-0"



2 WALL "A" & FOUNDATION DETAIL
SCALE: 3/4"=1'-0"



GENERAL STRUCTURAL NOTES:

- THE SCOPE OF THIS DRAWING IS LIMITED TO THE STRUCTURAL DESIGN OF LANDSCAPING STRUCTURES SHOWN ON ARCHITECTURAL DRAWINGS BY KATIA GOFFIN GARDENS.
- SEE STRUCTURAL NOTES ON ASSOCIATED DRAWING SHEET S001, WHICH CONTAINS PROJECT INFORMATION ON APPLICABLE CODES, LOADING, AND MATERIAL SPECIFICATIONS.

S STREET
STRUCTURAL ENGINEERS
641 S Street NW, Suite 3
Washington, DC 20001
202-888-7220
www.sstreetstructural.com

STATE OF MARYLAND
PROFESSIONAL ENGINEER
ROBERT C. FIELD, III
EXPIRATION DATE 04-13-2021

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 50785 EXPIRATION DATE 04-13-2021

Wodlinger Residence Landscape Structures
3804 BRADLEY LANE, CHEVY CHASE, MD 20815

ISSUE RECORD	DATE
PERMIT	10.02.2019
PROJECT NO. 19061.00	
SCALE: AS SHOWN	
DRAWING TITLE	STRUCTURAL LANDSCAPE DETAILS
SHEET	

S110



MULTI SLIDE SYSTEMS



LaCANTINA'S NEW CLASS OF MULTI SLIDE COMBINES THE PREFERRED FEATURES OF SYMMETRY, STRENGTH AND PERFORMANCE OF A LIFT SLIDE DOOR SYSTEM AND THE FUNCTIONALITY AND VALUE OF A MULTI SLIDE. OUR **NEW CLASS** OF SLIDING DOOR PROVIDES OPTIMAL AESTHETICS, PERFORMANCE AND VALUE.

MULTI SLIDE

OUR PANEL DESIGN, ENGINEERED TO THE DEMANDS OF A FOLDING SYSTEM, ADAPT PERFECTLY TO A MORE ROBUST AND UNMATCHED SLIDING DOOR. WITH THE SAME CLEAN MINIMAL DESIGNS AS OUR FOLDING SYSTEMS, OUR MATCHING NARROW STILES AND LOW PROFILE RAILS MEAN SYMMETRY AND STYLE ARE NEVER COMPROMISED. OUR **MULTI SLIDE** IS A **PERFECT MATCH** TO OUR FOLDING AND SWING DOORS FOR THE **COMPLETE DOOR PACKAGE**.

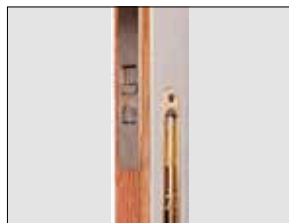
LaCANTINA MULTI SLIDE SYSTEMS ARE AVAILABLE IN ALUMINUM, ALUMINUM THERMALLY CONTROLLED, ALUMINUM WOOD AND CONTEMPORARY CLAD.

FEATURES

- OVERSIZED DOOR PANELS PROVIDING MORE GLASS AND LIGHT
- INLINE PANELS SLIDE AWAY EFFORTLESSLY WITHOUT INTERRUPTION INTO LIVING AREAS
- MULTIPLE CONFIGURATIONS AVAILABLE INCLUDING POCKETING AND ZERO POST CORNER CONFIGURATIONS
- AAMA CERTIFIED ROLLING HARDWARE TO HANDLE EXTREME PANEL WEIGHTS
- EXTRUDED COMPOSITE ACETAL WHEELS FOR QUIET OPERATION
- SELF-DRAINING WEATHER RESISTANT SILL WITH INTERIOR STOP HEIGHT OPTIONS TO PROVIDE PROTECTION AGAINST WEATHER
- FLUSH AND COMMERCIAL SILL OPTIONS
- ADVANCED SEAL SYSTEM PROVIDES ULTIMATE WEATHER PROTECTION WITHOUT COMPROMISING EASE OF OPERATION
- UNIQUE INTERLOCKING TRACK DESIGN FOR ADDED STRENGTH AND STRUCTURAL INTEGRITY
- WIDE RANGE OF GLAZING OPTIONS FOR IMPROVED THERMAL PERFORMANCE, SAFETY, PROTECTION AND PRIVACY
- INTEGRATED SCREEN SYSTEMS FOR YEAR ROUND COMFORT AND PROTECTION AGAINST THE ELEMENTS

LaCANTINA SLIDING SYSTEMS UTILIZE ARCHITECTURAL GRADE MATERIALS AND AAMA CERTIFIED LOW PROFILE WHEELS FOR INCREASED DURABILITY AND SMOOTHER PERFORMANCE. **LaCANTINA'S** MINIMAL ONE PIECE HANDLE HARDWARE IS OFFERED IN A STAINLESS OR BRONZE FINISH.

HARDWARE



LOCKING HARDWARE
STAINLESS



LOCKING HARDWARE
BRONZE



ROLLING HARDWARE
ACETAL OR STAINLESS STEEL

SILL OPTIONS THAT SUIT WEATHER EXPOSURE OR FLUSH FLOOR TRANSITIONS FROM INSIDE TO OUTSIDE.

SILL CONSIDERATIONS



WEATHER RESISTANT SILL



FLUSH SILL



RAMP SILL

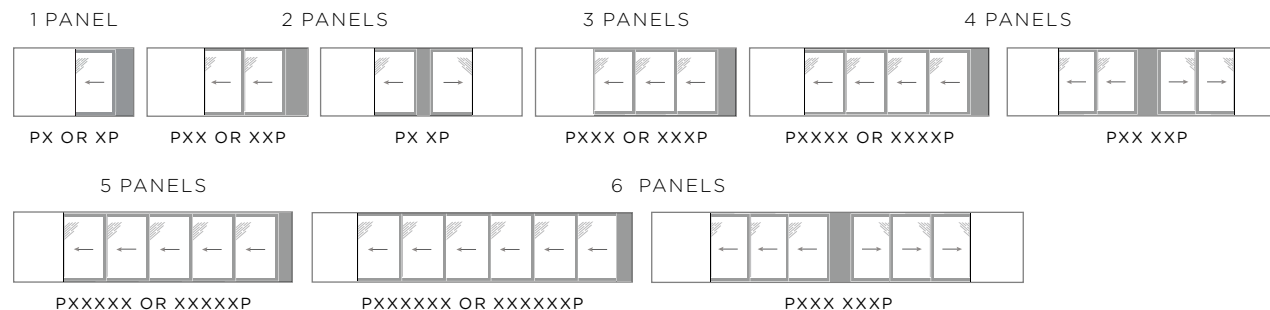
OUR MULTI SLIDE SYSTEMS ARE CUSTOM MADE AND ARE AVAILABLE FOR SMALLER OPENINGS SUCH AS WINDOWS OR EXPANSIVE OPENINGS. INDIVIDUAL PANELS CAN BE UP TO 8' WIDE AND 12' TALL, BASED ON A MAXIMUM OF 60 SQ. FT. OF GLASS PER PANEL. LaCANTINA MULTI SLIDE SYSTEMS ARE ALSO AVAILABLE IN POPULAR STANDARD SIZES AND OPENINGS RANGING FROM 8' TALL AND 6',8',9',12' AND 16' WIDE.

SIZING

CONFIGURATIONS

LaCANTINA'S MULTI SLIDE SYSTEMS OFFER A RANGE OF STACKING AND POCKETING CONFIGURATIONS AND ARE AVAILABLE UP TO 12 PANELS, 6 IN EACH DIRECTION. BELOW ARE A SAMPLE OF POPULAR CONFIGURATION OPTIONS.

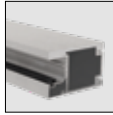
POCKET OPTIONS



STACKING OPTIONS



LaCANTINA MULTI SLIDE SYSTEMS MATERIAL COMPARISON



MATERIAL	ALUMINUM	ALUMINUM THERMALLY CONTROLLED	ALUMINUM WOOD	CONTEMPORARY CLAD
STYLE	CONTEMPORARY	CONTEMPORARY	TRADITIONAL	CONTEMPORARY TO TRADITIONAL
PRICING	LOWER COST \$	UPGRADE \$ FOR PERFORMANCE & FEATURES	UPGRADE \$ FOR PERFORMANCE & FEATURES	UPGRADE \$ FOR PERFORMANCE & FEATURES
PANEL CONSTRUCTION	ALUMINUM	ALUMINUM WITH THERMALLY EFFICIENT CORE	ALUMINUM WITH SOLID WOOD ON THE INTERIOR	ENGINEERED WOOD CORE WITH EXTERIOR ALUMINUM
U-VALUE LOW-E 366 ARGON*	.48	.42	.42	.34
U-VALUE .32 OR LESS GLAZING OPTION	NO	YES	YES	YES
ENERGY EFFICIENCY	GOOD	BETTER	BETTER	BEST
PANEL THICKNESS	1 3/4"	2 1/4"	2 1/4"	2 1/4"
STOCK FINISHES	CLEAR ANODIZED BRONZE ANODIZED WHITE PAINT	CLEAR ANODIZED BRONZE ANODIZED WHITE PAINT (SPLIT FINISH FOR INTERIOR & EXTERIOR AVAILABLE)	WHITE PAINT BRONZE PAINT SHADOW BLACK PAINT	CLEAR ANODIZED BRONZE ANODIZED WHITE PAINT BRONZE PAINT SHADOW BLACK PAINT
STILE & RAIL PROFILE	2 3/4"	2 15/16"	3 5/8"	2 15/16"
ADDITIONAL BOTTOM RAIL OPTIONS	10" ADA	-	-	7 1/2", 10" ADA
SIMULATED DIVIDING LITES (SDLs)	1" CONTEMPORARY	1" CONTEMPORARY	1" CONTEMPORARY OR TRADITIONAL	1" CONTEMPORARY OR TRADITIONAL
IN-STOCK WOOD	-	-	VG FIR OR SAPELE MAHOGANY	VG FIR OR SAPELE MAHOGANY
MULTI SLIDE PANEL LOCKING	CONCEALED MULTI-POINT	CONCEALED MULTI-POINT	CONCEALED MULTI-POINT	CONCEALED MULTI-POINT

* PERFORMANCE BASED ON WEATHER RESISTANT SILL WITH 2 5/16" INTERIOR LEG HEIGHT

GLASS

ALL **LaCANTINA DOORS** FEATURE CARDINAL GLASS, THE LEADING GLASS COMPANY IN THE U.S. SELECT FROM A WIDE RANGE OF GLASS TYPES TO MATCH WINDOW PACKAGES OR MEET ENERGY CODE REQUIREMENTS. DUAL GLAZED LOW E GLASS COMES STANDARD ACROSS OUR ENTIRE PRODUCT LINE. SIMULATED DIVIDED LITES ARE ALSO AVAILABLE.

AVAILABLE FOR ALUMINUM, ALUMINUM THERMALLY CONTROLLED AND CONTEMPORARY CLAD SYSTEMS.



CLEAR ANODIZED BRONZE ANODIZED WHITE

AVAILABLE FOR ALUMINUM WOOD AND CONTEMPORARY CLAD SYSTEMS.

IN-STOCK COLORS*



SHADOW BLACK WHITE BRONZE

AVAILABLE FOR VINYL SYSTEMS.



WHITE TAN

OPTIONAL COLORS ARE AVAILABLE IN A WIDE RANGE OF THE MOST POPULAR COLORS IN THE MARKETPLACE TODAY.



FAST TRACK WHITE ABALONE BONE WHITE SANDTONE CASHMERE PUTTY
PEBBLE GRAY PATINA HARTFORD GREEN ROSEWOOD BRICK RED MESA RED****
BOYSENBERRY TERRATONE DARK CHOCOLATE BROWN TUSCANY BROWN TRUFFLE
STATUARY BRONZE CHESTNUT BRONZE MEDIUM BRONZE MIDNIGHT BRONZE FASHION GRAY COLONIAL GRAY
CHARCOAL BLACK CLEAR ANODIZED BRONZE ANODIZED

OPTIONAL COLORS*



VERTICAL GRAIN DOUGLAS FIR SAPELE MAHOGANY

IN-STOCK WOOD

CUSTOM OPTIONS*

CUSTOM COLORS ARE AVAILABLE TO MATCH VIRTUALLY ANY FINISH. A 2-COAT 70% KYNAR PAINT IS STANDARD. POWDERCOAT AND WOOD GRAIN FINISHES ARE ALSO AVAILABLE. CUSTOM WOOD IS ALSO AVAILABLE. POPULAR SPECIES INCLUDE OAK, MAPLE, CHERRY, ALDER & WALNUT.

*ACTUAL COLORS MAY VARY. SAMPLES AVAILABLE UPON REQUEST. **HIGHER SETUP COSTS FOR PREMIUM OPTIONAL COLORS MAY APPLY.



ARCHITECT BOOTH HANSEN | PHOTOGRAPHER STEVE HALL © HEDRICH BLESSING

GREEN DESIGN & SUSTAINABILITY

LaCANTINA PRIDES ITSELF ON A LIFESTYLE DEVOTED TO HEALTHY LIVING AND ECO-INITIATIVES. OUR PRODUCTS CONTRIBUTE TO LEED PROJECT CERTIFICATION AND WE USE RECYCLED AND RECYCLABLE PACKAGING MATERIALS AS PART OF OUR COMMITMENT TO A SUSTAINABLE FUTURE. AS A MEMBER OF THE U.S. GREEN BUILD COUNCIL OUR PRODUCTS ARE THERMALLY EFFICIENT AND MEET ENERGY STANDARDS THROUGH SMART DESIGN.

LEARN MORE

TO LEARN MORE ABOUT **LaCANTINA DOORS** INCLUDING COMPLETE & UPDATED PRODUCT INFORMATION, SYSTEM DETAILS & SPECIFICATIONS, PRICING, APPLICATIONS, CASE STUDIES AND MORE, PLEASE VISIT WWW.LaCANTINADOORS.COM



Pella® Lifestyle Series WOOD

#1 performing wood window and patio door for the combination of energy, sound and value.¹



Dual- and Triple-Pane Products, \$\$-\$\$\$\$



Unbeatable performance options.¹



79% more energy efficient
for a more comfortable home²



52% reduction in outside noises
like traffic and lawnmowers³

Values are averages based on the Ultimate Performance package compared with single-pane windows.

Style and durability.



Durability and style flexibility with the most desired features and options, backed by the **best limited lifetime warranty** in the industry.⁴

Packed with innovation.

37
TIME-TESTED
INNOVATIONS

Offering products with 37 time-tested innovations like our best integrated blinds and shades and integrated security sensors.



Pella Lifestyle Series
triple-pane
casement window

WINDOW STYLES

Special sizes and configurations are also available.



AWNING



BAY OR BOW



CASEMENT



DOUBLE-HUNG⁵

PATIO DOOR STYLES



SLIDING



HINGED

^{1,2,3,4,5} See inside front cover for disclosures.



Colors & Finishes

PELLA® LIFESTYLE SERIES

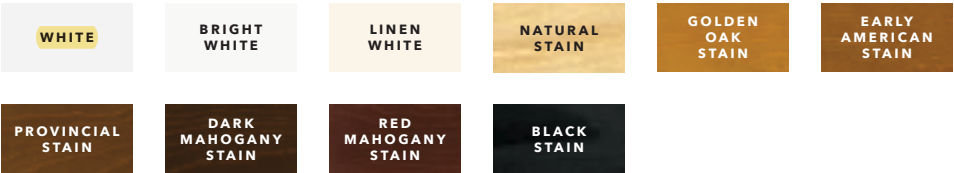
WOOD TYPE

The wood species that best complements your home’s interior.



PREFINISHED PINE INTERIOR COLORS

We can prefinish pine in your choice of three paint colors and seven stains. Unfinished or primed and ready-to-paint are also available.



ALUMINUM-CLAD EXTERIOR COLORS

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect your windows and patio doors for years.



¹ Available performance solutions offer an unbeatable combination of energy efficiency, sound control and value. Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when comparing Pella Lifestyle Series windows with Advanced Comfort Low-E triple-pane glass with argon and mixed glass thickness to a single pane wood or vinyl window. Double-hung windows are not available with triple-pane glass. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with triple-pane glass with mixed glass thickness to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁴ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 877-473-5527.

⁵ Available in dual-pane only.

⁶ Available on triple-pane products only.

Integrated Blinds & Shades PELLA® LIFESTYLE SERIES

INTEGRATED BLINDS¹

Raise blinds up for an unobstructed view or tilt to let in just the right amount of light. Our best integrated and accessible blinds are available manual or motorized with Pella Insynctive® technology.



INTEGRATED SHADES¹

Our best integrated fabric shades feature a white exterior fabric for a uniform look from the street. Integrated and accessible shades are available manual or motorized with Pella Insynctive technology.



Added Security

INSYNCTIVE TECHNOLOGY

Integrated security sensors with time-tested wireless technology are built-in and tucked away, out of sight, to preserve the beauty of your Pella windows and doors. Monitor windows and doors while at home or away with the Pella Insynctive App or with most existing security systems.² Learn more at pella.com/insynctive.



¹ Available on triple-pane products only.

² Requires the Pella Insynctive App on a smart device, an Insynctive Bridge and a wireless home internet router with internet connection.

Performance Packages PELLA® LIFESTYLE SERIES

PACKAGES

To make things easier, we've created performance packages that highlight what's most important to you.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Upgrade from a dual- to a triple-pane glass design with the packages below to meet the unique needs of each room in your home.

All values below are averages compared with single-pane windows.



Pella Lifestyle Series offers products awarded ENERGY STAR® Most Efficient for 2019.²



Performance

Improved energy efficiency and sound performance.

71%
MORE ENERGY
EFFICIENT³

+

34%
NOISE
REDUCTION⁴



Sound Control

Exceptional noise control for a quieter home.

52%
NOISE
REDUCTION⁴



Energy Efficiency

Superior energy efficiency for a more comfortable home.

83%
MORE ENERGY
EFFICIENT³



Ultimate Performance

The best combination of energy efficiency and noise control.

79%
MORE ENERGY
EFFICIENT³

+

52%
NOISE
REDUCTION⁴

Glass⁵

INSULSHIELD® LOW-E GLASS

Advanced Low-E insulating dual- and triple-pane glass with argon⁶

AdvancedComfort Low-E insulating dual- and triple-pane glass with argon⁶

NaturalSun Low-E insulating dual- and triple-pane glass with argon⁶

SunDefense™ Low-E insulating dual- and triple-pane glass with argon⁶

ADDITIONAL GLASS OPTIONS

Tempered glass available on dual- and triple-pane products

Obscure and frosted obscure glass available on dual- and triple-pane products

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

³ Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

⁴ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁵ Double-hung window available with dual-pane glass only.

⁶ Optional high-altitude Low-E insulating glass does not contain argon in most products. Please see your local Pella sales representative for more information.

Grilles PELLA® LIFESTYLE SERIES

GRILLES

Choose the look of true-divided-light, removable roomside grilles or make cleaning easier by selecting grilles-between-the-glass.

DUAL-PANE:



SIMULATED-DIVIDED-LIGHT WITH SPACER 7/8"



SIMULATED-DIVIDED-LIGHT WITHOUT SPACER 7/8"



ROOMSIDE REMOVABLE GRILLES 3/4"



ALUMINUM GRILLES-BETWEEN-THE-GLASS 3/4"

TRIPLE-PANE:



SIMULATED-DIVIDED-LIGHT WITH ALUMINUM CONTOURED GRILLES-BETWEEN-THE-GLASS 3/4"



ALUMINUM GRILLES-BETWEEN-THE-GLASS 3/4"

GRILLE PATTERNS

In addition to the patterns shown here, custom grille patterns are available.



TRADITIONAL



9-LITE PRAIRIE



TOP ROW



CROSS



CUSTOM

Screens^{*}

ROLSCREEN®

Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement windows and sliding patio doors.

FLAT

InView™ screens are clearer than conventional screens and come standard. VividView® screens offer the sharpest view and are optional.

*WARNING: Screen will not stop child or pet from falling out of window or door. Keep child or pet away from open window or door.

Window Hardware PELLA® LIFESTYLE SERIES

ESSENTIAL COLLECTION Our most popular design with finishes to suit every style.



**FOLD-AWAY
CRANK**



**CAM-ACTION
LOCK**

CHAMPAGNE

WHITE

BROWN

MATTE
BLACK

OIL-RUBBED
BRONZE

SATIN
NICKEL

Patio Door Hardware¹

ESSENTIAL COLLECTION Elevate your style and transform your home with elegant selections.



**HINGED PATIO
DOOR HANDLE**



**SLIDING PATIO
DOOR HANDLE**

CHAMPAGNE

WHITE

BROWN

MATTE
BLACK

OIL-RUBBED
BRONZE

SATIN
NICKEL

¹ On hinged patio doors, Endura Hardware Collection offers a 10-year warranty. See written warranty for complete details at pella.com/warranty.

Want to learn more? Call us at 833-44-PELLA or visit pella.com



The confidence of added protection.

Pella® Lifestyle Series products are backed by the best limited lifetime warranty for wood windows and patio doors.² See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.



Connect with Pella:



VELUX®

The No Leak Skylight™

Fixed Skylight

Deck and Curb-Mounted

Bringing light to life™

Enjoying the light.

Why Skylights?

We often ask, "Why skylights?" but with countless reasons to enjoy more natural light in your home, we really should be asking, "Why not skylights?" Natural light is a powerful designing tool that continuously redesigns the look and the feel of your space every day. But it doesn't stop there. By bringing more light into our homes, our moods are boosted, and our health and well-being are improved. So, really, why not skylights?

Your Home. Your Skylight.

Homes full of light are homes full of life. When thinking about renovating your home, before you do anything else, look up and say "hello" to your fifth wall. As the most unnoticed, yet impactful wall in every room, your ceiling can be your next design space. It's time to change more than just your wall color; transform the look and feel of your entire home with VELUX.



Ambient Light

Light entering your home and bouncing of your walls and floors gives the space a glowing look and feel.



Privacy

Unlike vertical windows, your skylight is positioned on your roof to help protect your home's privacy down below.

Lower Electric Bill

Turn off more lights in your home by soaking up all the free, natural light from above.

Unique Design

Add the finishing touch to your skylight by adding any VELUX designer blind.

Visually Expand

With endless amount of sky views, your skylight can visually expand the look and feel of your space.

Meet your skylight.

The Room Brightening Skylight

The discreet nature of the VELUX Fixed Skylight offers endless sky views and dramatic transformations without obstructing your roofline.



Choose the Go Solar option with this skylight and the entire cost of product and installation is eligible for a 30% federal tax savings. Estimated savings of \$750.



1

Neat® Glass

Exceptionally smooth glass that disperses water evenly, reduces unwanted outside noise by up to 25% more than standard double pane glass, and up to 50% more than a plastic skylight.



2

Daylight

Visually expanding your home with sky views and bright, natural light, the skylight brings in plenty of daylight to reduce your dependency on electricity.

3

No Leak Promise

When you install a VELUX skylight, it carries a No Leak Promise and Warranty that covers your skylight with a 10-year installation warranty, 20 years on glass, and 10 years on the product.

A photograph of three balloons (orange, yellow, and green) hanging from a skylight. The balloons are tied with white strings and are positioned in front of a large, bright skylight that illuminates the scene. The background is a light-colored wall.

**SAVE
30%**

When you Go Solar with
Federal Tax Credit.

For more information visit:
veluxusa.com/go-solar

Go Solar. Save big!

Part of VELUX's goal in becoming the world leader in skylights has been to put to excellent use our most abundant natural resource: sunlight. By developing and manufacturing environmentally friendly products that allow daylight and fresh air into your home, we're helping reduce electricity dependency. And when you "Go Solar" by bundling certain products, you can really work to lower your carbon footprint!

Go Solar with VELUX to reduce your energy consumption and actively fine-tune the climate inside your home as the seasons change. By going solar, you can exchange artificial light for natural light and cut ties with those high energy bills.

Go Solar Cost Savings:



Fixed Skylight Option

Estimated price/savings

\$400	Fixed Skylight & Flashing
+ \$1,500	New Installation
\$1,900	Final Cost

\$1,900



Includes fixed skylight, factory-installed solar blind, and a free VELUX ACTIVE with NETATMO Gateway¹

Go Solar Option

Estimated price/savings

\$785	Fixed Skylight, Blind & Flashing
FREE	VELUX ACTIVE Gateway
+ \$1,500	New Installation
\$2,275	Subtotal Cost
- \$683	30% Federal Tax Credit*
\$1,592	Final Cost

\$1,600*

**Go Solar
and save \$300²**

^{*}Based on tax credit eligibility. For more information visit veluxusa.com/go-solar.

¹ VELUX ACTIVE Gateway not included with the Go Solar option for the VELUX Solar Powered "Fresh Air" Skylight.

² Actual installation costs will vary from these estimates based on new installation or replacement and common variables in roof construction and shaft construction.. Local delivery costs and applicable sales tax not considered for these estimates. These numbers are provided as estimates only.

Customize the light.

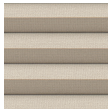
Perfect Blind Pairing

Finish the look of your space by pairing blinds to your VELUX Fixed Skylight. VELUX offers a wide-selection of factory-installed, solar-powered blinds that range from completely darkening a room to softly diffusing incoming light, giving you ultimate light control.

Room-darkening, double-pleated blinds



White
CS00



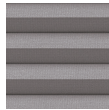
Beige
CS01



Charcoal
CS41



Green
CS42

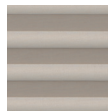


Gray
CS43

Light-filtering, single-pleated blinds



White
FS00



Classic
Sand
FS01



Misty
Brown
FS31



Lovely
Latte
FS32



Shiny
Cappuccino
FS33





**FREE
Installation
Factory Blinds**

Choose from 10 factory-
installed skylight blinds

Fixed Skylights

Deck-Mounted, Curb-Mounted

**The
No Leak
Skylight**
No Leak Promise
No Worries

Deck-Mounted - FS

Mounts directly to the roof deck



Curb-Mounted - FCM

Mounts directly to a site-built curb



Benefits

- Pre-finished white wood frame and protective aluminum or copper cladding.
- Streamlined exterior profile does not obstruct your roofline.
- Streamlined exterior profile does not obstruct your roofline.
- Streamlined exterior profile does not obstruct your roofline.
- Pre-mounted Pick&Click!™ system brackets make the installation of sunscreen blinds a snap.

FS Model Size



Rough
Opening

(W-in. x H-in.)

Model	A06	C01	C04	C06	C08	C12	D26	D06	M02	M04	M06	M08	S01	S06
W-in. x H-in.	14 1/2 x 45 3/4	21 x 26 7/8	21 x 37 7/8	21 x 45 3/4	21 x 54 7/16	21 x 70 1/4	22 1/2 x 22 15/16	22 1/2 x 45 3/4	30 1/16 x 30	30 1/16 x 37 7/8	30 1/16 x 45 3/4	30 1/16 x 54 7/16	44 1/4 x 26 7/8	44 1/4 x 45 3/4

Model FS sizes D26 and D06 fit perfectly between roof trusses.

FCM Model Size



Outside
Curb

(W-in. x H-in.)

Model	1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646
W-in. x H-in.	17 1/2 x 33 1/2	17 1/2 x 49 1/2	25 1/2 x 25 1/2	25 1/2 x 33 1/2	25 1/2 x 37 1/2	25 1/2 x 49 1/2	25 1/2 x 73 1/2	33 1/2 x 33 1/2	33 1/2 x 49 1/2	37 1/2 x 37 1/2	37 1/2 x 49 1/2	49 1/2 x 49 1/2



Safest Glass to Live Under

Clean, Quiet & Safe

When selecting a VELUX Fixed Skylight rest assured your skylight comes with our most-recommended, top-rated glass: Clean, Quiet & Safe. Named for its three biggest benefits, this glass comes with state-of-the-art, energy-conserving LowE glass, designed to keep your home warmer in the winter and cooler in the summer.

Clean: Skylights stay cleaner longer with Neat® glass coating.

Quiet: Reduces unwanted outside noise by up to 25% compared to a standard double pane glass and up to 50% compared to a plastic skylight.

Safe: Unlike tempered, this glass does not shatter into pieces when cracked.



ENERGY STAR certified products are the most straightforward way to help meet energy codes.

Most VELUX residential products are ENERGY STAR certified in all 50 states. By specifying or using ENERGY STAR certified products, architects and builders can use windows and skylights to bring much needed daylight and fresh air inside, creating more attractive buildings and livable spaces while still meeting the local energy codes.

3 Layers of Protection

The No Leak Skylight

- 1 Pre-attached Seal**
Pre-attached deck seal (deck-mounted) or gasket (curb-mounted) provides a tight seal for leak-proof installation.
- 2 Adhesive Underlayment**
Adhesive underlayment for secondary water protection against the harshest weather conditions.
- 3 Engineered Flashing**
Engineered flashing for easy installation and primary water protection.



Deck-Mounted Installation



Curb-Mounted Installation

VELUX America LLC
450 Old Brickyard Road
PO Box 5001
Greenwood, SC 29648-5001
Tel 1-800-888-3589
Fax 1-864-943-2631
veluxusa.com
whyskylights.com

Bringing light to life™

NOTICE: ALL GLASS MAY BE SUBJECT TO UNEXPECTED AND SPONTANEOUS BREAKAGE in rare circumstances due to imperfections in the glass that are undetectable during the manufacturing and inspection process by the manufacturer of the glass and VELUX.

VELUX offers the choice of laminated or tempered glass skylights. Impact glass and comfortplus glass are all types of laminated glass. Comfort glass is a type of tempered glass. Laminated glass is a combination of two or more glass sheets with one or more interlayers of plastic (PVB) or resin. In case of breakage, the interlayer is designed to hold the fragments together. Tempered glass does not contain an interlayer to hold the fragments together. Instead, tempered glass is designed to break into small, pebble-like pieces. When tempered glass breaks, pieces of glass come loose and may strike an individual.

CONSULT LOCAL REGULATIONS AND/OR BUILDING MATERIAL CONSULTANTS TO DETERMINE WHICH TYPE OF GLASS IS RIGHT FOR YOU OR IF LAMINATED GLASS IS REQUIRED IN YOUR APPLICATION.

VELUX®

The VELUX Group creates better living environments with daylight and fresh air through the roof. The VELUX product program contains a wide range of roof windows and skylights, along with solutions for flat roofs. The Group also supplies many types of decoration and sun screening, roller shutters, installation products, products for remote control for installation in roofs. The VELUX Group, which has manufacturing companies in 11 countries and sales companies in just under 40 countries, represents one of the strongest brands in the global building materials sector and its products are sold in most parts of the world. The VELUX Group has about 10,000 employees and is owned by VKR Holding A/S, a limited company wholly owned by foundations and family. For more details, visit velux.com.

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