MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7207 Thornapple Place, Chevy Chase **Meeting Date:** 9/11/2019

Resource: Master Plan Site #35/96 **Report Date:** 9/4/2019

(Harper House)

Public Notice: 8/28/2019

Applicant: Thomas Dyszkiewicz

(Claude Lapp, Architect) Tax Credit: N/A

Review: HAWP Staff: Michael Kyne

Case Number: 35/96-19A

PROPOSAL: Building addition

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #35/96, *Harper House*

STYLE: Four Square with Victorian Vernacular Detailing

DATE: c. 1906

Excerpt from *Places from the Past*:

The Harper House demonstrates the persistence of picturesque Victorian-era detailing well into the 20th century. The frame dwelling features late examples of wrap-around porch with chamfered posts and scrolled brackets. The residence has outstanding architectural integrity with original details including louvered shutters, and chamfered porch posts with open brackets. The house is adorned with corner pilasters and features grand picture windows in the south front bays on both first and second levels.

In October 1906, James E. Harper acquired lots 9 and 10 from Louise H. Earll. The house was built in the following months since the property was assessed in 1907 with improvements valued at \$1,800. By 1909, Harper was living in Chevy Chase, according to the Washington directory. A native of South Carolina, he was an auditor for the U.S. Postal Service, and was married to Nelly E. Harper. The Harpers resided at this address for more than 25 years. After 1927, the property was reduced to the northern portion of Lots 9 and 10.

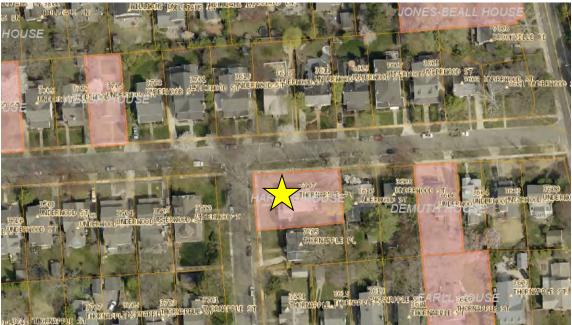


Fig. 1: Subject property marked by yellow star.

BACKGROUND:

The applicant previously appeared before the Commission at the July 10, 2019 HPC meeting for a preliminary consultation.¹

PROPOSAL:

The applicants propose a building addition at the rear of the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction at Master Plan Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

¹ Link to July 10, 2019 HPC meeting recording: http://mncppc.granicus.com/MediaPlayer.php?publish_id=fa469984-a3ef-11e9-b00b-0050569183fa

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." Because the property is a Master Plan Site, the Commission's focus in reviewing the proposal should be the *Secretary of the Interior's Standards for Rehabilitation*. The relevant *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The subject property is a c. 1906 Four Square-style house with Victorian vernacular detailing. The house is located on a corner lot, with its front facing Thornapple Place to the west and its left side facing Underwood Street to the north. The house retains outstanding architectural integrity, including a wraparound front porch with chamfered posts and open scrolled brackets.

The applicant previously appeared before the Commission at the July 10, 2019 HPC meeting for a

preliminary consultation for a building addition to the rear of the historic house. As previously proposed, the addition would be separated from the historic house via a hyphen that would be inset 1'-8" from the left (north) side of the historic house and 2' from the right (south) side of the historic house. Beyond the hyphen, the addition would project 1'-8" beyond the left (north) side of the historic house and 3' beyond the right (south) side of the historic house.

At the preliminary consultation, the HPC expressed the following concerns regarding the proposal:

- The proposed addition was too large, and it would detract from the character of the historic house and its environmental setting.
- The 3' projection and stoop on the right side of the proposed addition would detract from the character of the historic house and the original wraparound front porch.
- A previously proposed clad fireplace on the rear elevation of the proposed addition was incompatible with the character of the historic house.

The applicant has revised their application in accordance with the Commission's comments at the July 10, 2019 HPC meeting. Specifically, the applicant has made the following revisions:

- The overall size of the proposed addition has been reduced, going from 679 sf to 611 sf.
- The previously proposed 3' projection and stoop on the right of the proposed addition have been removed from the proposal.
- The previously proposed clad fireplace on the rear elevation of the proposed addition has been removed from the proposal.

Staff supports the applicant's proposal, finding that, in accordance with *Standard* #2, the proposed building addition will not alter or remove character-defining features of the property. In accordance with *Standard* #9, the proposed addition will be differentiated from the historic house by the proposed hyphen and deferential scale and massing, and it will be compatible with the massing, size, scale, and architectural features of the historic house, protecting the historic integrity of the property and its environment. In accordance with *Standard* #10, the proposed addition will be undertaken in a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10 outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission <u>approve</u> the HAWP application only for alterations to the main house under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for *Rehabilitation #2, #9*, and #10.

and with the general condition that the applicant shall present the 3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP

application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Chia a calandilada	consect Parson: Claude C. Lapp
consect mais. Chris@cclarchitects.com	Daytime Phone No.: (301) 881-6856
Tax Account No.:	7001/ OC 1
Name of Property Owner: Thomas Dyszkiewicz	_ Daytime Phone No.: (917) 608-4918
Address: 7207 Thornapple Place Che Street Hamber	by Chase Maryland 20815
Contractor: Jodi Longo Contractor Registration No.: 9270	Phone He.: (240) 374-2525
Agent for Owner:	Planting Diagna Maria
MAGRICULUS SES	- September 110.
	77 1 701
	Thornopple Place
	Underwood Street
COTA CO	SOLUE
Liber: <u>6070</u> Folio: <u>55</u> Parcet	
PARTO PROPERTY CONTROL	
1A. CHECK ALL APPLICABLE CHECK ALL A	DOG MARIE F.
J	
	And Content volumes County Closest Closest
C SOME &	Fireplace
C) MACON	# (complete Section 4)
18. Constituction cost estimate: \$ 400,000	
IC. If this is a revision of a previously approved active permit, see Permit #	
Partings complaint or hand constitue months decrease/addition	
A Transferred to the state of t	
	63 🗀 Other:
18. Type of weight supply: 01 150 WSSC 02 11 West	03 🗋 Other:
CAMBER OF THE PROPERTY OF THE	
A. Heightinches	
8. Indicate whether the fence or retaining wall is to be constructed on one of the folio	Named Incasings.
☐ On party line/property line ☐ Entirely on land of owner	
	☐ On public right of way/easement
hereby cardily that I have the authority to make the foregoing epplication, that the app opposed by all agencies ASBed and I hereby actnowledge and accept this to be a con-	lication is correct, and that the construction will exemply with along
oproved by all agencies listed and I haveby acknowledge and accept this to be a con-	tition for the issuance of this permit.
of /	, /
Signature al phoge & subcrited agent	5/14/19
Springs straight spring	Dese
proved.	
Co Compets	on, Historic Preservation Commission
sapproved: Signature:	Date;
Date Fillet	Onte issued:
N SZZ1/99 SEE REVERSE SIDE FOR II	

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

ţ.	Y	AUTTEN DESCRIPTION OF PROJECT
	4.	Description of existing structure(a) and environmental setting, including their historical features and significance:
		Single tamily home built in 1903 with a
		large wraparound front porch. House has
		original heart pine flooring and wood trim
		movidings. Materials used on this house are
		wood siding on the exterior and asphalt
		shingles on the root.
	b.	General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district
		New two story addition in the year of
		the house with a finished basement underneath
		the exterior at the new addition
		the scale & finish of the original house as
		hest as nossible

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and

best as possible.

c. eite features such as walkways, driveways, fences, ponds, streams, trash dumpsters, machanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" pager are preferred.

- a. Schemetic construction pleas, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to suisting construction and, when appropriate, context All materials and follower proposed for the exterior must be noted on the slevations drawings. An axisting and a proposed develon drawing of each fecade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and menufactured items proposed for incorporation in the work of the project. This information may be included on your

5. PHOTOGRAPHS

- a. Clearly isbeled photographic prints of each fecade of existing resource, including details of the affected portions. All labels should be placed on the
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripfine of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

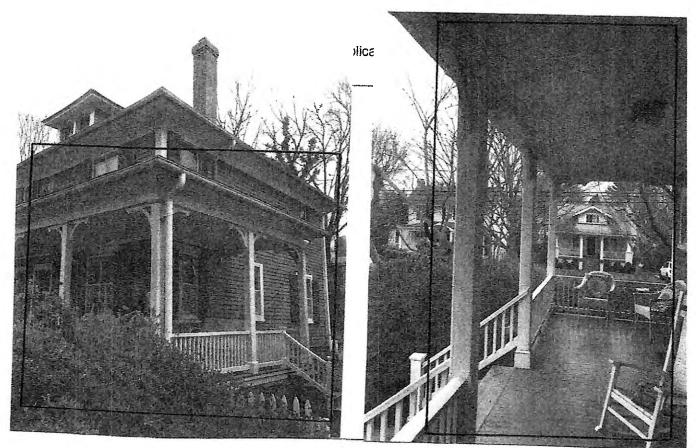
For Atl, projects, provide an accurate list of adjacent and confronting property owners (not tenents), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the percel in question, as well as the owner(s) of lot(s) or percel(s) which lie directly across the street/highway from the percet in question.

PLEASE PRINT (IN BLUE OR BLACK INX) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE PLEASE STAY WITHEN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

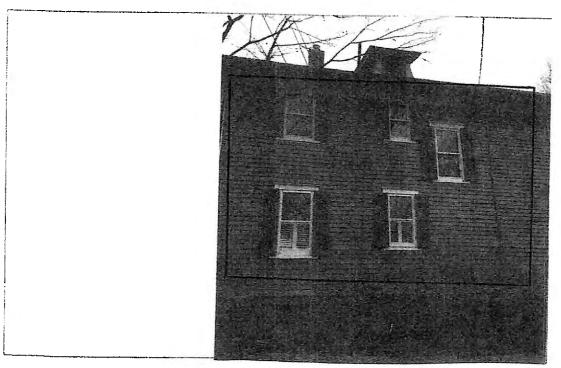
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Thomas Dyszkiewicz F207 Thomapple Place Chevy Chase, MD 20815	Owner's Agent's mailing address
Adjacent and confronting	Property Owners mailing addresses
Faroog Thacher 7205 Thornapple Place Chevy Chase, MD 20815	
Daniel Radovsky 3610 Underwood Street Chevy Chose, MD 20815	



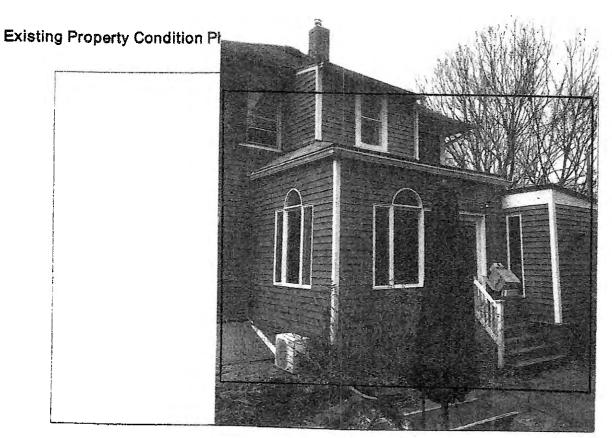
Detail: Existing wraparound front porch made of wood.



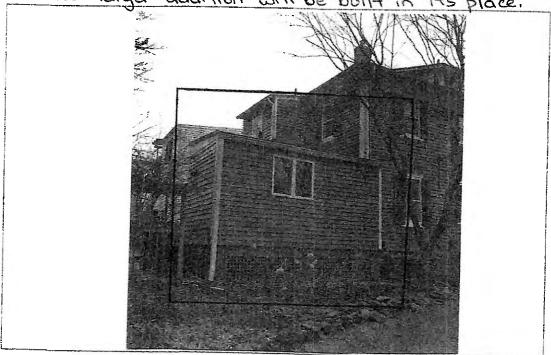
Detail: Existing wood siding & shutters which will be matched on the exterior of the proposed addition.

Applicant:_____

Page:__



Detail: Existing portion of house to be removed (rear) and a new larger addition will be built in its place.

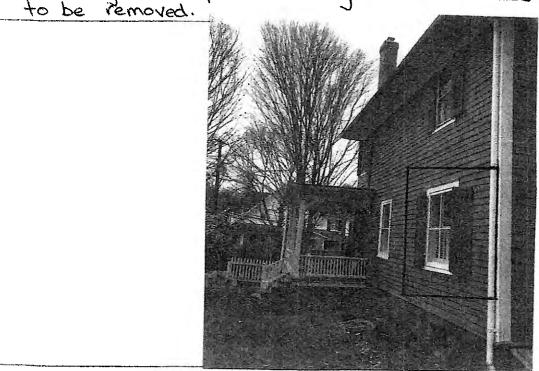


Detail: Existing portion of house to be removed (left) and a new larger addition will be built in its place.

Existing Property Condition Photographs (duplicate as needed)



Detail: Existing Chimney and existing bosement access to be removed.



Detail: Existing window on right side of house to be permanently shuttered.

Applicant:____

Page:__

MR. & MRS. THOMAS DYSZKIEWICZ

7207 THORNAPPLE PLACE CHEVY CHASE, MD 20815

JOBSITE LOCATION:

7207 THORNAPPLE PLACE CHEVY CHASE, MD 20815 DATE: 08-19-2019

GENERAL NOTES

GROUND	WIND	SEISMIC	SU.	BJECT TO DAM	AGE FROM		WINTER	ICE SHIELD		AIR	MEAN
SNOW LOAD	SPEED (mph)	DESIGN CATEGORY	Weathering	Frost line depth	Termite	Decay	DESIGN TEMP	UNDER- LAYMENT REQUIRED	FLOOD HAZARDS	FREEZING INDEX	ANNUAL TEMP

30 115 B Severe 30 Moderate to Heavy Moderate 13 Yes 7-2-79 300 55

1) All construction to be in conformance with 2015 I.R.C., one and two family dwelling code & all MONTGOMERY COUNTY additions and revisions thereto.

2) Desian live loads:

A.S.T.M. C 216

- Sleeping room load .. 30 p.s.f.

3) Soil bearing to be 2000 p.s.f. minimum. Design for 60 p.s.f. lateral soil pressure

- 4) Design wind load 115 mph.
- 5) Bottom of all concrete footings to be 30" minimum below finished grade.
- 6) Foundation walls shall comply to I.R.C. Sec. R-401. thru 404.
- 7) Foundation drainage shall comply to I.R.C. Sec. R-405.
- 8) Foundation waterproofing shall comply to I.R.C. Sec. R-406.
- 9) Attached Garages shall comply to I.R.C. Sec. R-309.
- 10) Concrete floors shall comply to I.R.C. Sec. R-506.

11) All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Proches, garages, slabs and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 4000 p.s.i.

12) All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90-70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum.

13) All c.m.u. walls shall have standard truss type DUR—0—WALL bed joint reinforcing at maximum 16" vertical spacing.

14) All brick units used in exterior shall conform to A.S.T.M. C 62 or

- 15) All mortar shall be type "S" conforming to A.S.T.M. C 270
- 16) Stone and masonry veneer shall conform to I.R.C. Sec. R-703.7.

17) Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning.

18) Maximum allowable lateral pressure on basement walls 60 p.s.f.

19) All reinforcing steel to be grade 60 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted. Provide corner bars at all wall corners. Submit reinforcing steel shop drawings for approval.

20) Steel post cap plates to conform to A.S.T.M., Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better.

21) Steel columns in basement to be adjustable 3"I.D. S40 columns unless specified otherwise. structural steel shall meet A.S.T.M.982 standards. All connections to be A.I.S.C. standard.

22) All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better:

owing grades or better:		BENDING	MODULUS OF
CLASSIFICATION	SIZE	"Fb"	ELASTICITY "E"
POSTS #1 D.F.		1200	1600000
HEADERS, BEAMS, ROOF HIPS #1 S.P.	2X4	1850	1700000
	2X6	1650	1700000
	2X8	1500	1700000
	2X10	1300	1700000
	2X12	1250	1700000
RAFTERS, JOISTS AND STUDS #2 H.F.	2X4	1000	1500000
	2X6	1000	1500000
	2X8	1000	1500000
	2X10	1000	1500000
	2X12	1000	1500000
Gang-Lam Beams (Fv = 285 PSI)	all	2800	2000000

- 23) All headers to be 2 2" x 12" unless specified otherwise.
- 24) Provide double jack studs at each end of headers and beams, 4'-0" to 5'-11", and triple jack studs for 6'-0" or longer, unless noted otherwise.
- 25) Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".

- 26) All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications.
- 27) Contractor to provide architect with shop drawings for all roof and floor trusses. Shop drawings to be provided to architect for approval prior to ordering
- 28) Provide solid blocking under all jack studs not bearing directly on joists or T.J.I.'s.
- 29) In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs.
- 30) Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty—five thousandths (0.045)" thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails.
- 31) Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.
- 32) Unless specified otherwise provide the following lintel over masonry openings:

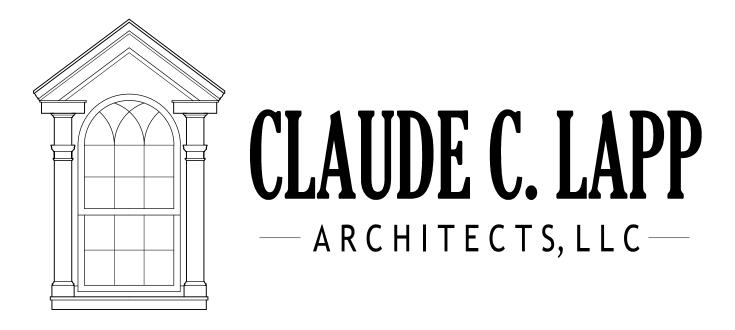
BRICK &	3'-0"	3 1/2" X 3 1/2" X 1/4"
STONE:	5'-0"	3 1/2" X 4" X 1/4"
UP TO	8'-0"	3 1/2" X 5" X 5/16"
4"	9'-0"	3 1/2" X 6" X 5/16"
STONE: UP TO 6"	3'-0" 5'-0" 8'-0" 9'-0"	6" X 4" X 5/16" 6" X 6" X 5/16" 6" X 6" X 3/8" 6" X 8" X 7/16"

- 33) All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated.
- 34) All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications.
- 35) Chimney and fireplace construction to be in accordance with I.R.C. Chapter 10 and fig. R-1001.1.

- 36) Fireplace hearth to project 20" from front of facing and 12" to side of opening.
- 37) Firestopping shall be provided according to I.R.C. Sec. R 602.8. The integrity of all firestopping shall be maintained.
- 38) Draftstopping shall be provided according to I.R.C. Sec. R 302.12.
- 39) Provide radon mitigation according to I.R.C. Appendix F.
- 40) Provide interconnected smoke detectors, carbon monoxide dectectors to protect all floors, bedrooms, and basements according to I.R.C. Sec. R-313 & R-314.
- 41) Stairways shall comply with I.R.C. Sec. R-311. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 10". Maximum riser to be $7 \frac{3}{4}$.
- 42) Handrails & guardrails shall comply to I.R.C. Sec. R-311 & 312.
- 43) All exits shall comply to I.R.C. Sec. R-311.
- 44) Sleeping room windows shall comply with I.R.C. Sec. R—310 Maximum sill height 44" above finished floor.
- 45) All Glazing shall comply to I.R.C. Sec. R-308.
- 46) All Ceiling heights shall comply to I.R.C. Sec. R-305.
- 47) All exterior wall coverings shall comply to I.R.C. Sec. R-703.
- 48) All gas piping shall conform to N.F.P.A. 54 or 2011 IFGC.
- 49) Electrical wiring must conform to the latest 2014 National Electrical Code and County Requirements.
- 50) Steel joists to be accordance with S.J.I specifications. Provide angle bridging top and bottom per S.J.I. . Submit shop drawings for approval.
- 51) Steel deck shall conform to S.J.I. specifications.
- Note: Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joists at framing inspection.
- Note: Trusses shall be braced per. manufacturers recommendations.

INDEX

000	COVER SHEET
Z100	SITE PLAN
D100	DEMOLITION PLANS
A100	UNDERPINNING & BASEMENT FLOOR PLANS
A101	FIRST & SECOND FLOOR PLANS
A102	ROOF PLAN
A200	FRONT & RIGHT ELEVATIONS
A201	REAR & LEFT ELEVATIONS
A300	SECTIONS A & B
A301	SECTION C & D; UNDERPIN NOTES & DETAILS
A302	DETAILS
A400	WIND BRACING DETAILS
S100	FIRST & SECOND FLOOR FRAMING PLANS
S101	ROOF FRAMING PLAN
S110	BEAM CALCULATIONS
S200	STRUCTURAL PANEL ANALYSIS
S201	STRUCTURAL PANEL ANALYSIS



11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852 TEL. 301-881-6856 WWW.CCLARCHITECTS.COM INFO@CCLARCHITECTS.COM

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EC100	THERMAL ENVELOPE
EC101	THERMAL ENVELOPE
EC110	RESCHECK
	REVISIONS

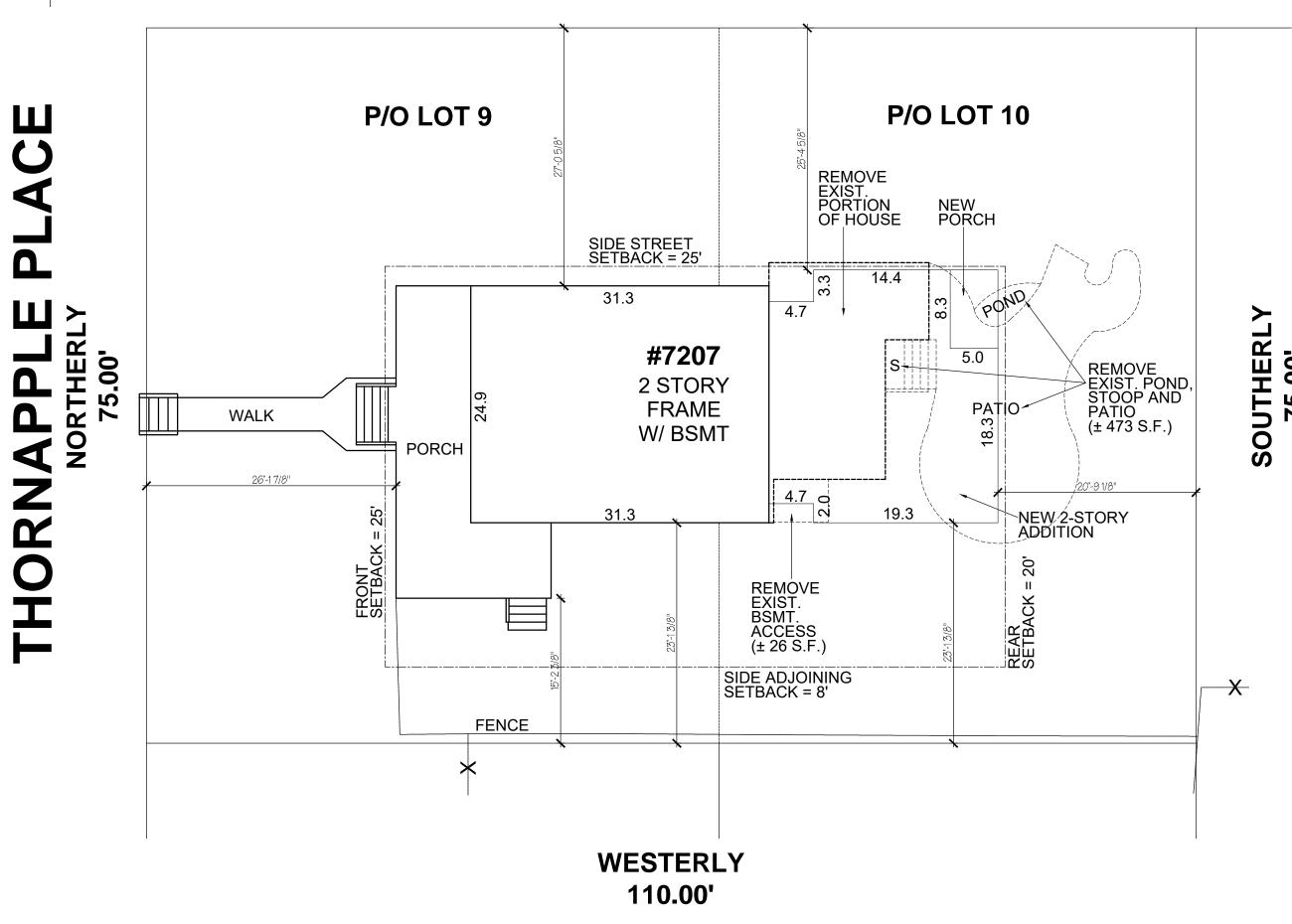


PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE 7603-R, EXPIRATION DATE 04-26-2019

UNDERWOOD STREET

EASTERLY 110.00'



LOT SQ. FT. = 8250
EXIST. HOUSE = 1416 S.F. (INCLUDES FRONT PORCH)
EXIST. PORTION OF
HOUSE TO BE REMOVED = 316 S.F.
NEW ADDITION = 611 S.F. (INCLUDES REAR PORCH)
NEW TOTAL = 1711 S.F.
LOT COVERAGE = 20.74%

IMPERVIOUS AREA: EXIST. HOUSE = 1416 S.F. NEW ADDITION = 611 S.F.

NEW BSMT FL. = 519 S.F. NEW 1ST FL. = 570 S.F. NEW PORCH = 41 S.F. NEW 2ND FL. = 611 S.F.

11820 PARKLAWN DRIVE SUITE 100 ROCKVILLE, MD 20852 T-(301) 881-6856 INFO@CCLARCHITECTS.COM

WWW.CCLARCHITECTS.COM 20815 MD

DATE

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY

DISCREPANCIES.

ALL INTERIOR WALL

DIMENSIONS TO BE 3 1/2" UNLESS NOTED

OTHERWISE.

CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER

PROPERTY RIGHTS IN THESE

PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED I

ANY FORM OR MANNER WITHOUT

THE EXPRESS WRITTEN CONSENT

OF CLAUDE C. LAPP ARCHITECTS, LLC

CLAUDE C. LAPP
— ARCHITECTS LLC —

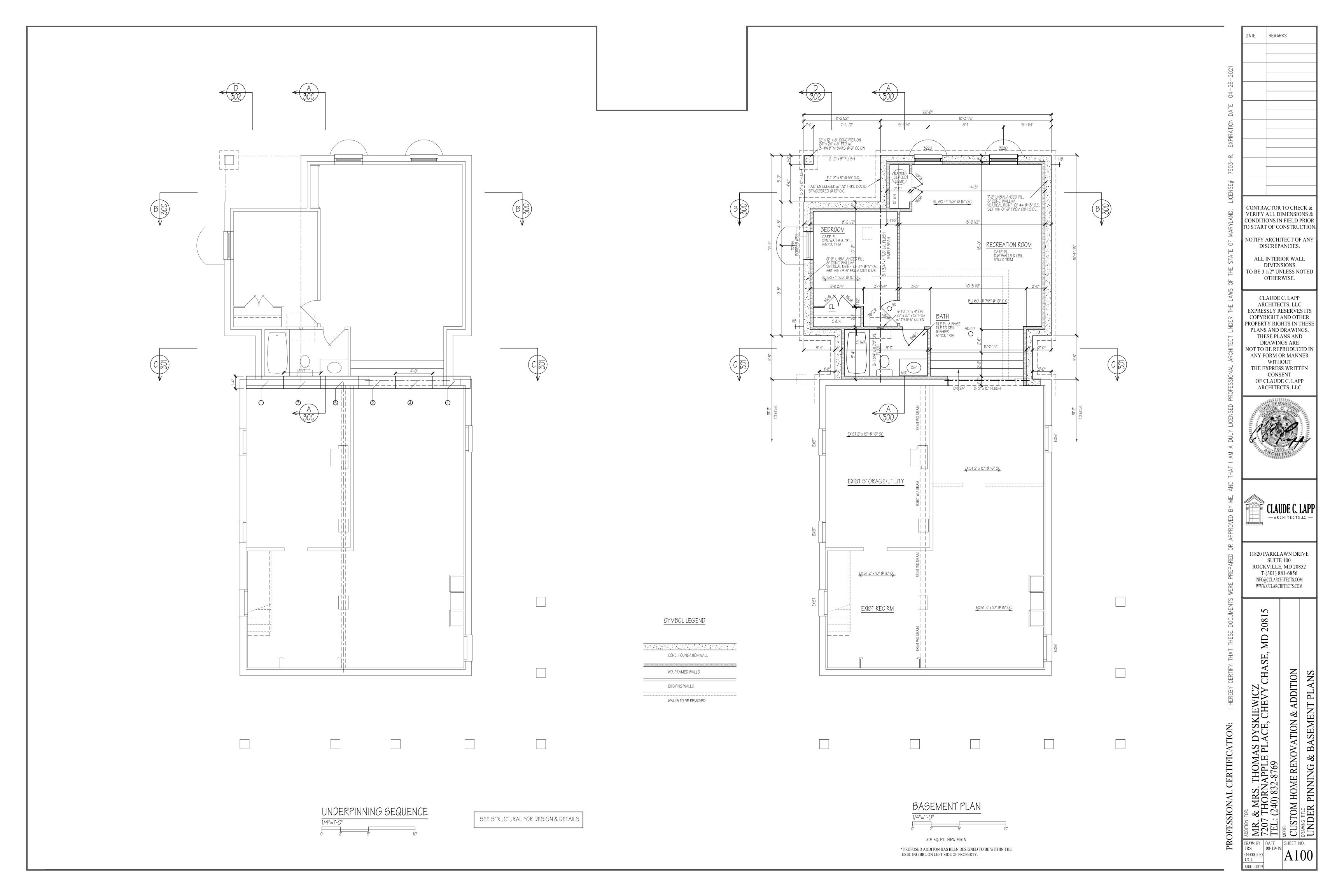
VERIFY SETBACKS PRIOR TO START OF CONSTRUCTION

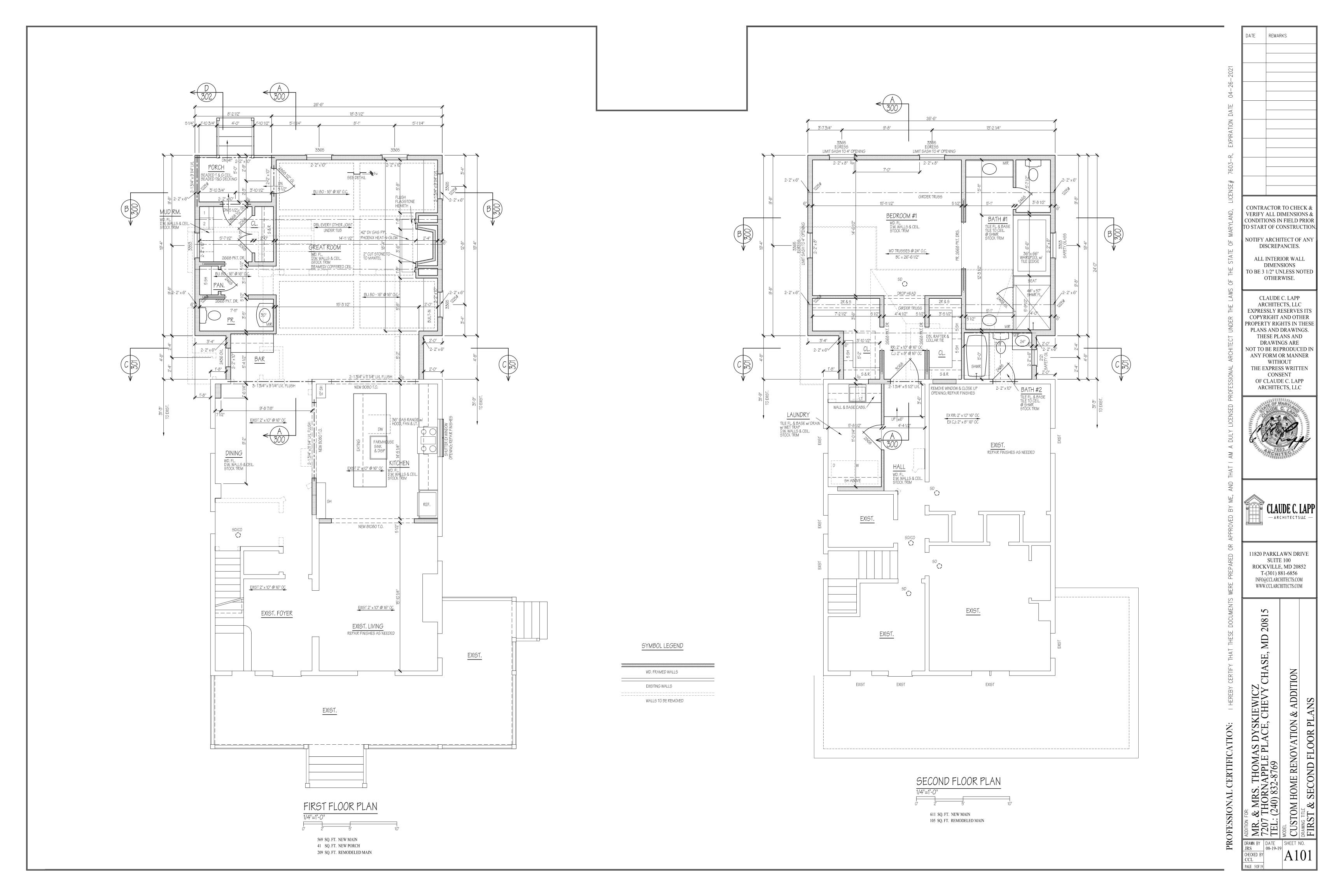
LOCATION DRAWING OF: 7207 THORNAPPLE PLACE P/O LOTS: 9 & 10 BLOCK: 4 OTTERBOURNE PLAT NO. 1

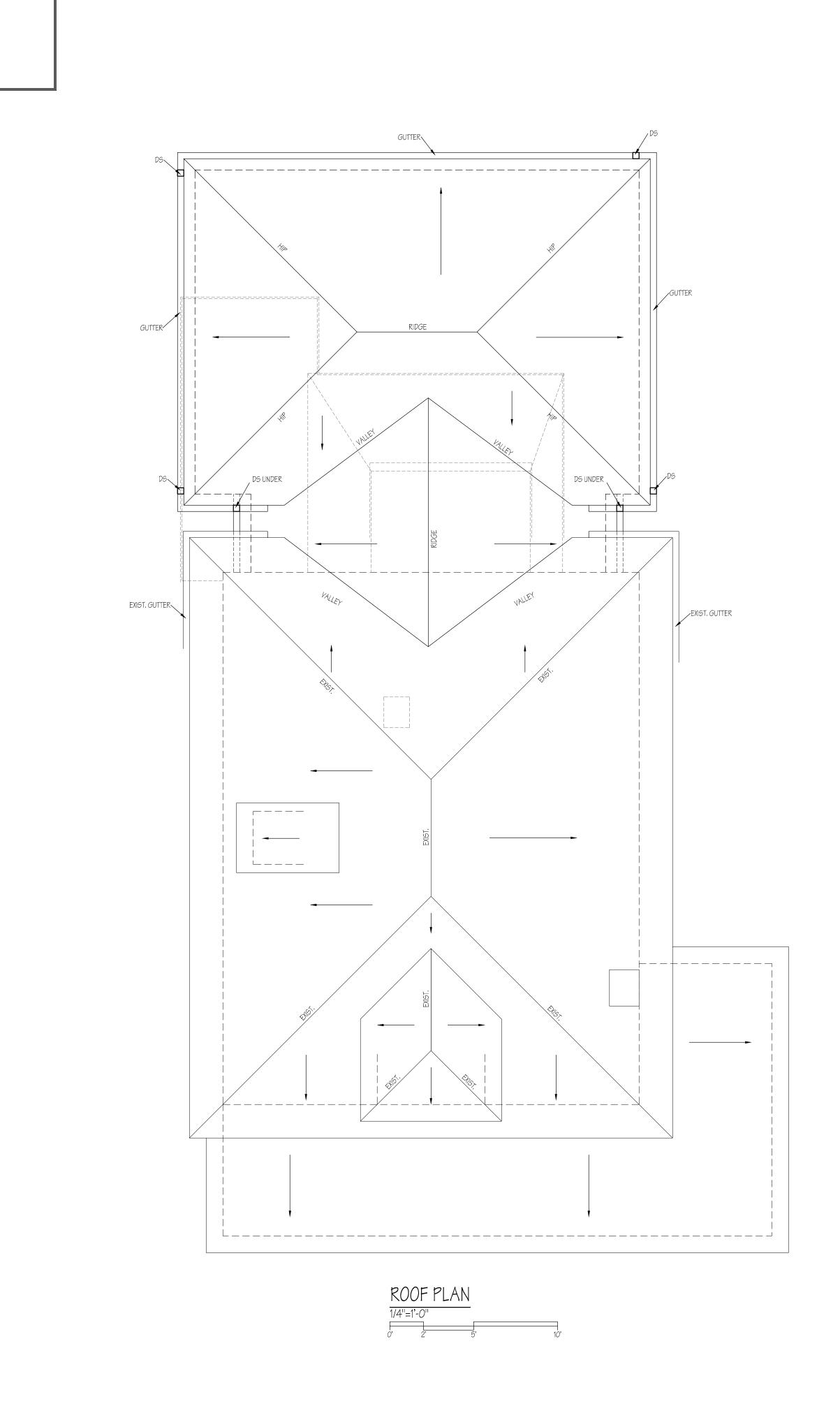
LIBER: 6070 FOLIO: 55 MONTGOMERY COUNTY, MARYLAND

SCALE: 1" = 10' DATE: 05-09-2019









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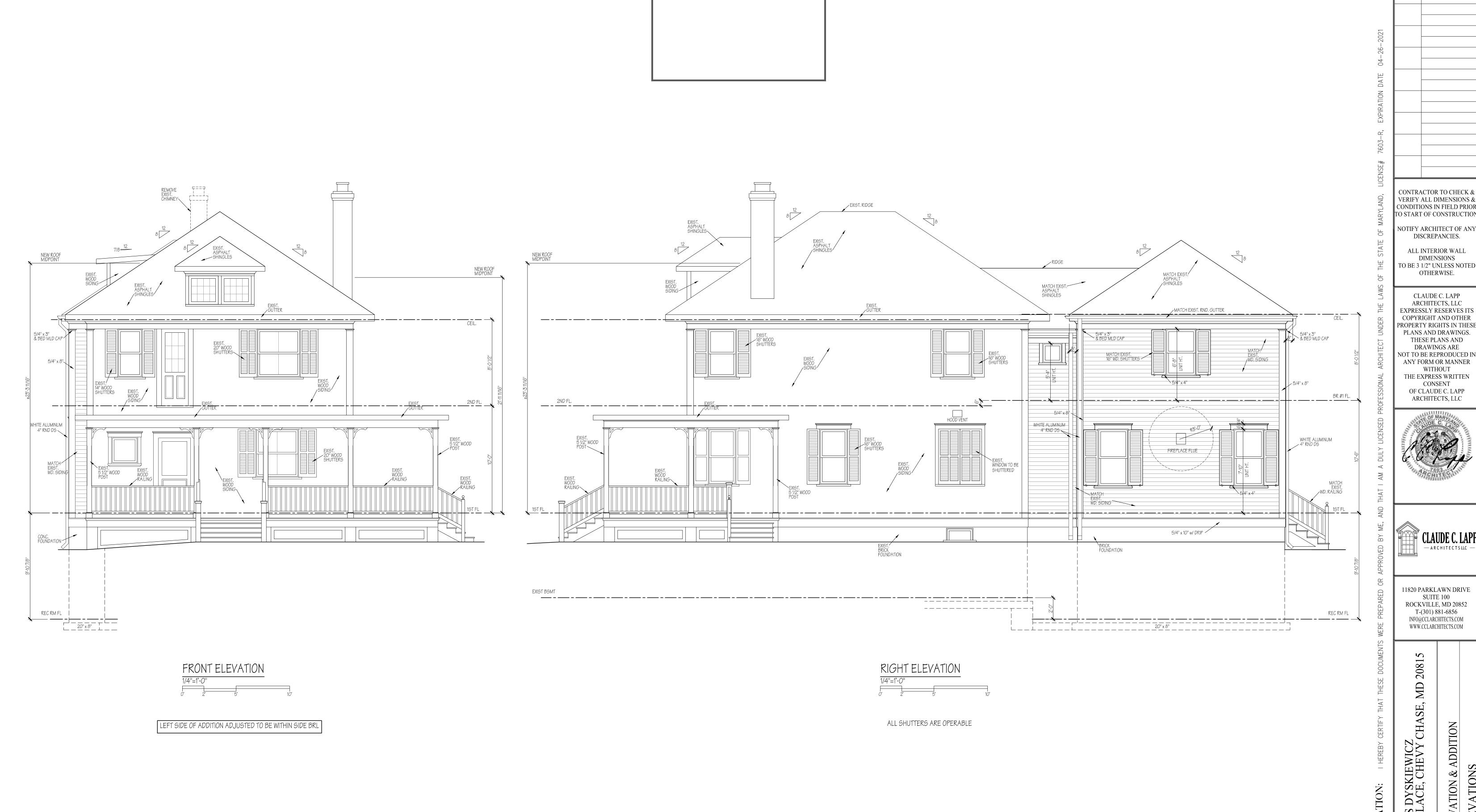
MODEL

CUSTOM HOME RENOVATION & ADDITION

ROOF PLAN

ROOF PLAN

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20815

THOMAS DYSKIEWICZ APPLE PLACE, CHEVY CHASE, 2-8769

CUSTOM HOME RENOVATION & ADDITION
DRAWING TILE
FRONT & RIGHT ELEVATIONS



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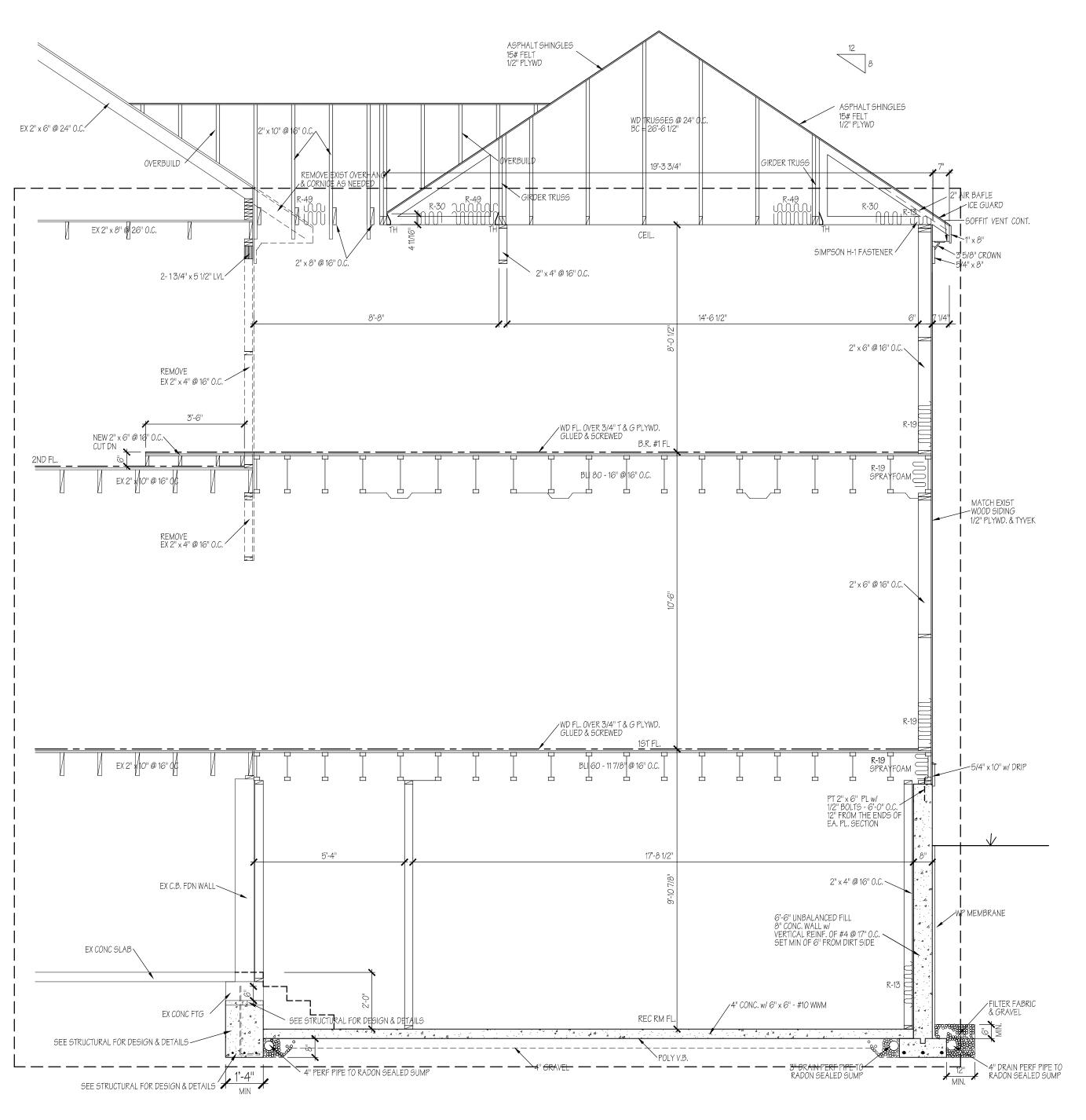
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R & LEFT ELEVATIONS

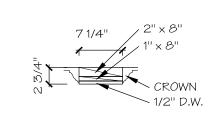
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I. PROVIDE ICE SHIELD LOCATION WITHIN 2'-O" HORIZONTALLY OF OUTSIDE FACE OF EXTERIOR WALL @ EAVES PER IRC 2015 SECTION R905.1.2 2. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WD SHALL BE NON CORROSIVE PER IRC 2015 SECTION 317.3.1



ASPHALT SHINGLES WD TRUSSES @ 24" O.C. BC = 26'-6 1/2" 26'-6 1/2" 2" AIR BAFLE ICE GUARD SOFFIT VENT CONT. SIMPSON H-1 FASTENER 3 5/8" CROWN / 5/4" x 8" / SIMPSON H-1 FASTENER 2" x 6" @ 16" 0.C. ∠2" x 6" @ 16" 0.C. 2" x 6" @ 16" O.C.\ 2" x 4" @ 16" O.C. 🔪 WD FL. OVER 3/4" T & G PLYWD. GLUED & SCREWED R-19 SPRAYFOAM BLI 80 - 16" @ 16" O.C. r-38 UUUUU MATCH EXIST WOOD SIDING — 1/2" PLYWD. & TYVE BEADED T&G CEIL 2-13/4" x 91/4" LVL 7'-9 1/4" 2" x 6" @ 16" O.C.\ CUT DN /2" x 6" @ 16" 0.C. 2" x 6" @ 16" 0.C. 1/2" PLYWD. & TYVEK 1/2" PLYWD. & TYVEK FASTEN LEDGER w/1/2" THRU BOLTS STAGGERED @ 10" O.C. /WD FL. OVER 3/4" T & G PLYWD. GLUED & SCREWED BLI 60 - 11 7/8" @ 16" O.C. 5/4" x 10" w/ DRIP~ P.T. 2" x 8" @ 16" O.C. ~ 3-2" x 8" FLUSH FASTEN PT 2" x 6" PL w/ 2-1/2" BOLTS @ MASONRY PIER 6" MIN EMBEDMENT PT 2" x 6" PL w/ -1/2" BOLTS - 6'-0" O.C.
12" FROM THE ENDS OF EA. PL. SECTION P.T. 5/4" x 4" FRAME ____ 11/2" LATTICE PANEL P.T. 5/4" x 4" FRAME 16'-11 1/2" 7'-2 1/2" 2" x 4" @ 16" O.C. < ∕2" x 4" @ 16" O.C. WP MEMBRAN 6'-6" UNBALANCED FILL 8" CONC. WALL W/ VERTICAL REINF. OF #4 @ 17" O.C. SET MIN OF 6" FROM DIRT SIDE 7'-2" UNBALANCED FILL 8" CONC. WALL W/ VERTICAL REINF. OF #4 @ 13" O.C. SET MIN OF 6" FROM DIRT SIDE 12" x 12" x 8" CONC PIER ON 24" x 24" x 8" FT*G w/* 3- #4 BTM BARS @ 6" OC EW FILTER FABRIC \ & GRAVEL / 4" CONC. w/ 6" x 6" - #10 WWM REC RM FL. 4" DRAIN PERF PIPE TO RADON SEALED SUMP 4" DRAIN PERF PIPE TO 12" RADON SEALED SUMP MIN. 3" DRAIN PERF PIPE TO RADON SEALED SUMP 3" DRAIN PERF PIPE TO RADON SEALED SUMP 22" x 8" FTG. w/ 3 #4 CONT.

THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE R402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION.



SECTION SECTION

BEAMED COFFER DETAIL SCALE: 3/4"-1'-0"

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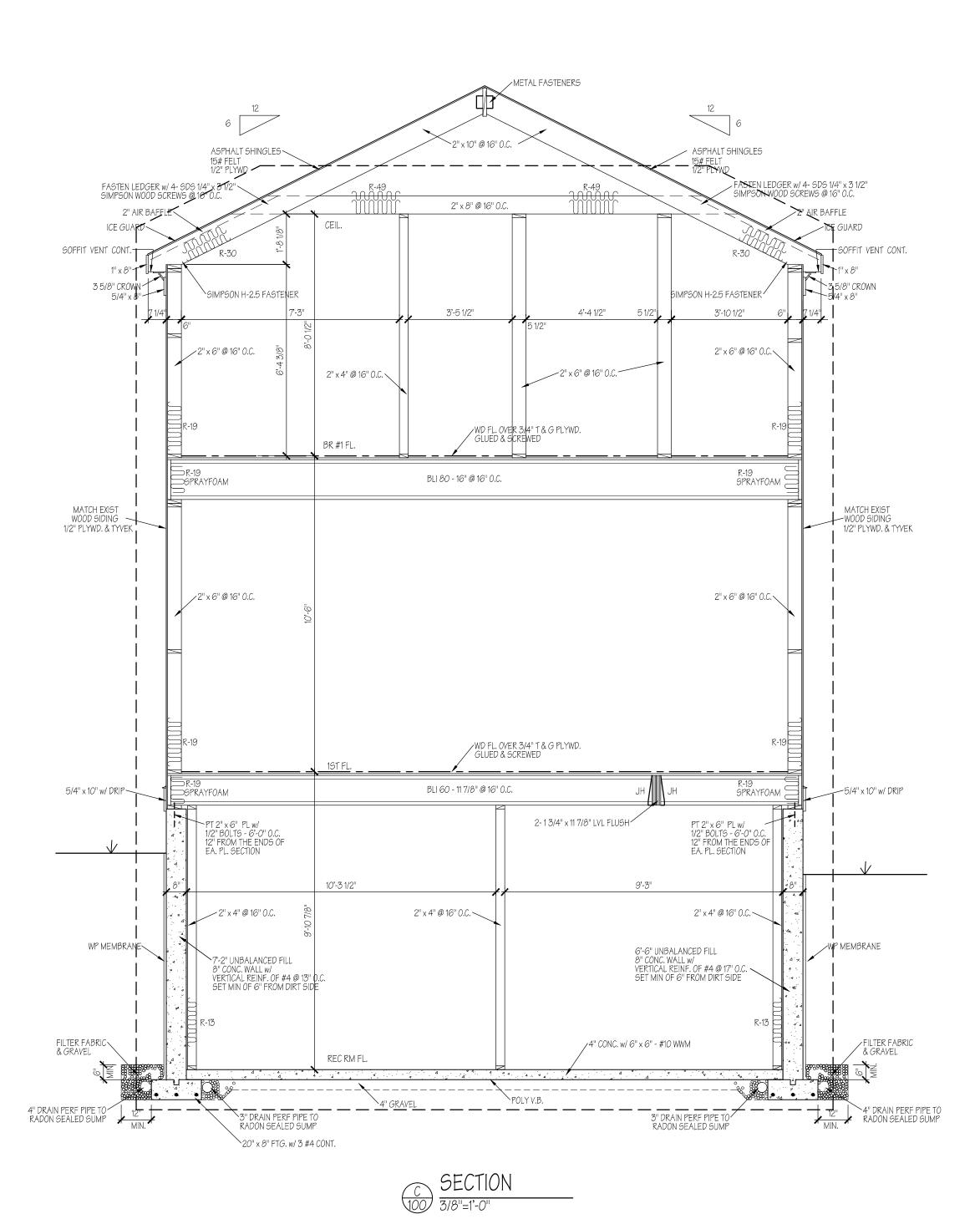


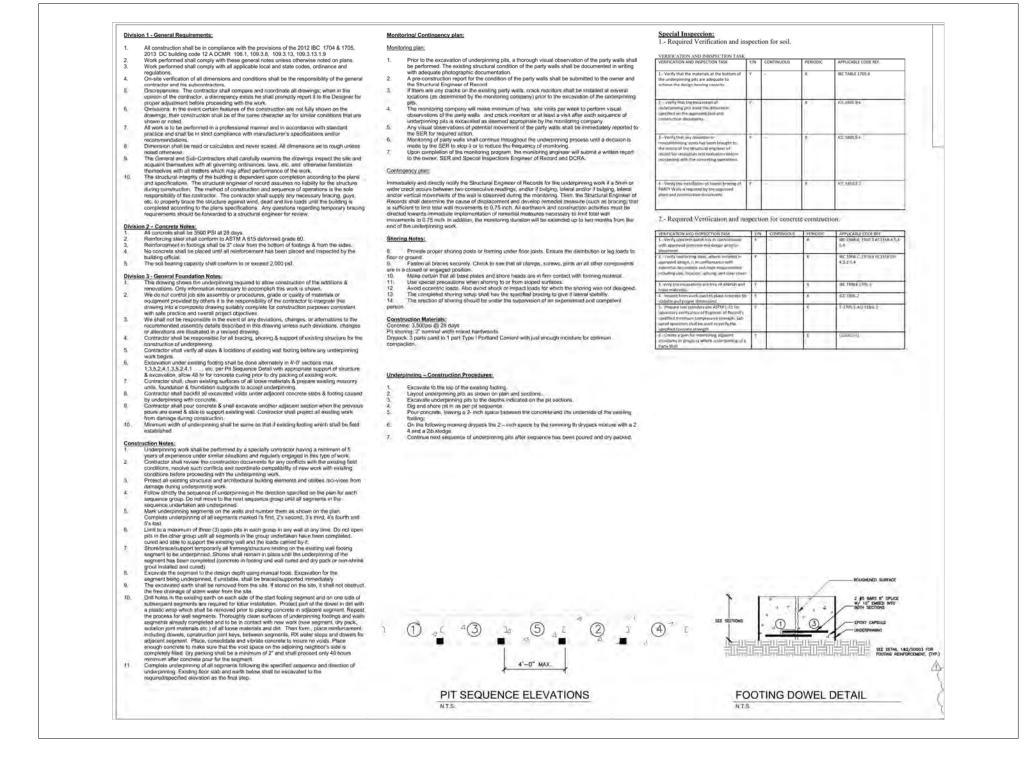
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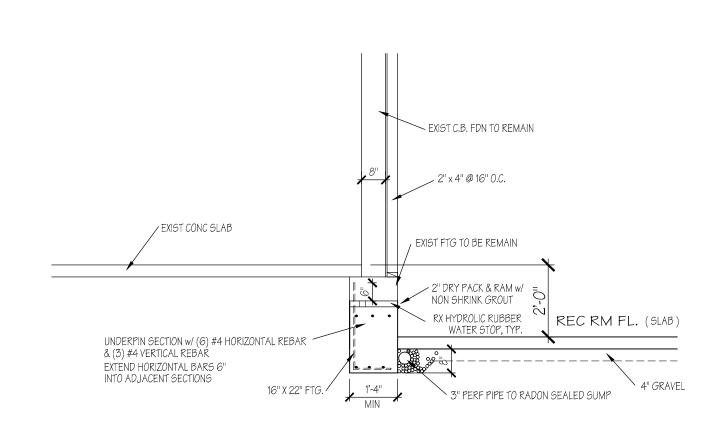
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SECTIONS A & R

DRAWN BY DATE SHEET NO. 08-19-19 A300 CHECKED BY CCL

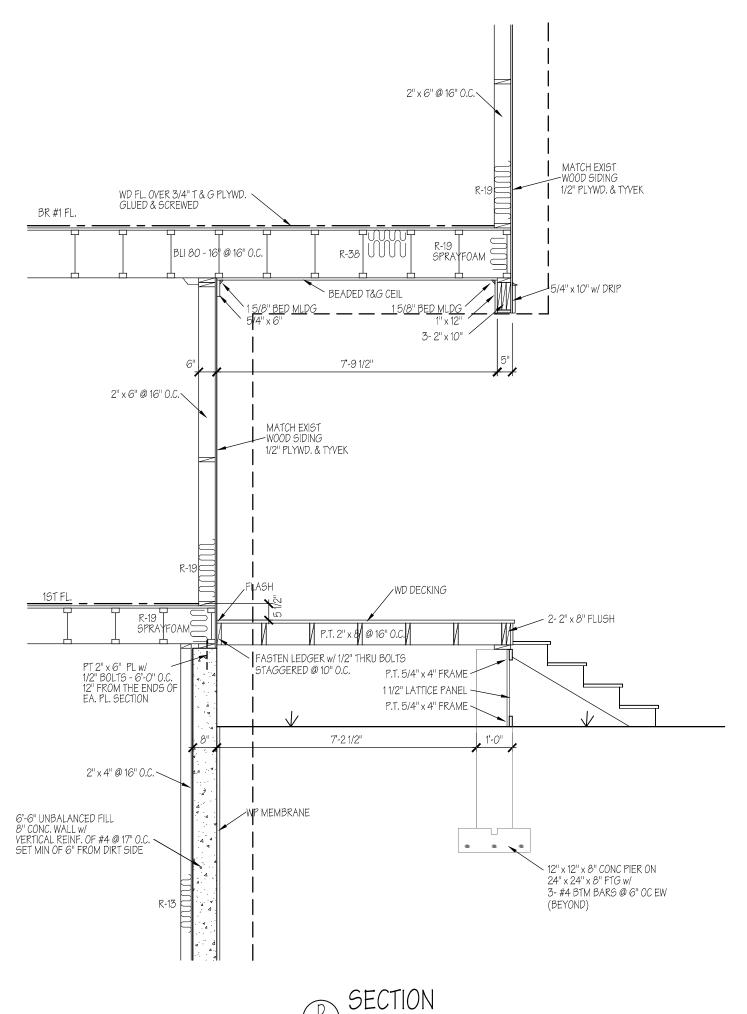
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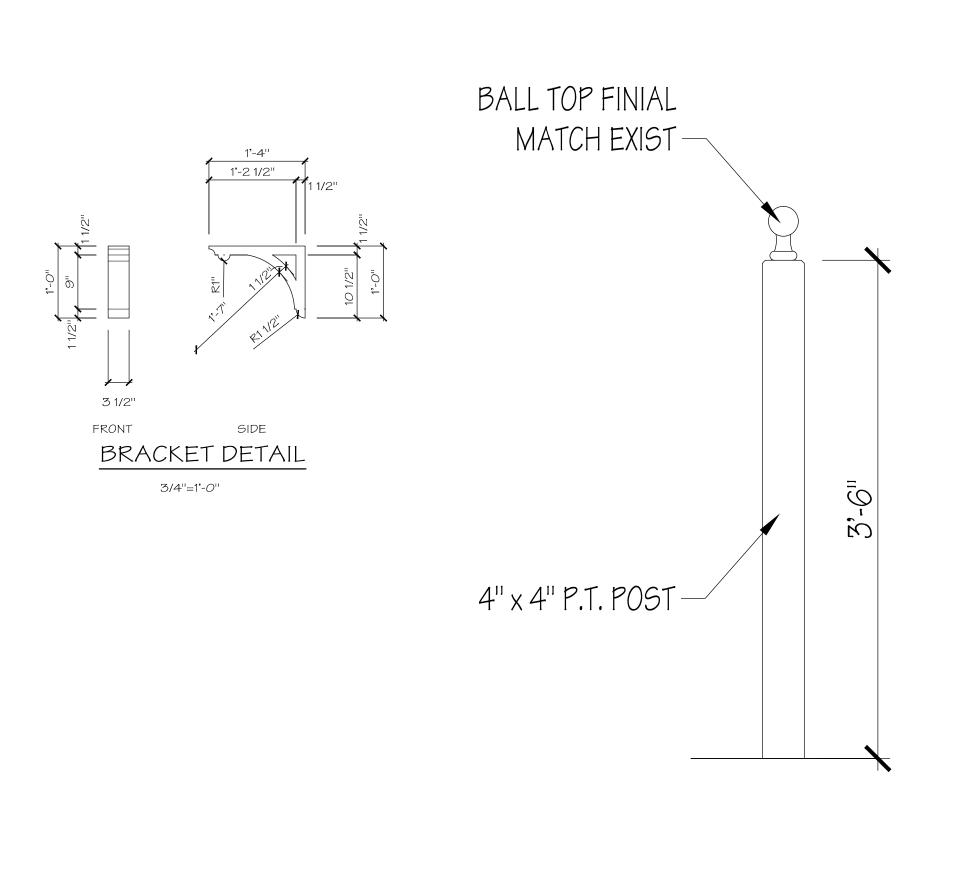
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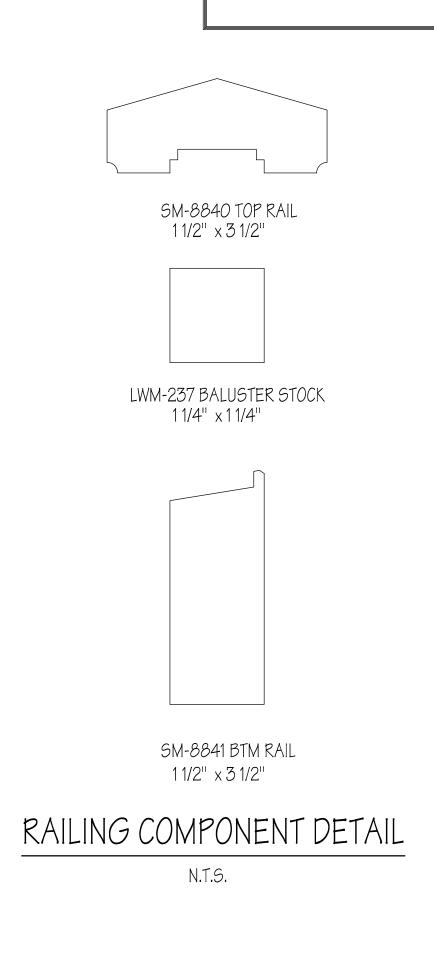
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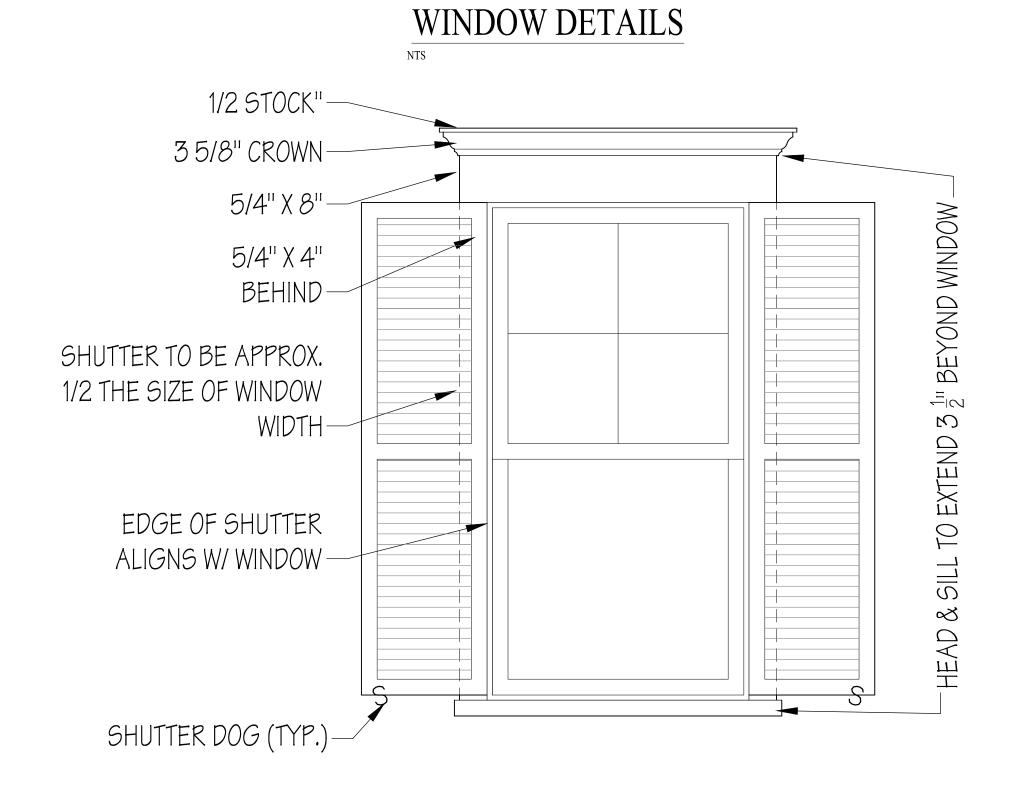
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SECTION C. & D. IININEP PINITED ATTOMATED CHECKED BY CCL

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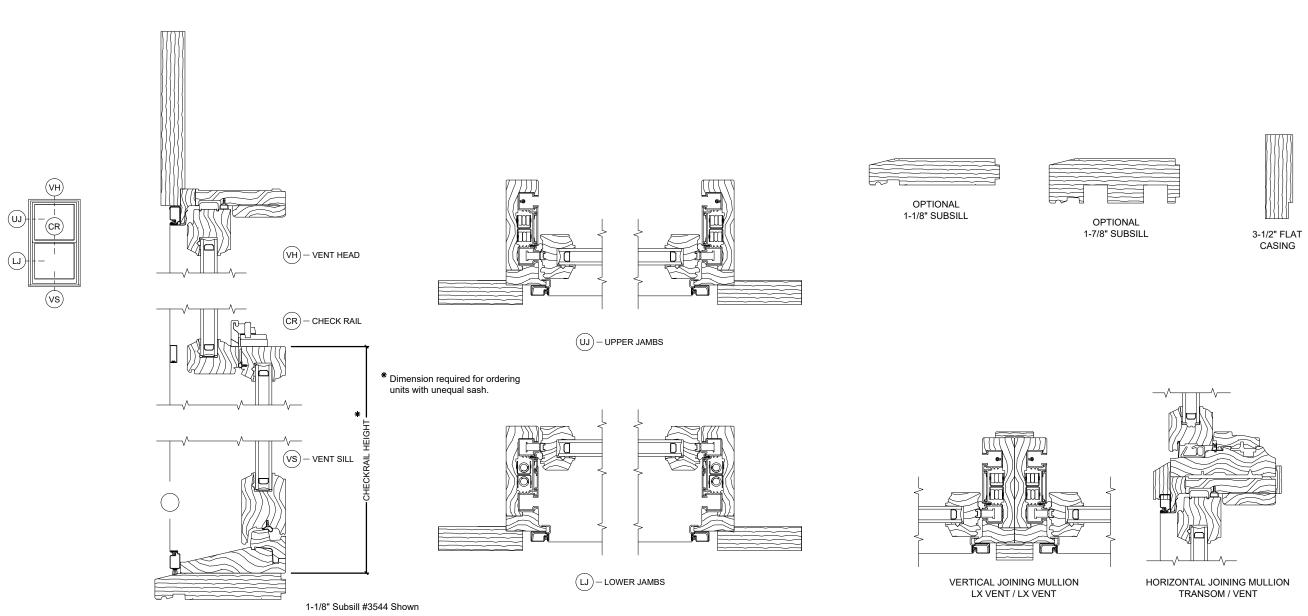


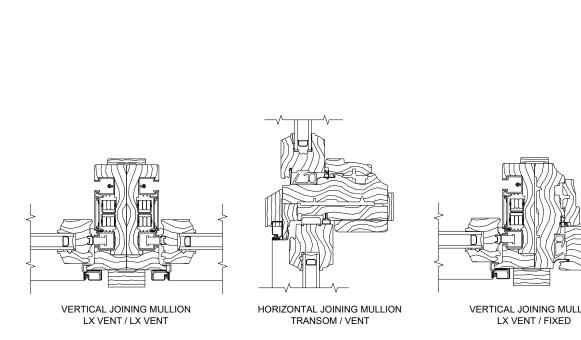


NEWEL POST DETAIL

N.T.S.

BLOCKING AS NECESSARY
FASTEN SHUTTER AT EACH CORNER INTO ADD R-13 🔍 WINDOW SASH NEW 1/2" DRYWALL OVER WINDOW OPENING — EXIST SHUTTERS TO BE CLOSED AND SECURED WINDOW TO BE SHUTTERED 2" x 6" @ 16" 0.C. BLOCKING AS NECESSARY
FASTEN SHUTTER AT EACH CORNER INTO
WINDOW SASH LOCATION OF FASTENER THRU SHUTTER INTO EXISTING WINDOW SASH FOR FUTURE REMOVAL IF NECESSARY WINDOW SHUTTER DETAILS





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MRS. THOMAS DYSKIEWICZ HORNAPPLE PLACE, CHEVY CHASE, (40) 832-8769 STOM HOME RENOVATION & ADDITION

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PAGE 110F 19

and continuous-sheathing (FIGURE 9). Intermittent braced-wall-panels are placed at required locations only. The nonsheathed area between them is infilled with other material such as insulating foam. In continuous-sheathing the entire face of the wall is sheathed, including areas above and

types of bracing: intermittent (FIGURE 8)

below openings. In our region, continuous-sheathing is the predominant sheathing type for the exterior, while intermittent is most common for the interior.

TABLE 3 below lists the most common

bracing methods and a description of each.



FIGURE 8: INTERMITTENT BRACING



FIGURE 9: CONTINUOUS-SHEATING

Methods, Materials	Minimum Thickness	Connection Criteria	Figure
	Intermittent	Methods	
LIB Let-in-bracing	1x4 wood or metal straps, 45° to 60° angles	Wood: 2-8d common nails (2½" long x 0.113" dia.) at each stud Metal: per manufacturer	
WSP Wood structural panel (OSB or plywood)	⅓ "	8d common nails (2 ½" long x 0.113" dia.) @ 6" edges, @ 12" field	
SFB Structural fiberboard sheathing	½" (maximum 16" stud spacing)	Galv. roofing nails (1½" long x 0.113" dia.) @3" edges, @ 6" field or 8d common nails (2 ½" long x 0.113" dia.) @ 6" edges, @ 12" field	
GB Gypsum board	1/2"	Nails: 13 gage x 1½" long, ¹⁹ / ₆₄ " head or 0.098" dia., 1½" long, annular-ringed or 5d cooler nails, 0.086" dia., 1½" long @ 7" Screws: Type W or S @ 7"	
PFH Portal frame with hold-downs	7 /87	See Page 7 for portal frames.	
PFG Portal frame at garage	⁷ / ₁₆ "	See Page 7 for portal frames.	
	Continuous-Sheathing	Methods	
CS-WSP Continuous wood structural panel	7% "	8d common nails (2 ½" long x 0.113" dia.) @ 6" edges, @ 12" field	
CS-G Continuous wood structural panel at garage door opening	(applies to one wall of one-story garages only)	8d common nails (2 ½" long x 0.113" dia.] @ 6" edges, @ 12" field	TIP
CS-SFB Continuous structural fiberboard	½" (maximum 16" stud spacing)	Galv. roofing nails (1½" long x 0.113" dia.) @3" edges, @ 6" field 8d common nails (2½" long x 0.113" dia.) @ 6" edges, @ 12" field	
CS-PF	7, "	Soo Page 7 for partal frames	

PER TABLE 4 (ON OPPOSITE SIDE OF SHEATHING)

IF NEEDED PANEL
SPLICE EDGES SHALL
OCCUR AND BE
ATTACHED TO
COMMON BLOCKING
WITHIN 24" OF WALL
MID-HEIGHT. ONE ROW
OF 3" O.C. NAILING IS
REQUIRED IN EACH
PANEL EDGE.

HEADER WITH TWO ROWS OF 16D SINKER NAILS AT 3" O.C. TYP.

Joints must be fastened using edge

Except for portal frames,

horizontal joints must have 2x

blocking and may occur anywhere

along the height of the braced-wall-

when the amount of actual bracing

provided in the braced-wall-line is at

least double that required by TABLE 1

Horizontal blocking is not required

must occur at a stud.

nailing requirements. Vertical joints

EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TWO BRACED-WALL-PANELS)

WOOD STRUCTURAL PANEL SHEATHING OVER APPROVED BAND OR RIM JOIST

FIGURE 18: METHOD CS-PF

bracing determined in TABLE 1 by a

A braced-wall-panel is not

required to be constructed with a

fiberboard or gypsum board. Vertical

and horizontal joints are permitted.

ENT OF HEADER WITH SINGLE PORTAL FRAME (ONE BRACED-WALL-PANEL)

R602.10.6.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

OVER CONCRETE OR MASONRY BLOCK FOUNDATION

OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION (WHEN PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM JOIS

OVER RAISED WOOD FLOOR - OVERLAP OPTION

BRACED-WALL-PANELS REQUIREMENTS

With the exception of Methods GB, <u>JOINTS</u>

FRONT ELEVATION

For braced segments of walls to be For all methods except Method

considered braced-wall-panels, they LIB, you may eliminate the interior

must meet the minimum requirements finish material if you multiply the

finished with $\frac{1}{2}$ -inch gypsum board or single sheet of OSB, plywood,

Wind Bracing

portal frame

MIXING METHODS

in the same braced-wall-line is permitted provided the method which portion of a braced-wall-line with per TABLE 1 governs the braced-wall- the exterior portion, the corners each braced-wall-line. line design.

bracing methods along the interior end of the continuous-sheathing

portion(s) of the braced-wall-line must meet the conditions listed below. Method CS-SFB cannot be mixed generates the highest required bracing continuous-sheathing methods along with any other method in the same

CONTINUOUS-SHEATHING CORNERS

The corners at each end of a braced-wall-line with continuoussheathing must be strengthened using the options described below. The first option is to have a

braced-wall-panel at each end and a return-panel on the intersecting braced-wall-line as shown in FIGURE 10. The minimum size of a return panel is 24 inches for wood structural panels and 32 inches for structural

A return panel may be omitted if the end-braced-wall-panel is 48 inches minimum as shown in FIGURE 12 or you install an 800 pound hold-down at the end-panel, as shown in FIGURE 11.

If your end-braced-wall-panel is offset from the corner, then you must install an 800 pound hold-down at the edge of the braced-wall-panel as shown in FIGURE 13.

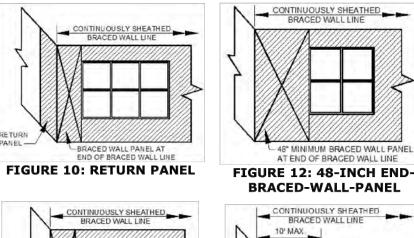
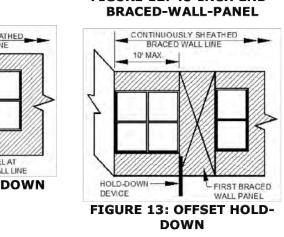


FIGURE 11: HOLD-DOWN



PORTAL FRAMES

For those applications where it is the header which must span over the single portal includes the braced-wallwall-panel, portal frames are easy, narrow options that can be

constructed with common building materials. The code provides three different portal frames. Methods PFH and PFG are intermittent methods, and Method CS-PF is a continuoussheathing method.

Portal frames are tested assemblies equivalent to a standard bracedwall-panel. Their strength is derived from the stiffness created by the connection of the wood sheathing to

WSP, SFB

GB

Supporting roof only

Supporting one story and roof

Use the actual length provided it is greater than or equal to the minimum length

LENGTH

³ Maximum header height for is 10'; however, wall height may be increased to 12' with a pony wall per TABLE 4.

FIGURE 20: BRACED-WALL-PANELS WITH METHODS CS-WSP AND CS-SFB

Wind Bracing

CS-SFB

Wind Bracing

difficult to place a full-length braced- panel. Therefore, it is essential these panel and header spanning over the braced-wall-panels are constructed opening to a jack stud. properly. See FIGURE 14.

FIGURE 14: PORTAL FRAME

Portal frames can be constructed as a single portal or double portal. A

TABLE 5: MINIMUM LENGTH OF BRACED WALL PANELS

A double portal includes a braced-

Actual 2

wall-panel at each side of the opening with a shared continuous header spanning over each panel.

58

Wind Bracing

oundation with cast-in-place hold-Method PFG is an intermittent portal frame with anchor bolts per

Single and double portals can be used together to frame numerous FIGURE 17. Permitted only at garage openings, such as garage doors or windows in sunrooms, and still comply openings, PFG panels can be constructed atop a concrete or with wall bracing requirements. See masonry foundation. FIGURE 15.

<u>METHOD PFH</u> Method PFH is an intermittent portal frame with hold-downs per

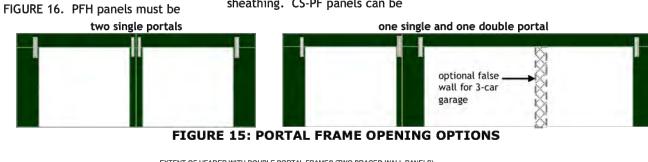
constructed atop concrete or masonry foundations or a raised wood floor as shown in FIGURE 18. A maximum of four Method CS-PF panels can be constructed in each braced-wall-line.

PORTAL FRAME PONY WALLS

Portal frames are permitted to be constructed up to 10 feet tall with an optional pony wall atop up to 2 feet tall. The inclusion of a pony wall does have limitations and requires specific material strengths as listed in TABLE 4.

METHOD CS-PF Method CS-PF, per FIGURE 18, is a portal frame used with continuoussheathing. CS-PF panels can be

constructed atop a concrete



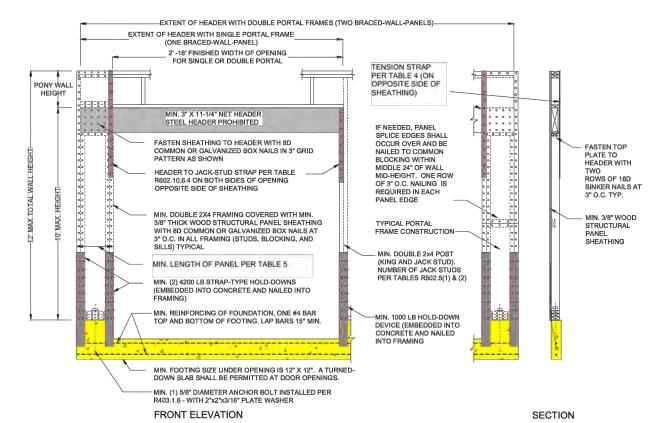


FIGURE 16: METHOD PFH

EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TWO BRACED-WALL-PANELS)... EXTENT OF HEADER WITH SINGLE PORTAL FRAME (ONE BRACED-WALL-PANEL) 2' -18' FINISHED WIDTH OF OPENING FOR SINGLE OR DOUBLE PORTAL PATTERN AS SHOWN SPLICE EDGES SHALL OCCUR OVER AND BE MIN. DOUBLE 2X4 FRAMING COVERED WITH MIN.
 7/16" THICK WOOD STRUCTURAL PANEL SHEATHING
 WITH 8D COMMON OR GALVANIZED BOX NAILS AT 3 O.C. IN FRAMING (STUDS AND SILLS) AS SHOWN, MIN. LENGTH OF PANEL PER TABLE 5 FRONT ELEVATION SECTION FIGURE 17: METHOD PFG

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (ft)	MAXIMUM TOTAL WALL HEIGHT (ft)	MAXIMUM OPENING WIDTH (ft)	TENSION STRAP CAPACITY REQUIRED (lbs) ¹
	0	10	18	1000
			9	1000
	1 1	10	16	1000
			18	1200
			9	1000
	2	10	16	2025
2x4 No. 2 Grade			18	2400
			9	1200
	2	12	16	3200
			18	3850
	4	12	9	2350
			16	design required
			9	1000
	2	12	16	2050
2x6 Stud Grade			18	2450
			9	1500
	4	12	16	3150
			18	3675

Wind Bracing

FLOOR/CEILING CONNECTION Where framing is perpendicular to a braced-wall-panel, a rim joist or blocking must be provided along its length as shown in FIGURE 22. Where framing is parallel to a braced-wall-panel, a rim joist, framing member or blocking must be provided along its length as shown in FIGURE 23.

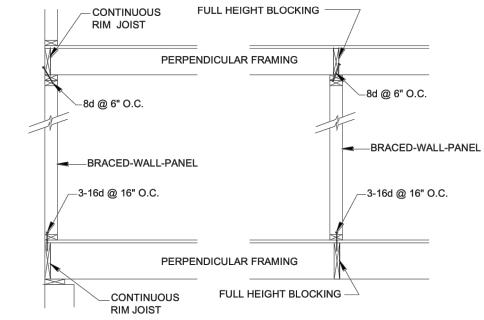
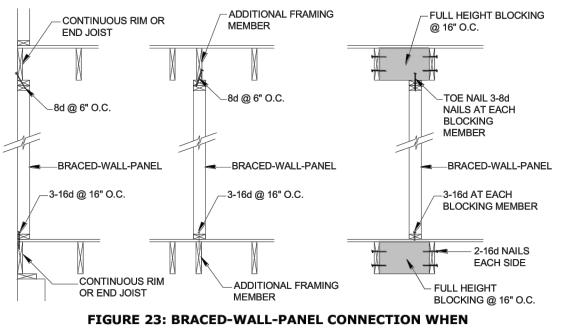


FIGURE 22: BRACED-WALL-PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



PARALLEL TO FLOOR/CEILING FRAMING

Wind Bracing

ROOF CONNECTION

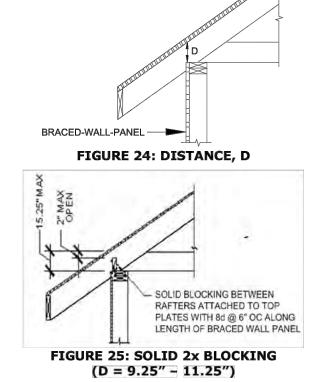
At the roof eave, blocking between the rafter or truss framing is required at braced-wall-panel locations when dimension D, as shown in FIGURE 24, is greater than 9.25 inches. The blocking must be constructed in accordance with TABLE 6 and the referenced figures.

Distance, D

0 - 9.25"

9.25" - 11.25"

11.25" - 48"



over 48" none 6'-0" MAX --FIGURE 26: SOFFIT BLOCKING PANELS

TABLE 6: ROOF FRAMING BLOCKING

No blocking required

Solid 2x blocking betwee

rafters or trusses

Soffit blocking or

Vertical blocking panel

Engineered design

FIGURE 25

FIGURE 27

(D = 11.25'' - 48'')EDGE NAILING PER TABLE R602.3(1) (TYP) - BRACING^a T VENTING BRACED WALL PANEL BRACED WALL PER R802.10 a. Methods of bracing shall be as described in Section R602,10.1.1 (B) ELEVATION

FIGURE 27: VERTICAL BLOCKING PANELS

(D = 11.25'' - 48'')

Wind Bracing

CERTIFICATION:

DYSKIEW ACE, CHE RENOVATION 08-19-19

DATE

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CUSTOM HOME DRAWN BY DATE SHEET NO.

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Wind Bracing

paneling.

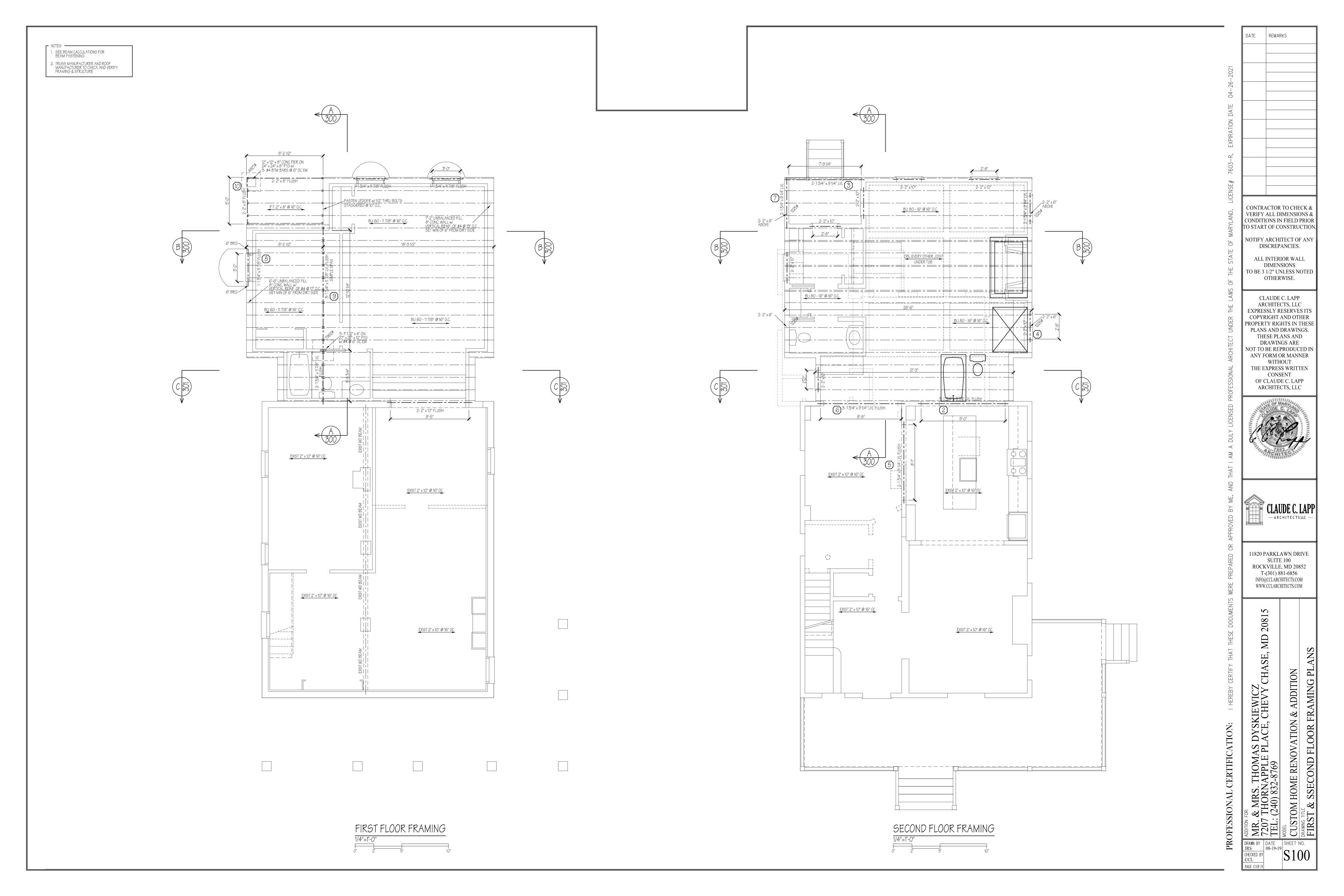
noted herein.

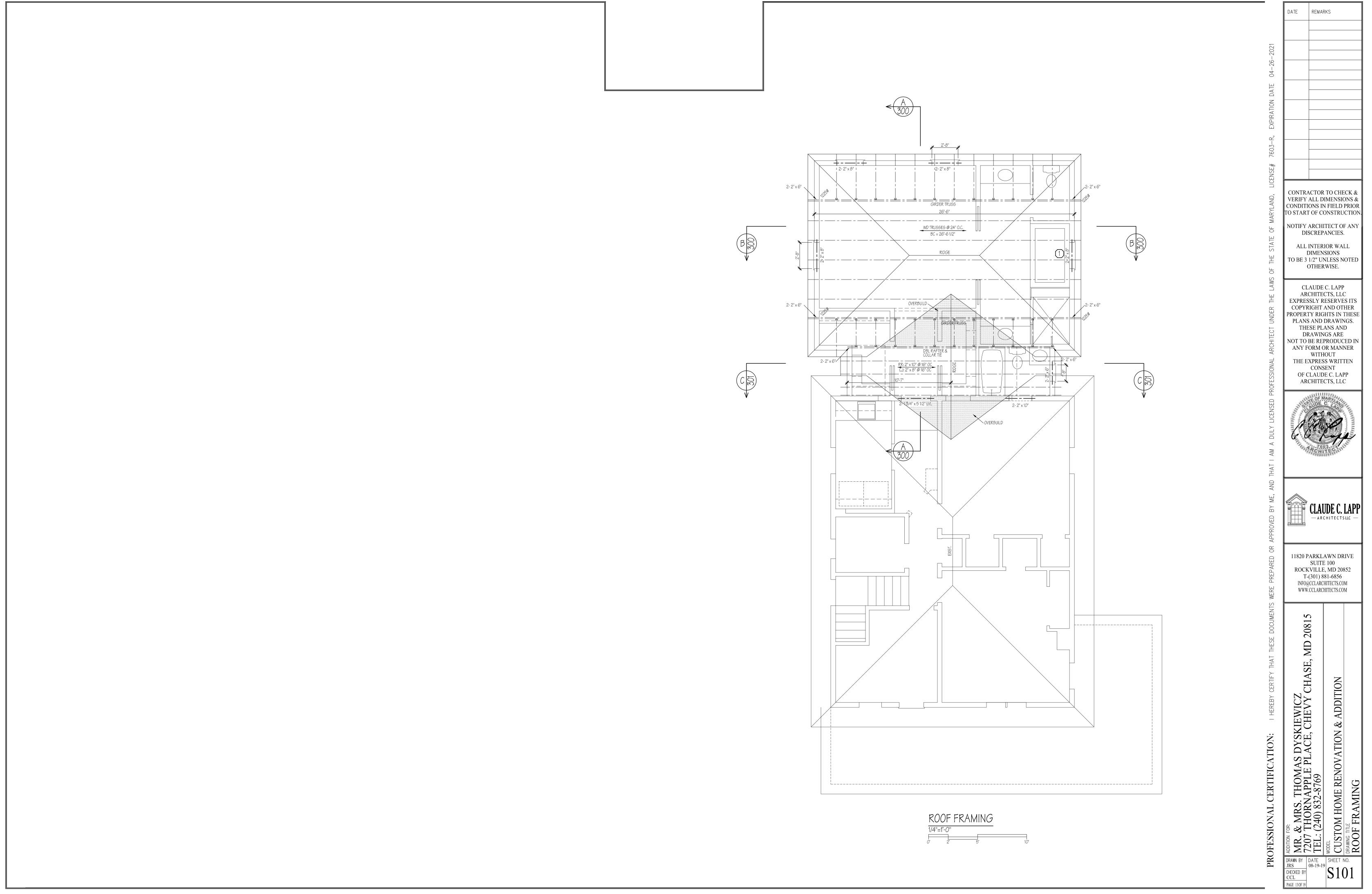
INTERIOR FINISH MATERIAL

PFH, PFG and CS-PF, the interior side

of a braced-wall-panel must be

an equivalent material such as





CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR

NOTIFY ARCHITECT OF ANY

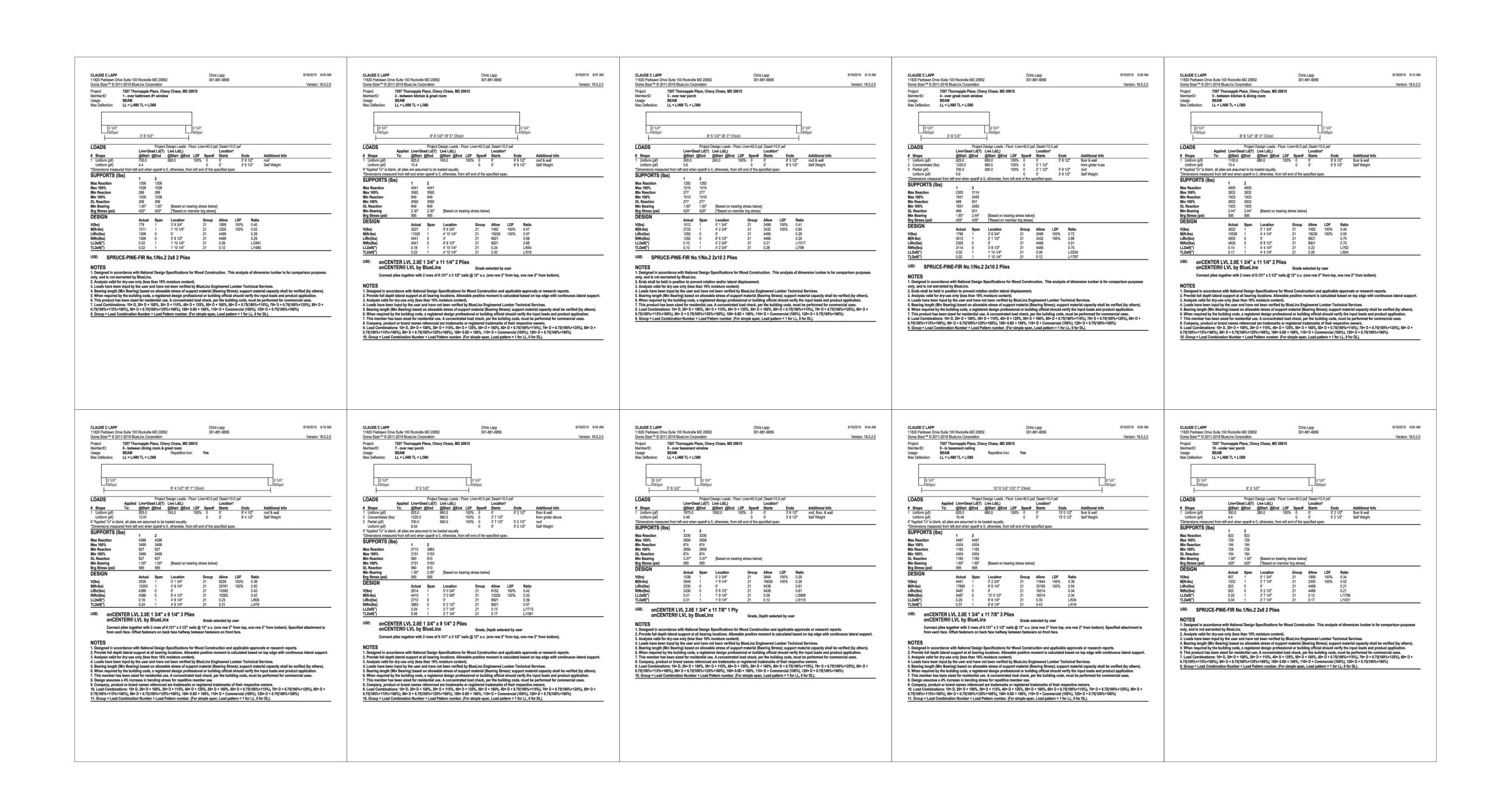
ALL INTERIOR WALL TO BE 3 1/2" UNLESS NOTED

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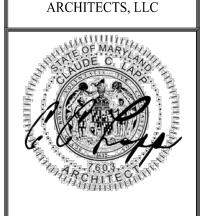
DATE REMARKS CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY

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ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

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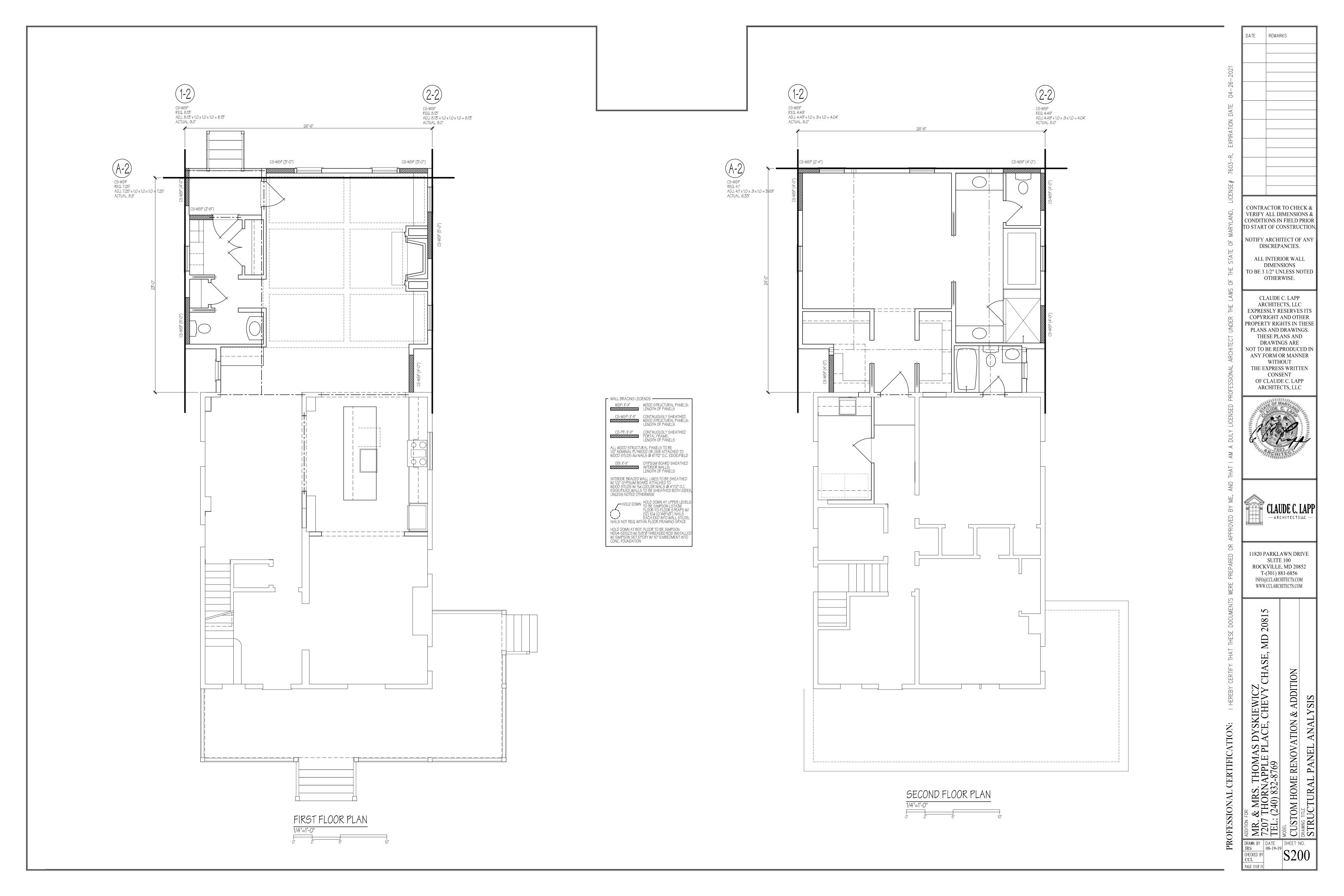
11820 PARKLAWN DRIVE SUITE 100 T-(301) 881-6856

ROCKVILLE, MD 20852 INFO@CCLARCHITECTS.COM WWW.CCLARCHITECTS.COM

208 MD DYSKIEWI ACE, CHEV

CUSTOM HOME RENOVATION
DRAWING TITLE
BEAM CALICITY ATTONS THOMAS I JAPPLE PL, 2-8769 & MRS. T THORNA (240) 832-MR. 47207 TEL:

DRAWN BY DATE SHEET NO. 08-19-19 CHECKED BY PAGE 14 OF 19







LINE OF BUILDING THERMAL REVELOPE CELL THERMAL AREA R-49 CELL THERMAL AREA R-30 CELL THERMAL AREA R-30 THERMAL AREA OVER UNCONDITIONED 97-ACE THERMAL AREA OVER OUTSIDE AIR NOTES 1. ALL DUCTG TO BE INSUL W' MINIMUM R-6, R-9 IN ATTICS 2. ALL DUCTG TO BE SEALED PER IRC MIGOLA.1	SECOND FLOOR PLAN Water W

TO BE 3 1/2" UNLESS NOTED EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. NOT TO BE REPRODUCED IN ANY FORM OR MANNER THE EXPRESS WRITTEN PROFESSIONAL CERTIFICATION:

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ALL INTERIOR WALL DIMENSIONS

OTHERWISE.

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11820 PARKLAWN DRIVE SUITE 100 ROCKVILLE, MD 20852 T-(301) 881-6856 INFO@CCLARCHITECTS.COM WWW.CCLARCHITECTS.COM , MD 20815 MR. & MRS. THOMAS DYSKIEWICZ

MR. & MRS. THOMAS DYSKIEWICZ

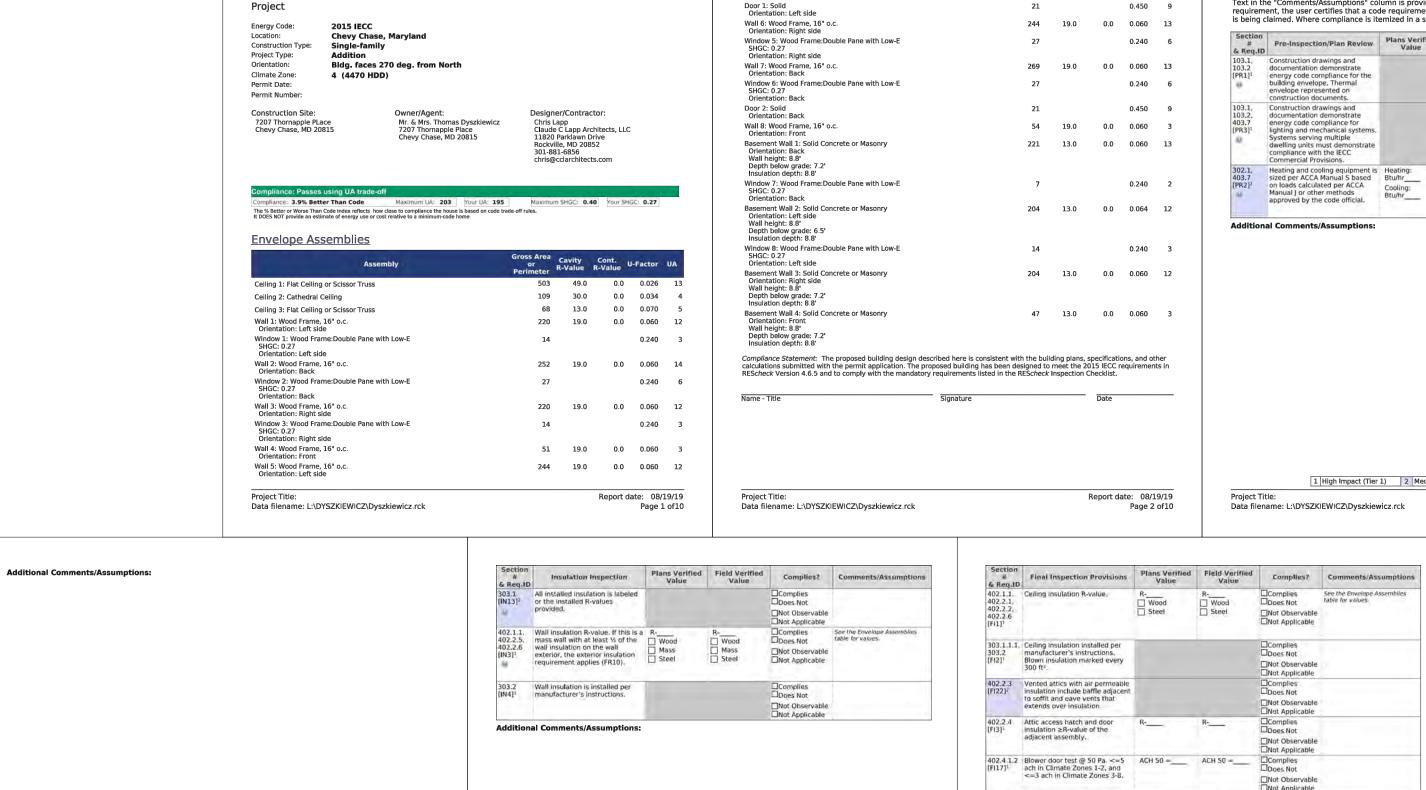
A207 THORNAPPLE PLACE, CHEVY CHASE, MI

TEL: (240) 832-8769

MODEL

CUSTOM HOME RENOVATION & ADDITION

THERMAL ENVELOPE



1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Report date: 08/19/19

Project Title:
Data filename: L:\DYSZKIEWICZ\Dyszkiewicz.rck

Orientation: Left side

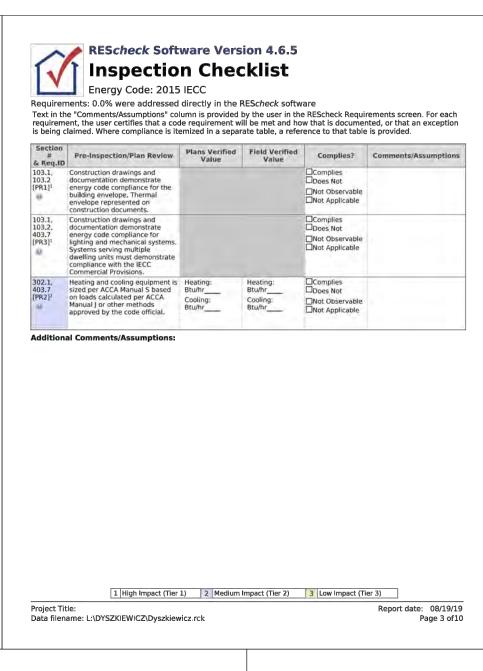
REScheck Software Version 4.6.5

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Data filename: L:\DYSZKIEWICZ\Dyszkiewicz.rck

Report date: 08/19/19

Compliance Certificate



□Complies
□Does Not
□Not Observable

□Not Applicable
□Complies
□Does Not

□Not Observable
□Not Applicable

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□Complies
□Does Not

□Not Observable □Not Applicable

Report date: 08/19/19

Page 8 of 10

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

□ Not Observable
□ Not Applicable
□ Not Applicable
□ Cfm/100 □ □ Complies
□ Does Not

and air flow limits.

Hot water bollers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.

1.1 Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermossyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.

2 Electric heat trace systems

is at set-point temperature and no demand for hot water exists.

403.5.1.2 [Fl29]?

(Fl29]?

(Fl29]?

Electric heat trace systems comply with IEEE 515.1 or UL. 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.

403.5.2 [Fl30]?

Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to 104°F.

403.5.4 [Fl31]?

Fl31]?

Fl31]?

Orain water heat recovery units tested in accordance with CSA 855.1. Potable water-side pressure loss of drain water heat recovery units <3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units <2 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units <2 psi for individual units connected to three or more showers.

75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps. Does not apply to low-voltage lighting.

Data filename: L:\DYSZKIEWICZ\Dyszkiewicz.rck

Gross Area Cavity Cont. U-Factor U/Perimeter R-Value R-Value

403.3.4 | Duct tightness test result of <=4 cfm/100 ft2 across the system or <=3 cfm/100 ft2 across the system or com/100 ft2 without air handler @ 25 Pa, For rough-in tests, verification may need to occur during Framing Inspection.

403.3.3 | Ducts are pressure tested to determine air leakage with either: Rough-in tests: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.

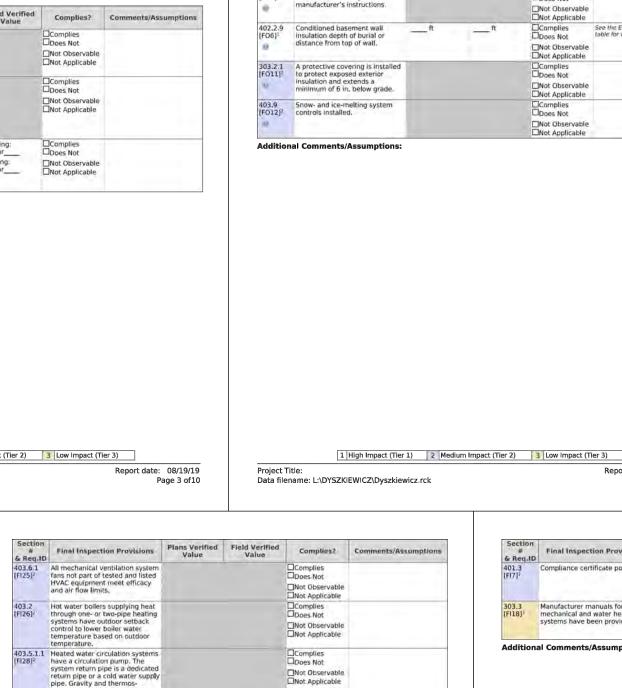
403.3.2.1 | Air handler leakage designated

403,3.2.1 Air handler leakage designated by manufacturer at <=2% of design air flow.

403.1.1 Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.

403.1.2 [FI10]: Heat pump thermostat installed on heat pumps.

Data filename: L:\DYSZKIEWICZ\Dyszkiewicz.rck



□Not Observable
□Not Applicable

☐Not Observable □Not Applicable

☐Not Observable ☐Not Applicable

□Not Observable
□Not Applicable

☐Not Observable

Report date: 08/19/19 Page 9 of10

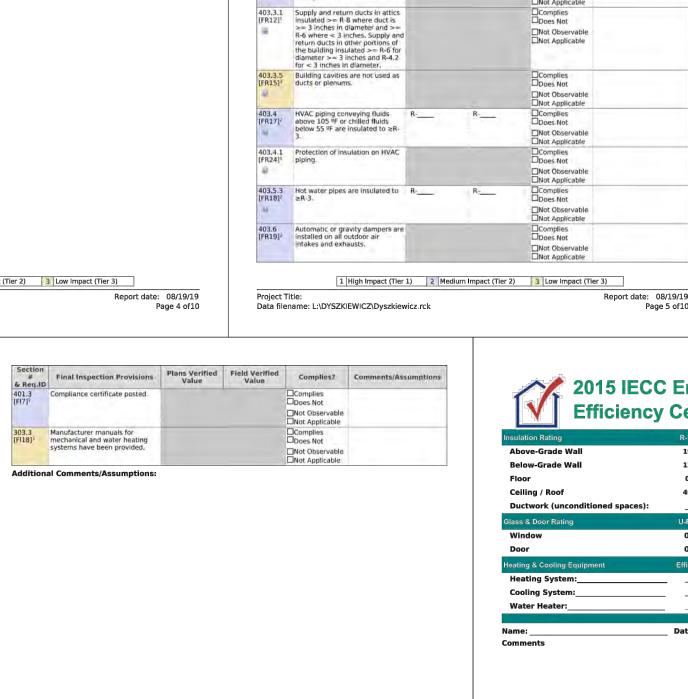
1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during insulation lospection. Not required in warm-humid locations in Climate Zone 3.

□Complies □Does Not

□Complies □Does Not

□Not Observable
□Not Applicable



Report date: 08/19/19

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title:
Data filename: L:\DYSZKIEWICZ\Dyszkiewicz.rck

with the NFRC test procedure of taken from the default table.

installed per manufacturer's instructions.

Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.

nmits.
402.4.5 | Crated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.

Above-Grade Wall 19.00 Below-Grade Wall 13.00 Floor 0.00 Ceiling / Roof 49.00 Ductwork (unconditioned spaces): Glass & Door Rating U-Fact Window 0.24 Door 0.45
Above-Grade Wall 19.00 Below-Grade Wall 13.00 Floor 0.00 Ceiling / Roof 49.00 Ductwork (unconditioned spaces): Glass & Door Rating U-Factor Window 0.24 Door 0.45 Heating & Cooling Equipment Efficient Heating System:
Below-Grade Wall 13.00 Floor 0.00 Ceiling / Roof 49.00 Ductwork (unconditioned spaces): Glass & Door Rating U-Facto Window 0.24 Door 0.45 Heating & Cooling Equipment Efficience Heating System:
Floor 0.00 Ceiling / Roof 49.00 Ductwork (unconditioned spaces): Glass & Door Rating U-Facto Window 0.24 Door 0.45 Heating & Cooling Equipment Efficience Heating System:
Ceiling / Roof 49.00 Ductwork (unconditioned spaces): Glass & Door Rating U-Facto Window 0.24 Door 0.45 Heating & Cooling Equipment Efficience Heating System:
Ductwork (unconditioned spaces): Glass & Door Rating U-Facto Window 0.24 Door 0.45 Heating & Cooling Equipment Heating System:
Glass & Door Rating U-Facto Window 0.24 Door 0.45 Heating & Cooling Equipment Efficience Heating System:
Window 0.24 Door 0.45 Heating & Cooling Equipment Efficience Heating System:
Door 0.45 Heating & Cooling Equipment Efficience Heating System:
Heating & Cooling Equipment Efficience Heating System:
Heating System:
cooling system:
Water Heater:
water freater.
Name: Date:
Comments

Not Applicable

□Not Observable
□Not Applicable

☐Not Observable

Not Applicable

□Not Observable
□Not Applicable

☐Not Observable

MR. & MRS. THOMAS E 7207 THORNAPPLE PLA TEL: (240) 832-8769 MODEL CUSTOM HOME RENOVA PRESCHECK 08-19-19

RENOVATION

DRAWN BY DATE SHEET NO. EC110 CHECKED BY PAGE 19 OF 19

208 MD DYSKIEWICZ JACE, CHEVY (

11820 PARKLAWN DRIVE SUITE 100 ROCKVILLE, MD 20852 T-(301) 881-6856 INFO@CCLARCHITECTS.COM WWW.CCLARCHITECTS.COM

- ARCHITECTSLLC -

DATE

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