

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7207 Thornapple Place, Chevy Chase	Meeting Date:	9/11/2019
Resource:	Master Plan Site #35/96 (Harper House)	Report Date:	9/4/2019
Applicant:	Thomas Dyszkiewicz (Claude Lapp, Architect)	Public Notice:	8/28/2019
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/96-19A	Staff:	Michael Kyne
PROPOSAL:	Building addition		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #35/96, *Harper House*
 STYLE: Four Square with Victorian Vernacular Detailing
 DATE: c. 1906

Excerpt from *Places from the Past*:

The Harper House demonstrates the persistence of picturesque Victorian-era detailing well into the 20th century. The frame dwelling features late examples of wrap-around porch with chamfered posts and scrolled brackets. The residence has outstanding architectural integrity with original details including louvered shutters, and chamfered porch posts with open brackets. The house is adorned with corner pilasters and features grand picture windows in the south front bays on both first and second levels.

In October 1906, James E. Harper acquired lots 9 and 10 from Louise H. Earll. The house was built in the following months since the property was assessed in 1907 with improvements valued at \$1,800. By 1909, Harper was living in Chevy Chase, according to the Washington directory. A native of South Carolina, he was an auditor for the U.S. Postal Service, and was married to Nelly E. Harper. The Harpers resided at this address for more than 25 years. After 1927, the property was reduced to the northern portion of Lots 9 and 10.

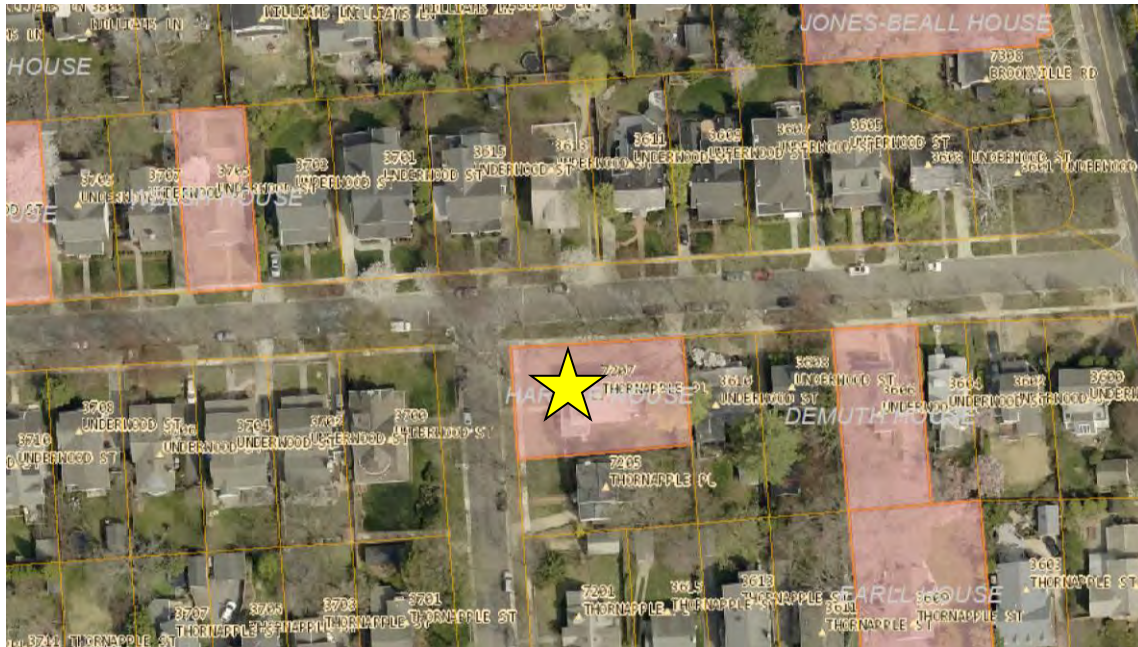


Fig. 1: Subject property marked by yellow star.

BACKGROUND:

The applicant previously appeared before the Commission at the July 10, 2019 HPC meeting for a preliminary consultation.¹

PROPOSAL:

The applicants propose a building addition at the rear of the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction at Master Plan Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

¹ Link to July 10, 2019 HPC meeting recording:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=fa469984-a3ef-11e9-b00b-0050569183fa

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Because the property is a Master Plan Site, the Commission’s focus in reviewing the proposal should be the *Secretary of the Interior’s Standards for Rehabilitation*. The relevant *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The subject property is a c. 1906 Four Square-style house with Victorian vernacular detailing. The house is located on a corner lot, with its front facing Thornapple Place to the west and its left side facing Underwood Street to the north. The house retains outstanding architectural integrity, including a wraparound front porch with chamfered posts and open scrolled brackets.

The applicant previously appeared before the Commission at the July 10, 2019 HPC meeting for a

preliminary consultation for a building addition to the rear of the historic house. As previously proposed, the addition would be separated from the historic house via a hyphen that would be inset 1'-8" from the left (north) side of the historic house and 2' from the right (south) side of the historic house. Beyond the hyphen, the addition would project 1'-8" beyond the left (north) side of the historic house and 3' beyond the right (south) side of the historic house.

At the preliminary consultation, the HPC expressed the following concerns regarding the proposal:

- The proposed addition was too large, and it would detract from the character of the historic house and its environmental setting.
- The 3' projection and stoop on the right side of the proposed addition would detract from the character of the historic house and the original wraparound front porch.
- A previously proposed clad fireplace on the rear elevation of the proposed addition was incompatible with the character of the historic house.

The applicant has revised their application in accordance with the Commission's comments at the July 10, 2019 HPC meeting. Specifically, the applicant has made the following revisions:

- The overall size of the proposed addition has been reduced, going from 679 sf to 611 sf.
- The previously proposed 3' projection and stoop on the right of the proposed addition have been removed from the proposal.
- The previously proposed clad fireplace on the rear elevation of the proposed addition has been removed from the proposal.

Staff supports the applicant's proposal, finding that, in accordance with *Standard #2*, the proposed building addition will not alter or remove character-defining features of the property. In accordance with *Standard #9*, the proposed addition will be differentiated from the historic house by the proposed hyphen and deferential scale and massing, and it will be compatible with the massing, size, scale, and architectural features of the historic house, protecting the historic integrity of the property and its environment. In accordance with *Standard #10*, the proposed addition will be undertaken in a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for *Rehabilitation #2, #9, and #10*.

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP

application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

DPS - #8

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Chris@ccarchitects.com Contact Person: Claude C. Lapp
Daytime Phone No.: (301) 881-6856
Tax Account No.: _____
Name of Property Owner: Thomas Dyszkiewicz Daytime Phone No.: (917) 608-4918
Address: 7207 Thornapple Place Chevy Chase Maryland 20815
Street Number City Street Zip Code
Contractor: Jodi Longo Phone No.: (240) 374-2525
Contractor Registration No.: 92710
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PROJECT

House Number: 7207 Street: Thornapple Place
Town/City: Chevy Chase Nearest Cross Street: Underwood Street
Lot: 9&10 Block: 4 Subdivision: Otterbourne
Liber: 6070 Folio: 55 Parcel: _____

PART ONE: TYPE OF PROJECT/ACT AND USE

1A. CHECK ALL APPLICABLE

☒ Construct ☒ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE

☐ A/C ☒ Stab ☒ Room Addition ☒ Porch ☐ Deck ☐ Shed
☐ Solar ☒ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimate: \$ 400,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of person authorized agent

5/14/19
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 886911 Date Filed: _____ Date Issued: _____

Edt 5/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single family home built in 1903 with a large wraparound front porch. House has original heart pine flooring and wood trim moldings. Materials used on this house are wood siding on the exterior and asphalt shingles on the roof.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New two story addition in the rear of the house with a finished basement underneath. The exterior of the new addition will match the scale & finish of the original house as best as possible.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and features proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For All projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

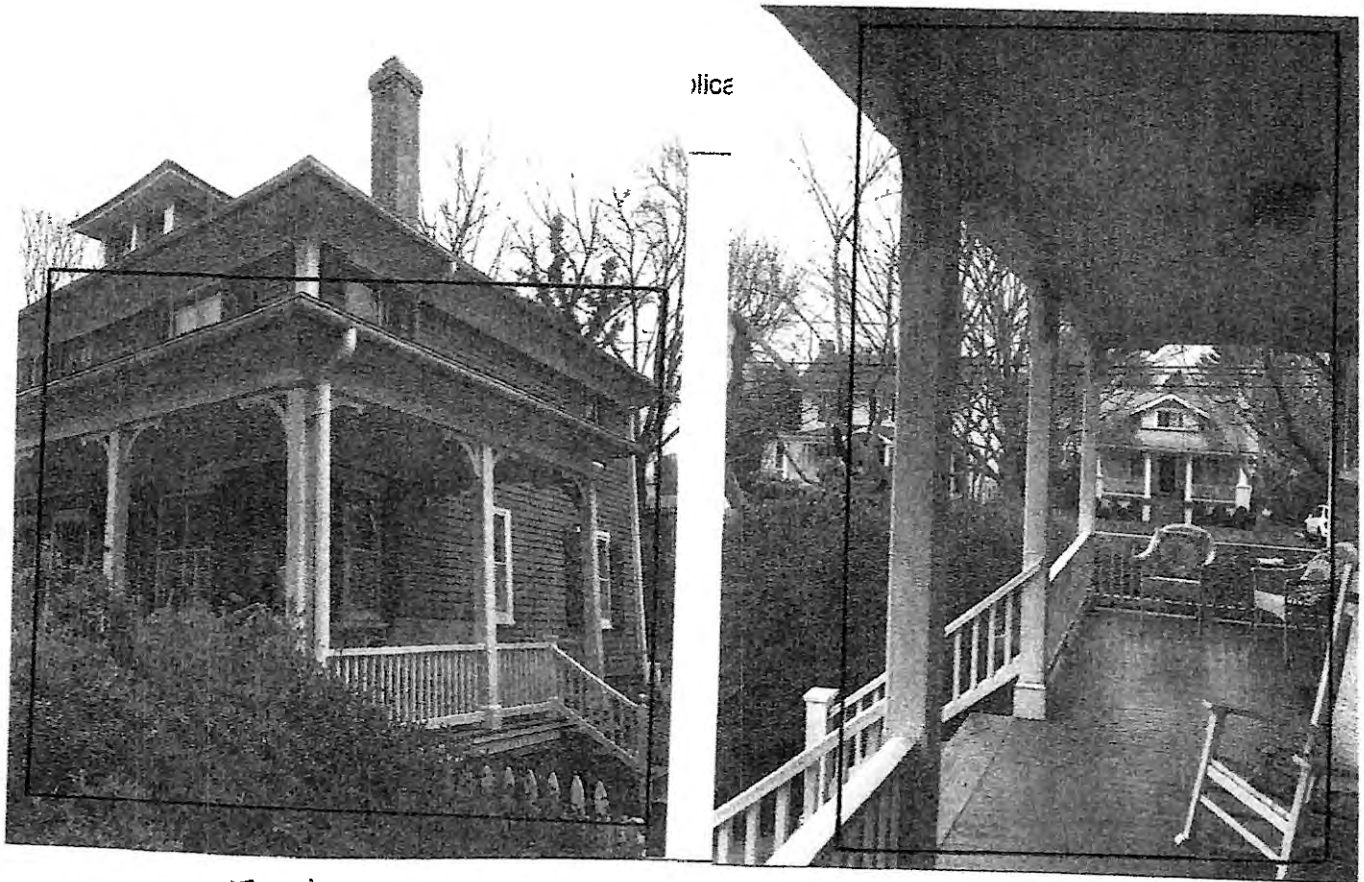
Thomas Dyszkiewicz
7207 Thornapple Place
Chevy Chase, MD 20815

Owner's Agent's mailing address

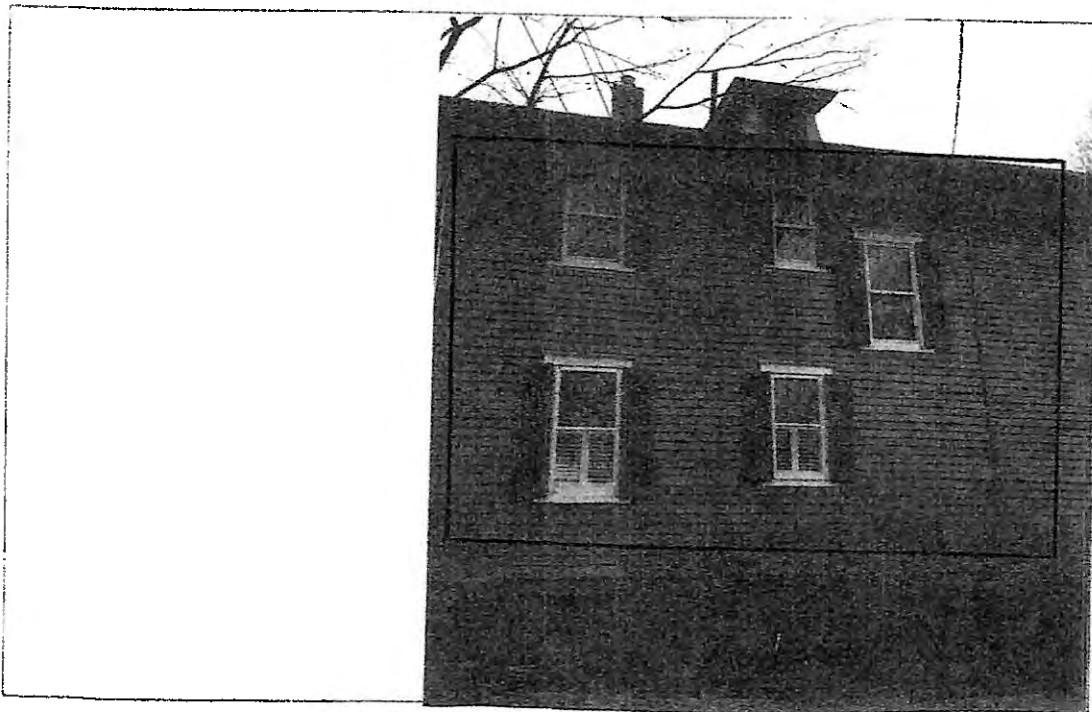
Adjacent and confronting Property Owners mailing addresses

Farooq Thacher
7205 Thornapple Place
Chevy Chase, MD 20815

Daniel Radovsky
3610 Underwood Street
Chevy Chase, MD 20815

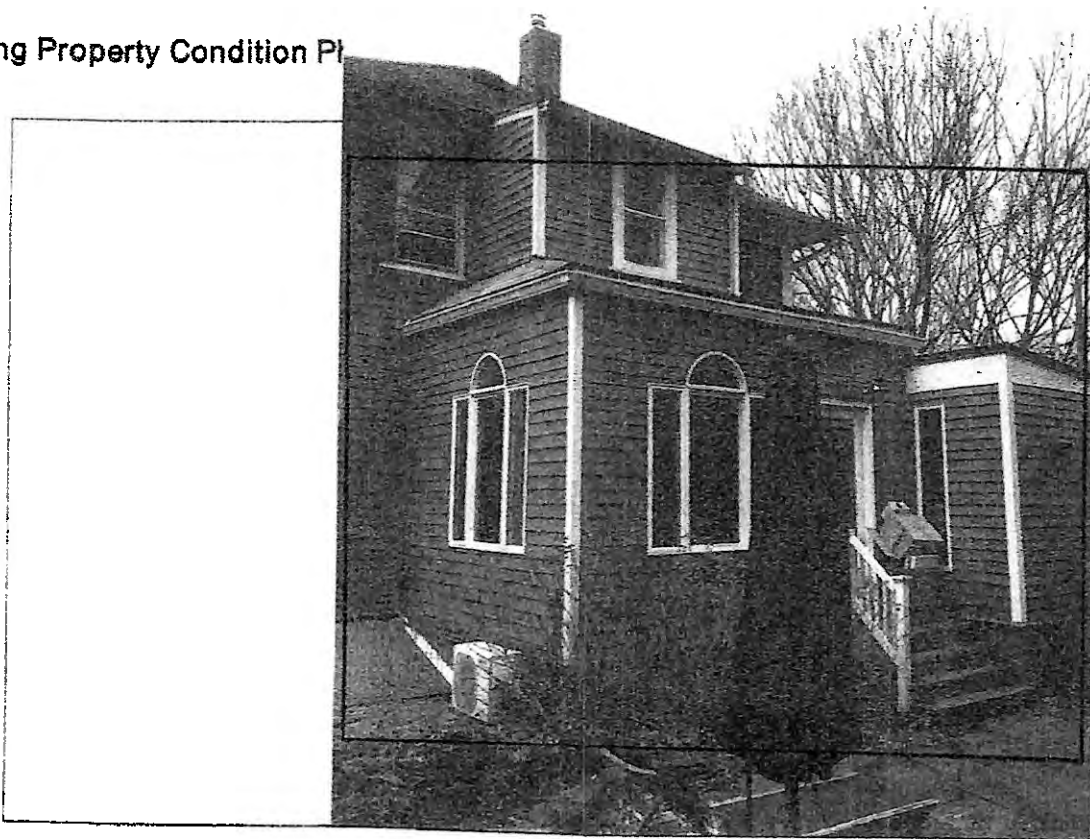


Detail: Existing wraparound front porch made of wood.

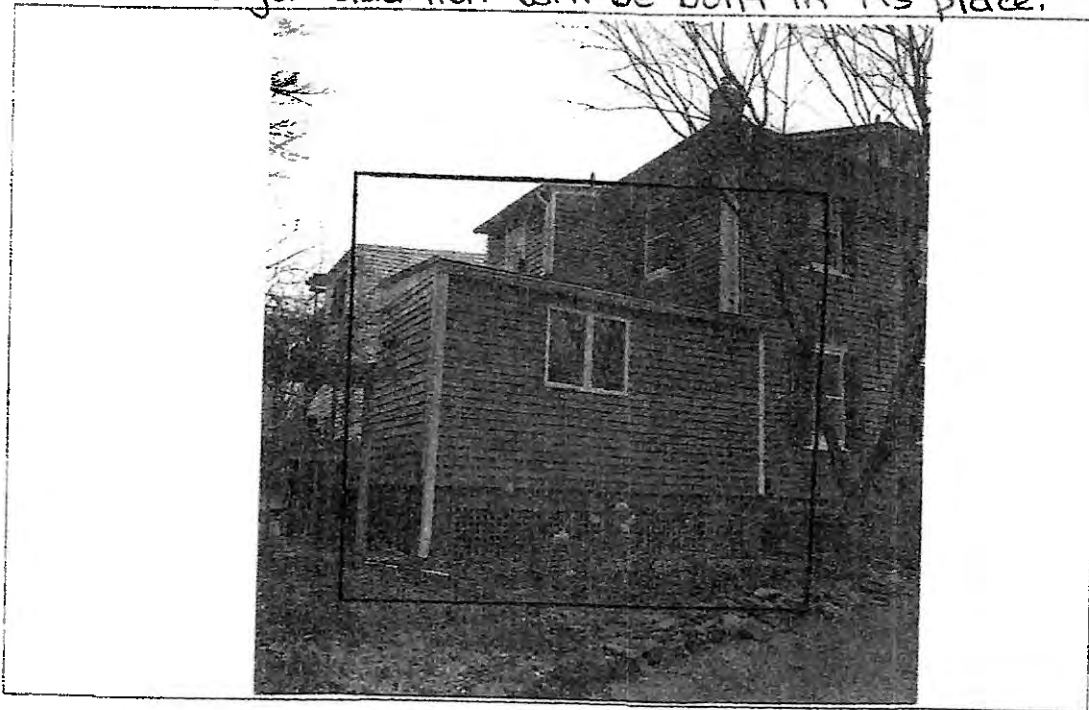


Detail: Existing wood siding & shutters which will be matched on the exterior of the proposed addition.

Existing Property Condition Pl



Detail: Existing portion of house to be removed (rear) and a new larger addition will be built in its place.

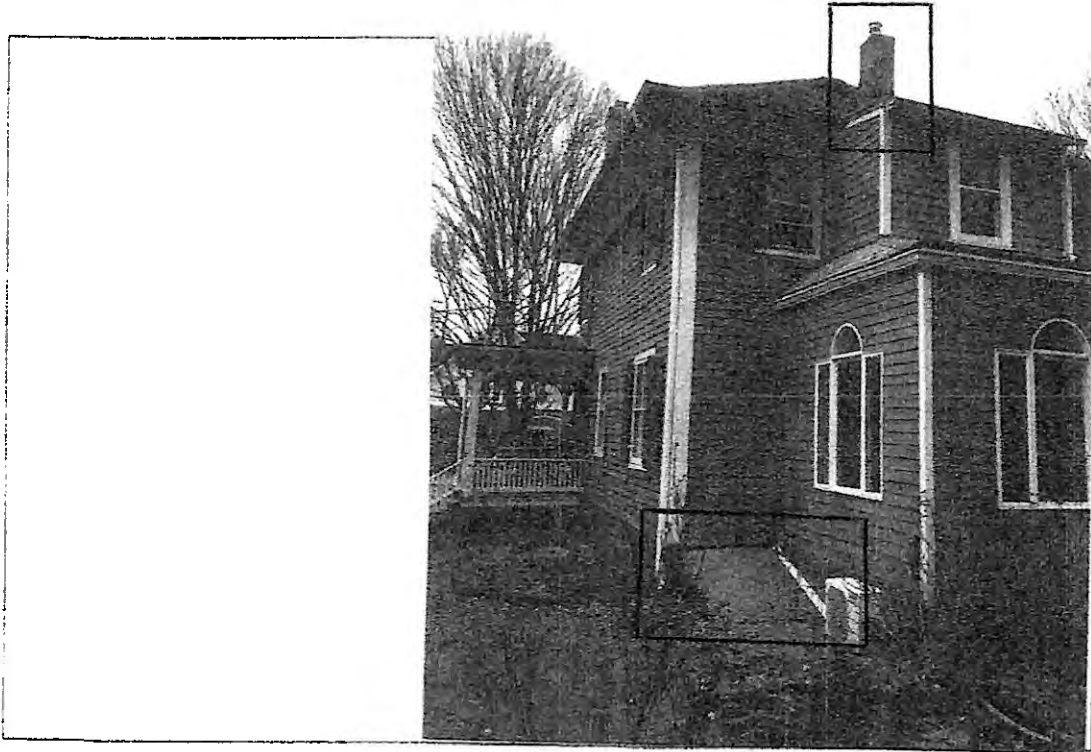


Detail: Existing portion of house to be removed (left) and a new larger addition will be built in its place.

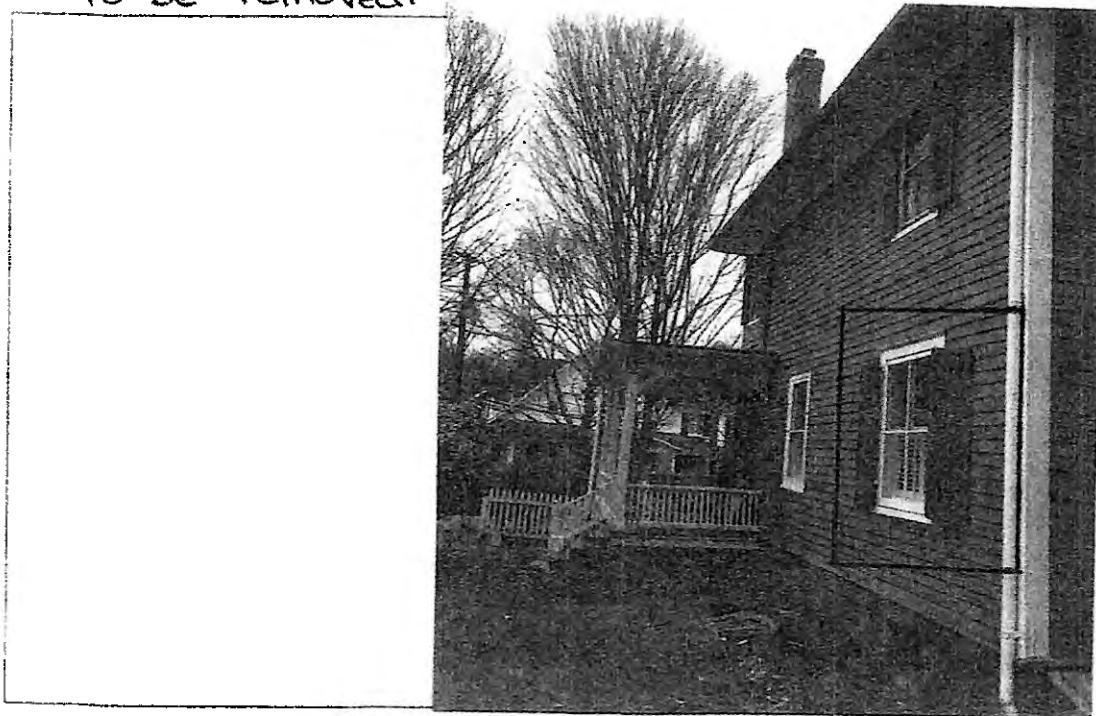
Applicant: _____

Page: ____

Existing Property Condition Photographs (duplicate as needed)



Detail: Existing chimney and existing basement access to be removed.



Detail: Existing window on right side of house to be ~~removed~~ permanently shuttered.

Applicant: _____

Page: ____

JOBSITE LOCATION:
7207 THORNAPPLE PLACE
CHEVY CHASE, MD 20815
DATE: 08-19-2019

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDER- LAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			Weathering	Frost line depth	Termite	Decay					
30	115	B	Severe		Moderate to Heavy	Slight to Moderate	13	Yes	7-2-79	300	55

1) All construction to be in conformance with the 2015 I.R.C., one and two family dwelling code & all MONTGOMERY COUNTY additions and revisions thereto.

2) Design live loads:

- Sleeping room load .. 30 p.s.f.
- Floor load 40 p.s.f.
- Roof load 30 p.s.f.
- Deck load 60 p.s.f.
- Garage load..... 50 p.s.f.

3) Soil bearing to be 2000 p.s.f. minimum. Design for 60 p.s.f. lateral soil pressure

4) Design wind load 115 mph.

5) Bottom of all concrete footings to be 30" minimum below finished grade.

6) Foundation walls shall comply to I.R.C. Sec. R-401, thru 404.

7) Foundation drainage shall comply to I.R.C. Sec. R-405.

8) Foundation waterproofing shall comply to I.R.C. Sec. R-406.

9) Attached Garages shall comply to I.R.C. Sec. R-309.

10) Concrete floors shall comply to I.R.C. Sec. R-506.

11) All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Proches, garages, slobes and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 4000 p.s.i.

12) All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90-70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum.

13) All c.m.u. walls shall have standard truss type DUR-O-WALL bed joint reinforcing at maximum 16" vertical spacing.

14) All brick units used in exterior shall conform to A.S.T.M. C 62 or A.S.T.M. C 216

15) All mortar shall be type "S" conforming to A.S.T.M. C 270.

16) Stone and masonry veneer shall conform to I.R.C. Sec. R-703.7.

17) Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning.

18) Maximum allowable lateral pressure on basement walls 60 p.s.f.

19) All reinforcing steel to be grade 60 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted, Provide corner bars at all wall corners. Submit reinforcing steel shop drawings for approval.

20) Steel post cap plates to conform to A.S.T.M., Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better.

21) Steel columns in basement to be adjustable 3"D. S40 columns unless specified otherwise. structural steel shall meet A.S.T.M.982 standards. All connections to be A.I.S.C. standard.

22) All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better:

CLASSIFICATION	SIZE	BENDING "Fb"	MODULUS OF ELASTICITY "E"
POSTS #1 D.F.		1200	1600000
HEADERS, BEAMS, ROOF HIPS #1 S.P.	2X4	1850	1700000
	2X6	1650	1700000
	2X8	1500	1700000
	2X10	1300	1700000
	2X12	1250	1700000
RAFTERS, JOISTS AND STUDS #2 H.F.	2X4	1000	1500000
	2X6	1000	1500000
	2X8	1000	1500000
	2X10	1000	1500000
	2X12	1000	1500000
Gang-Lam Beams (Fv = 285 PSI)	all	2800	2000000

23) All headers to be 2 - 2" x 12" unless specified otherwise.

24) Provide double jack studs at each end of headers and beams, 4'-0" to 5'-11", and triple jack studs for 6'-0" or longer, unless noted otherwise.

25) Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".

26) All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications.

27) Contractor to provide architect with shop drawings for all roof and floor trusses. Shop drawings to be provided to architect for approval prior to ordering trusses.

28) Provide solid blocking under all jack studs not bearing directly on joists or T.J.I.'s.

29) In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs.

30) Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty-five thousandths (0.045)" thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails.

31) Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.

32) Unless specified otherwise provide the following lintel over masonry openings:

BRICK & STONE: UP TO 4"	3'-0"	3 1/2" x 3 1/2" x 1/4"
	5'-0"	3 1/2" x 4" x 1/4"
	8'-0"	3 1/2" x 5" x 5/16"
	9'-0"	3 1/2" x 6" x 5/16"
STONE: UP TO 6"	3'-0"	6" x 4" x 5/16"
	5'-0"	6" x 6" x 5/16"
	8'-0"	6" x 6" x 3/8"
	9'-0"	6" x 8" x 7/16"

33) All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated.

34) All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications.

35) Chimney and fireplace construction to be in accordance with I.R.C. Chapter 10 and fig. R-1001.1.

36) Fireplace hearth to project 20" from front of facing and 12" to side of opening.

37) Firestopping shall be provided according to I.R.C. Sec. R - 602.8. The integrity of all firestopping shall be maintained.

38) Draftstopping shall be provided according to I.R.C. Sec. R - 302.12.

39) Provide radon mitigation according to I.R.C. - Appendix F.

40) Provide interconnected smoke detectors, carbon monoxide detectors to protect all floors, bedrooms, and basements according to I.R.C. Sec. R-313 & R-314.

41) Stairways shall comply with I.R.C. Sec. R-311. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 10". Maximum riser to be 7 3/4".

42) Handrails & guardrails shall comply to I.R.C. Sec. R-311 & 312.

43) All exits shall comply to I.R.C. Sec. R-311.

44) Sleeping room windows shall comply with I.R.C. Sec. R-310 Maximum sill height 44" above finished floor.

45) All Glazing shall comply to I.R.C. Sec. R-308.

46) All Ceiling heights shall comply to I.R.C. Sec. R-305.

47) All exterior wall coverings shall comply to I.R.C. Sec. R-703.

48) All gas piping shall conform to N.F.P.A. 54 or 2011 IFGC.

49) Electrical wiring must conform to the latest 2014 National Electrical Code and County Requirements.

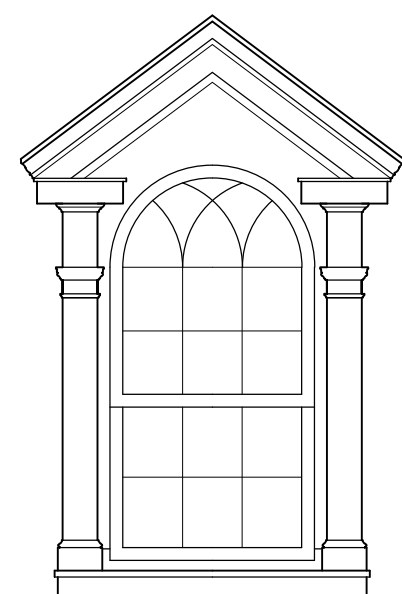
50) Steel joists to be accordance with S.J.I. specifications. Provide angle bridging top and bottom per S.J.I. . Submit shop drawings for approval.

51) Steel deck shall conform to S.J.I. specifications.

Note: Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joists at framing inspection.

Note: Trusses shall be braced per. manufacturers recommendations.

INDEX	
000	COVER SHEET
Z100	SITE PLAN
D100	DEMOLITION PLANS
A100	UNDERPINNING & BASEMENT FLOOR PLANS
A101	FIRST & SECOND FLOOR PLANS
A102	ROOF PLAN
A200	FRONT & RIGHT ELEVATIONS
A201	REAR & LEFT ELEVATIONS
A300	SECTIONS A & B
A301	SECTION C & D; UNDERPIN NOTES & DETAILS
A302	DETAILS
A400	WIND BRACING DETAILS
S100	FIRST & SECOND FLOOR FRAMING PLANS
S101	ROOF FRAMING PLAN
S110	BEAM CALCULATIONS
S200	STRUCTURAL PANEL ANALYSIS
S201	STRUCTURAL PANEL ANALYSIS



CLAUDE C. LAPP
— ARCHITECTS, LLC —

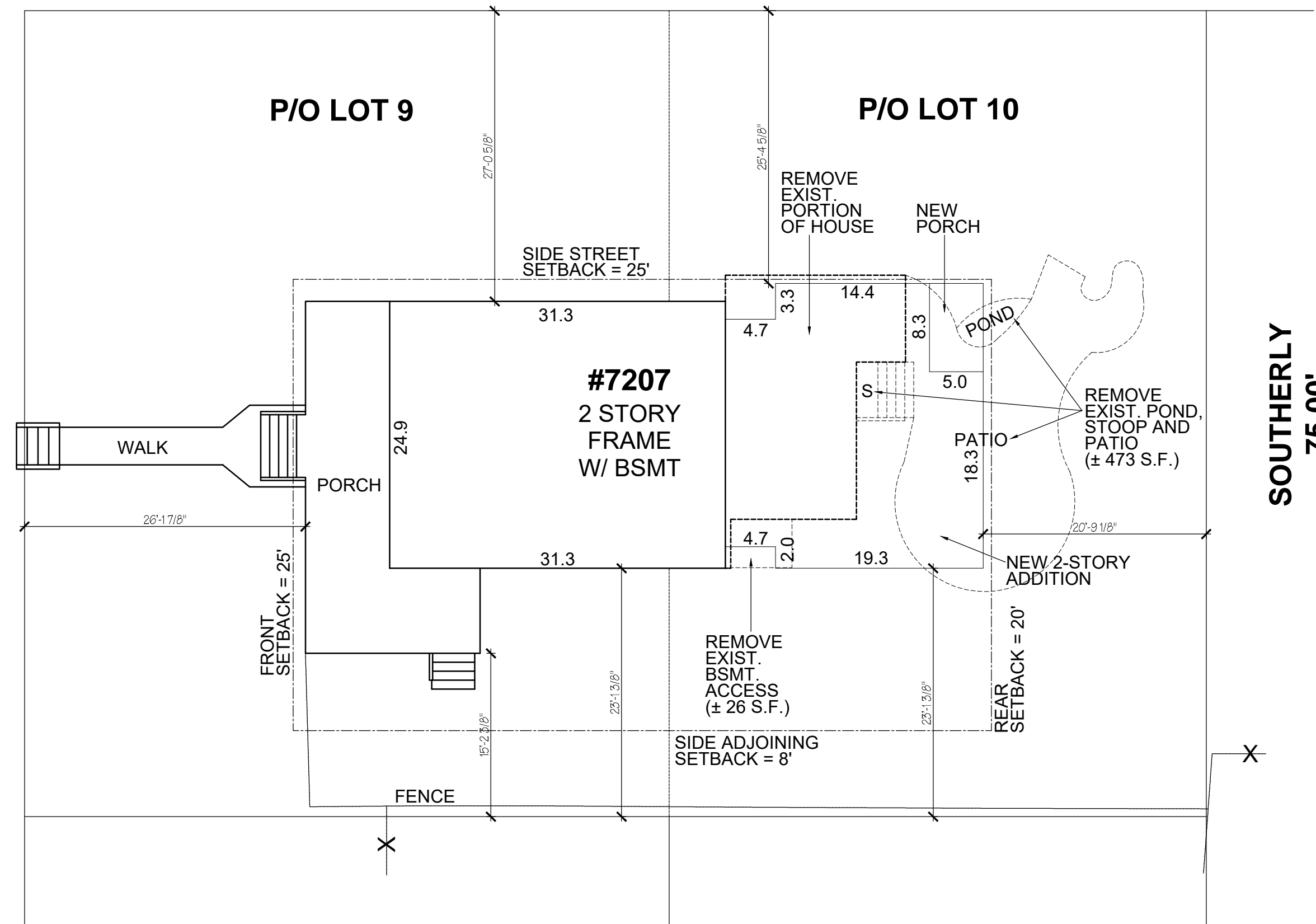
**11820 PARKLAWN DRIVE, SUITE 100
ROCKVILLE, MD 20852
TEL. 301-881-6856
WWW.CCLARCHITECTS.COM
INFO@CCLARCHITECTS.COM**

[illegible]

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE 7603-R, EXPIRATION DATE 04-26-2019



EASTERLY
110.00'



NEW BSMT FL. = 519 S.F.
NEW 1ST FL. = 570 S.F.
NEW PORCH = 41 S.F.
NEW 2ND FL. = 611 S.F.

LOCATION DRAWING OF:
7207 THORNAPPLE PLACE
P/O LOTS: 9 & 10 BLOCK: 4
OTTERBOURNE
PLAT NO. 1
LIBER: 6070 FOLIO: 55
MONTGOMERY COUNTY, MARYLAND

SCALE: 1" = 10'
DATE: 05-09-2019

VERIFY SETBACKS PRIOR
TO START OF CONSTRUCTION

[illegible]

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



1820 PARKLAWN DRIVE
SUITE 100
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T-(301) 881-6856
INFO@CCLARCHITECTS.COM
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MR. & MRS. THOMAS DYSKIEWICZ
7207 THORNAPPLE PLACE, CHEVY CHASE, MD 20815
TEL: (240) 832-8769

MODEL CUSTOM HOME RENOVATION & ADDITION

SITE PLAN

DRAWN BY
JRS
CHECKED BY
CCL
PAGE 2 OF 19

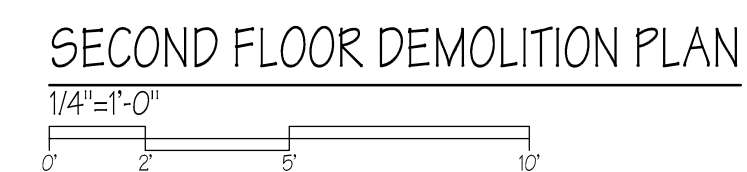
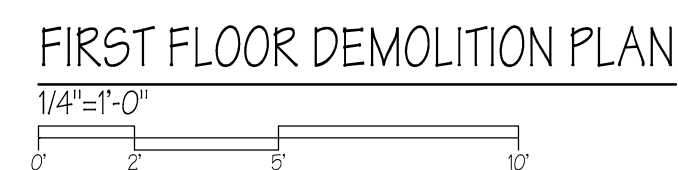
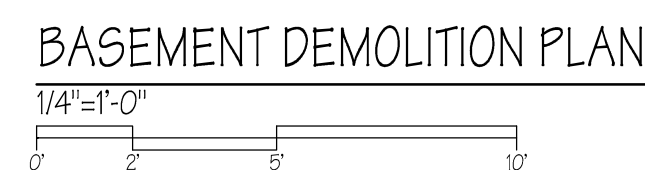
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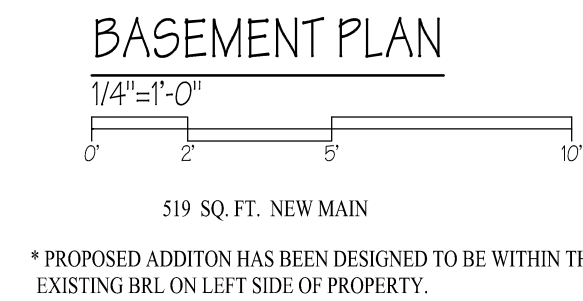
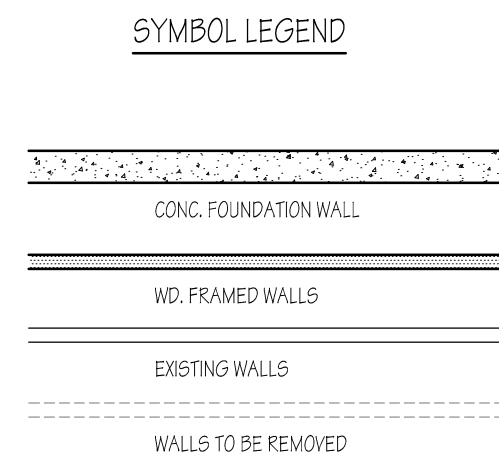


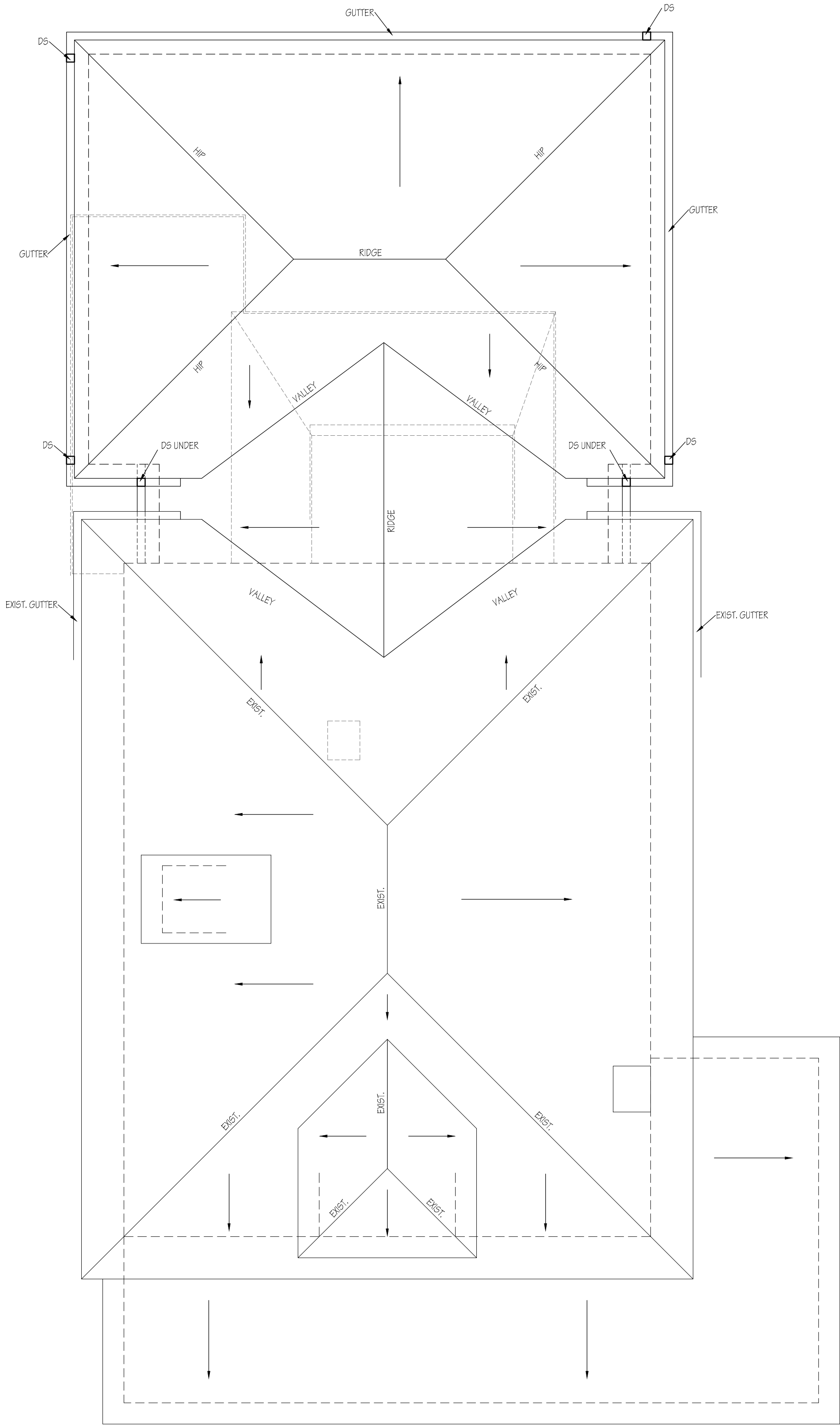
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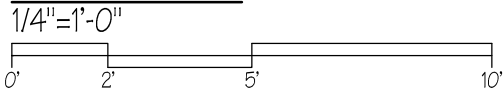
MODEL
CUSTOM HOME RENOVATION & ADDITION
DEMOLITION PLANS

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ROOF PLAN



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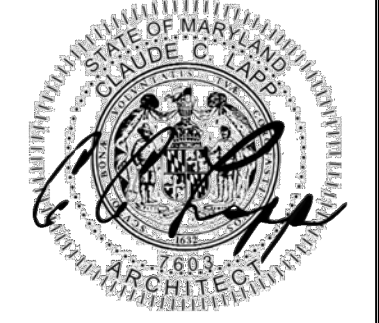
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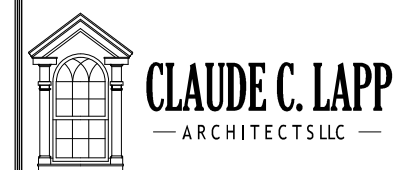
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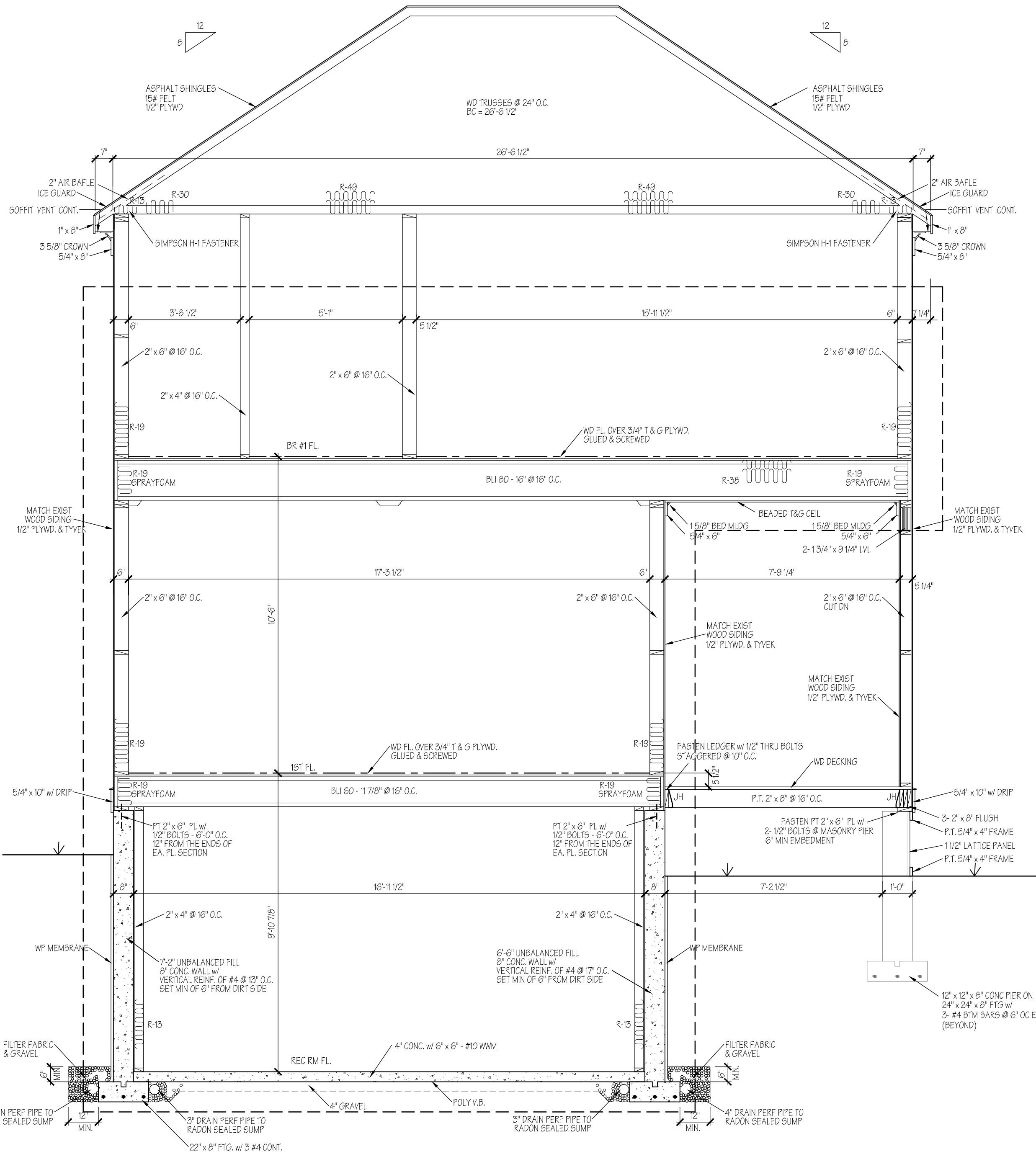
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MODEL
CUSTOM HOME RENOVATION & ADDITION
DRAWING TITLE
REAR & LEFT ELEVATIONS

DRAWN BY JRS	DATE 08-19-19	SHEET NO. A201
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PAGE 8 OF 19		

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SECTION
3/8"=1'-0"

SCALE: 3/4"=1'-0"

Technical drawing of a crown cross-section. Dimensions include a length of 7 1/4", a height of 2 3/4", a top flange of 2" x 8", a bottom flange of 1" x 8", and a dovetail width (D.W.) of 1/2". The central part is labeled "CROWN".

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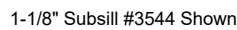
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MODEL
CUSTOM HOME RENOVATION & ADDITION
DRAWING TITLE
SECTIONS A & B

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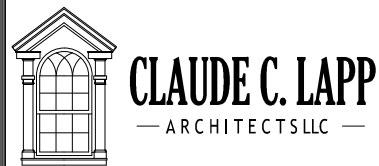
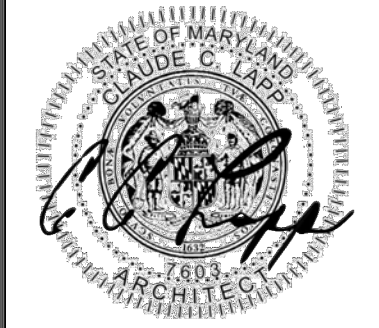
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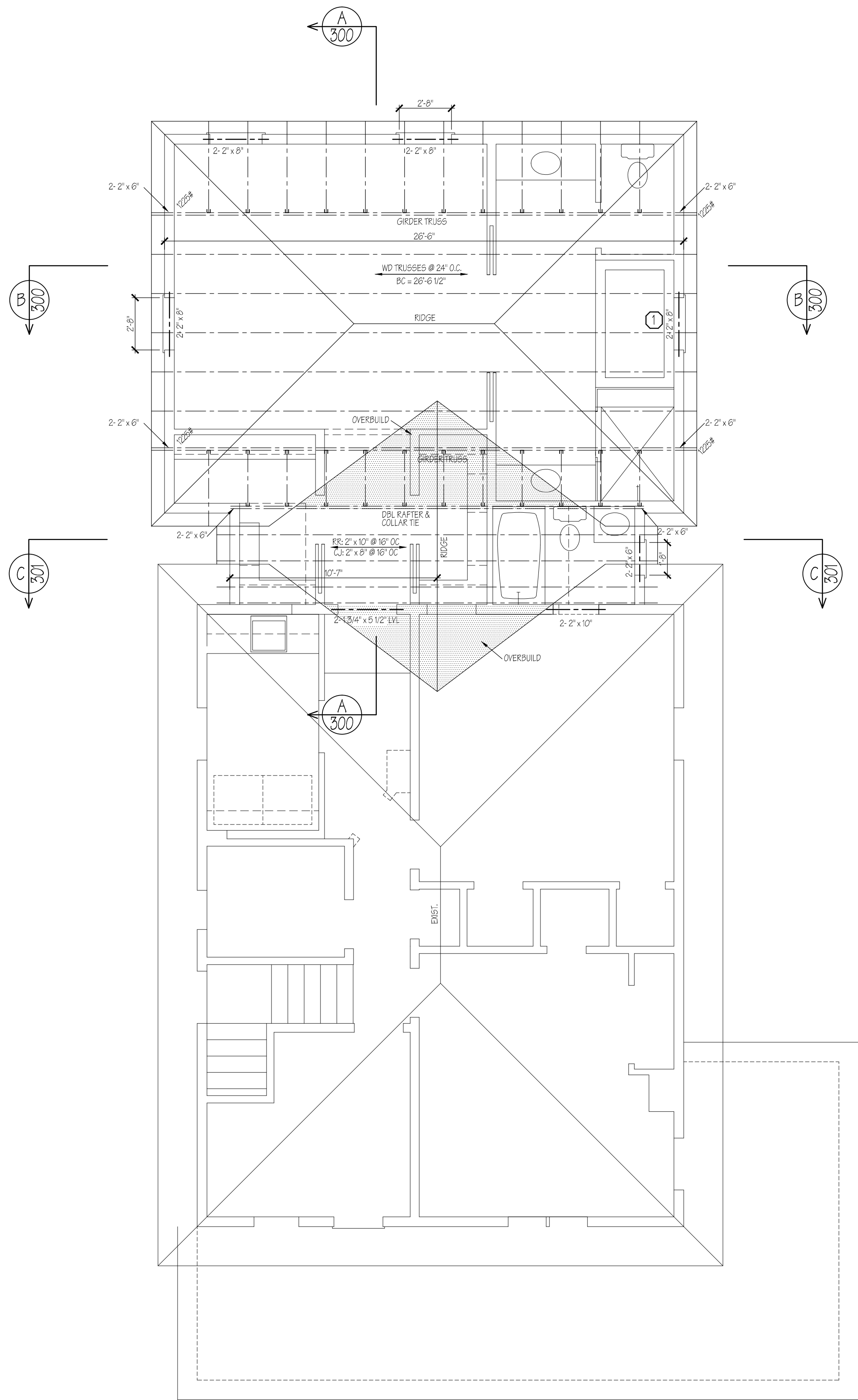
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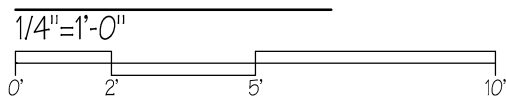
MODEL: CUSTOM HOME RENOVATION & ADDITION

DRAWING TITLE: DETAILS

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ROOF FRAMING



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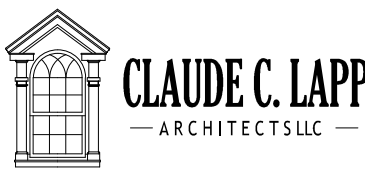
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CHECKED BY: CCL	PAGE: 11 OF 19	5101

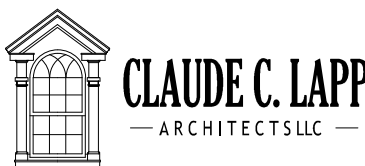
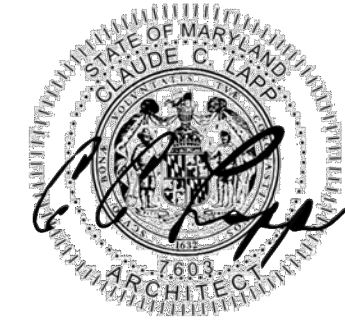
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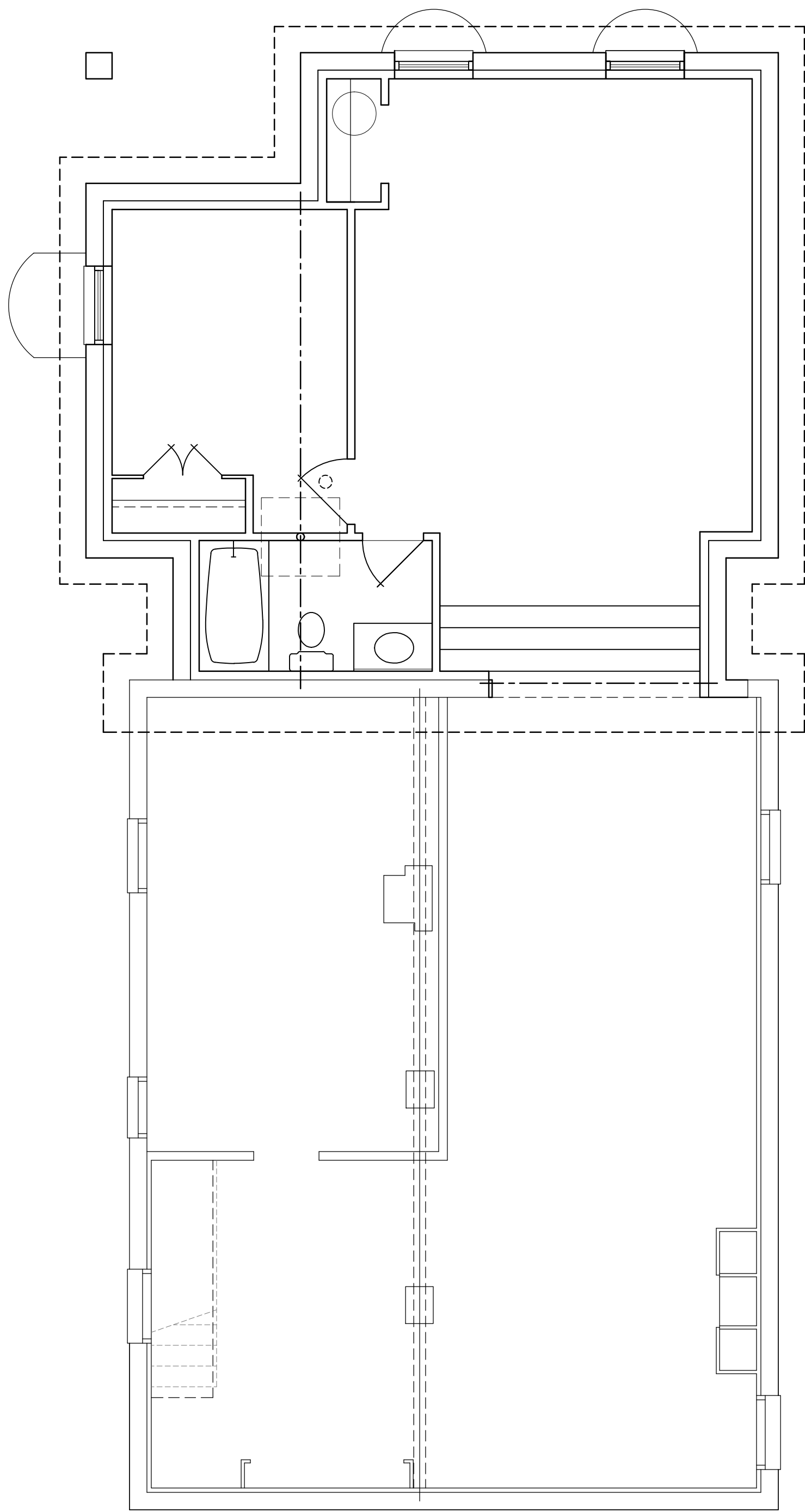
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MODEL	CUSTOM HOME RENOVATION & ADDITION
DRAWING TITLE	STRUCTURAL PANEL ANALYSIS

SHEET NO.
S201



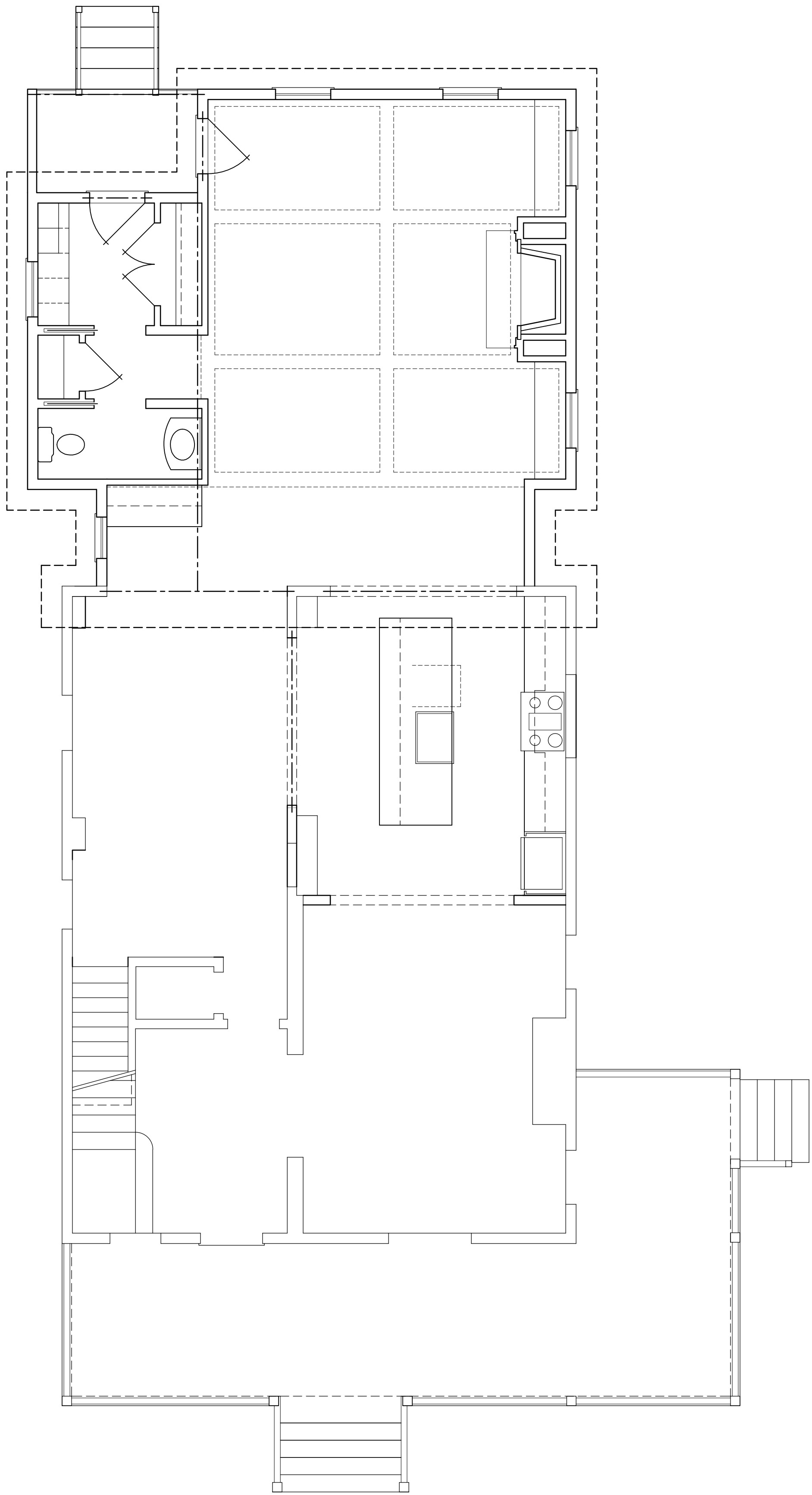
BASEMENT PLAN

1/4"=1'-0"

LEGENDS

- LINE OF BUILDING THERMAL ENVELOPE
- CELL THERMAL AREA R-49
- CELL THERMAL AREA R-30
- THERMAL AREA OVER UNCONDITIONED SPACE
- THERMAL AREA OVER OUTSIDE AIR

- NOTES
1. ALL DUCTS TO BE INSUL W/ MINIMUM R-6; R-8 IN ATTICS
 2. ALL DUCTS TO BE SEALED PER IRC M601.4.1



FIRST FLOOR PLAN

1/4"=1'-0"

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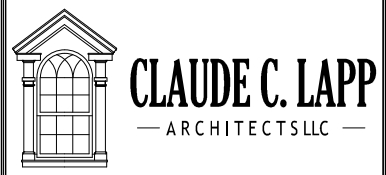
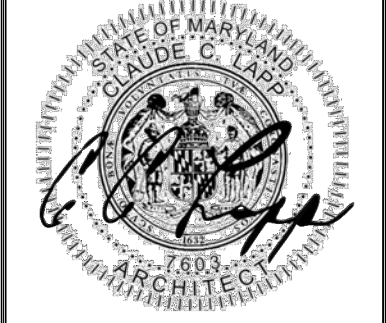
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MODEL: CUSTOM HOME RENOVATION & ADDITION
DRAWING TITLE: THERMAL ENVELOPE

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PAGE NO. OF N	MODEL CUSTOM HOME RENOVATION & ADDITION DRAWING TITLE RESCHECK


REScheck Software Version 4.6.5
Compliance Certificate

Project
 Energy Code: **2015 IECC**
 Location: **Cherry Chase, Maryland**
 Construction Type: **Single-Family Addition**
 Project: **Bigg, faces 270 deg. from North & (4270 HDD)**
 Orientation:
 Climate Zone:
 Permit Date:
 Permit Number:
 Construction Site: **Owner/Agent: Mr. & Mrs. Thomas Dyszlewicz 7207 Thermaple Place Chevy Chase, MD 20815**
 Designer/Contractor: **Chris Lapp, Clark+Lapp Architects, LLC 11800 Reservoir Lane, Suite 100, Bethesda, MD 20814-4400**
 Designer/Contractor: **Chris Lapp, Clark+Lapp Architects, LLC 11800 Reservoir Lane, Suite 100, Bethesda, MD 20814-4400**

Assembly	Gross Area Per Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Window 4: Wood Frame Double Pane with Low E SHGC 0.7	37			0.240	4
Door 1: Solid	21			0.450	9
Orientation: Left side					
Wall 6: Wood Frame, 16" o.c.	244	19.0	0.0	0.060	13
Window 5: Wood Frame Double Pane with Low E SHGC 0.7	27			0.240	6
Orientation: Right side					
Wall 7: Wood Frame, 16" o.c.	269	19.0	0.0	0.060	13
Orientation: Back					
Window 6: Wood Frame Double Pane with Low E SHGC 0.7	21			0.240	6
Orientation: Back					
Door 2: Solid	21			0.450	9
Orientation: Back					
Wall 8: Wood Frame, 16" o.c.	54	19.0	0.0	0.060	3
Orientation: Front					
Basement Wall 1: Solid Concrete or Masonry	221	13.0	0.0	0.060	13
Orientation: Front					
Wall Height: 8' 0"					
Depth below grade: 7' 2"					
Insulation depth: 8' 0"					
Window 7: Wood Frame Double Pane with Low E SHGC 0.7	7			0.240	2
Orientation: Back					
Basement Wall 2: Solid Concrete or Masonry	204	13.0	0.0	0.064	12
Orientation: Left side					
Window 8: Wood Frame Double Pane with Low E SHGC 0.7	14			0.240	3
Orientation: Left side					
Basement Wall 3: Solid Concrete or Masonry	204	13.0	0.0	0.060	12
Orientation: Right side					
Wall Height: 8' 0"					
Depth below grade: 7' 2"					
Insulation depth: 8' 0"					
Basement Wall 4: Solid Concrete or Masonry	47	13.0	0.0	0.060	3
Orientation: Front					
Wall Height: 8' 0"					
Depth below grade: 7' 2"					
Insulation depth: 8' 0"					

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version 4.6.5 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name	Title	Signature	Date

Project Title: Data Filename: L:\DYDZSEKWC\DYDZsekwilck.rck

Report Date: 08/19/19 Page 1 of 10

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Report Date: 08/19/19 Page 2 of 10

Project Title: Data Filename: L:\DYDZSEKWC\DYDZsekwilck.rck

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Project Title: Data Filename: L:\DYDZSEKWC\DYDZsekwilck.rck

Report Date: 08/19/19 Page 4 of 10

Project Title: Data Filename: L:\DYDZSEKWC\DYDZsekwilck.rck

Report Date: 08/19/19 Page 5 of 10

Section & Req. ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 (R10.1)	All installed insulation is labeled or the installed R-value is provided.			Complies	See the Envelope Assumptions table for values.
402.1.1 (R10.1)	Wall insulation R-value. If this is a wall with or less than 1/4" of the wall insulation on the exterior, the exterior insulation requirement applies (R10.1).			Complies	See the Envelope Assumptions table for values.
303.2 (R10.2)	Wall insulation is installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.

Additional Comments/Assumptions:

Section & Req. ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (R10.1)	Ceiling insulation R-value.			Complies	See the Envelope Assumptions table for values.
402.1.2 (R10.2)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.3 (R10.3)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.4 (R10.4)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.5 (R10.5)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.6 (R10.6)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.7 (R10.7)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.8 (R10.8)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.9 (R10.9)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.10 (R10.10)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.11 (R10.11)	Ceiling insulation installed per manufacturer's instructions.			Complies	See the Envelope Assumptions table for values.
402.1.12 (R10.12)	Ceiling insulation installed per manufacturer's instructions.			Complies	