

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	8000 Overhill Rd., Bethesda	<b>Meeting Date:</b>	10/23/2019
<b>Resource:</b>	Contributing Resource <b>Greenwich Forest Historic District</b>	<b>Report Date:</b>	10/16/2019
<b>Applicant:</b>	Amil Gupta Mark Kramer, Architect	<b>Public Notice:</b>	10/9/2019
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Case Number:</b>	35/165-19-D	<b>Staff:</b>	Dan Bruechert
<b>PROPOSAL:</b> Porch Enclosure			

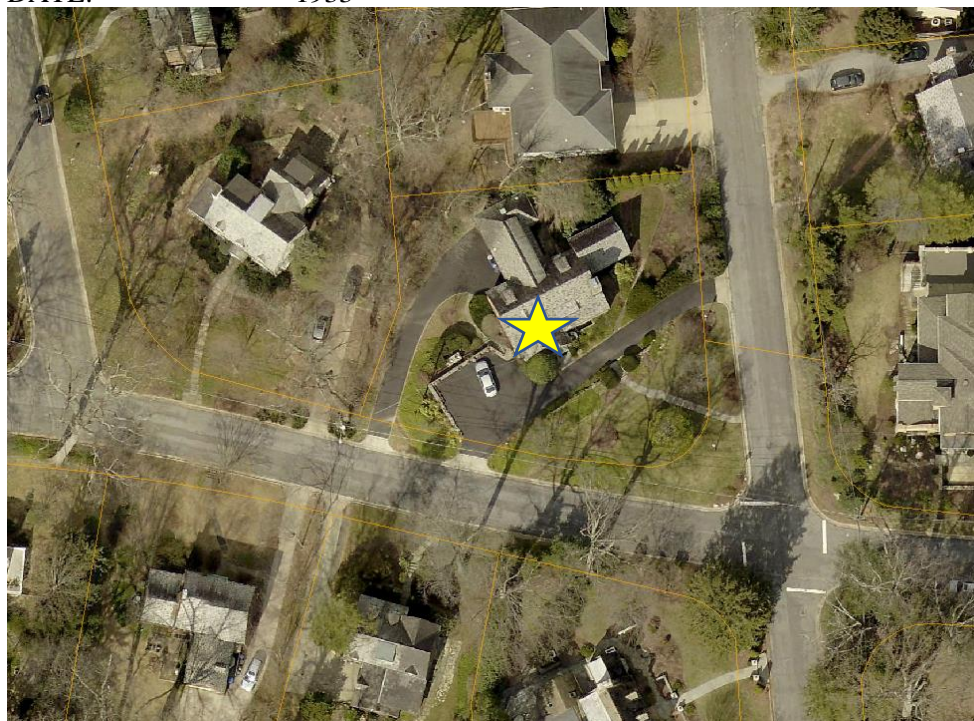
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**RECOMMENDATION**

Staff recommends the HPC approve the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Greenwich Forest Historic District  
**STYLE:** Tudor Revival  
**DATE:** 1933



*Figure 1: 8000 Overhill Rd., Bethesda.*



## **PROPOSAL**

The applicant proposes to enclose the right side-projecting porch.

## **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Greenwich Forest Historic District, decisions are guided by the Greenwich Forest Historic District Design Guidelines (Design Guidelines) and Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (the Standards).

### ***Greenwich Forest Historic District Design Guidelines***

#### ***A. Principles***

The preservation of the following essential elements of Greenwich Forest is the highest priority in making decisions concerning applications for *work permits*. These Principles are not meant to stop or create unreasonable obstacles to normal maintenance, reasonable modifications, and the evolving needs of residents.

- A1. Greenwich Forest was conceived of, built, and to a great degree preserved as a park-like canopied forest with gentle topographic contours, in which the presence of houses and hardscape are understated relative to the natural setting. The removal of mature trees and the significant alteration of topographic contours on private property, the *Greenwich Forest Triangle*, and the public right-of-way in Greenwich Forest should be avoided whenever possible. The Greenwich Forest Citizens Association (GFCA) will continue to support the replacement of trees. In order to protect mature trees and the natural setting of Greenwich Forest, and to limit runoff into the Chesapeake Bay, the creation of extensive new impermeable hardscape surfaces should be avoided whenever possible.
- A2. The houses in Greenwich Forest create an integrated fabric well-suited to its forest setting. These Guidelines are intended to preserve this environment by ensuring that approved *work permits* include appropriate safeguards that protect the following three essential elements of this fabric.
  - a. An array of revival American *architectural styles* that, taken together, make a significant statement on the evolution of suburban building styles (see Appendix 2).
  - b. The *scale and spacing* of houses and their *placement* relative to adjacent houses and the public right-of-way. The original developers made decisions on these three elements to understate the presence of structures relative to the forest. For example, minimum side setbacks at the time were 7' but placement and spacing produced distances between houses that far exceeded the minimum 14'. Additions and new houses have, in almost all cases, preserved generous space between houses and minimized visual crowding with plantings.
  - c. High quality building materials and high level of craftsmanship.
- A3. The neighborhood needs to evolve to meet the needs of its residents while maintaining the charm and architectural integrity that have been maintained since the 1930s. Introducing new *architectural styles* that are not already present in the neighborhood will detract from its integrated fabric.
- A4. A *contributing house* may not be torn down and replaced unless there is significant/extensive damage that would create an undue hardship to preserve the original structure (see D2). Extreme damage like this may be the result of a fallen tree, fire, flood, other natural disaster, or accident.
- A5. A *non-contributing house* may be torn down and replaced as long as the *replacement* house replicates the *architectural style* of its predecessor or the style of one of the contributing houses in Greenwich Forest (see Appendix 2).



### *B. Balancing Preservation and Flexibility*

Greenwich Forest represents a period in the evolution of Montgomery County worthy of preservation, but it has also changed in response to the needs of residents since it was created in the 1930s. These Guidelines seek a reasonable compromise between preservation and the needs of residents in several ways.

- B1. Most of the houses in the Greenwich Forest Historic District are designated “*contributing*” because they contribute to the architectural and historic nature of the district. *Contributing structures* are shown in the map of the districts. These Guidelines are more specific for *contributing structures*.
- B2. Other houses in the district are designated *non-contributing* either because (1) they were built more recently than *contributing houses* with other *architectural styles* (see Appendix 3) or (2) their original features have been significantly altered by subsequent modifications. *Non-contributing structures* are shown on the map of the District. The Guidelines provide greater flexibility for owners of *non-contributing houses*.
- B3. These Guidelines reflect the reality that nearly all houses in Greenwich Forest have been modified since their construction. Owners are not expected to return their houses to their original configurations. The modifications they are permitted to make under these Guidelines are based on the current reality in the neighborhood, provided that those modifications are consistent with the Principles in these Guidelines.
- B4. Property owners have additional flexibility under these Guidelines to make more extensive changes to the parts of their houses that are less *visible from the public rights-of-way* in front of their houses. The Guidelines accomplish this by stipulating different levels of review for specific elements on different parts of houses.

*Levels of review* means the nature of review applicable to a proposed modification. The three levels of review are:

- *Limited scrutiny* is the least rigorous level of review. With this level, the scope or criteria used in the review of applications for work permits is more limited and emphasizes the overall structure rather than materials and architectural details. The decision-making body should base its review on maintaining compatibility with the design, texture, *scale, spacing, and placement* of surrounding houses and the impact of the proposed change on the streetscape.
- *Moderate scrutiny* is a higher level of review than *limited scrutiny* and adds consideration of the preservation of the property to the requirements of *limited scrutiny*. Alterations should be designed so the altered structure does not detract from the fabric of Greenwich Forest while affording homeowners reasonable flexibility. Use of compatible new materials or materials that replicate the original, rather than original building materials, should be permitted. Planned changes should be compatible with the structure’s existing architectural designs.
- *Strict scrutiny* is the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the requirements of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.

- D7. Building materials: Replacement of roofs, siding, and trim with original materials is strongly recommended and is considered maintenance that will not require an application for a work permit. Use of non-original “like materials” such as architectural asphalt shingles requires a work permit to ensure that they match the scale, texture, and detail of the original materials and are consistent with the overall design of the existing house. For example, homeowners wishing to replace slate or tile roofs may use alternative materials that match the scale, texture, and detail of



the roof being replaced. If an original slate or tile roof had been replaced with non-original material before July 1, 2011, the homeowner may replace the existing roof in kind or with another material consistent with the architectural style of that house.

- D10. Porches: The addition of front porches is permitted if they are compatible with the architectural style of the house. Enclosures of existing side and rear porches have occurred throughout Greenwich Forest and they are permitted, subject to the decision-making body's review of the work permit, to ensure that they are compatibly designed.<sup>1</sup>
- D17. Windows, dormers, and doors: Door and window replacements are acceptable, as long as the replacements are compatible with the architectural style of the house. Replacement windows with true or simulated divided lights are acceptable, but removable ('snap-in') muntins are not permitted on front-facing windows of contributing houses. Front-facing dormer additions to third floors are permitted on non-contributing houses and on contributing houses, if such additions do not involve raising the main roof ridge line (as specified in D5) and if the addition is compatible in scale, proportion, and architectural style of the original house.

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Secretary of the Interior's Standards for Rehabilitation**

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

**STAFF DISCUSSION**

The applicant proposes enclosing the existing right side-gable screened-in porch. The existing porch is constructed with rough-hewn timber, with arched corner brackets, and a slate roof. Staff finds these elements to be character defining features of this resource and of Tudor Revival architecture in general.

The applicant proposes to enclose the existing porch with a combination of Marvin windows, matching

<sup>1</sup> Porches visible from the public right-of-way are subject to Strict Scrutiny.



the frame details of the approved replacement windows,<sup>2</sup> and stucco fiber cement panels. The proposed window configuration consists of four low, fixed windows with two larger casement windows above in each of the two bays on the north and south elevation. The east elevation will have a pair of French doors, flanked by fixed sidelites and fiber cement stucco panels. The fiber cement panels will be inset so that they are behind the existing post and brackets, leaving the original structure exposed. Additional structural elements will be constructed on the interior of the porch. While there is no stucco on the porch in its current configuration, this treatment is present on limited areas elsewhere on the house. Stucco is a material commonly applied to Tudor Revival style architecture, and its inclusion on the side porch will not introduce a new material to the building or the District (see Fig. 2, below).



*Figure 2: View of the rear of the house, showing existing stucco application.*

Generally, in evaluating applications for porch enclosures, the HPC tries to ensure that the porch retains its open, visual character to the greatest extent possible – or to the level prescribed in the requisite design guidelines. In discussions with Staff, the architect relayed that the existing structure could not accommodate the code-required wind load calculations with only windows installed and that more structure needed to be added, both to the roof and walls. The question for the HPC will be how to balance preservation of original building materials to the greatest extent possible while still allowing for an

<sup>2</sup> The 2017 Staff Report and approved HAWP application for the window replacement at 8000 Overhill can be found here: <https://montgomeryplanning.org/wp-content/uploads/2017/02/I.G-8000-Overhill-Road-Bethesda.pdf>.



alteration that the *Design Guidelines* envisioned would be approvable under many circumstances with the appropriate application of design review. In short, should the HPC allow the applicant to enclose the porch and remove the existing, historic, post and brackets; or should the HPC allow for the enclosure of the porch with some fiber cement panels and retain all of the existing historic post and brackets?

In determining the preferred outcome for a porch enclosure, the Greenwich Forest *Design Guidelines* (D10) don't provide explicit guidance, aside from stating that the HPC is responsible for ensuring that the enclosed porch is "compatibly designed" and that the significant architectural features are preserved. The *Standards* (particularly 2 and 5) offer a bit more guidance by stating that the historic character of the house should be retained and that distinctive materials, construction techniques, and/or examples of craftsmanship that characterize a property will be preserved. Staff's finding that post and brackets are distinctive, character defining features, and this interpretation of the *Standards* strongly encourages their retention in any alteration. Staff finds that under the current proposal the character defining post and brackets will remain visible from the public right-of-way.<sup>3</sup>

Staff further finds that there are only two ways that would allow for the enclosure of the porch while retaining these elements. First, the applicant could install large windows behind the post and brackets. This would retain most of the existing, open appearance with only the addition of the window division. Staff, in fact, recommended this as a potential design solution. The architect responded under this proposal there would not be sufficient bracing to satisfy the window load requirements and it was infeasible. The second method of enclosing the porch is the one presented in the application. The current proposal will retain the historic, character defining features and introduce sufficient structural members to ensure the porch's retention as an integral part of the historic building.

Staff supports approval under the *Design Guidelines*, Standards 2 and 5 of the *Secretary of Interior's Standards for Rehabilitation*, and *Chapter 24A-8(b)(2)*.

## **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in *Chapter 24A-8(b)(2)*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of *Chapter 24A*; and with the *Secretary of the Interior's Standards for Rehabilitation* #2, and #5,

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.

<sup>3</sup> "Visible from public right-of-way means the portions of a house that are part of the streetscape viewed facing the front elevation." – Greenwich Forest Design Guidelines. This allows for a more lenient level of scrutiny for elements on the side and rear, even though they may be visible from public streets and sidewalks.





HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Kramerarch@att.net Contact Person: Mark Kramer, Architect  
Tax Account No.: 0049817 Daytime Phone No.: 301-652-5700  
Name of Property Owner: Anil Gupta Daytime Phone No.: 301-537-6738  
Address: 8000 Overhill Road, Bethesda, MD. 20814  
Street Number City State Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Mark Kramer, Architect Daytime Phone No.: 301-652-5700

LOCATION OF BUILDING/PROJECT  
House Number: 8000 OVERHILL ROAD,  
Town/City: BETHESDA Nearest Cross Street: YORK LANE  
Lot: 11 Block: J Subdivision: Greenwich Forest  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE TYPE OF BUILDING/CONSTRUCTION

### 1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☒ Alter/Renovate  
☐ Move ☐ Install ☐ Wreck/Raze  
☐ Revision ☐ Repair ☐ Revocable

### CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☒ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 50,000.

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO TYPE OF SEWER/SEWAGE TREATMENT

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE COMPLETE ANY FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mark A. Kramer, Architect  
Signature of owner or authorized agent

8/15/2019  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 888773 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edt 6/21/99

**SEE REVERSE SIDE FOR INSTRUCTIONS**



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Greenwich Forest Tudor revival stone  
and stucco single family residence  
Built in 1935 by the Cafritz company.

Existing porch at side yard is screened

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is to enclose the existing open screen  
porch with new windows to match the other  
replacement units at the house. New windows to be  
MARVIN units in color of existing units.  
This change of an open porch to an enclosed porch  
is a permittable change in the GREENWICH FOREST  
guidelines.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions; clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

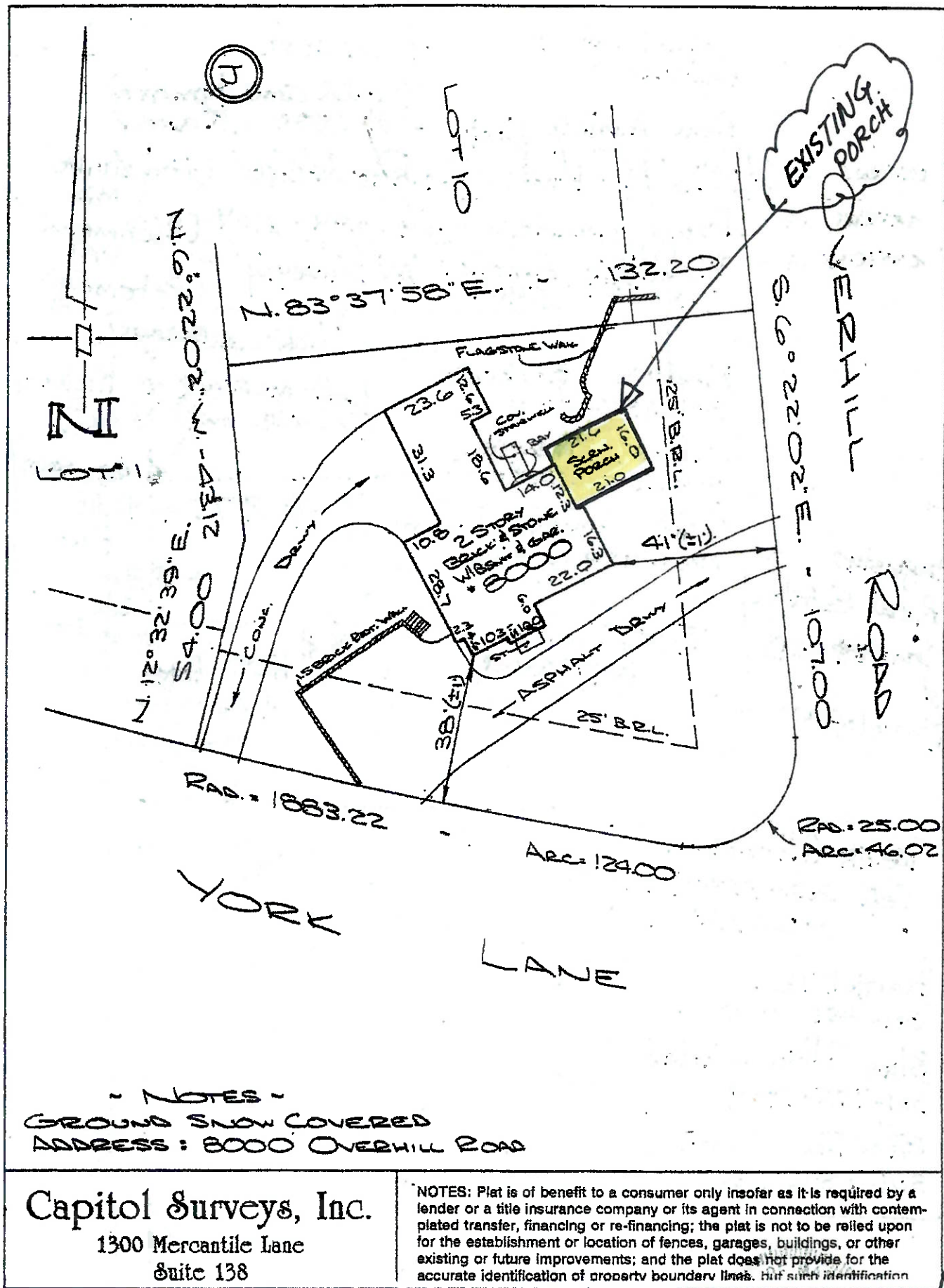
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For All projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.





Applicant: 8000 OVERHILL ROAD, BETH. MD.  
Greenwich Forest





## Greenwich Forest



**KRAMER ARCHITECTS, INC.**  
 7960-D Old Georgetown Rd  
 Bethesda, MD 20814  
 (301) 652-5700  
 FAX (301) 913-9254



Tax  
Act. # 08494817

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Anil Gupta 8000 Overhill Road Bethesda, MD. 20814 Lot 11, BLOCK J	Owner's Agent's mailing address Mark Kramer, A. I. A. Kramer Architects, Inc. 7960-D Old Georgetown Road Bethesda, MD. 20814
Adjacent and confronting Property Owners mailing addresses	
Erich & Kathleen Hahn 8001 Overhill Road Bethesda, MD	David Schindel 5605 YORK LANE Bethesda, MD. 20814
Donald Spero 7826 Overhill Road Bethesda, MD. 20814	Michael Dobbs 8003 Overhill Road Bethesda, MD. 20814
John EKLund 5602 YORK LANE Bethesda, MD. 20814	Gregory & Alana Aronin 8002 OVERHILL ROAD Bethesda, MD. 20814





# KRAMER ARCHITECTS INC.

7960-D Old Georgetown Road, Bethesda, MD 20814 301/652-5700 • FAX 301/913-9254

October 11, 2019

Mr. Dan Bruechert  
Historic Preservation Commission  
8787 Georgia Avenue  
Silver Spring, MD.

**Re: GUPTA RESIDENCE**  
**8000 Overhill Road**  
**Bethesda, MD. 20814**

Dear Mr. Bruechert:

I am verifying that the portion of the stucco walls which are to be exposed on the exterior of the renovated porch structure are an integral part of the structural wall bracing calculations. The wall bracing is a combination of the exterior walls which have been maintained and additional structural members within the existing building.

Furthermore, we have left the exposed timber construction on the exterior and are using stucco to fill in the spaces which will be left over after the windows have been installed.

This is represented in our construction documents which have been provided to the Board for review.

Thank you for your assistance.

Yours,



Mark Kramer, A.I.A.  
KRAMER ARCHITECTS, INC.  
Arch. Reg. # 4040-A



Ronald Wolfman, P.E.  
WOLFMAN ENGINEERING  
Reg. # 8998

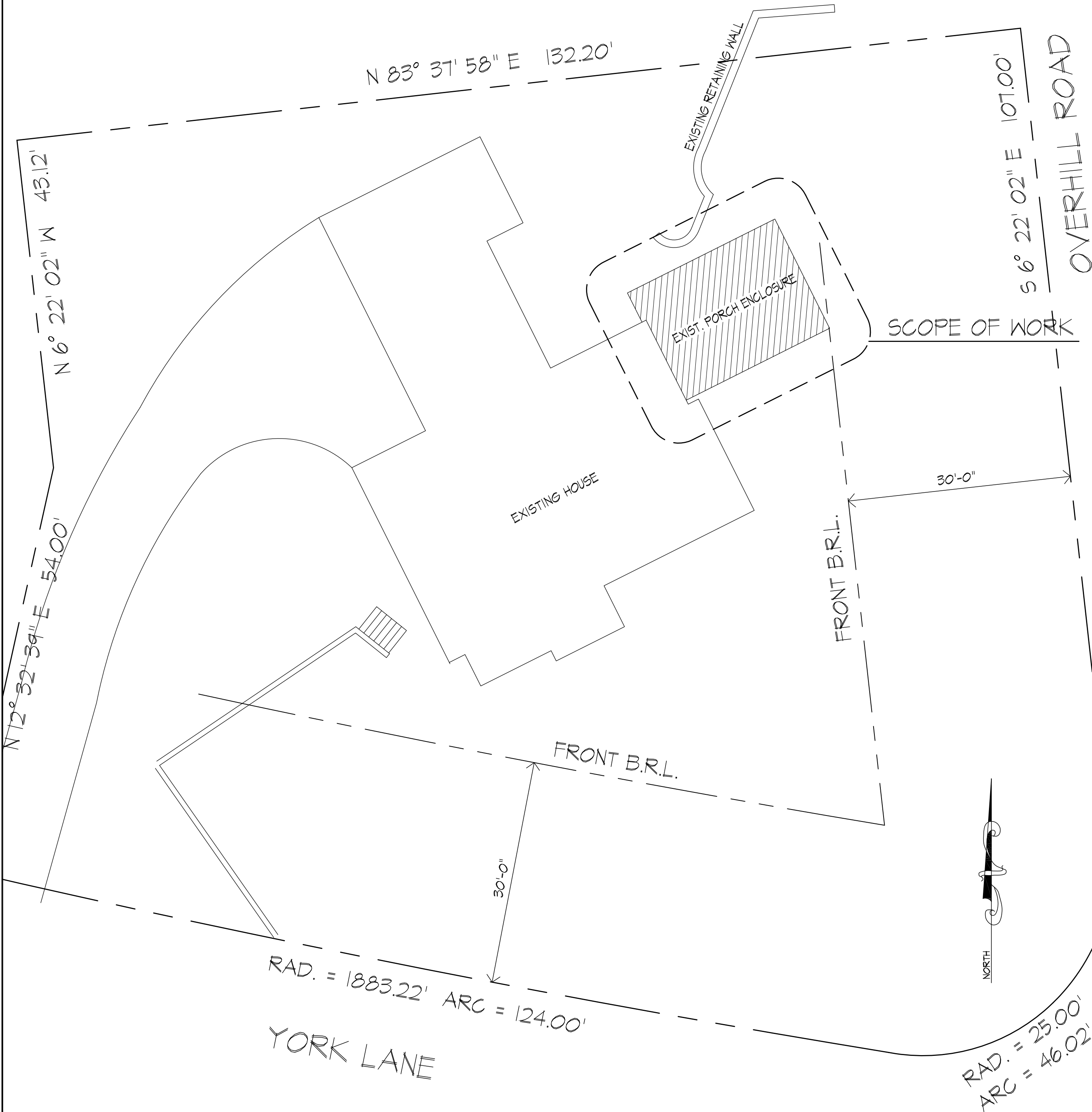


# GUPTA-WANG RESIDENCE

8000 OVERHILL ROAD, BETHESDA, MD 20814

## SINGLE FAMILY DETACHED HOME - EXISTING PORCH ENCLOSURE

### ARCHITECTURAL SITE PLAN



#### GENERAL NOTES FOR RESIDENTIAL CONSTRUCTION

- All work shall conform to the applicable section of the Montgomery County building code sections of the single family guidelines and all applicable building codes 2015 IRC.
- Stake off area of new construction and designate trees and shrubs for removal. Protect all landscaping beyond the area of construction as required by the site. Protect all shrubs that are to remain.
- Contractor to evaluate the required electrical service. Electrical subcontractor to review the drawings and existing service. And provide the panel to satisfy all load requirements for any new construction as designated on plans.
- Coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project.
- Electrical subcontractor to review drawings and bring any questions related to specifications to the attention of the Architect.
- The General Contractor shall obtain permits required for construction, unless other wise informed by the Architect.  
THE GENERAL CITY BUILDING PERMIT SHALL BE FILED BY THE ARCHITECT.
- The Contractor shall store materials and equipment in a safe and suitable area during the construction process. The Owner is not responsible for any loss of construction materials. All debris at the construction site shall be periodically removed from the site at intervals so as not to create a site hazard or create a visual hazard to the Owner.
- General Contractor shall be licensed in Montgomery County and the State of Maryland, and shall guarantee the project, labor and material for a period of one year after the punch list is completed by the Owner or the Architect, as per Maryland laws require.
- The General Contractor shall provide competent daily supervision of the project.
- The General Contractor shall carry Workman's Compensation Insurance in full force during the entire term of this contract. The General Contractor shall carry Comprehensive General and Automotive Liability Insurance and Property Damage Insurance of \$ 500,000. to \$750,000. minimum. The owner can amend these requirements if specified on the contract.
- All drawings, specifications and copies furnished by the Architect are the documents for construction of the project only and shall not be used in any other circumstance.
- The General Contractor shall carefully study and compare the contract documents and report to the Architect any error, inconsistency or omission he/she may discover.
- The General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery and other facilities and services necessary for the proper execution and completion of the Work, whether temporary or permanent and shall guarantee no mechanic liens against such project at completion.

14. The Contract Sum is stated in the building agreement and is the total amount payable by the Owner to the General Contractor for the performance of the Work under the Contract Documents. A Change Order is written by the General Contractor and Signed by the Owner, which designates the addition, deletion or revision to the contract. The change order must also designate the change in the original Contract Sum and be accepted by the Owner before it is part of the contract.

15. Premises shall be left "broom clean" and exterior shall be free of debris upon completion of work. All subcontractors are required to clean premises and exterior of their debris daily unless specifically exempted by owner or architect. Particular effort is to be taken to minimize debris within existing premises on a daily basis.

16. The General Contractor shall submit a progress payment request based on the original contract agreement, to the Architect and the Owner. The Architect shall have seven business days to provide approval to the Owner.

THE PROCEEDING UNLESS AMENDED WITH APPROVAL OF THE OWNER IS TO BE CONSIDERED ALONG WITH THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS.

CONTRACTOR \_\_\_\_\_ (Signature) \_\_\_\_\_ (Date)

OWNER \_\_\_\_\_ (Signature) \_\_\_\_\_ (Date)

#### MISS UTILITY INSPECTION NOTE:

CALL "MISS UTILITY" TO VERIFY LOCATION OF ALL UTILITIES WITHIN THE FRONT REAR OR SIDE YARD. COORDINATE THE LOCATION OF ANY NEW EXCAVATION WITH THE EXISTING UTILITIES.

#### PORTA-TOILET FACILITY FOR PROJECT:

GENERAL CONTRACTOR SHALL PROVIDE A PORTA-TOILET FACILITY ON THE JOB SITE AND SHALL COORDINATE ITS LOCATION WITH THE OWNER. MAINTAIN THE FACILITY THROUGHOUT THE DURATION OF CONSTRUCTION PROCESS.

TABLE R301.5  
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS  
( IN POUNDS PER SQUARE FOOT )

USE	LIVE LOAD
ATTICS WITH STORAGE <sup>b</sup>	20
ATTICS WITHOUT STORAGE <sup>b</sup>	10
DECKS <sup>c</sup>	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS <sup>d</sup>	200
GUARDRAILS IN-FILL COMPONENTS <sup>f</sup>	50
PASSENGER VEHICLE GARAGES <sup>a</sup>	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

FOR SI: 1 POUND PER SQUARE FOOT= 0.0497 KN/M 2, 1 SQUARE INCH=645 mm2, 1 POUND= 4.45N

A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000 POUND LOAD APPLIED OVER A 20 SQUARE INCH AREA.

B. NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS

C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.

D. A SINGLE CONCENTRATED LAOD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

E. SEE SECTION R 502. 2. 1 FOR DECKS ATTACHED TO EXTERIOR WALLS

F. GUARD IN-FILL COMPONENTS ( ALL THOSE EXCEPT THE HANDRAIL ). BLASTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZOTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

#### PROJECT DATA

THE GUPTA-WANG RESIDENCE  
8000 OVERHILL ROAD  
BETHESDA, MARYLAND, 20814  
GREENWICH FOREST HISTORIC DISTRICT  
MONTGOMERY COUNTY

LOT: 11  
BLOCK: J  
ZONE: R-90  
LOT SIZE= 16,248 SQUARE FEET

#### SET BACKS:

FRONT: 30' REQ'D.; - NO CHANGE  
REAR: 25' REQ'D.; - NO CHANGE  
SIDES: 7' MIN.; - NO CHANGE

BUILDING CODE: INT'L RESIDENTIAL CODE 2015

#### INDEX OF DRAWINGS

CS-1 COVER SHEET

A-1 DEMOLITION WORK & PROPOSED FLOOR PLAN & RCP  
A-2 EXTERIOR ELEVATIONS  
A-3 SECTION  
A-4 INTERIOR ELEVATIONS  
S-1 WIND BRACING

#### SCOPE OF WORK

ENCLOSE EXISTING SCREENED PORCH

#### SYMBOL LEGEND

	DETAIL SECTION
	DETAIL TAG
	DETAIL SHEET. NO.
	BLDG SECTION TAG
	ELEVATION TAG
	GRAVEL FILL
	EARTH
	FIBERGLASS BATT INSULATION
	CONCRETE MASONRY UNITS.
	BRICK OR STONE VENEER
	CONCRETE (SOLID/POURED)
	ROCK WOOL INSULATION

#### LIST OF ABBREVIATIONS

A.B.	ANCHOR BOLT	F.S.	FAR SIDE	OSB	ORIENTED STRAND BOARD
A.F.F.	ABOVE FINISH FLOOR	FLR.	FLOOR	OZ.	OUNCE
ADJ.	ADJACENT	FIN.	FINISHED	O.A.	OVER ALL
A.H.U.	AIR HANDLER UNIT	FND.	FOUNDATION	PNL.	PANEL
ALUM.	ALUMINUM	F.R.	FIRE RATED	PBD.	PARTICLE BOARD
ANCH.	ANCHOR	FP	FIREPLACE	PERF.	PERFERATED
ANG.	ANGLE	FTG.	FOOTING	P.L.	PLATE
ARCH.	ARCHITECTURAL	F/C	FLOOR COVERING CHANGE	PND./PLYWD	PLYWOOD
AT	AT	FPHB	FROST PROOF HOSE BIB	PF	PREFABRICATED
BD.	BOARD	GA.	GAUGE	PSI	POUNDS PER SQ. IN.
BLDG.	BUILDING	GALV.	GALVANIZED	PSF	POUNDS PER SQ.FT.
BM	BEAM	G.C.	GENERAL CONTRACTOR	P.T.	PRESSURE TREATED
BTM	BOTTOM	GEN.	GENERAL	REF.	REFER TO REFERENCE
BL'G	BLOCKING	GYP. BD	GYPSUM BOARD	RENF.	REINFORCING,REINFORCED
BR'G	BEARING	G.L.	GLUE LAM	REQ'D	REQUIRED
BSMT	BASEMENT	HDWR.	HARDWARE	R.A.	RETURN AIR
C.J.	CONTROL JOINT- SAWCUT	HD.WD.	HARDWOOD	RMS.	ROOMS
C.	CENTER LINE	HT.	HEIGHT	R.O.	ROUGH OPENING
C.M.U.	CONCRETE MASONRY UNIT	HORZ.	HORIZONTAL,HORIZONTALLY	R.	RISER
COL.	COLUMN	HR.	HOOR	RND	ROUND
CONC.	CONCRETE	HRD.	HEADER	1/R	ONE ROD
COND.	CONDITION	HS.	HOSE BIB	S.C.	SAWCUT
CONT.	CONTINUOUS	I.D.	INSIDE DIAMETER	SH.	SHELF
CONSTR.	CONSTRUCTION	INSUL.	INSULATION	SH.	SHEET
CONTR.	COUNTER	INT.	INTERIOR	SM.	SIMILAR
CTSK.	COUNTERSUNK	I.S.	INSIDE CORNER	S.S.	STAINLESS STEEL
C.O.	CASED OPENING	JT.	JOINT	STL	STEEL
CANT.	CANTILEVER	LT. WT.	LIGHTWEIGHT	STRUCT.	STRUCTURAL
C.T.	CERAMIC TILE	LT.	LIGHT	S.A.	SUPPLY AIR
CLG	CEILING	LVR.	LOUVER	SUSP.	SUSPENSION
DBL.	DOUBLE	L.T.S	LAUNDRY TUB	SGD	SLIDING GLASS DOOR
DIA.	DIAMETER	L.T.	LAUNDRY TUB	1/S	ONE SHELF
DR.	DOOR	M.T.	MARBLE THRESHOLD	TEMP.	TEMPERED
DWG.	DRAWING	MAT.	MATERIAL	T.O.	TOP OF
D.S.	DOWNSPOUT	MAX.	MAXIMUM	TFW	TOP OF FOUNDATION WALL
DTL	DETAIL	MECH.	MECHANICAL	TYP.	TYPICAL
D	DRYER	MED.	MEDIUM DENSITY OVERLAY	TRP	TREAD
EA.	EACH	MIN.	MINIMUM	U.M.	UNDER-MOUNT
E.J.	EXPANSION JOINT	M.O.	MASONRY OPENING	U.N.O.	UNLESS NOTED OTHERWISE
ELEC.	ELECTRICAL	MTL.	METAL	VERT.	VERTICAL
ELEV.	ELEVATION	M.U.A.	MAKE-UP AIR	V.I.F.	VERIFY IN FIELD
EQ.	EQUAL	N.S.	NEAR SIDE	W	WASHER
EQUIP	EQUIPMENT	N.I.C.	NOT IN CONTRACT	W/	WITH
EXP.	EXPANSION	NOT TO SCALE		WD.	WOOD
EXT.	EXTERIOR	O.C.	ON CENTER	W.W.F.	WELDED WIRE FABRIC
EE.	EACH END	O.H.	OVERHANG	W/O	WALKOUT
		OPER.	OPERATOR	W/O OR WIN.	WINDOW
		OPNG.	OPENING		

RESIDENTIAL CODE NOTES= RCN

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL CODE ( IRC ), 2015. EDITION, AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION NO 24-04. ALL CHAPTERS, TABLES, SECTIONS, FIGURES AND APPENDICES REFERENCED HERE WITHIN ARE FROM IRC. THIS DOCUMENT CONTAINS ITEMS OFTEN WRITTEN ON APPROVED PLANS AND IS PROVIDED FOR CONVENIENCE ONLY. IT IS NOT INTENDED AS A SUBSTITUTE FOR THE CODE OR ALL OF ITS PROVISIONS.

2. TABLE R 301 . 2 (1) THE RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS ARE SHOWN IN THE FOLLOWING TABLE:

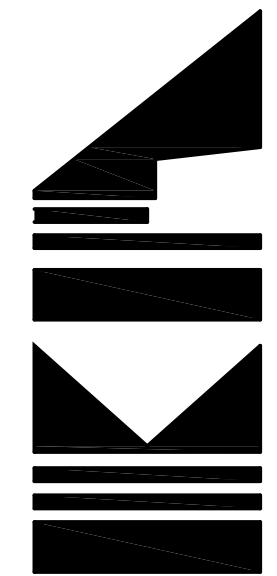
RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS						WINTER DESIGN TEMP.	ICE SHIELD UNDER LAYMENT REQ'D	FLOOR HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH	TERMITE	DECAY				
30 PSF	115 MPH	B	SEVERE	24 IN	MODERATE TO HEAVY	SLIGHT TO MODERATE	13° F	YES	JULY 2, 1979	300
										55° F

#### INTERNATIONAL BUILDING CODE DATA 2015 IRC

WOOD STUDS TO BE SPF #2  
JOIST, RAFTERS, & BEAMS TO BE HEM FIR #2

1 SITE PLAN  
SCALE: 1"=10'-0"

KRAMER  
ARCHITECTS INC.  
7960-D Old Georgetown Road, Bethesda, Md. 20814  
Phone: (301) 652-3700 Fax: (301) 913-9254



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PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND. License #4040-A Expiration Date 11.07.2020

PROJECT:  
GUPTA-WANG RESIDENCE  
8000 OVERHILL ROAD  
BETHESDA, MD. 20814

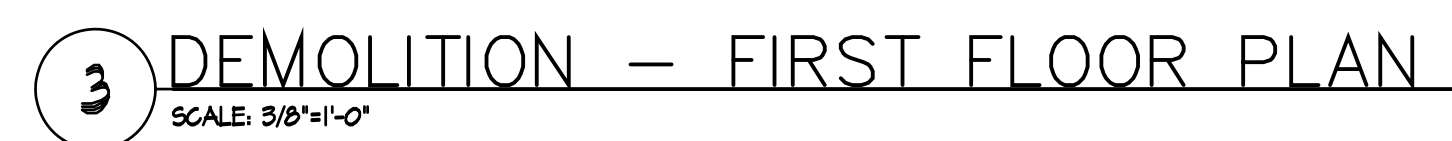
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COVER SHEET

#### REVISIONS

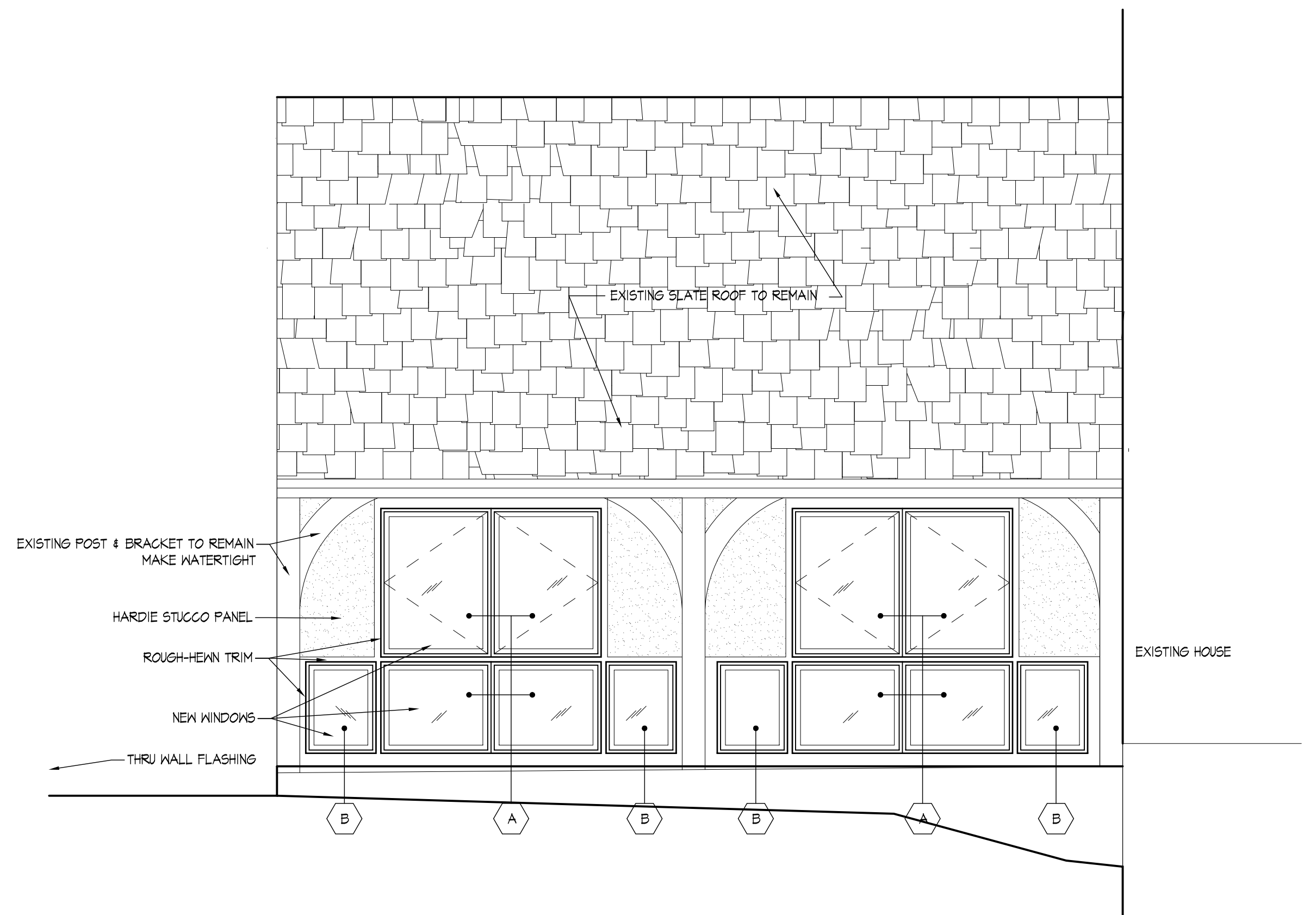
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Dates: 08-15-2019  
Bids:  
Scale:  
AS NOTED  
Project Number  
1915

CS  
OF

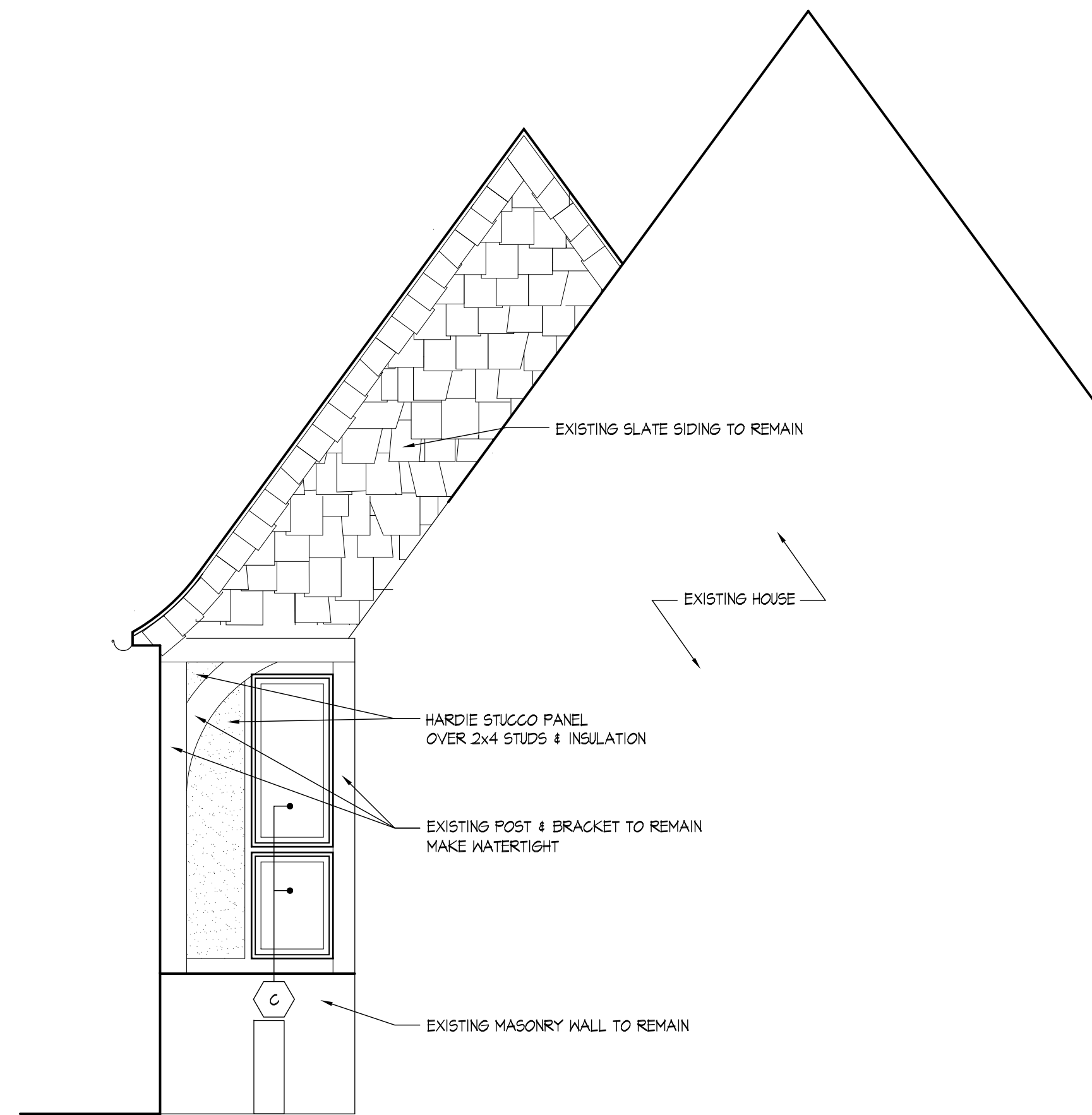




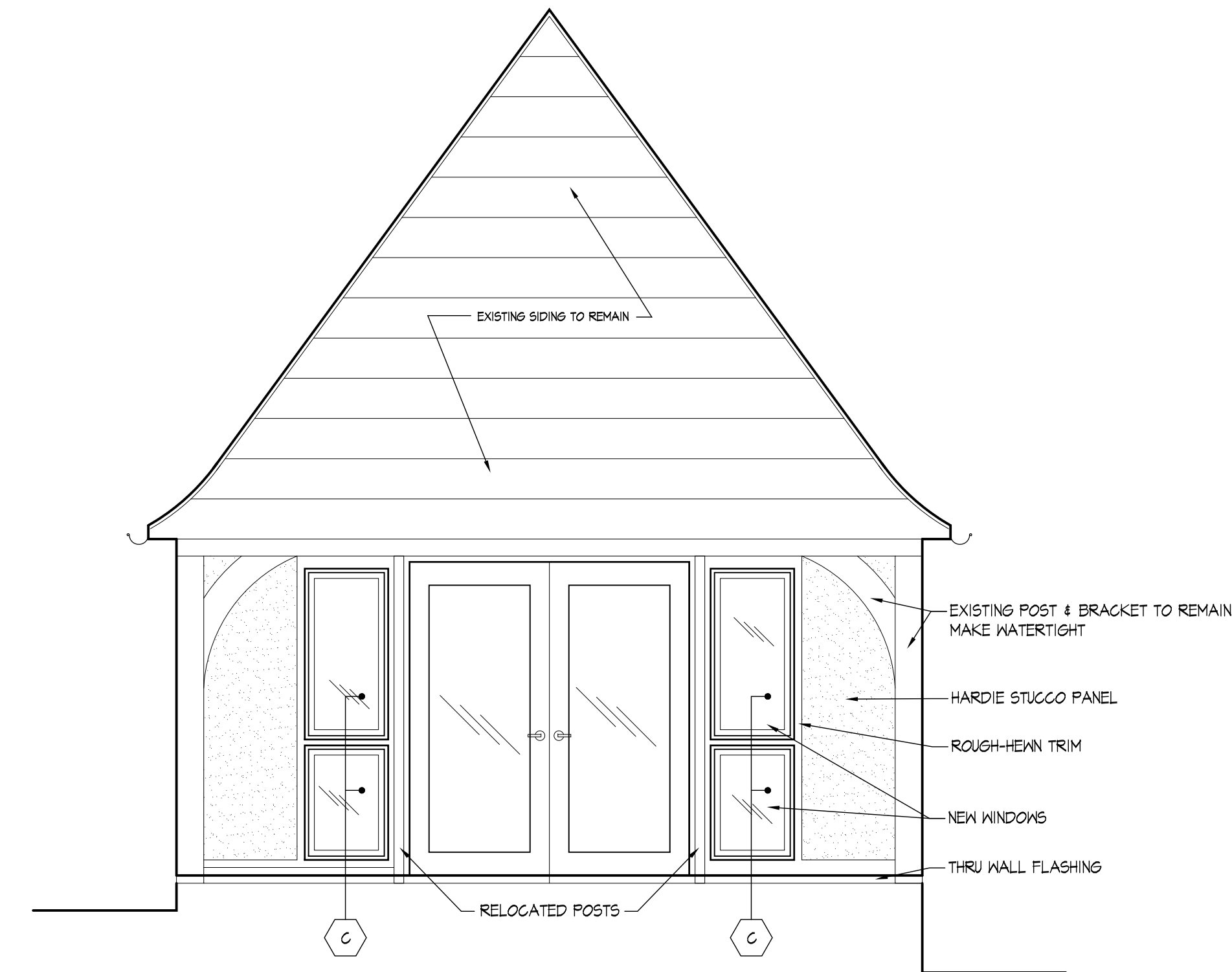




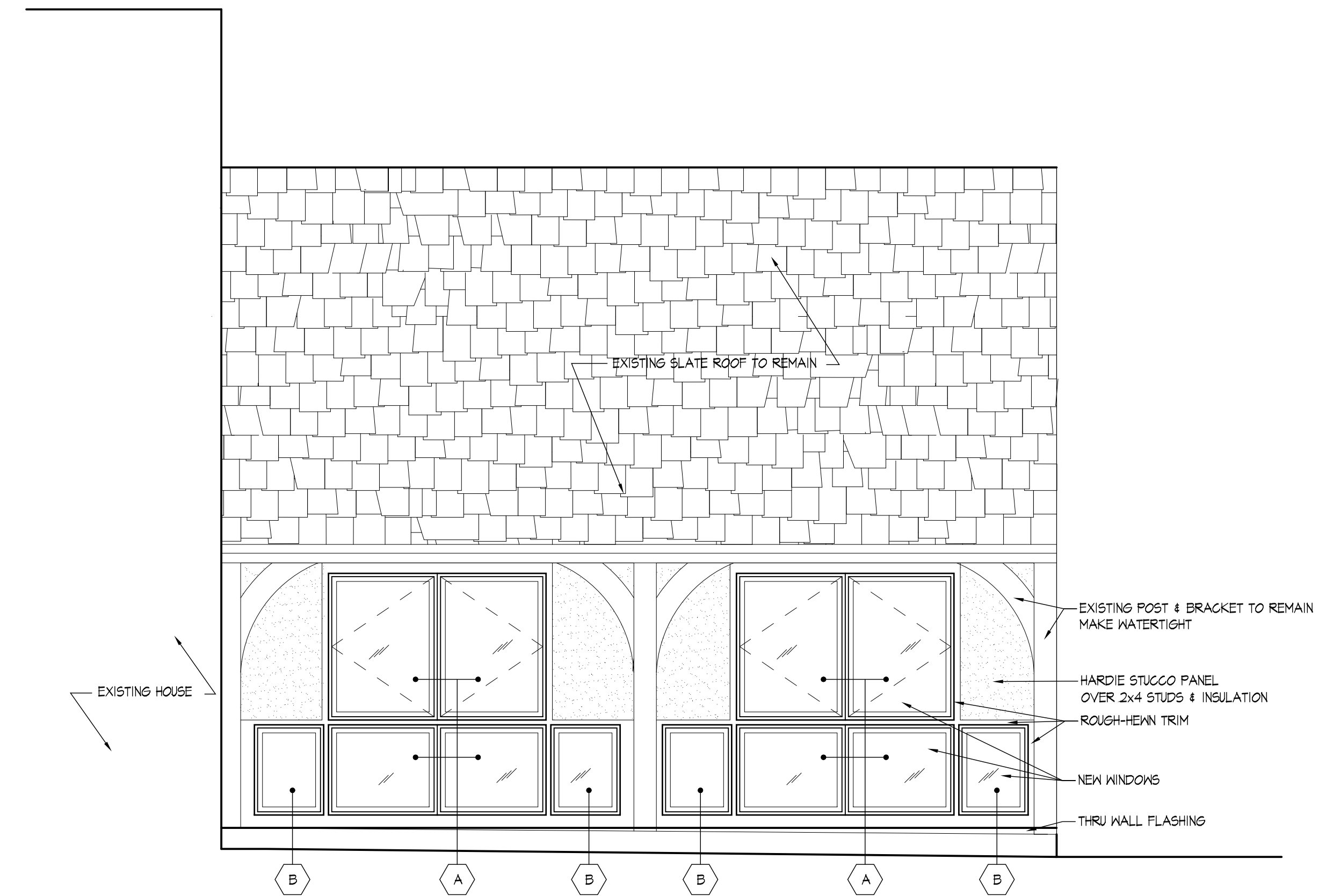
4 EXTERIOR ELEVATION (LOOKING NORTH)  
SCALE: 3/8"=1'-0"



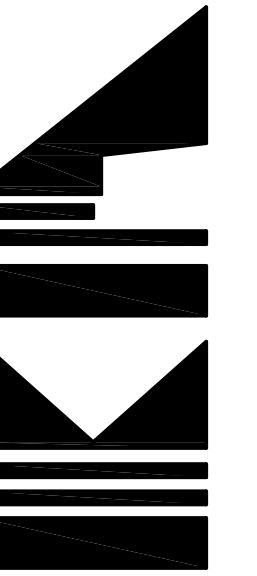
3 EXTERIOR ELEVATION (LOOKING WEST)  
SCALE: 3/8"=1'-0"



2 EXTERIOR ELEVATION (LOOKING EAST)  
SCALE: 3/8"=1'-0"



1 EXTERIOR ELEVATION (LOOKING SOUTH)  
SCALE: 3/8"=1'-0"



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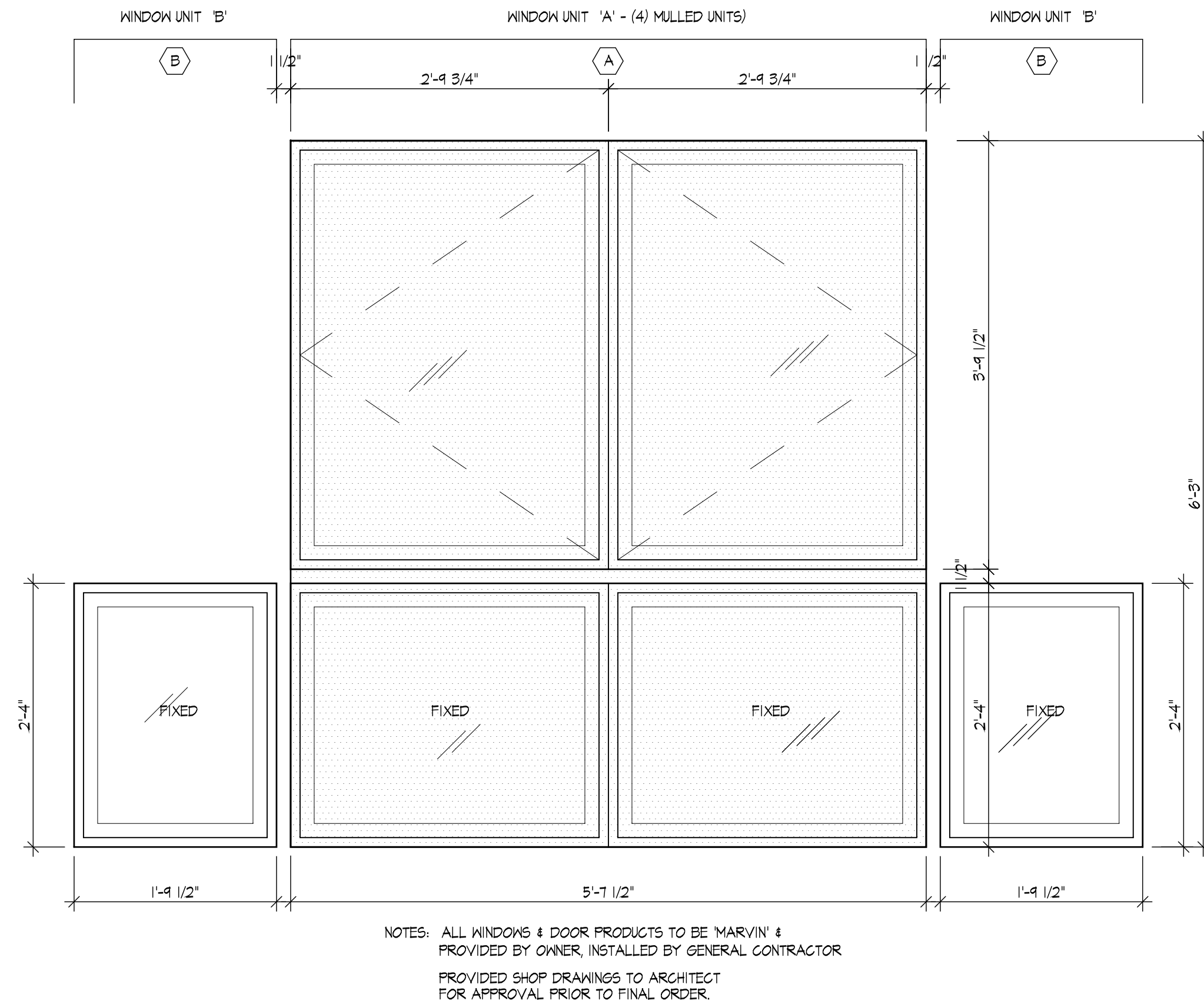
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EXTERIOR ELEVATIONS

REVISIONS

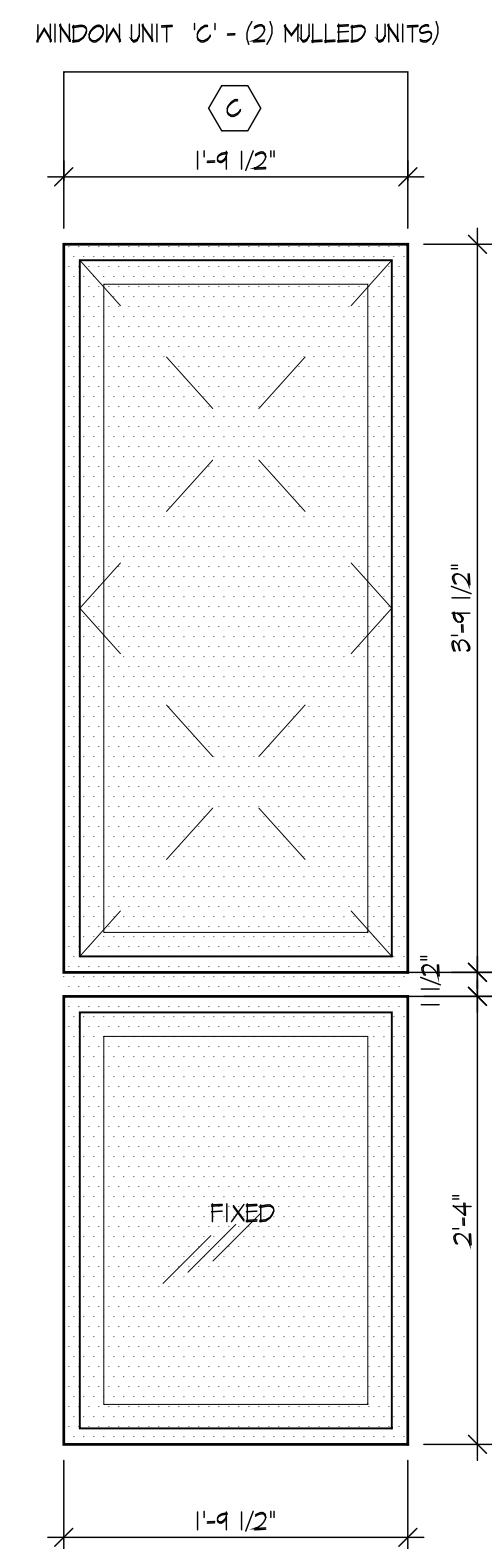
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Dates: 08-15-2019  
Bids:  
Scale:  
AS NOTED  
Project Number  
1915

A-2  
OF

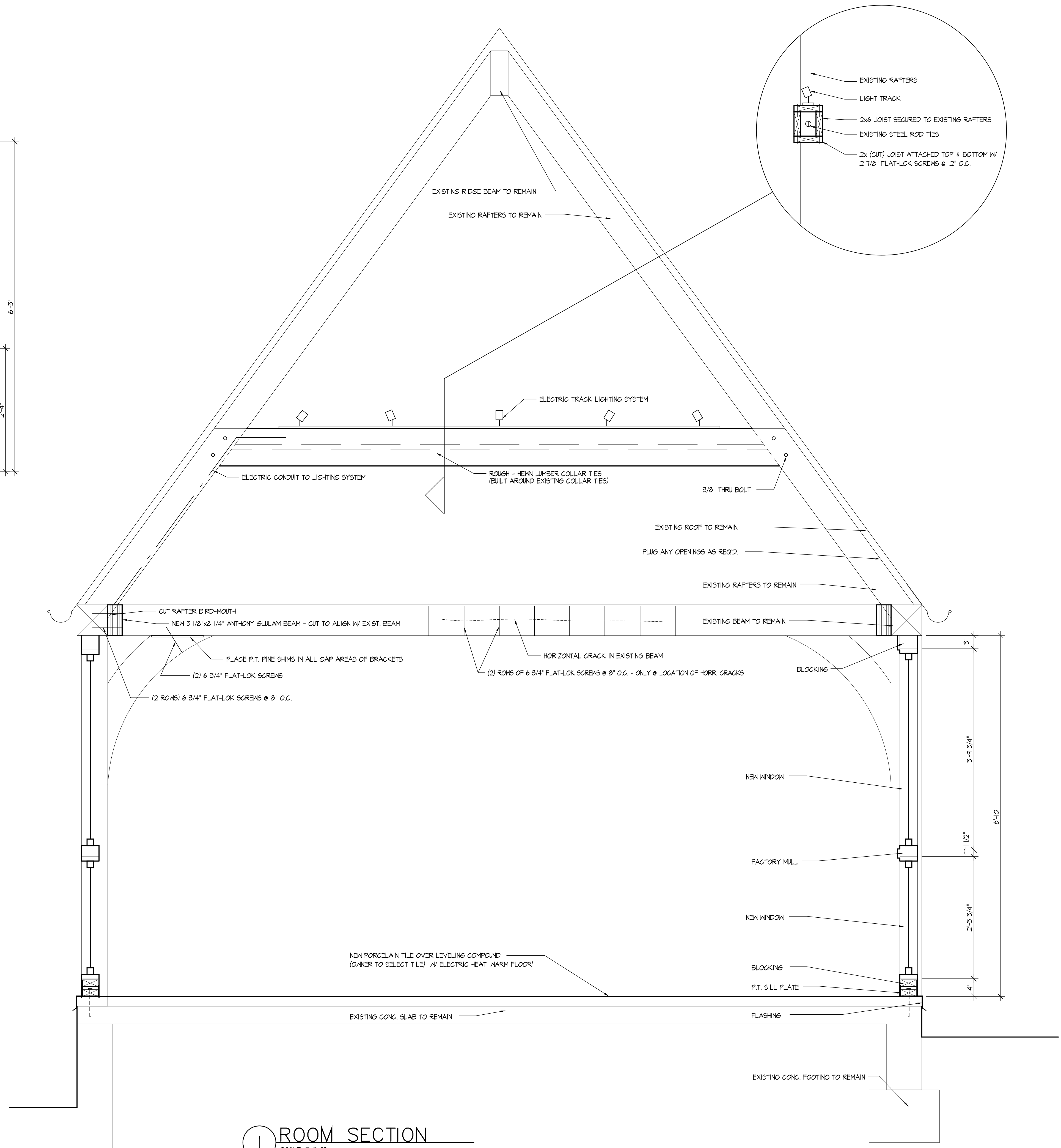




2 TYPICAL WINDOW UNITS 'A' & 'B' ELEVATION  
SCALE: 1"=1'-0"

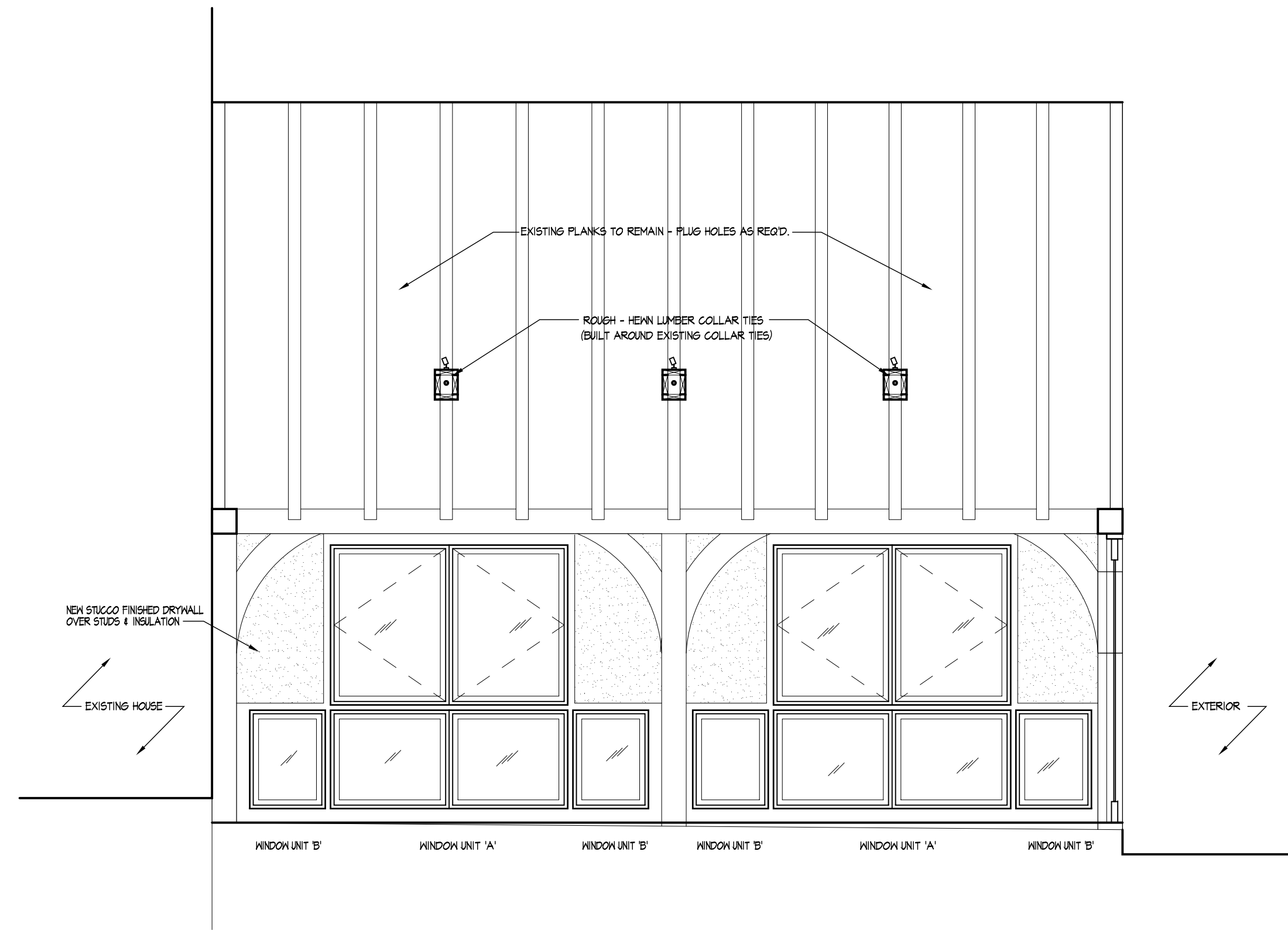


3 TYPICAL WINDOW UNITS 'C' ELEVATION  
SCALE: 1"=1'-0"

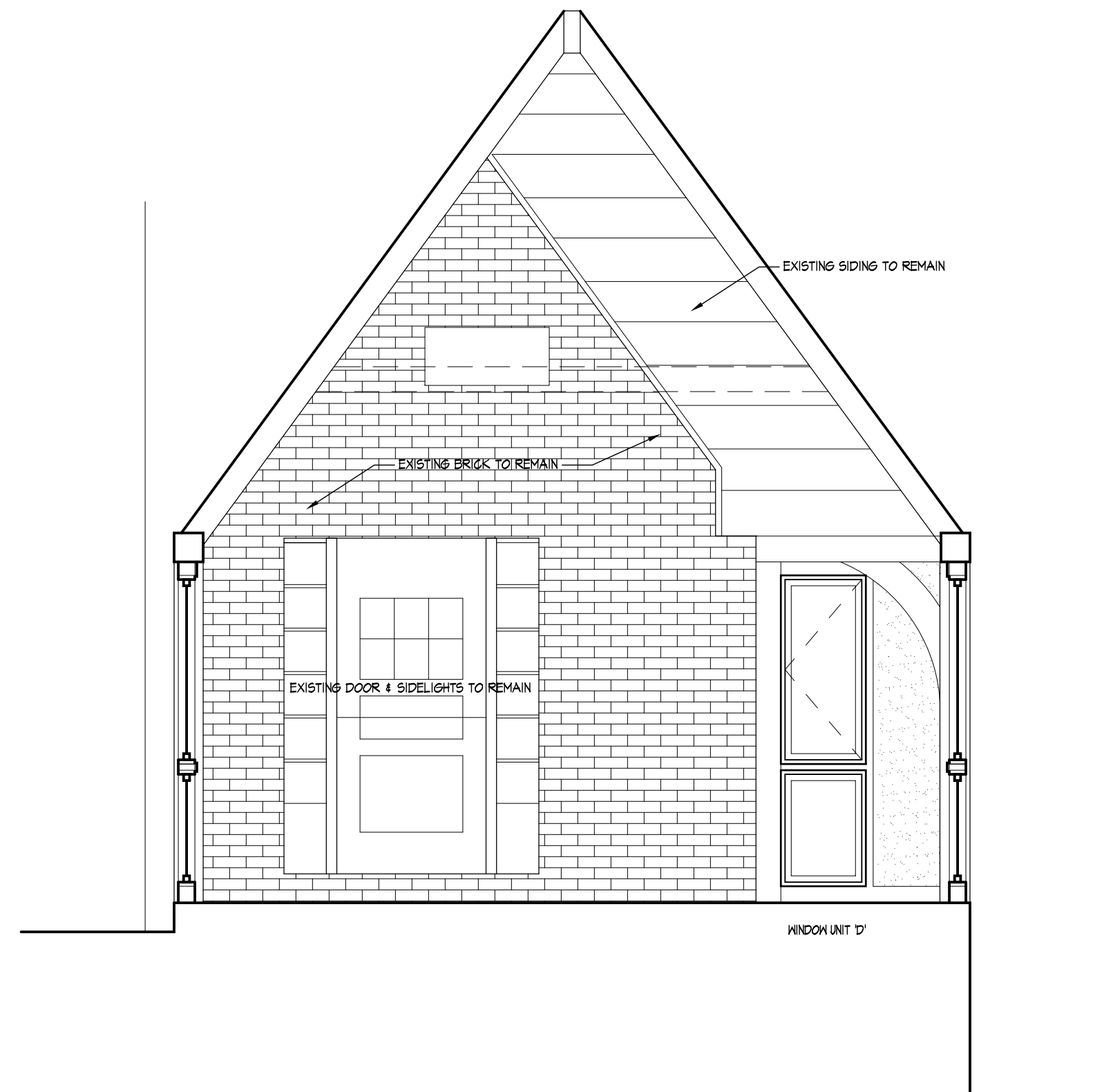


1 ROOM SECTION  
SCALE: 1"=1'-0"

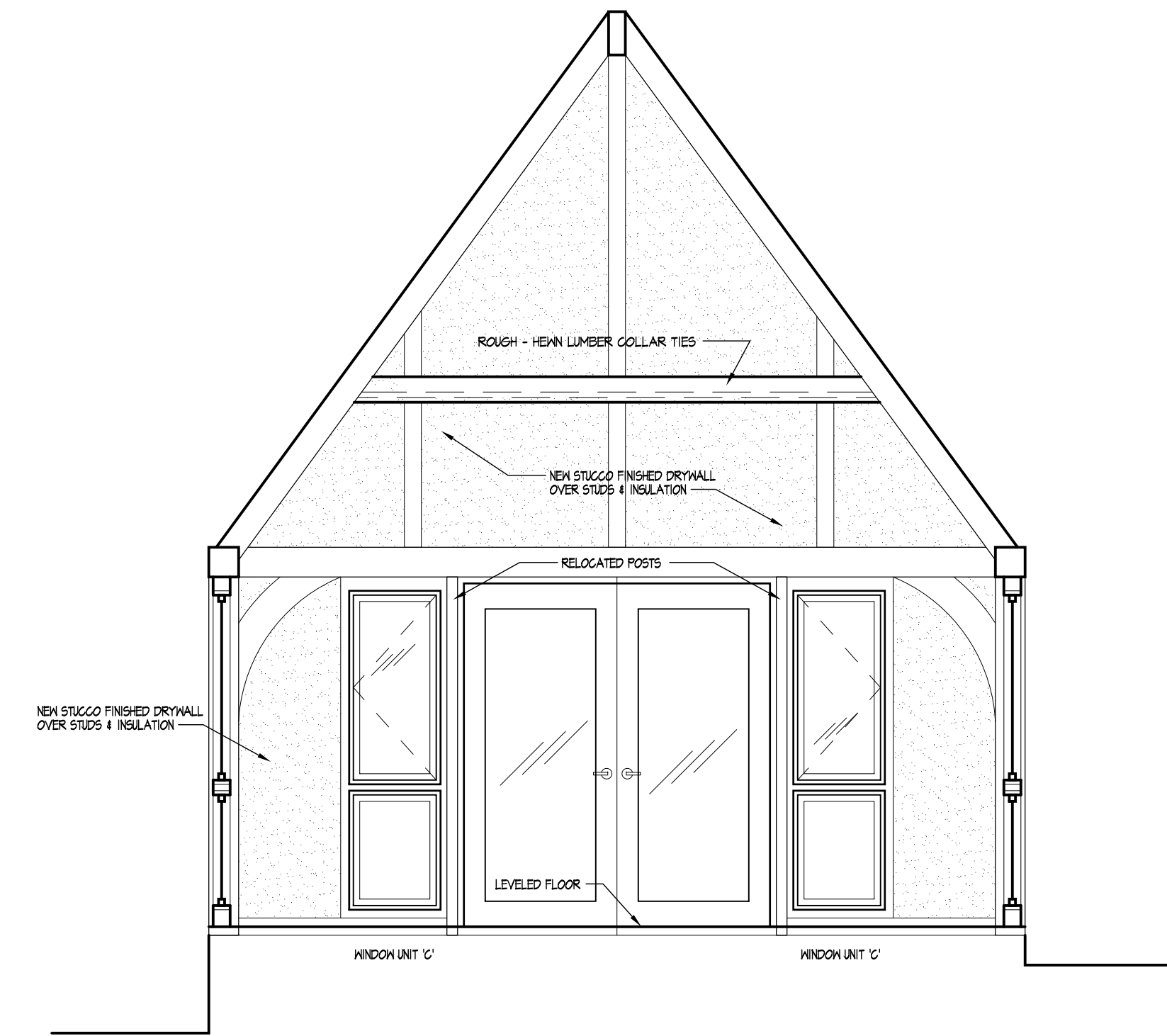




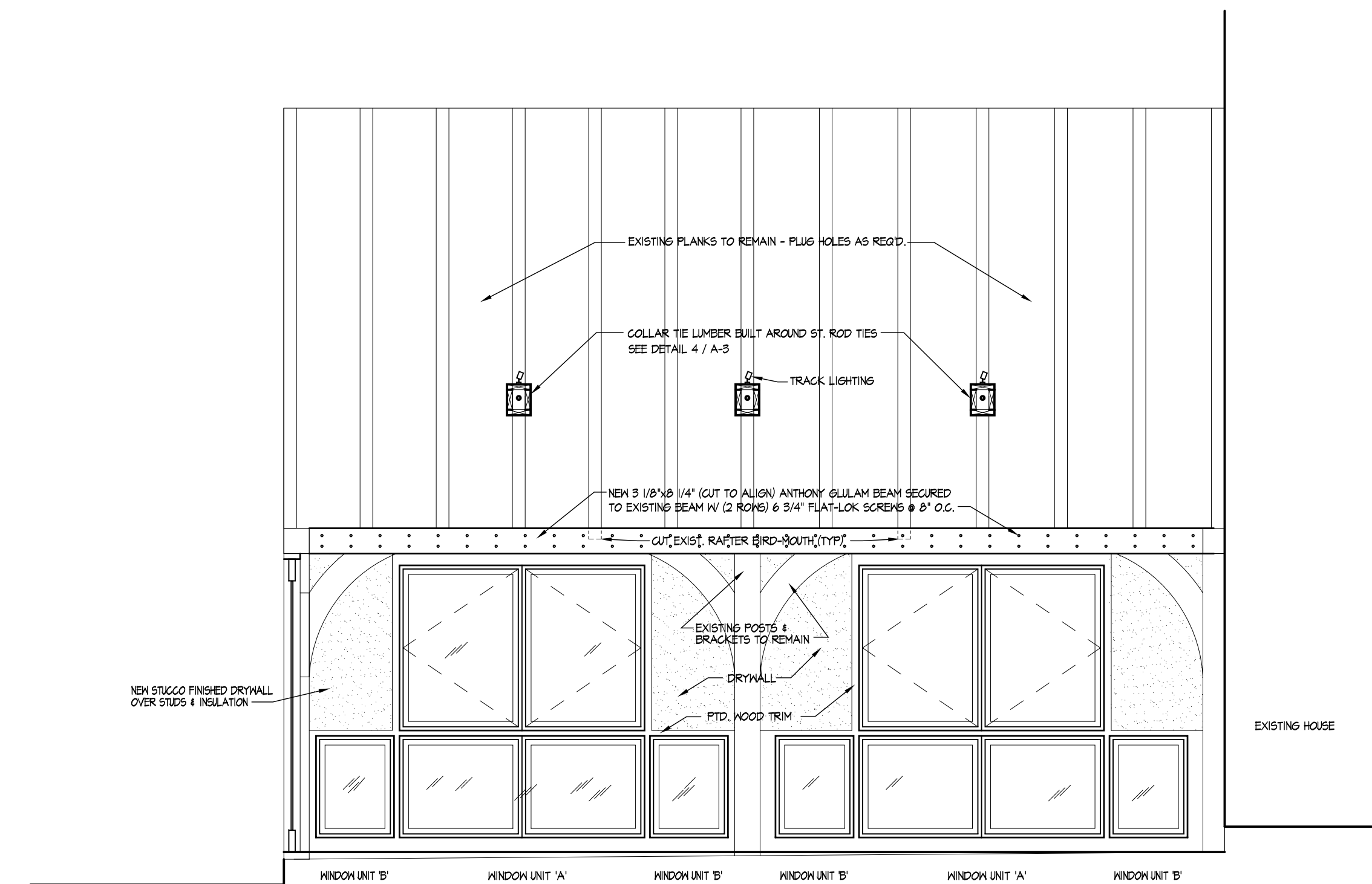
4 INTERIOR ELEVATION (LOOKING NORTH)  
SCALE: 3/8"=1'-0"



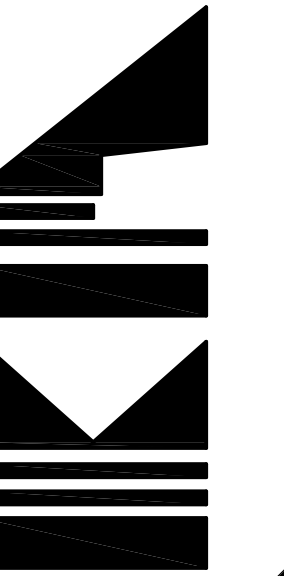
3 INTERIOR ELEVATION (LOOKING WEST)  
SCALE: 3/8"=1'-0"



2 INTERIOR ELEVATION (LOOKING EAST)  
SCALE: 3/8"=1'-0"



1 INTERIOR ELEVATION (LOOKING SOUTH)  
SCALE: 3/8"=1'-0"



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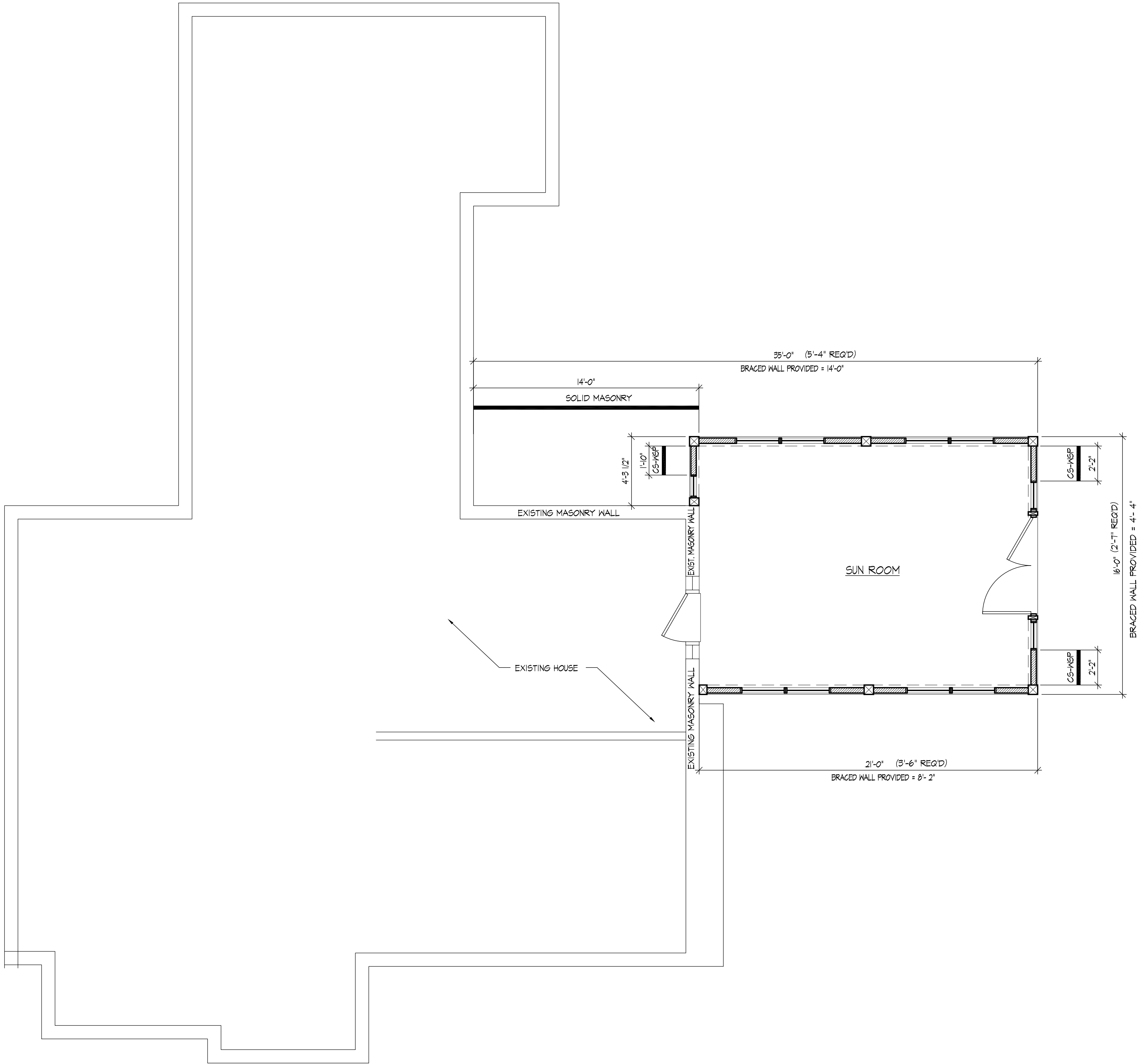
SHEET TITLE:  
INTERIOR ELEVATIONS

REVISIONS

PERMIT SET  
Dates: 08-15-2019  
Bids:  
Scale:  
AS NOTED  
Project Number  
1915

**A-4**  
OF





1 WIND BRACING PLAN  
SCALE: 1/4"=1'-0"



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BETHESDA, MD. 20814

SHEET TITLE:  
WIND BRACING PLAN

REVISIONS

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Dates: 08-15-2019  
Bids:  
Scale:  
AS NOTED  
Project Number  
1915

S-1  
OF



Existing Property Condition Photographs (duplicate as needed)



Detail: Front elevation @ Porch



Detail: Close-up @ Porch

Applicant: 8000 OVERHILL ROAD  
BETHESDA, MD. 20814

Page:\_\_\_



Existing Property Condition Photographs (duplicate as needed)



Detail: Rear Elevation



Detail: Side (Front) Elevation

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Page: \_\_

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