

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7611 Takoma Ave., Takoma Park	<b>Meeting Date:</b>	12/4/2019
<b>Resource:</b>	Outstanding Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	11/27/2019
<b>Applicant:</b>	Aronson Bernard Trustee <b>(Pablo Perez, Architect)</b>	<b>Public Notice:</b>	11/20/2019
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	37/03-19III	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Retaining wall construction		

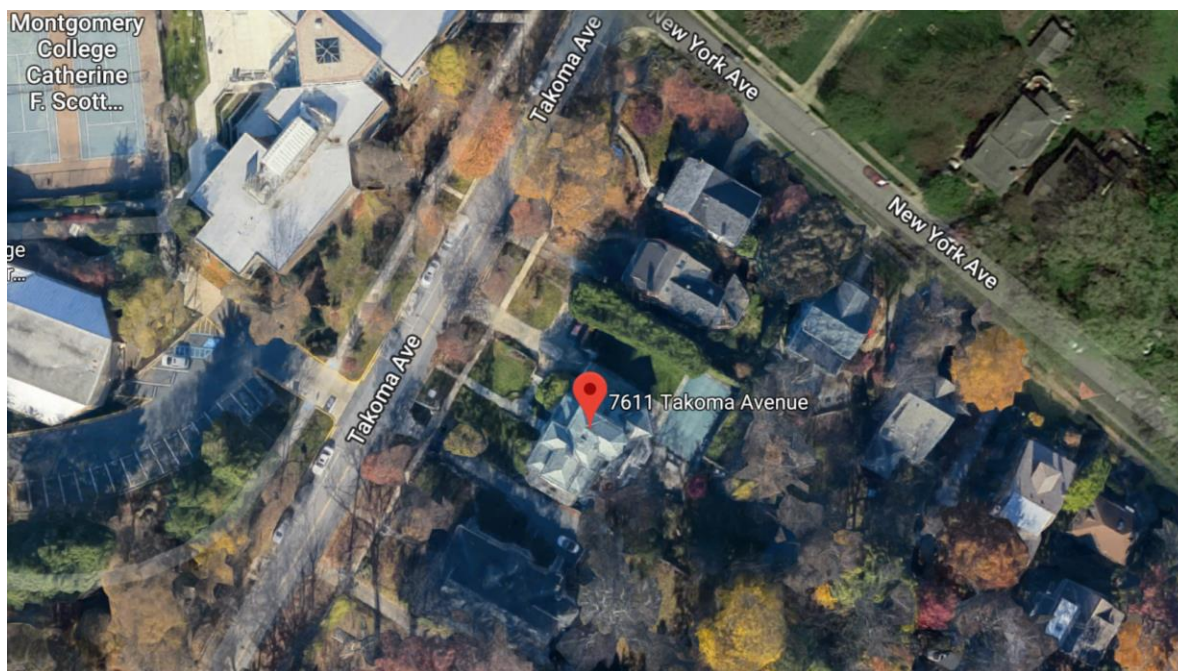
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**STAFF RECOMMENDATION:**

☒ Approve  
☐ Approve with conditions

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Outstanding Resource within the Takoma Park Historic District  
**STYLE:** Foursquare-Colonial Revival  
**DATE:** c. 1910-20s



***Fig. 1: Subject property.***

**PROPOSAL:**

The applicant proposes to replace the existing masonry retaining wall at the rear of the subject property and construct a new concrete retaining wall in its place. The new retaining wall will be constructed in three sections and will range from 2' to 6'-8" high.

**APPLICABLE GUIDELINES:****Policy On Use of Expedited Staff Reports for Simple HAWP Cases**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.
12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.

**Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

***Secretary of Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and 9;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS-#8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact email: leonelperez@idecabaco.com Contact Person: Pablo L. Perez  
Daytime Phone No.: 571 217 9013  
Tax Account No.: 01057353  
Name of Property Owner: Aronson Bernard Trustee Daytime Phone No.: 301 758 7164  
Address: 7611 Takoma Ave Takoma Park MD 20912  
Street Number City State Zip Code  
Contractor: OWNER Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PREMISE

House Number: 7611 Street: Takoma Ave  
Town/City: Takoma Park Nearest Cross Street: New York Ave  
Lot: P23 Block: 7A Subdivision: 0025  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF CONSTRUCTION AND USE

### 1A. CHECK ALL APPLICABLE:

☒ Construct ☐ Extend ☐ Alter/Reinforce  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☒ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

☐ A/C ☐ Stab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☒ Other: Retaining Wall

1B. Construction cost estimate: \$ 18,000

1C. If this is a revision of a previously approved active permit, see Permit # 893842

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTERIOR ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4'-11" feet \_\_\_\_\_ inches (3 Location see site plan)

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☒ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

11/13/2019  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Remove deteriorated retaining wall, replace for new  
concrete retaining wall in three different location

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

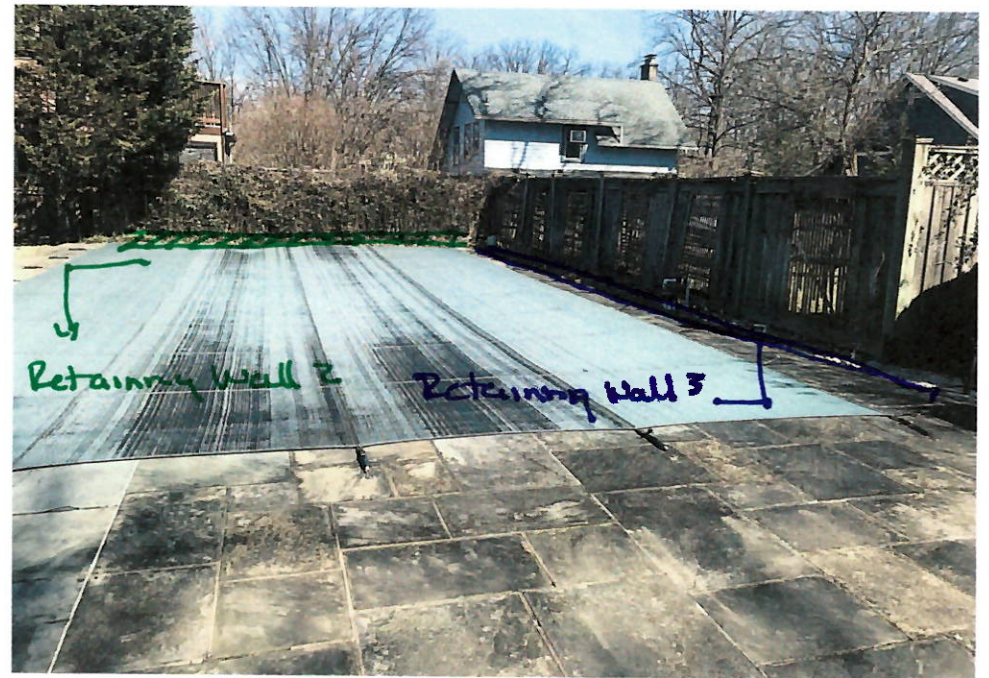
**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> ARONSON BERNARD TRUSTEE 7611 Takoma Ave. Takoma Park MD, 20912	<b>Owner's Agent's mailing address</b> Pablo L. Perez 7518 Hamlet St. Springfield Va. 22151
<b>Adjacent and confronting Property Owners mailing addresses</b>	
7613 Takoma Ave. Takoma Park MD 20912	7607 Takoma Ave Takoma Park MD 20912
516 New York Ave. Takoma Park MD, 20912	512 New York Ave. Takoma Park MD, 20912
7424 Buffalo Ave. Takoma Park, MD 20912	





EXISTING RETAINING WALL 1



Retaining Wall 2

Retaining Wall 3



EXISTING RETAINING WALL 1

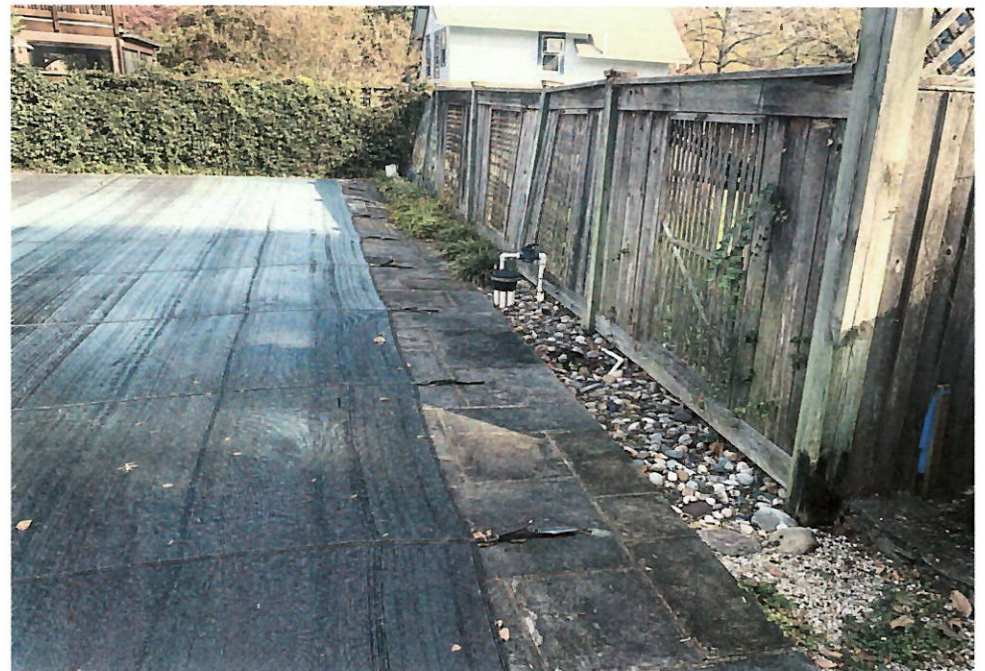


EXISTING RETAINING WALL 7





BACK RETAINING WALL 2



FRONT RETAINING WALL 3



FRONT RETAINING WALL 2



BACK RETAINING WALL 3



# REPAIR RETAINING WALL

7611 TAKOMA AVENUE, TAKOMA PARK MD 20912

## LIST OF DRAWING

Sheet	Sheet Name
A00	COVER SHEET
A03	EXISTING & DEMO RETAINING WALL 1
A01	SITE PLAN
A02	NEW SITE PLAN
A04	NEW WORK RETAINING WALL 1
A05	NEW WORK RETAINING WALL 2 & 3
A06	SECTIONS POOL AREA

## USED CODES

### RESIDENTIAL CONSTRUCTION CODES:

- Montgomery Country Code Chapter 8-Building
- Local Building Code Amendments
- Local Existing Building Code Amendments

INTERNATIONAL MECHANICAL CODE IMC 2105

NATIONAL ELECTRICAL CODE NEC 2015

NATIONAL FIRE PROTECTION ASSOCIATION NFPA 2015

INTERNATIONAL ENERGY CONSERVATION CODE IECC 2015

MARYLAND ACCESSIBILITY CODE

STATE OF MARYLAND BUILDING STANDARDS

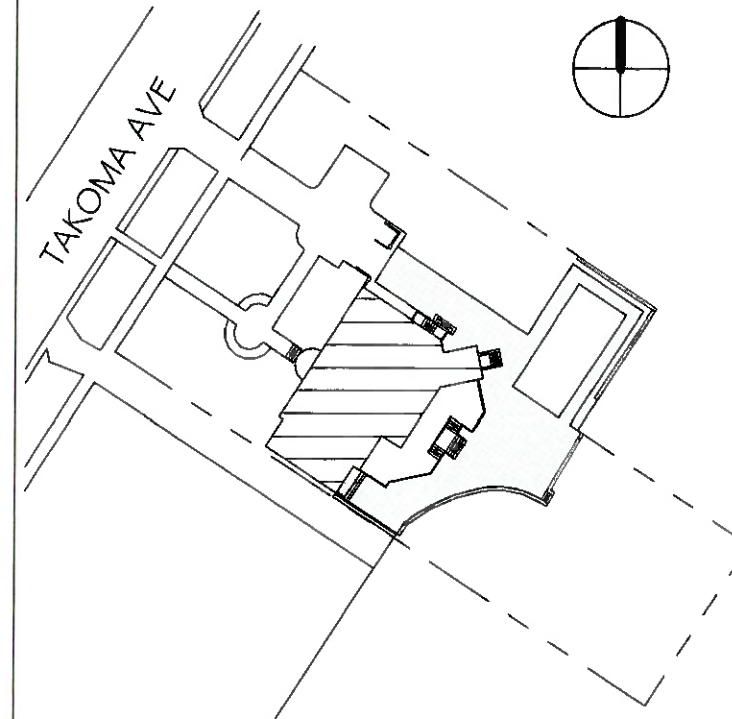
## SCOPE OF WORK

Remove deteriorated retaining wall and build a new one in the same place, new retaining wall around pool.

## GENERAL NOTES

- Nothing set forth in these Drawings shall release the Contractor from its responsibility to provide appropriate quantities, field measurements, dimensional stability, installation, anchorage, and coordination with all other subcontractors and trades, or release the Contractor of responsibility to identify and resolve deviations from the requirements of these Documents, or release the Contractor of responsibility to alert the Architect to errors or omissions contained therein.
- The Contractor and all its subcontractors shall verify in the field all new and existing applicable conditions, dimensions, relationships, etc. shown in these Drawings and as pertinent to the intent of these Drawings. Any discrepancy discovered shall be brought to the attention of the Architect prior to the commencement of any Work affected by, or related to, such discrepancy. The Contractor shall be responsible for all costs associated with, or caused by, its failure to comply with this requirement.
- All floor plan dimensions shown on the New Floor Plans are from face of stud (whether new or existing wall) unless indicated otherwise by the designations "CL", "CLEAR", or "MIN." Coordinate with applicable new Wall Types and with applicable sections/details.
- The Contractor is to be responsible for job cleanliness. The Owner's facilities shall not be used for construction trash/debris disposal.
- The Contractor is to provide a complete, finished, and functional installation of all components described in these Drawings.
- Prepare all existing wall and floors scheduled to receive new finishes (or to be patched) as required to properly receive the new finish material. Coordinate with the Room Finish Schedule.
- AM =Verify in Field.
- All areas of depicted work existing in buildings that are currently occupied. The Contractor shall coordinate work time and access with the GUANO Project Manager and shall strive to ensure their work in no way adversely affects the adjacent occupied spaces.
- Warrant to the Owner that all materials and equipment furnished and installed under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from defects and faults, and conforms to the contract documents.
- The Contractor shall coordinate and work with all trades on the project not under contract to the Contractor (i.e. telephone, data lines, fire alarm, etc.). Any changes or delays arising from conflicts with such trades shall be the responsibility of the Contractor at no additional expense to the Owner.
- The Contractor shall be solely responsible for, and have control over, all construction means, techniques, sequences and procedures and for coordinating all portions of the work required by the contract documents.
- Contractor shall be responsible to patch and repair existing to remain gypsum wall board where previous demolition has left unfinished wall conditions.
- The Contractor shall schedule "loud" activities such as ductwork demolition and cutting, stud cutting, core drilling, installation of powder actuated fasteners, etc. until after hours, unless pre-approved by the UAO Project Manager, so as not to disrupt the Owner's activities. Coordinate the hours of these activities with the UAO Project Manager.

## SITE PLAN



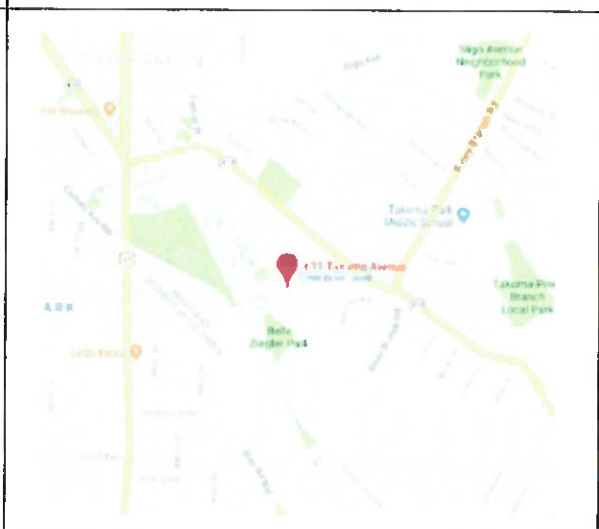
## SYMBOLS

	FINISH GRADE WOOD
	PRECAST CONCRETE
	ALUMINUM
	BATT INSULATION
	RIDGE INSULATION
	CONCRETE MASONRY UNIT
	PLYWOOD
	GYPSUM-PLASTER
	STEEL
	EARTH
	CERAMIC TILE
	SECTION HEAD
	CALLOUT HEAD
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	VIEW TITLE
	DOOR TYPES
	WINDOW TYPES
	PARTITION TYPE
	ELEVATION OFF
	ROOM NUMBERS
	CENTER LINE

## LOCATION



## VICINITY MAP



Designed By:

Designer

Client:

ARONSON BERNARD TRUSTEE

## COVER SHEET

## REPAIR RETAINING WALL

7611 TAKOMA AVE, TAKOMA PARK MD 20912

Drawing Title:

Project Status

Draw by:

IDEA ABACO

9/20/2019 10:39:56 AM

A00

Scale As indicated





TAKOMA AVE

1 NEW SITE PLAN  
1" = 20'-0"

EXISTING DRIVEWAY

N56° 49' 00"W  
200.00'

N33° 11' 00"E  
105.00'

EXISTING DRIVEWAY

EXISTING BUILDING

DECK

PATIO

POOL

New Retaining Wall 1

New Retaining Wall 2

New Retaining Wall 3

S56° 49' 00"E  
135.00'

S56° 49' 00"E  
65.00'

S33° 11' 00"W  
60.00'

S33° 11' 00"W  
45.00'

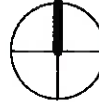
29.5

5.0

17.5

45.0

23.0



Designed By:

Designer

Client:

ARONSON BERNARD TRUSTEE

Drawing Title:

NEW SITE PLAN

REPAIR RETAINING WALL

7611 TAKOMA AVE, TAKOMA PARK MD 20912

Status:

Project Status

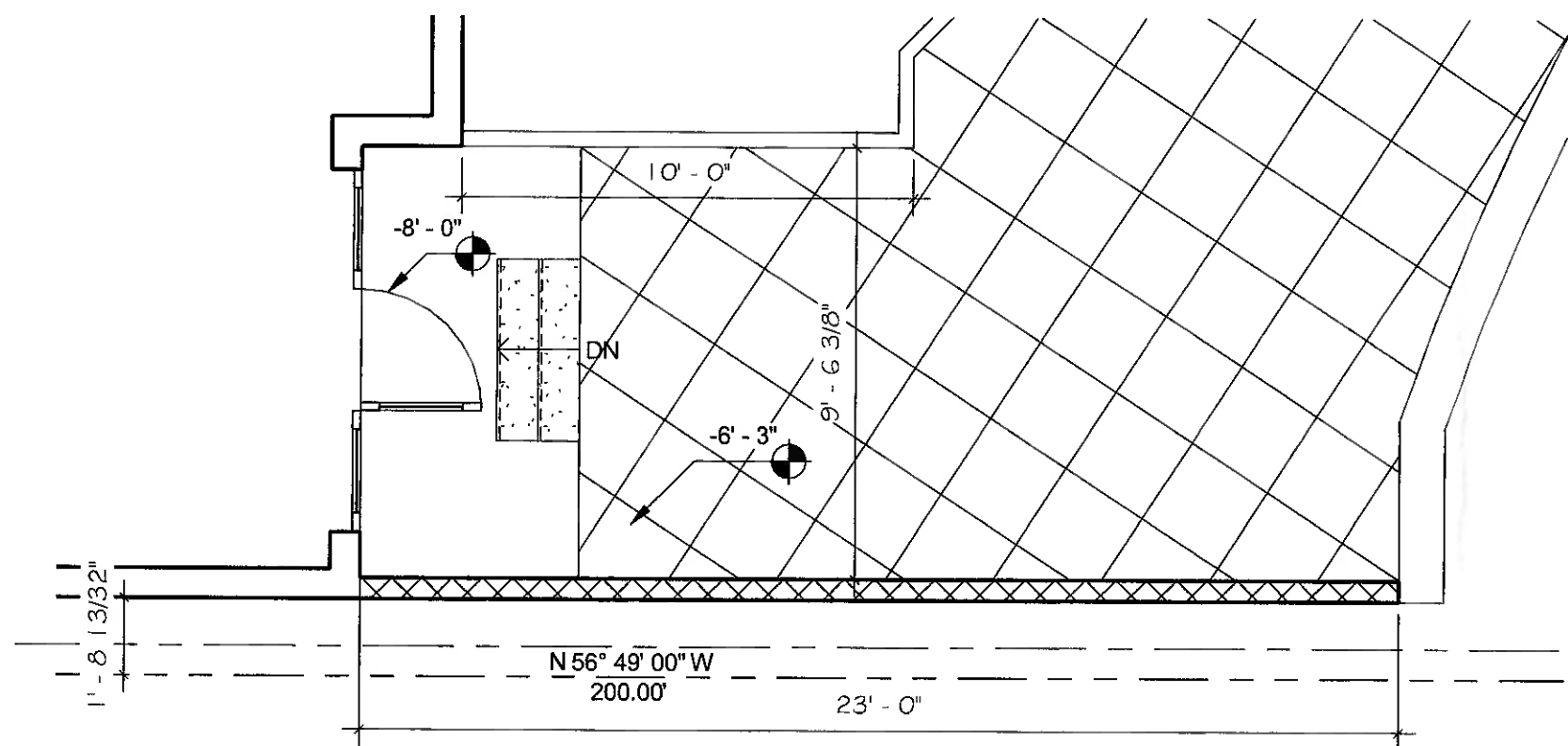
Draw by:

IDEA ABACO

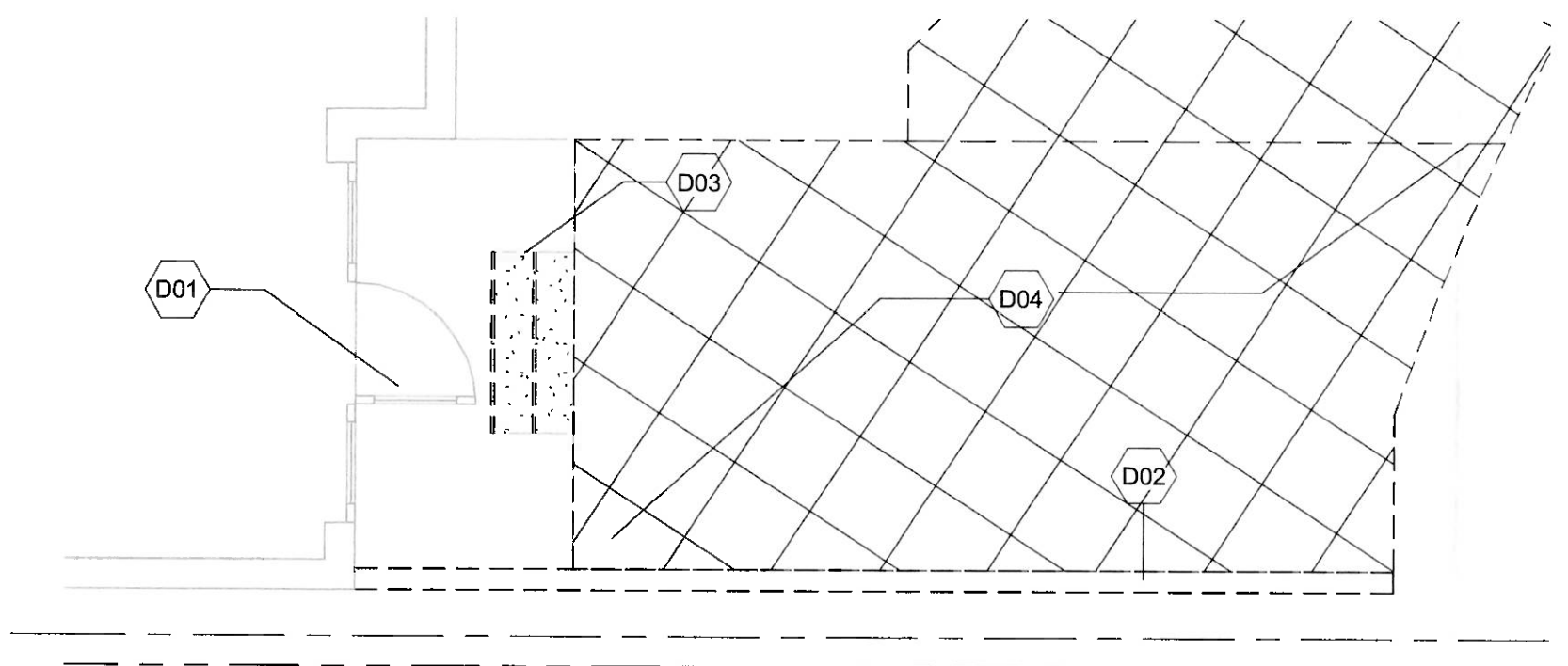
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A02

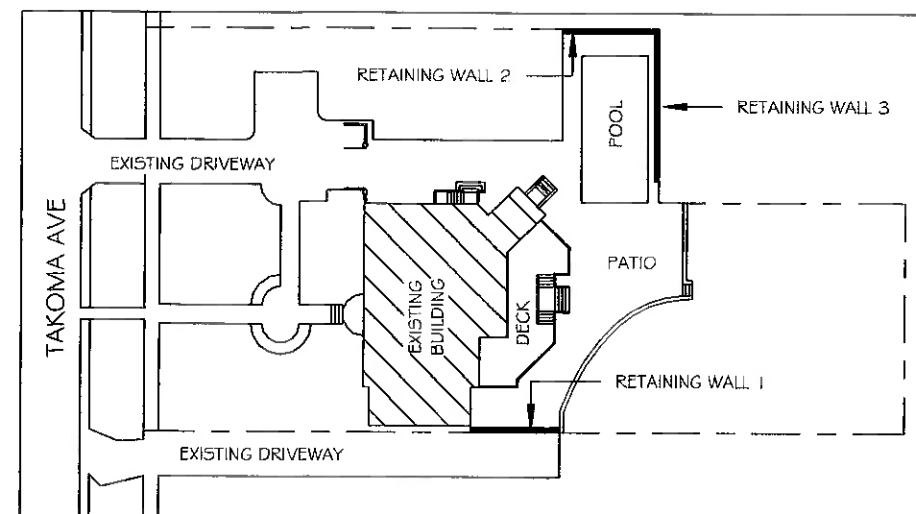
Scale 1" = 20'-0"



① EXISTING RETAINING WALL 1  
1/4" = 1'-0"



② DEMOLITION RETAINING WALL 1  
1/4" = 1'-0"



○ KEY PLAN  
1" = 50'-0"

#### GENERAL DEMOLITION NOTES

1. PROVIDE DEMOLITION WORK SHOWN ON THE DRAWINGS AND RELATED AND INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION WORK. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE AND REQUIREMENTS.
2. REMOVE ENTIRE WALL ASSEMBLY INDICATED TO BE DEMOLISHED, INCLUDING CONCEALED ELEMENTS WITHIN PARTITIONS AND ABOVE CEILING CONSTRUCTION (UNO).
3. FIELD VERIFY EXISTING CONDITIONS, PRIOR TO THE START OF DEMOLITION OPERATIONS. BRING ANY DISCREPANCIES WHICH MAY SIGNIFICANTLY AFFECT DEMOLITION OR NEW CONSTRUCTION WORK TO THE ATTENTION OF THE ARCHITECT FOR REVIEW.
4. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AND/OR NEW CONSTRUCTION OPERATIONS. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPMENT AND SPREAD OF DUST.
5. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF LEGALLY OFF SITE.
6. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
7. COORDINATE TIMING AND HOURS OF DEMOLITION OPERATIONS WITH OWNER'S SCHEDULE.
8. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION AND NEW CONSTRUCTION OPERATIONS.

#### DEMOLITION KEYNOTES

KEY VALUE	KEYNOTE TEX
D01	Existing and Remain Door
D02	Remove Existing Retaining Wall
D03	Remove Existing Stairs
D04	Remove Existing Stone Floor

Designed by:

Designer

Client:

ARONSON BERNARD TRUSTEE

Drawing Title:

EXISTING & DEMO RETAINING WALL 1

Project:

REPAIR RETAINING WALL

7511 TAKOMA AVE, TAKOMA PARK MD 20912

Status:

Project Status

Draw by:

IDEA ABACO

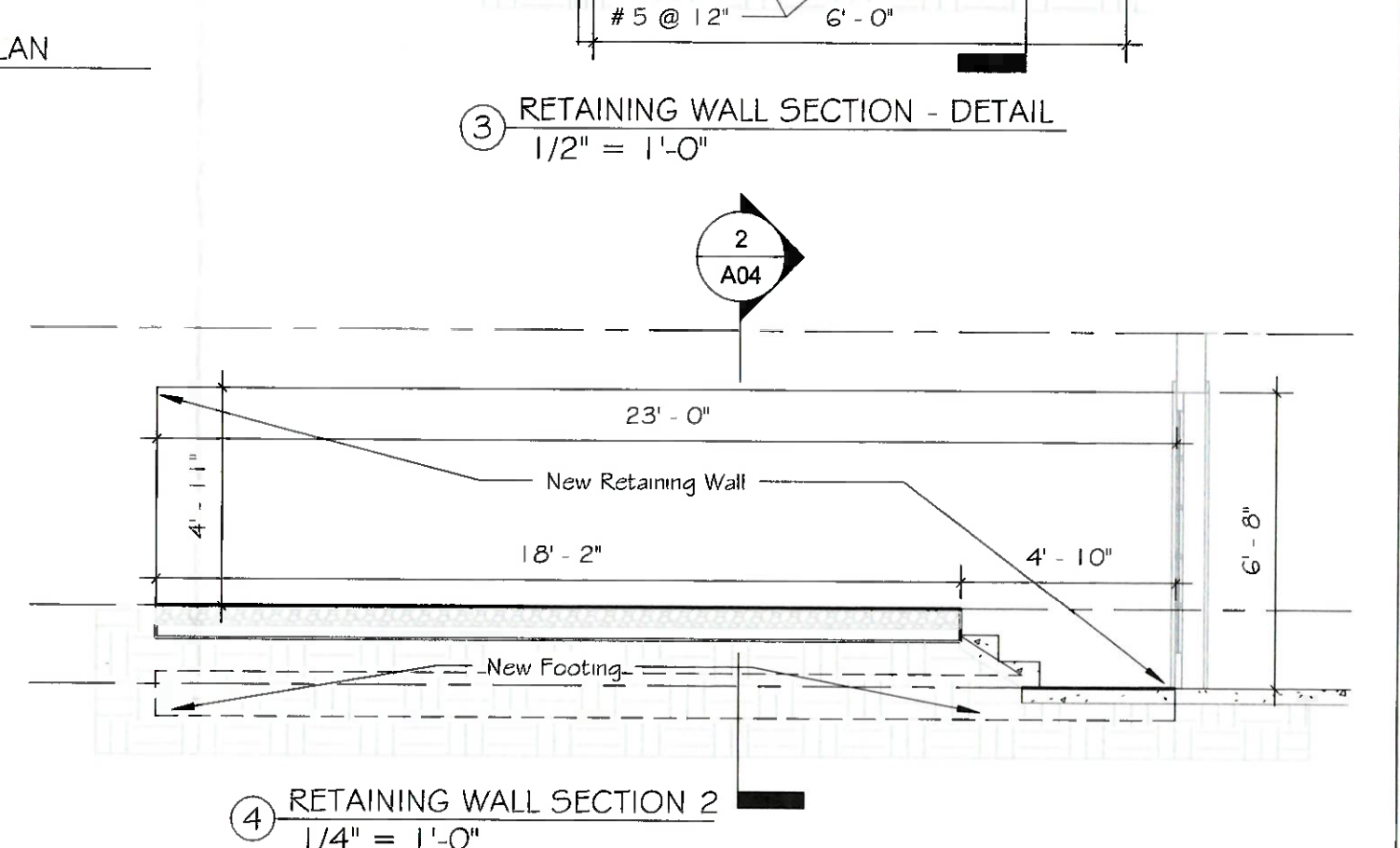
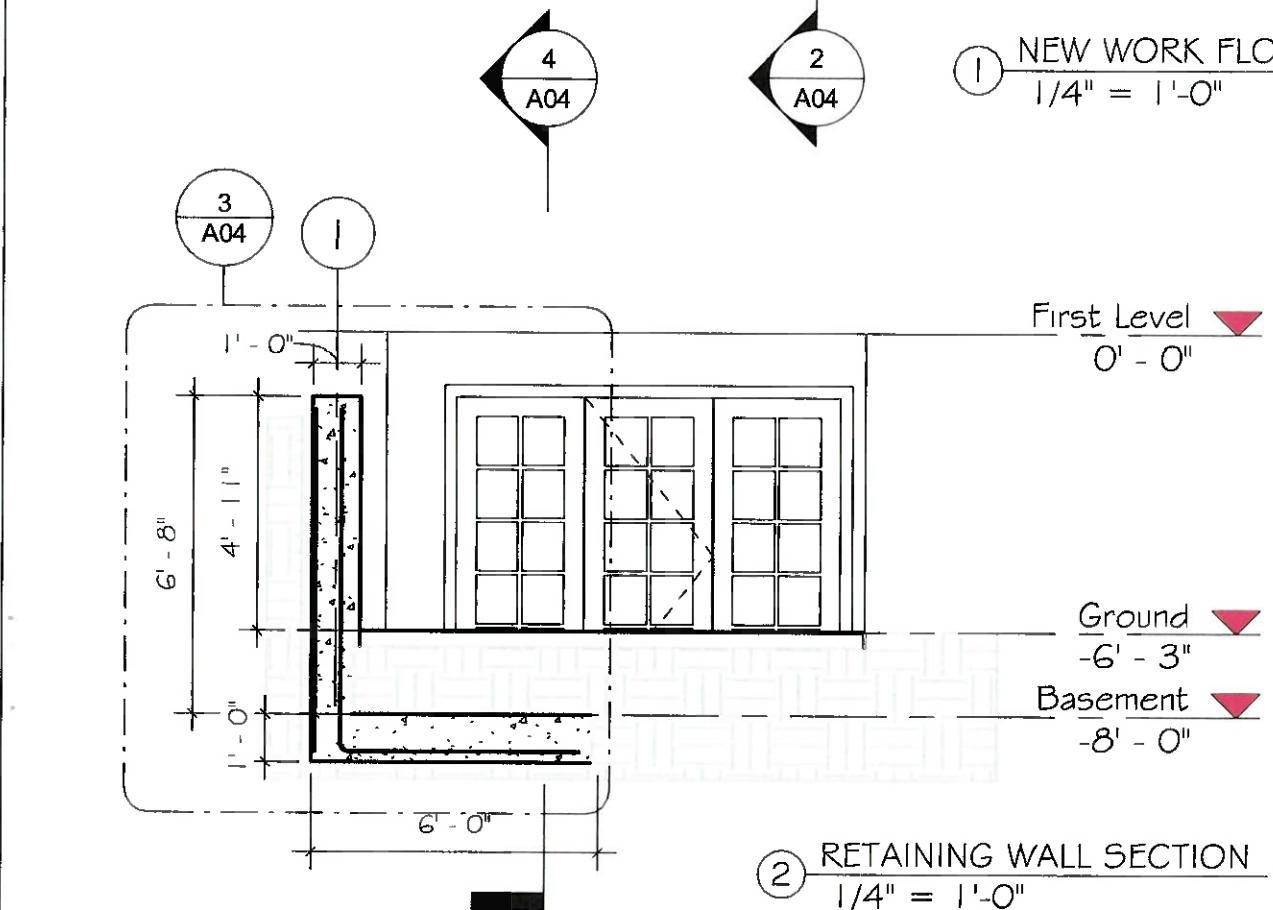
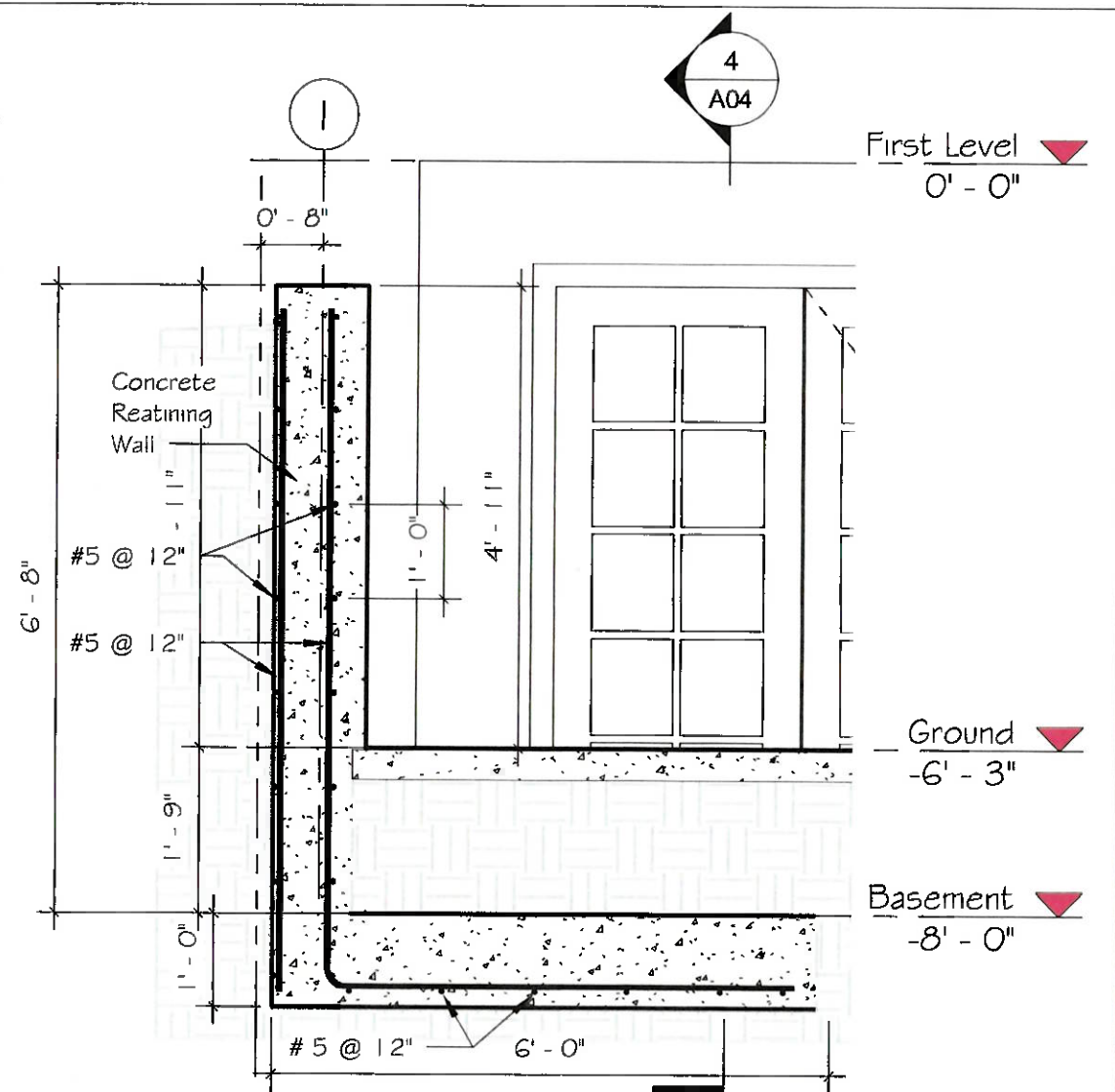
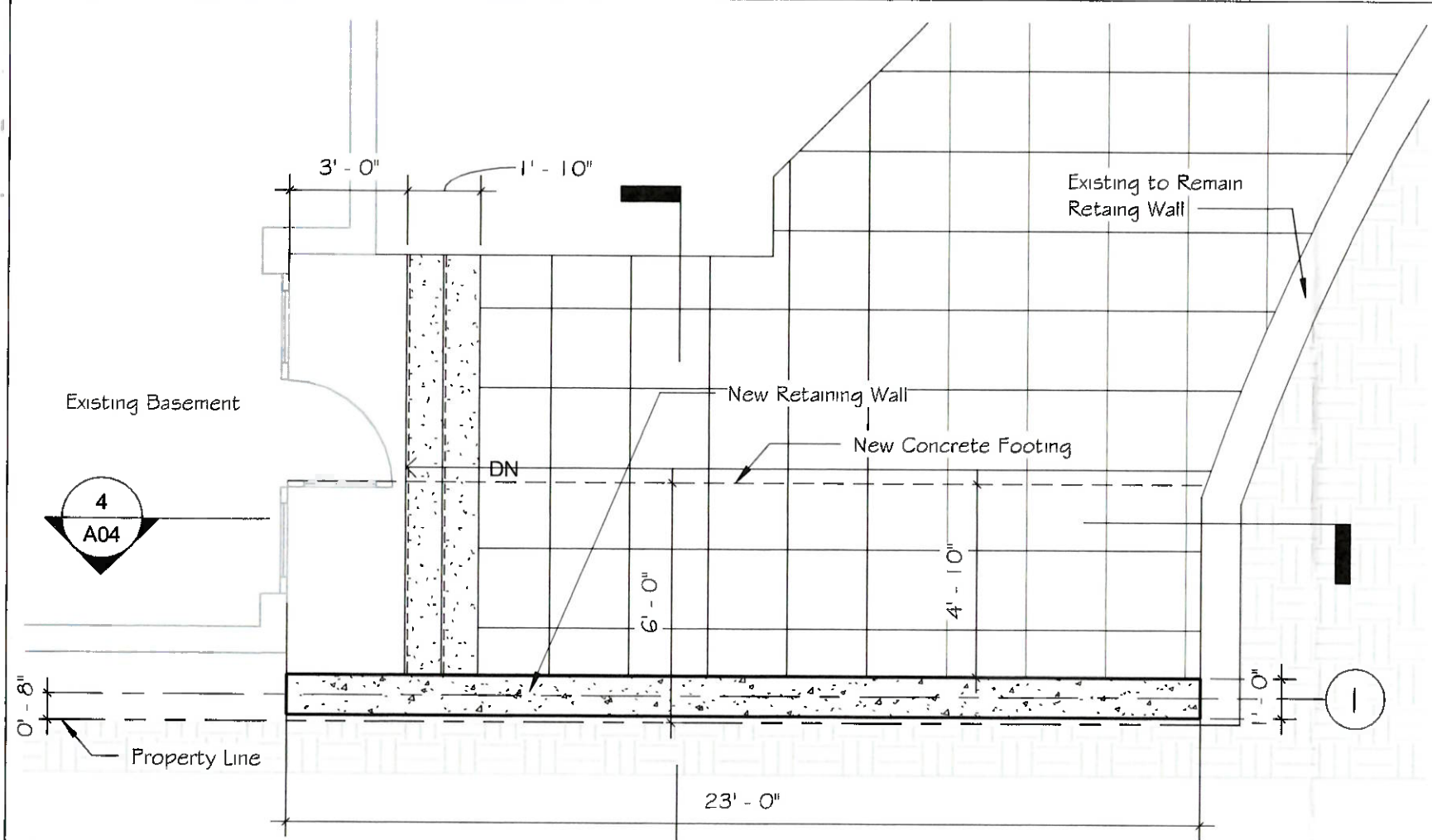
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A03

Scale As indicated

12







Designed By: \_\_\_\_\_  
Designer: \_\_\_\_\_  
Client: ARONSON BERNARD TRUSTEE

**NEW WORK RETAINING WALL 1**

**REPAIR RETAINING WALL**

7611 TAKOMA AVE, TAKOMA PARK MD 20912

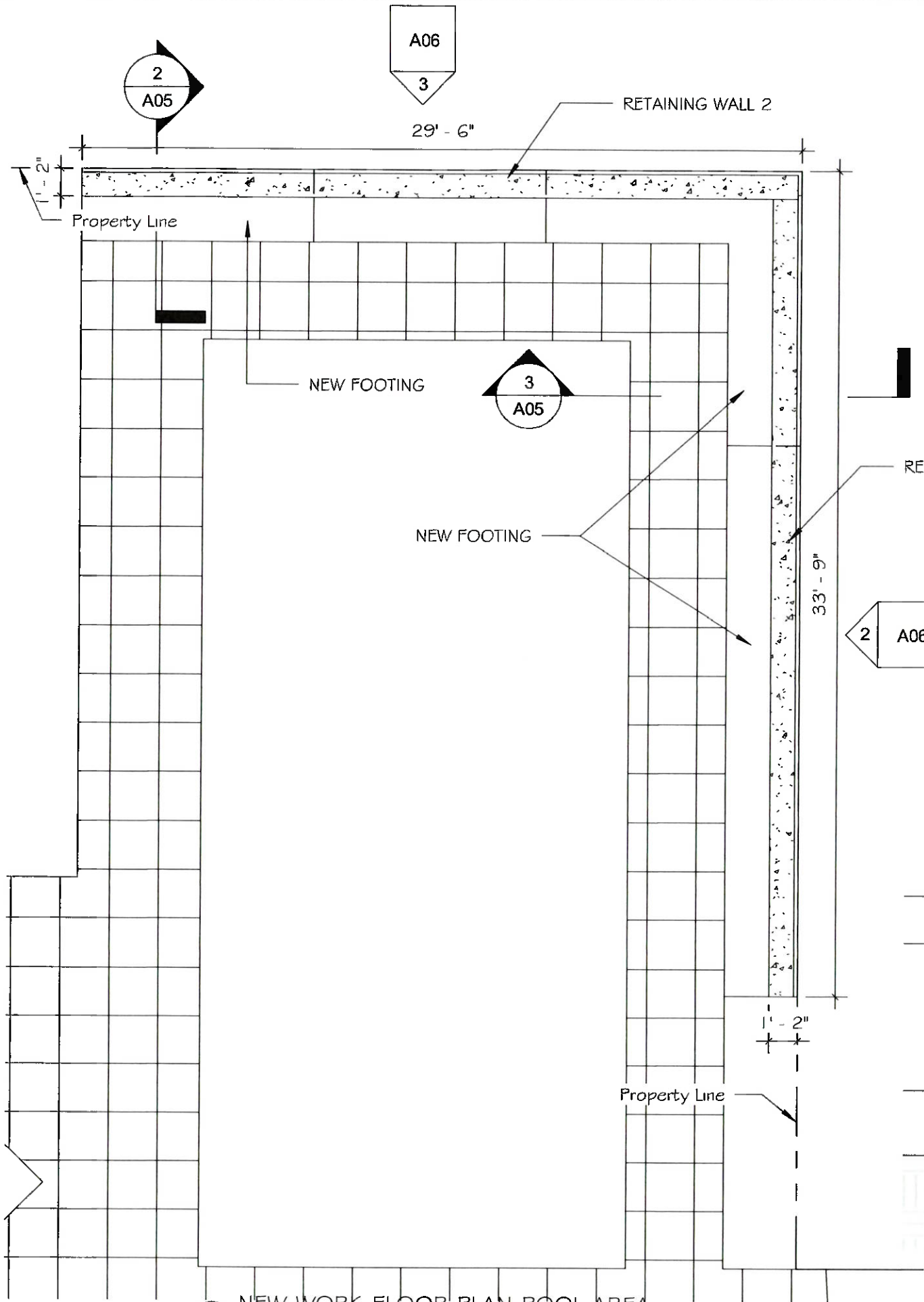
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**13 A04**

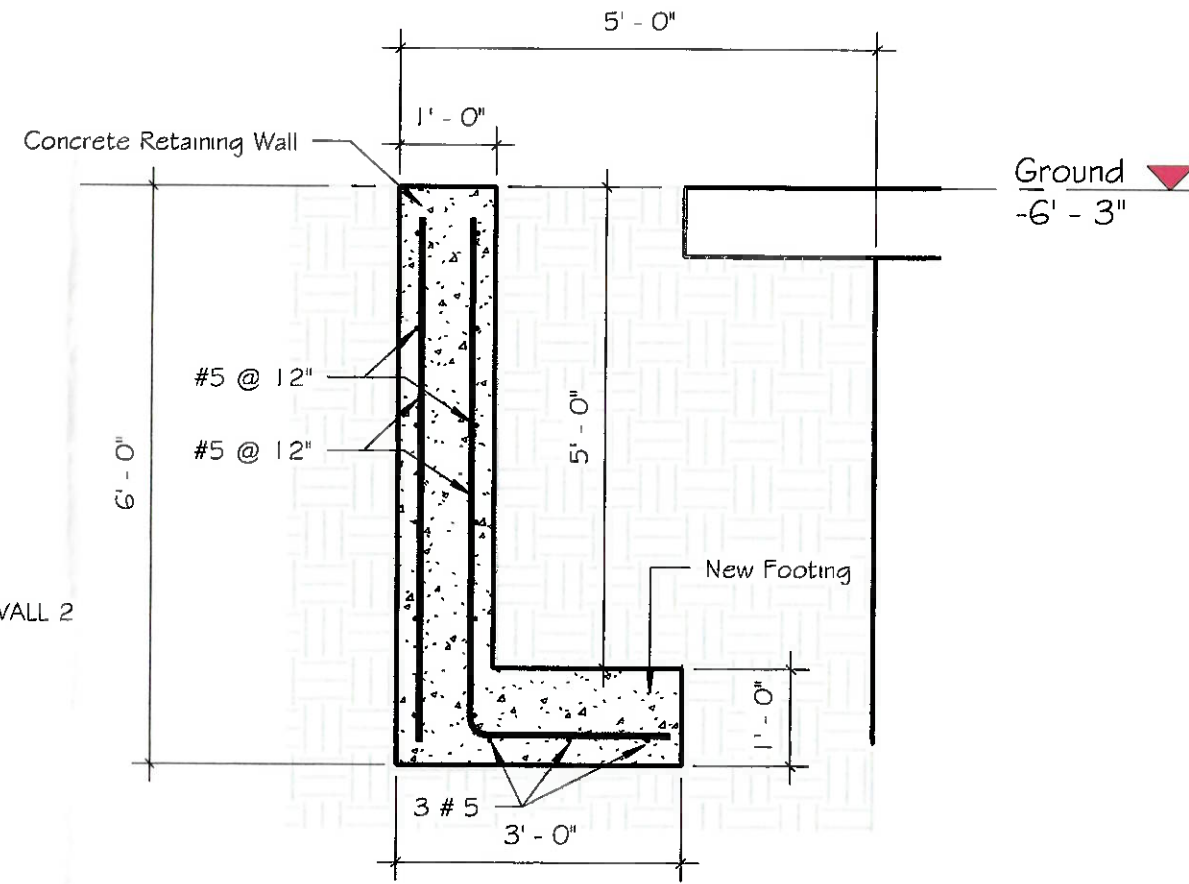
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Project Status: \_\_\_\_\_  
Draw by: \_\_\_\_\_  
Author: \_\_\_\_\_

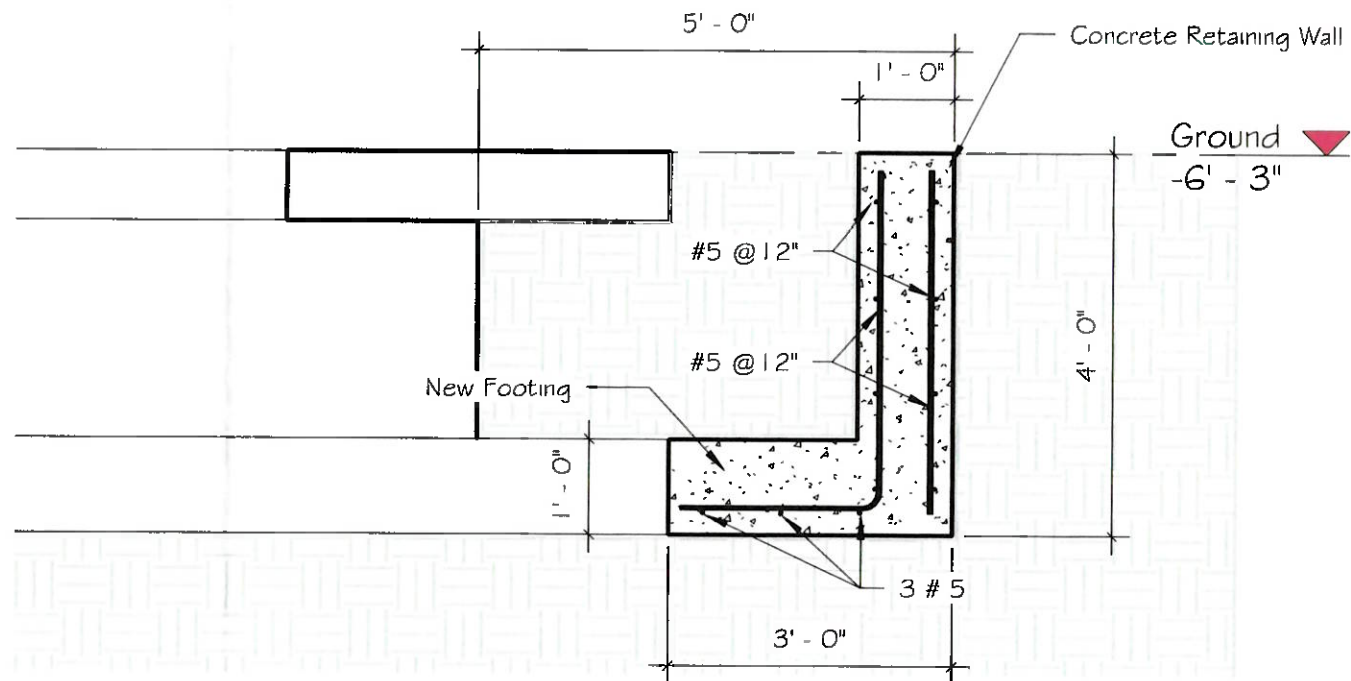
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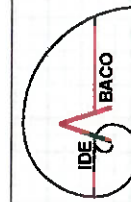
① NEW WORK FLOOR PLAN POOL AREA  
3/16" = 1'-0"



② SECTION RETAINING WALL 2  
1/2" = 1'-0"



③ SECTION RETAINING WALL 3  
1/2" = 1'-0"



Designed By:

Designer

Client:

ARONSON BERNARD TRUSTEE

No.	Description	Date
		Issue Date

Drawing Title: NEW WORK RETAINING WALL 2

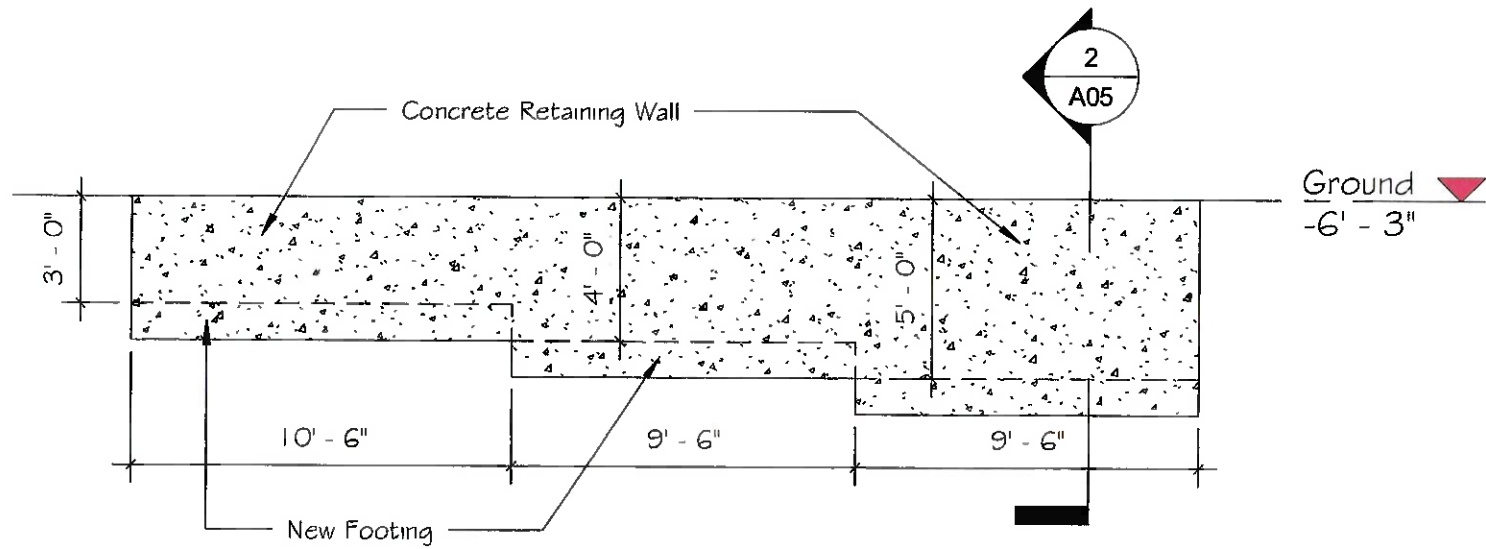
# 3

Project: REPAIR RETAINING WALL

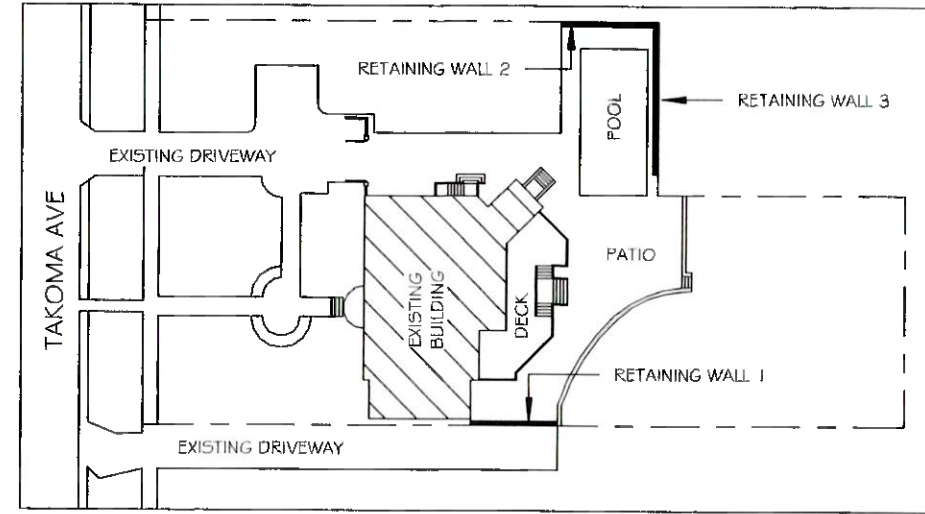
7611 TAKOMA AVE, TAKOMA PARK MD 20912

14 A05	Status:	Project Status
	Draw by:	Author
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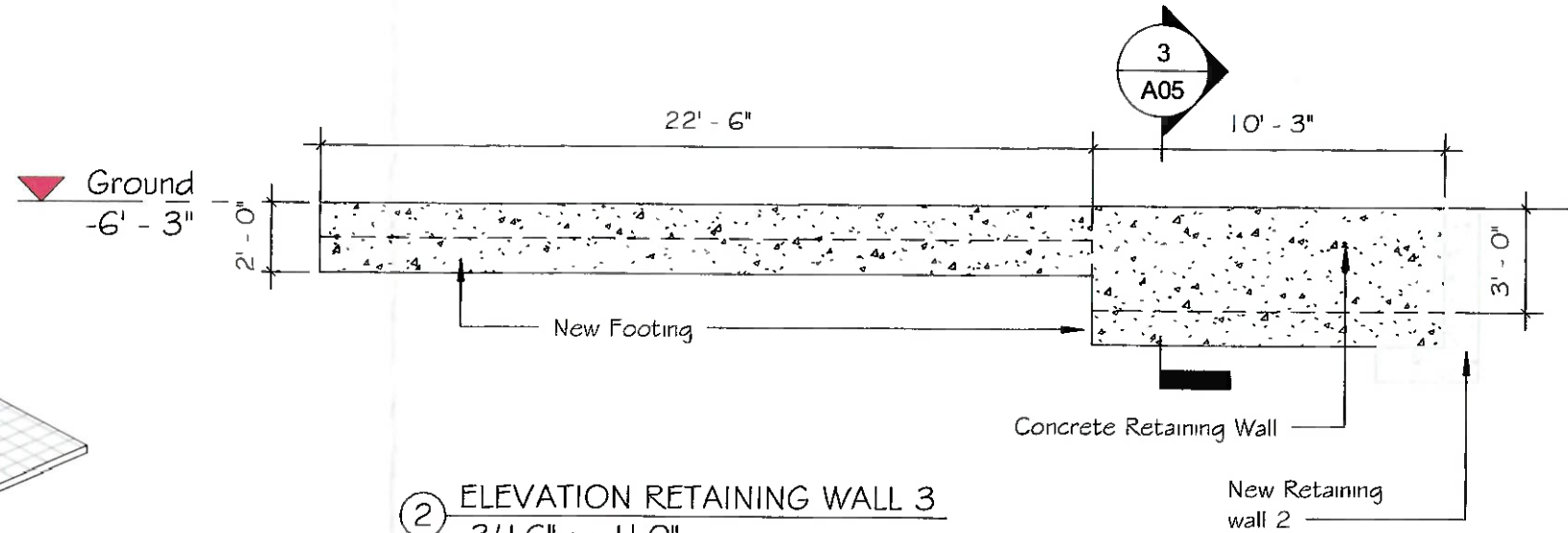
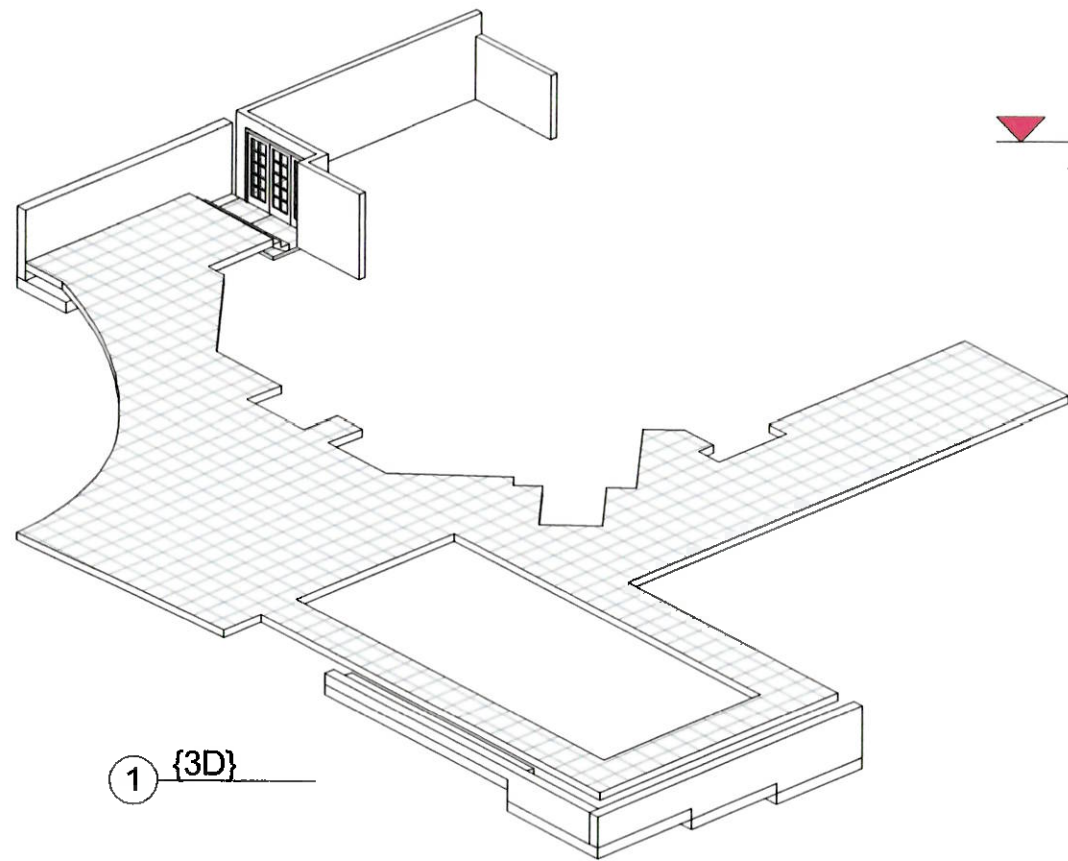





③ ELEVATION RETAINING WALL 2  
3/16" = 1'-0"



○ KEY PLAN  
1" = 50'-0"



② ELEVATION RETAINING WALL 3  
3/16" = 1'-0"



Client: ARONSON BERNARD TRUSTEE

No.	Description	Date	
		Issue Date	

Designed By: \_\_\_\_\_

Designer: \_\_\_\_\_

Project: REPAIR RETAINING WALL

7611 TAKOMA AVE, TAKOMA PARK MD 20912

Scale: As indicated

Author: 9/20/2019 10:40:00 AM

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SECTIONS POOL AREA

Project Status: \_\_\_\_\_

Draw by: \_\_\_\_\_