

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	16 Oxford St., Chevy Chase	Meeting Date:	9/11/2019
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	9/4/2019
Review:	HAWP	Public Notice:	8/28/2019
Case Number:	35/13-19MM	Tax Credit:	Yes
Applicant:	Matthew and Melissa Leggett	Staff:	Dan Bruechert
Proposal:	Siding Restoration and New Shutters		

STAFF RECOMMENDATION:

☒ Approve
☐ Approve with conditions

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Chevy Chase Village Historic District
STYLE: Dutch Colonial
DATE: 1918



Figure 1: 16 Oxford St. is near the intersection of Oxford St. and Brookville Rd.

PROPOSAL

Most of the work identified in the HAWP application is repair or general maintenance and does not require HPC approval. There are two work elements that require review by the HPC:

- Removing the aluminum siding on the house and garage and repairing the clapboards underneath; and,
- Replacing non-historic shutters with shutters that match the historic wood shutters.

Removing the non-historic siding and repairing the wood clapboards is considered a preservation best practice and is supported by Chapter 24A, *The Chevy Chase Village Historic District Design Guidelines*, and *The Secretary of the Interior's Standards for Rehabilitation*. There are examples of the historic wood shutters that will be replicated and replace the non-historic shutters found at select windows.

Staff Recommends approval.

All proposed work qualifies for the Montgomery County Historic Preservation Tax Credit.

APPLICABLE GUIDELINES

The use of the expedited review form is supported by the two items on the Policy on Use of Expedited Staff Reports for Simple HAWP Cases:

3. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and, where necessary, replaced in kind.
5. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in *Chapter 24A-8(b)(1),(2), and (d)* having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district, the *Chevy Chase Village Historic District Design Guidelines*, and the purposes of *Chapter 24A*; and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10,

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: Matthew.h.leggett@gmail.com Contact Person: Matt Leggett
Daytime Phone No.: 202-210-0201

Tax Account No.: _____
Name of Property Owner: Matthew Leggett/Melissa Leggett Daytime Phone No.: 202-210-0201
Address: 16 Oxford Street Cherry Chase Maryland 20815
Street Number City State Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 16 Street: Oxford Street
Town/City: Cherry Chase Nearest Cross Street: Brookville Road
Lot: 921 & 22 Block: 54, sec 2 Subdivision: 009
Liber: 17293 Folio: 458 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☒ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Stab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☒ Other: Siding, Repainting

1B. Construction cost estimate: \$ 22,500

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSION/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Matthew H. Leggett
Signature of owner or authorized agent

08/07/2019
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached

2. SITE PLAN See attached plot.

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS Not applicable.

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS All existing materials to be refurbished to match existing in kind.

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS See attached.

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY Not applicable.

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS See attached.

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Attachment – Project Description

1. Written description of project

(a) Description of existing structure(s) and environmental setting, including their historical features and significance:

The Chevy Chase Village Historic District was created in 1995, with 11 buildings initially, and expanded in 1998 to include 326 structures, mostly residences, between the Chevy Chase Club and Bradley Lane on the north and Western Avenue on the south.

According to a document available on the Montgomery Planning Department website, quoting *Places from the Past: The Tradition in Gardez Bien in Montgomery County, Maryland* by Clare Lise Cavicchi:

Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

The property located at 16 Oxford Street was approved as a “certified historic structure” by the Maryland Historical Trust on August 4, 2017. Constructed in 1918, the property is a Colonial Revival, two-story, side gable-roofed, wood and stucco house with painted aluminum siding, rectangular in shape. It features regularly spaced window openings on the first and second floors, six over six double-hung sash windows, and a columned front porch. On the interior, the first floor is divided by a hall with a staircase and living and dining rooms on either side. The kitchen, breakfast room, family room, and half bathroom are located in the rear. The second floor contains four bedroom, two bathrooms, and one sun room. There is a detached garage at the rear of the property that was built at the same time as the house.

In 2018, a project was completed to remove, restore, and reinstall eleven six over six double-hung sash windows located in four bedrooms and two bathrooms on the second story that appear on the North, East, West, and South facades. To varying degrees, these windows did not operate properly, did not meet in the middle to lock properly, had broken sash cords, had broken or missing glass panes, had deteriorating wood pieces, needed reglazing, and needed weatherizing. Repairs were made in-kind, with materials matching the design, size, scale, composition, and visual characteristics of the existing materials. No historic windows were replaced with modern windows. The project did not attempt to restore a missing feature that was in place historically. The project successfully solved the rehabilitation problem.

(b) General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

We propose to continue our work to restore 16 Oxford Street to its original beauty and maintain its good condition. Specifically, we plan to:

- Remove aluminum siding on north, east, and west façade of house, and on north, east, west, and south façade of detached garage.

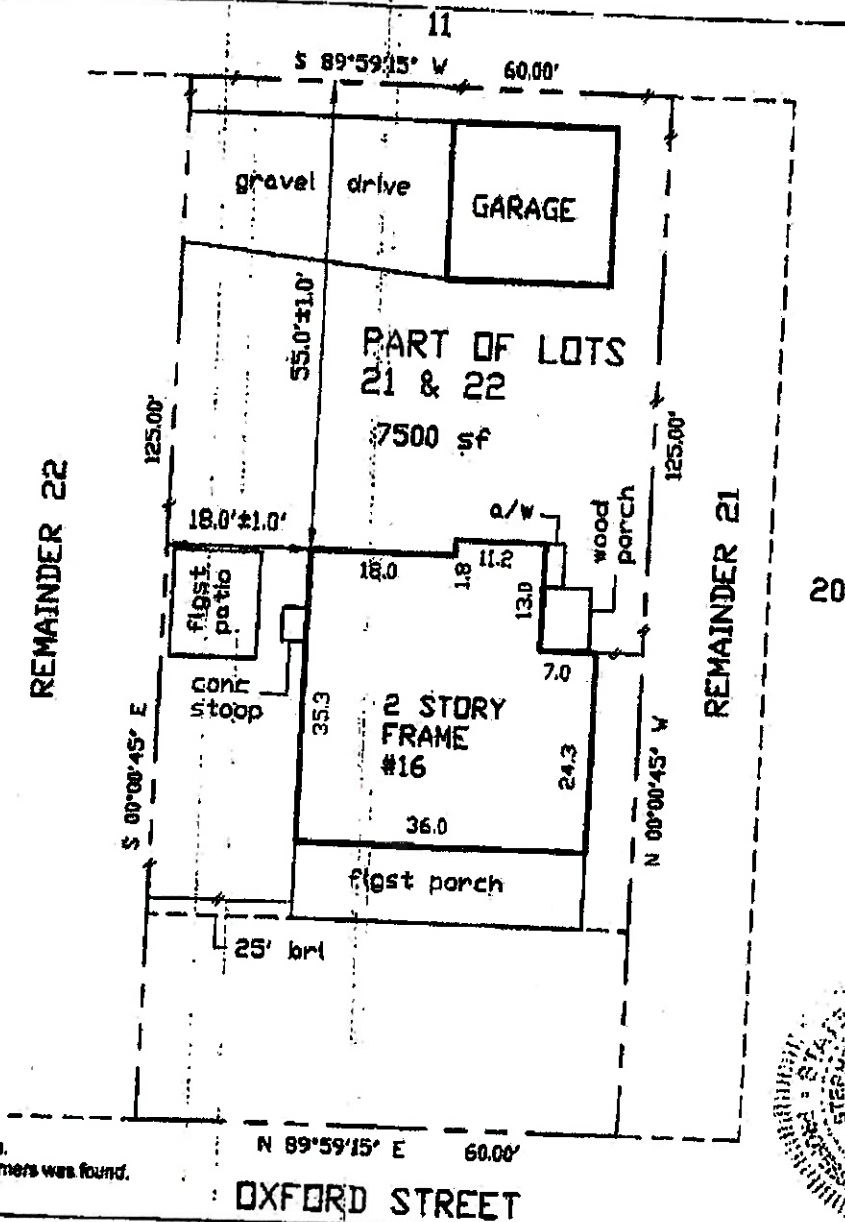
Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Attachment – Project Description

- Repair, caulk, and repaint original wood siding (underneath existing aluminum siding) on north, east, and west façade of house, and on north, east, west, and south façade of detached garage.
- Repair and repaint wood ceiling, trim, and molding under porch and eaves on north, east, and west façade of house.
- Repair and repaint stucco on north, east, and west façade of house.
- Repaint aluminum siding and wood ceiling, trim, and molding under porch on south façade of house.
- Repair and repaint original wood shutters, and replace non-original shutters with wood shutters that match original wood shutters, on house and on detached garage.
- Repair aluminum gutters and downspouts on house and on detached garage, as needed.

Repairs will be made in-kind, with materials matching the design, size, scale, composition, and visual characteristics of the existing materials. The project will not attempt to restore a missing feature that was in place historically.

Matthew Leggett
16 Oxford St.



Apparent occupation shown.
No evidence of property corners was found.

OXFORD STREET

Date: 08-22-16 Scale: 1" = 20' Dm: R.C.D.
 Plat Book: 2
 Plat No.: 108 NO TITLE REPORT FURNISHED
 Work Order: 16-1440
 Address: 16 OXFORD STREET
 District: 07
 Jurisdiction: MONTGOMERY COUNTY, MARYLAND

LOCATION DRAWING
 PART OF LOTS 21 & 22
 BLOCK 54 SECTION TWO
 CHEVY CHASE
 LIBER 17293
 FOLIO 488

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Surveyor's Certification
 My License expires February 10, 2018

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building restriction lines shown are per available information and are subject to the interpretation of the originator.

Stephen J. Westfield

Meridian Surveys, Inc.
 PO BOX 548
 FREDERICK, MD 21705
 (301) 721-9400

Existing Property Condition Photographs



Photo 1. 08/05/19. Front (north) elevation. Project area. As viewed from Oxford Street. Opposite 33 Oxford Street.



Photo 2. 08/05/19. Front (north) elevation. Project area. Center close-up showing aluminum siding to be removed; shutters to be restored and painted; wood porch ceiling, trim, and molding to be repaired and painted; stucco to be repaired and painted; aluminum gutters to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Existing Property Condition Photographs



Photo 3. 08/05/19. Front (north) elevation. Project area. Left close-up showing aluminum siding to be removed; shutters to be restored and painted; wood porch ceiling, trim, and molding to be repaired and painted; stucco to be repaired and painted; aluminum gutters and downspouts to be repaired.



Photo 4. 08/05/19. Front (north) elevation. Project area. Right close-up showing aluminum siding to be removed; shutters to be restored and painted; wood porch ceiling, trim, and molding to be repaired and painted; stucco to be repaired and painted; aluminum gutters and downspouts to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Existing Property Condition Photographs



Photo 5. 08/05/19. Front (north) elevation. Project area. Detail of shutter to be restored and painted.



Photo 6. 08/05/19. Front (north). Project area. Porch. Detail of wood porch ceiling, trim, and molding to be repaired and painted.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Existing Property Condition Photographs



Photo 7. 08/05/19. Front (north). Project area. Porch. Detail of wood porch ceiling, trim, and molding to be repaired and painted; aluminum gutters and downspouts to be repaired.



Photo 8. 08/05/19. Front (north). Project area. Porch. Detail of stucco to be repaired and painted.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Existing Property Condition Photographs



Photo 9. 08/05/19. Side (east) elevation. Project area. Opposite 18 Oxford Street.



Photo 10. 08/05/19. Side (east) elevation. Project area. Left close-up showing aluminum siding to be removed; non-original shutters to be replaced and painted; aluminum gutters to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815



Photo 11. 08/05/19. Side (east) elevation. Project area. Right close-up showing aluminum siding to be removed; non-original shutters to be replaced and painted; wood ceiling, trim, and molding to be repaired and painted; aluminum gutters to be repaired.



Photo 12. 08/05/19. Side (east). Project area. Detail of shutters to be restored and painted; wood ceiling, trim, and molding to be repaired and painted; stucco to be repaired and painted; aluminum gutters and downspouts to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815



Photo 13. 08/05/19. Side (east). Project area. Detail of wood ceiling, trim, and molding to be repaired and painted.



Photo 14. 08/05/19. Side (east). Project area. Detail of wood ceiling, trim, and molding to be repaired and painted; aluminum gutters to be repaired.



Photo 15. 08/05/19. Side (west) elevation. Project area. Opposite 14 Oxford Street.



Photo 16. 08/05/19. Side (west) elevation. Project area. Center close-up showing aluminum siding to be removed; non-original shutters to be replaced and painted; wood ceiling, trim, and molding to be repaired and painted; stucco to be repaired and painted; aluminum gutters and downspouts to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815



Photo 17. 08/05/19. Side (west). Project area. Detail of wood ceiling, trim, and molding to be repaired and painted; stucco to be repaired and painted; aluminum gutters and downspouts to be repaired.



Photo 18. 08/05/19. Side (west). Project area. Detail of wood ceiling, trim, and molding to be repaired and painted; stucco to be repaired and painted; aluminum gutters and downspouts to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Existing Property Condition Photographs



Photo 19. 08/05/19. Back (south) elevation. Project area. Opposite 6300 Brookfield Road.



Photo 20. 08/05/19. Back (south) elevation. Project area. Left close-up showing aluminum siding to be painted; shutters to be painted; wood ceiling, trim, and molding to be painted; aluminum gutters and downspouts to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Existing Property Condition Photographs



Photo 21. 08/05/19. Back (south) elevation. Project area. Right close-up showing aluminum siding to be painted; shutters to be painted; aluminum gutters and downspouts to be repaired.



Photo 22. 08/05/19. Backyard (south). Garage. Project area. Opposite 6300 Brookfield Road and 14 Oxford Street.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Existing Property Condition Photographs



Photo 23. 08/05/19. Backyard (south). Garage. Project area. Close-up of north side of garage showing aluminum siding to be removed; shutters to be restored and painted; aluminum gutters and downspouts to be repaired.



Photo 24. 08/05/19. Backyard (south). Garage. Project area. Close-up of east side of garage showing aluminum siding to be removed; aluminum gutters and downspouts to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

Existing Property Condition Photographs

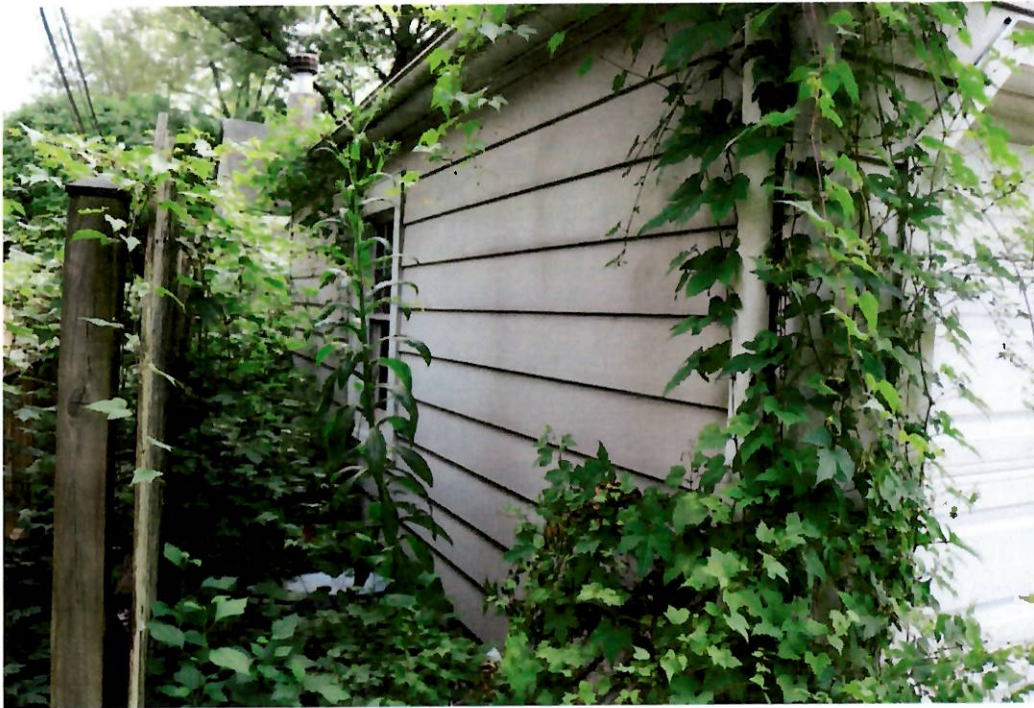


Photo 25. 08/05/19. Backyard (south). Garage. Project area. Close-up of south side of garage showing aluminum siding to be removed; aluminum gutters and downspouts to be repaired.

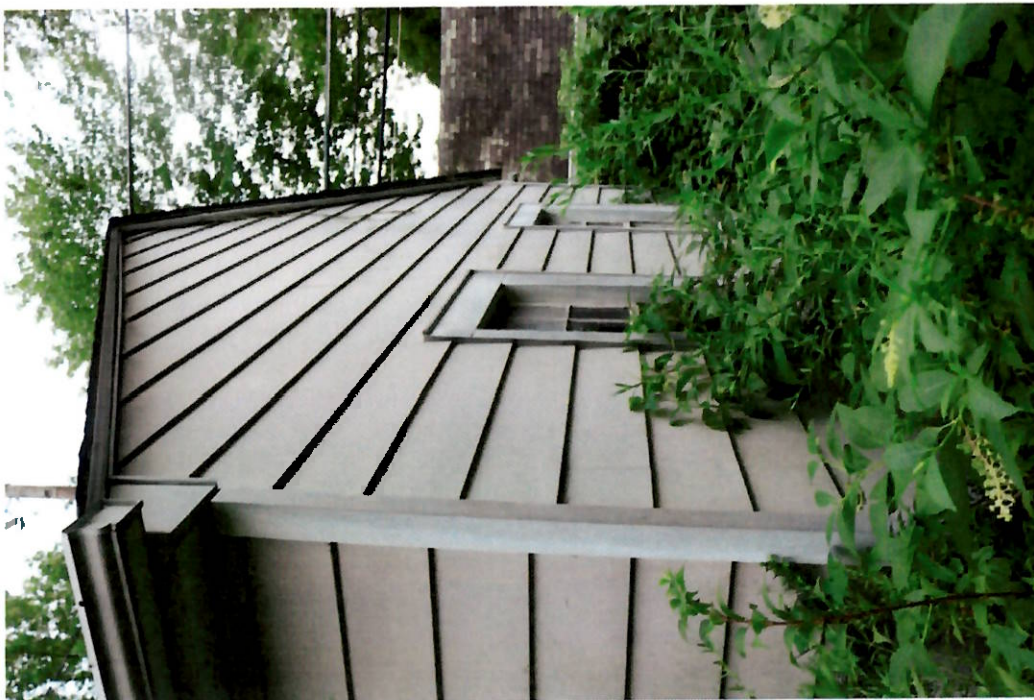


Photo 26. 08/05/19. Backyard (south). Garage. Project area. Close-up of west side of garage showing aluminum siding to be removed; aluminum gutters and downspouts to be repaired.

Applicant: Matthew H. Leggett, 16 Oxford Street, Chevy Chase, Maryland 20815

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Matthew H. Leggett Melissa V. Leggett 16 Oxford Street Cherry Chase, MD 20815	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Scott E. Talbott LeAnn H. Talbott 33 Oxford Street Cherry Chase, MD 20815	Gail S. Feldman 18 Oxford Street Cherry Chase, MD 20815
J. W. Rayder Jr. Helene Rayder 14 Oxford Street Cherry Chase, MD 20815	Suzanne G. Hodges Trustee 6300 Brookville Road Cherry Chase, MD 20815