

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	24 W. Kirke St., Chevy Chase	<b>Meeting Date:</b>	9/11/2019
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	9/4/2019
<b>Applicant:</b>	John & Marilyn Montgomery Jordan Day, Architect	<b>Public Notice:</b>	8/28/2019
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	35/13-19LL	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Rear Porch Enclosure		

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**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Craftsman  
**DATE:** 1913



*Figure 1: 24 W. Kirke St. is near the intersection of W. Kirke St. and Magnolia Pkwy.*

## **PROPOSAL**

The applicant proposes to enclose the non-historic rear porch using materials and a design that matches the 2013 rear addition.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Historic District Guidelines***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

**“Lenient Scrutiny”** means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

**“Moderate Scrutiny”** involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

**“Strict Scrutiny”** means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

HAWP applications for exterior alterations, changes, and/or additions to non-contributing/out-of-period resources should receive the most lenient level of review. Most alterations and additions should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not. Exterior trim on Outstanding resources should be subject to strict scrutiny if it is visible from the public right-of-way.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have

occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.

- Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

#### **Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

#### **Secretary of the Interior's Standards for Rehabilitation**

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **STAFF DISCUSSION**

The applicant proposes enclosing the rear porch constructed off of the non-historic rear addition (approved by the HPC and constructed in 2013). Staff finds that the proposal complies with the *Guidelines*, *Chapter 24A*, and the *Standards* and recommends approval of this HAWP.

The proposed rear porch enclosure will maintain the existing support posts and roofing. The walls will be covered with wood shingles that match the exterior of the addition. The windows and doors will match the Andersen 400 series windows approved and installed in 2013. Staff finds that due to the orientation of the house and placement of the addition, confirmed by a site visit, the existing porch is not visible from the public right-of-way.

The *Guidelines* state that a compatibly designed porch enclosure should be approved as a matter of course; Staff finds the porch details are compatible with the historic house and its addition. Additionally, the *Guidelines* state that rear porch enclosures are to be reviewed under lenient scrutiny when they cannot be seen from the public right-of-way. Staff finds the siding, windows, doors, and roofing proposed for the enclosure are all consistent with the approval for the 2013 addition; and are *less* visible from the public right-of-way than the addition (per Standard 2 and 24A-8(b)(2)). Finally, the porch enclosure will not destroy any historic fabric and could be removed without any impact on the character of the building in the future, per Standards 9 and 10 and 24A-8(b)(2).

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in *Chapter 24A-8(b)(1) and (2)*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district, the *Chevy Chase Village Historic District Design Guidelines*, and the purposes of *Chapter 24A*; and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10,

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.

#1885574



DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Team@RLarchs.com Contact Person: Jordan Day  
RLeggin@RLarchs.com Daytime Phone No.: 301-320-0107  
Tax Account No.: 00457280  
Name of Property Owner: John and Marilyn Montgomery Daytime Phone No.: 301-312-6463  
Address: 24 West Kirke St Cherry Chase MD 20815  
Street Number City State Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING PREMISE

House Number: 24 West Kirke St Street \_\_\_\_\_  
Town/City: Cherry Chase Nearest Cross Street: Magnolia Parkway  
Lot: P13 Block: 32 Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: ☐ Construct ☐ Extend ☒ Alter/Renovate ☐ A/C ☐ Slab ☒ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Move ☐ Install ☐ Wreck/Raze ☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Revision ☐ Repair ☐ Revocable ☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 30,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Rehanna A. Gynn 8/6/19  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 885574 Date Filed: 8/7/19 Date Issued: \_\_\_\_\_  
Emc

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

## **WRITTEN DESCRIPTION OF PROJECT**

### **Description of existing structure(s) and environmental setting, including their historical features and significance.**

The existing structure is a two-story traditional house, built in 1913, with an addition to the rear built in 2013. The house is a representative example of houses built in streetcar suburbs at the beginning of the 20<sup>th</sup> century.

### **General description of project and its effect on the historical resource(s), the environmental setting, and where applicable, the historic district.**

The project encloses an existing screened porch at the rear of an addition from 2013 already approved by DPS. Because the addition is contained entirely on the screened porch's existing slab, it will have a minimal impact on its environmental setting. The renovated area is located on the rear façade of the house, in an area not visible from the street. New clapboard siding, historic-style trim, and traditional double-hung windows will match the existing elements of the resource. Due to these factors, and the project's minimal disruption of the site, the project will have a negligible impact on the historic resource and district.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> John and Marilyn Montgomery 24 West Kirke street Chevy Chase, MD, 20815	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Donna and Francisco Arbide 28 West Kirke street Chevy Chase, MD, 20815	West Kirke street Trust 20 West Kirke street Chevy Chase, MD, 20815
Elizabeth and Thomas Brown 27 west Kirke street Chevy Chase, MD, 20815	Bryan and Kathleen Anderson 29 West Kirke street Chevy Chase, MD, 20815
Aaron and Charlotte Kramer 27 W. Irving street Chevy Chase, MD, 20815	Brenden and Margaret Babington 25 W. Irving street Chevy Chase, MD, 20815





**NORTH FACADE, PUBLIC ROW**





**WEST FACADE**



**SOUTH FACADE**





**EAST FACADE**



SYMBOLS

02 SITE WORK

- EARTH/UNDISTURBED
- EARTH/COMPACT FILL
- POROUS FILL/GRAVEL

03 CONCRETE

- CAST IN PLACE
- SAND/MORTAR

04 MASONRY

- BRICK
- CONCRETE MASONRY UNIT
- CONCRETE MASONRY UNIT, GROUTED SOLID STONE
- FLAG STONE
- 5" RANDOM ASHLAR

05 METAL

- ALUMINUM
- BRASS/BRONZE
- STEEL

06 WOOD & PLASTIC

- PLYWOOD
- FINISH
- ROUGH
- BLOCKING

07 THERMAL & MOISTURE PROTECTION

- BATT/LOOSE FILL INSULATION
- RIGID INSULATION
- STRUCTURAL LVL
- RIGID VENT (COR-A-VENT)

08 DOOR & WINDOW

- GLASS
- GLASS BLOCK

09 FINISHES

- ACOUSTICAL TILE
- STUCCO/PARGING
- CERAMIC TILE
- CARPET AND PAD
- HARD WOOD FLOOR
- TERRAZZO
- PLYWOOD

GENERAL NOTES

- All construction shall be in accordance with I.R.C., One and Two Family Dwelling Code, 2015 edition, and all MONTGOMERY COUNTY additions and revisions thereto.
  - Design Live Loads:
    - Sleeping room load 30 lbs./ sq. ft.
    - Floor load 40 lbs./ sq. ft.
    - Roof load 30 lbs./ sq. ft.
    - Deck load 40 lbs./ sq. ft.
    - Garage load 50 lbs./ sq. ft.
  - Soil bearing to be 2000 lbs./ sq. ft. minimum, or unless otherwise specified.
  - Design wind load shall be 20 lbs./ sq. ft., per IRC 90 mph.
  - Maximum height of fill above basement slab shall be seven feet ( 7'-0" ) .
  - Bottom of all concrete footings shall be 24" minimum below finished grade.
  - Foundation walls shall comply with I.R.C. Section R-401 through R-404.
  - Foundation drainage shall comply with I.R.C. Section R-405.
  - Foundation waterproofing shall comply with I.R.C. Section R-406.
  - Top of Garage slab shall be four inches (4") below adjacent finished floors
  - Attached Garages shall comply with I.R.C. Section R-309.
  - Concrete floors shall comply with I.R.C. Section R-506.
  - All concrete shall be 150 lbs./ cubic ft. and conform to A.C.I. 318 specifications.
    - Concrete at porches, garages, slabs, steps and all areas exposed to weather shall be 3500 p.s.i., air-entrained concrete.
    - Foundation walls, exterior walls and other vertical concrete work exposed to weather shall be 3000 p.s.i., air-entrained concrete.
    - All other concrete shall be 3000 p.s.i.
  - All Concrete masonry units (CMU) used in basements and foundation walls shall be load-bearing units conforming to A.S.T.M. C 90-70 for hollow units. At all wood post and wood beam bearing locations on CMU walls, CMU cells shall be grouted solid with grout or mortar at top two courses (minimum).
  - All CMU walls shall have standard truss-type 'DUR-O-WALL' or equiv. Bed joint reinforcing, at maximum 16" vertical spacing.
  - All brick units used in construction exposed to weather, shall conform to A.S.T.M. C 62 or A.S.T.M. C 216.
  - All mortar shall be Type 'S' and shall conform with A.S.T.M. C 270-82.
  - Stone and masonry veneer shall comply with I.R.C. Section R-703.7.
  - Backfilling against basement walls shall not be performed until floor framing at top of wall is in place, and top of reinforced CMU walls are braced against overturning.
  - Maximum allowable lateral pressure on basement walls shall be 30 p.s.f.
  - Reinforcing steel shall be Grade '40' and conform to A.S.T.M. Spec. A-615, unless otherwise noted.
  - Steel post cap plates shall conform with A.S.T.M. Spec. A-36.
    - F(y) = 36,000 p.s.i.
    - Bolts shall comply with A.S.T.M. A-307 (minimum)
  - Steel columns in basement shall be adjustable 3" (I.D.) , S-40 columns, unless otherwise noted.
  - All structural wood framing, including roof and floor sheathing, shall be in accordance with the "National Design Specifications for Wood Construction", published by the National Forest Products Association.
  - All headers shall be (3) 2x10 unless otherwise noted.
  - Provide double jack studs at each end of all headers and beams of spans greater than 5'-0", unless otherwise noted.
  - Splices at the top and bottom course of a double top plate shall be staggered a minimum of 4'-0", and shall not occur at any stud interval which provides bearing for joist and/or rafter above.
  - All roof, floor and girder trusses shall be designed by the Manufacturer to carry required loads and to be installed by the Contractor / SubContractor according to the Manufacturers specifications.
  - Contractor shall provide Architect with Shop Drawings of all floor and roof designs for approval prior to ordering.
  - Provide solid blocking under all jack studs not bearing directly on joists or T.J.I. member.
  - Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie of 18 gauge (min.), 45/1000" thickness and 1-1/2" width shall be fastened to the plate with 16d nails (min.)- across and to each side of the opening.
  - Double beams, double hips and double valley rafters shall be joined securely, per manufacturers recommendations, to ensure the members act conjointly in resisting the applied load.
  - Unless specified otherwise, provide the following lintels at masonry openings:  

Masonry Type	Span	Lintel Size
Brick	3'-0" or less	3.5" x 3.5" x 1/4"
Brick	5'-0" or less	3.5" x 4.0" x 1/4"
Brick	8'-0" or less	3.5" x 5.0" x 5/16"
Brick	9'-0" or less	3.5" x 6.0" x 5/16"
  - Stone 3'-0" or less | 6.0" x 4.0" x 5/16" || Stone | 5'-0" or less | 6.0" x 6.0" x 5/16" |
| Stone | 8'-0" or less | 6.0" x 6.0" x 3/8" |
| Stone | 9'-0" or less | 6.0" x 8.0" x 7/16" |
  - All untreated lumber shall be a minimum of 8" above finished exterior grade.
  - All lumber in contact with concrete or CMU shall be pressure-treated lumber.
  - All prefabricated fireplace construction shall comply with I.R.C. Chapter 10, and with Figure R-1003.1.
  - Chimney / fireplace construction shall comply with I.R.C. Chapter 10 and R-1003.1.
  - Fire-stopping shall comply with I.R.C. Section R-602.8.
  - Draft-stopping shall comply with I.R.C. Section R-602.8.
  - Radon mitigation shall comply with I.R.C. Appendix 'F'.
  - Provide interconnected smoke detectors to protect all floors, bedrooms, and basements referenced in I.R.C. Section R-317.
  - Stairways shall comply with I.R.C. Section R-314.
    - Minimum headroom shall be 6' -8" clear to all points.
    - Minimum tread depth from edge of nosing to face of riser shall be 9".
    - Maximum riser shall be 8-1/4" per Reg. 36-01 amendments.
  - Handrails and guardrails shall comply with I.R.C. Section R-315.
  - All exits shall comply with I.R.C. Section R-311.
  - Sleeping rooms shall comply with I.R.C. Section R-310. Maximum sill height at sleeping rooms shall be 44" above finished floor.
  - All glazing shall comply with I.R.C. Section R-308.
  - All ceiling heights shall comply with I.R.C. Section R-305.
  - All exterior wall coverings shall comply with I.R.C. Section R-703.
  - All gas piping shall comply with N.F.P.A. 54.
  - Electrical wiring shall comply with the latest National Electric Code and Montgomery County requirements.
- Note: Floor and Roof framing plans (including Shop Drawings as required), bearing the signature and seal of the Manufacturer, shall be furnished by the General Contractor at time of Inspection. Brace all members as recommended by Manufacturer.

MONTGOMERY RESIDENCE



885574

PROJECT TEAM

BUILDING OWNER:

JOHN & MARILYN MONTGOMERY  
24 WEST KIRKE STREET  
CHEVY CHASE, MD, 20815

ARCHITECT:

RICHARD LEGGIN ARCHITECTS  
6500 SEVEN LOCKS RD.  
CABIN JOHN, MD 20818  
301.320.0107  
RLEGGIN@RLARCHS.COM

SCOPE OF WORK

- ENCLOSE EXISTING SCREENED PORCH, ADD DOOR/WINDOWS
- ADD CASED OPENING BETWEEN EXISTING KITCHEN AND RENOVATED ROOM

INDEX OF SHEETS

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A201	EAST ELEVATION PROPOSED
A202	SOUTH ELEVATION EXISTING
A203	SOUTH ELEVATION PROPOSED
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A205	WEST ELEVATION PROPOSED
A206	INTERIOR ELEVATIONS
A300	ROOM SECTION
A400	WALL SECTION
A500	DETAILS

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am duly licensed architect under laws of the State of Maryland,

License No. 7023  
Expiration Date: 04/05/2020

RICHARD  
LEGGIN  
ARCHITECTS



301-320-0107

MacArthur Plaza II, Suite #210  
6500 Seven Locks Road  
Cabin John, MD 20818

Montgomery Residence

24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

COVER PAGE

No.	Description	Date

Sheet Number:

A000  
12



PART OF LOT 1  
(RE-SUBDIVIDED)

PART OF LOT 2  
(RE-SUBDIVIDED)

PART OF LOT 3  
(RE-SUBDIVIDED)

WEST 62.00' (RECORD)  
WEST 61.88' (SURVEY)

8.33  
FRAME  
SHED  
8.0

SOUTH 125.00' (RECORD)  
SOUTH 124.32' (SURVEY)

REMAINDER PART  
OF LOT 13

20.8'

PATIO

16.6

16.6

10.33

23.4

50.0

2 STORY  
FRAME #24

30.7

17.6

20.7'

34.6

6.4'

29.6'

PART OF LOT 13  
7,750 SF (RECORD)  
7,692.7 SF (SURVEY)

29.8'

ASPHALT DRIVEWAY

28.4'

EAST 62.00' (RECORD)  
EAST 61.88' (SURVEY)

NORTH 125.00' (RECORD)  
NORTH 124.32' (SURVEY)

LOT 12

NORTH



ENCLOSE EXG. SCREENED PORCH

PROFESSIONAL CERTIFICATION:

I hereby certify that these documents were prepared or approved by me,  
and that I am duly licensed architect under laws of the State of Maryland,  
License No. 7023  
Expiration Date: 04/05/2020

RICHARD  
LEGGIN  
ARCHITECTS



301-320-0107

MacArthur Plaza II, Suite #210  
6500 Seven Locks Road  
Cabin John, MD 20818

Montgomery Residence

24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

SITE PLAN

No.	Description	Date

Sheet Number:

A001  
13

SITE PLAN

1/16"=1'-0"  
SCALE





SOUTH FACADE



WEST FACADE



EAST FACADE



NORTH FACADE, FROM PUBLIC ROW

PROFESSIONAL CERTIFICATION

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License No. 7023  
Expiration Date: 04/05/2020

RICHARD  
LEGGIN  
ARCHITECTS

301-320-0107

MacArthur Plaza II, Suite #210  
6500 Seven Locks Road  
Cabin John, MD 20818

Montgomery Residence  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

SITE PHOTOS

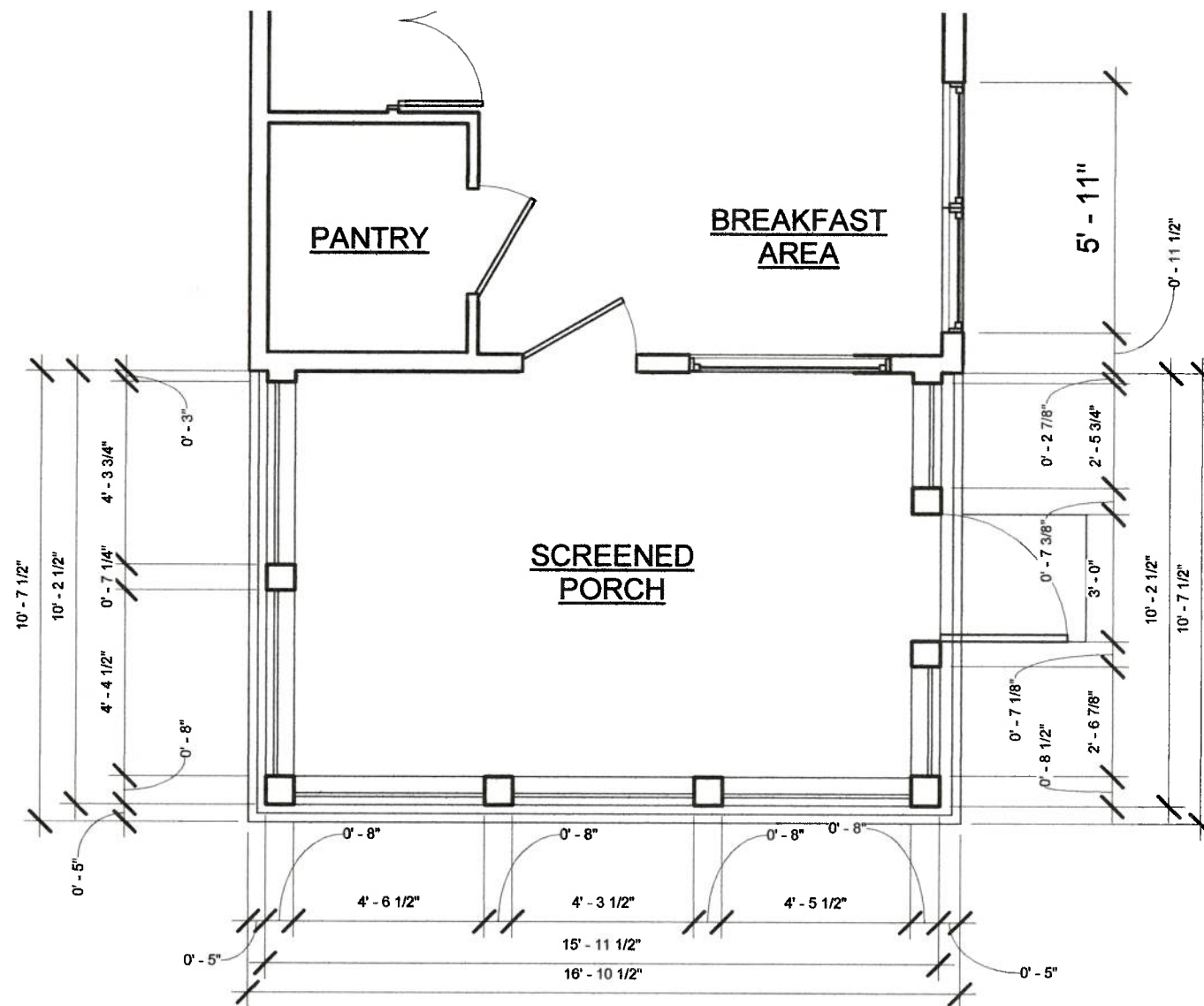
No.	Description	Date



Sheet Number:

A002  
14





FIRST FLOOR EXISTING

1/4"=1'-0"  
SCALE

RICHARD  
LEGGIN  
ARCHITECTS



301-320-0107

MacArthur Plaza II, Suite #210  
6500 Seven Locks Road  
Cabin John, MD 20818


Montgomery Residence  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815  
FIRST FLOOR EXISTING

No.	Description	Date

Sheet Number:

A100  
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301-320-0107

MacArthur Plaza II, Suite #210  
6500 Seven Locks Road  
Cabin John, MD 20818

Montgomery Residence

24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

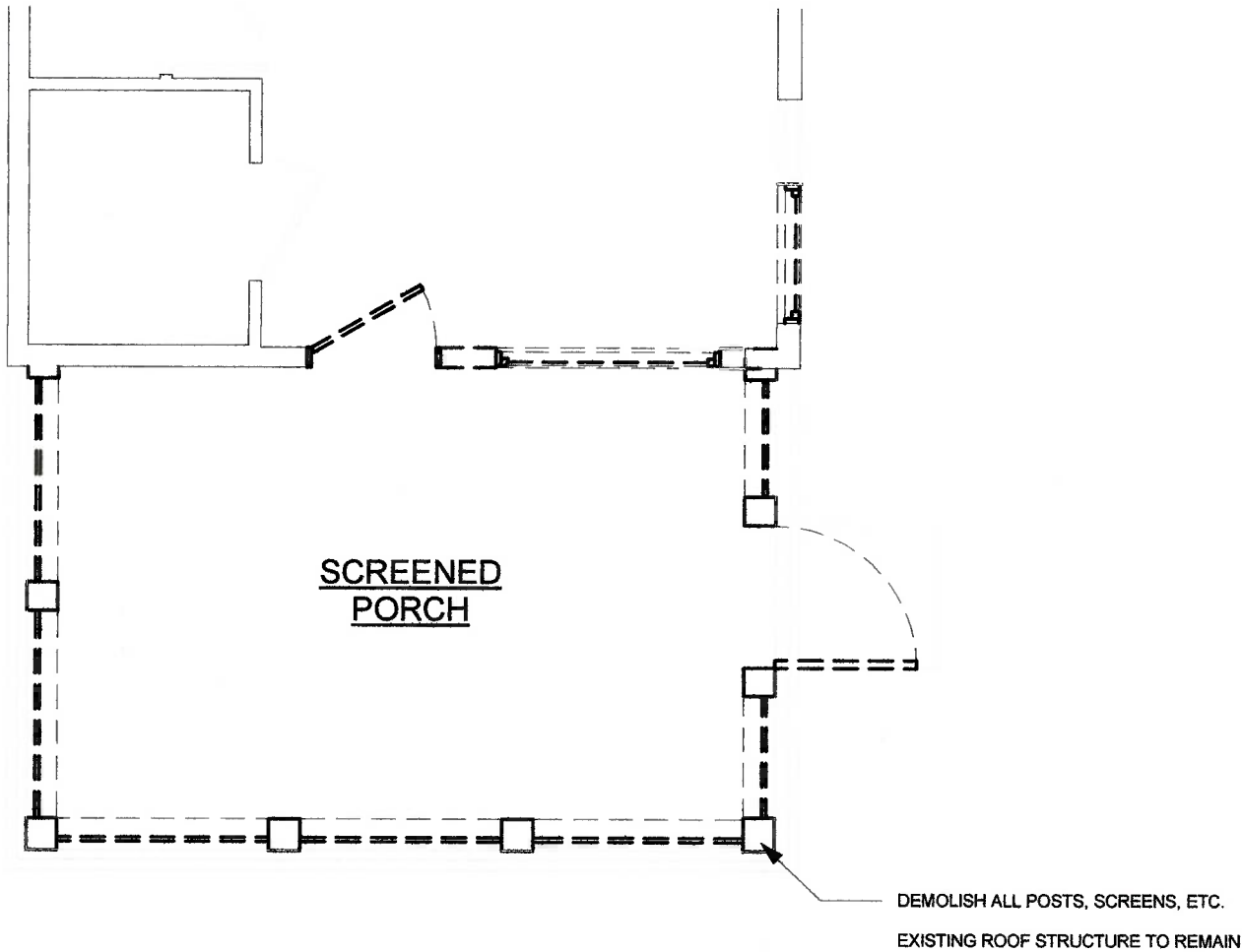
FIRST FLOOR DEMOLITION

No.	Description	Date

Sheet Number:

A101


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PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me,  
and that I am duly licensed architect under laws of the State of Maryland,  
License No. 7023  
Expiration Date: 04/05/2020

RICHARD  
LEGGIN  
ARCHITECTS



301-320-0107

MacArthur Plaza II, Suite #210  
6500 Seven Locks Road  
Cabin John, MD 20818

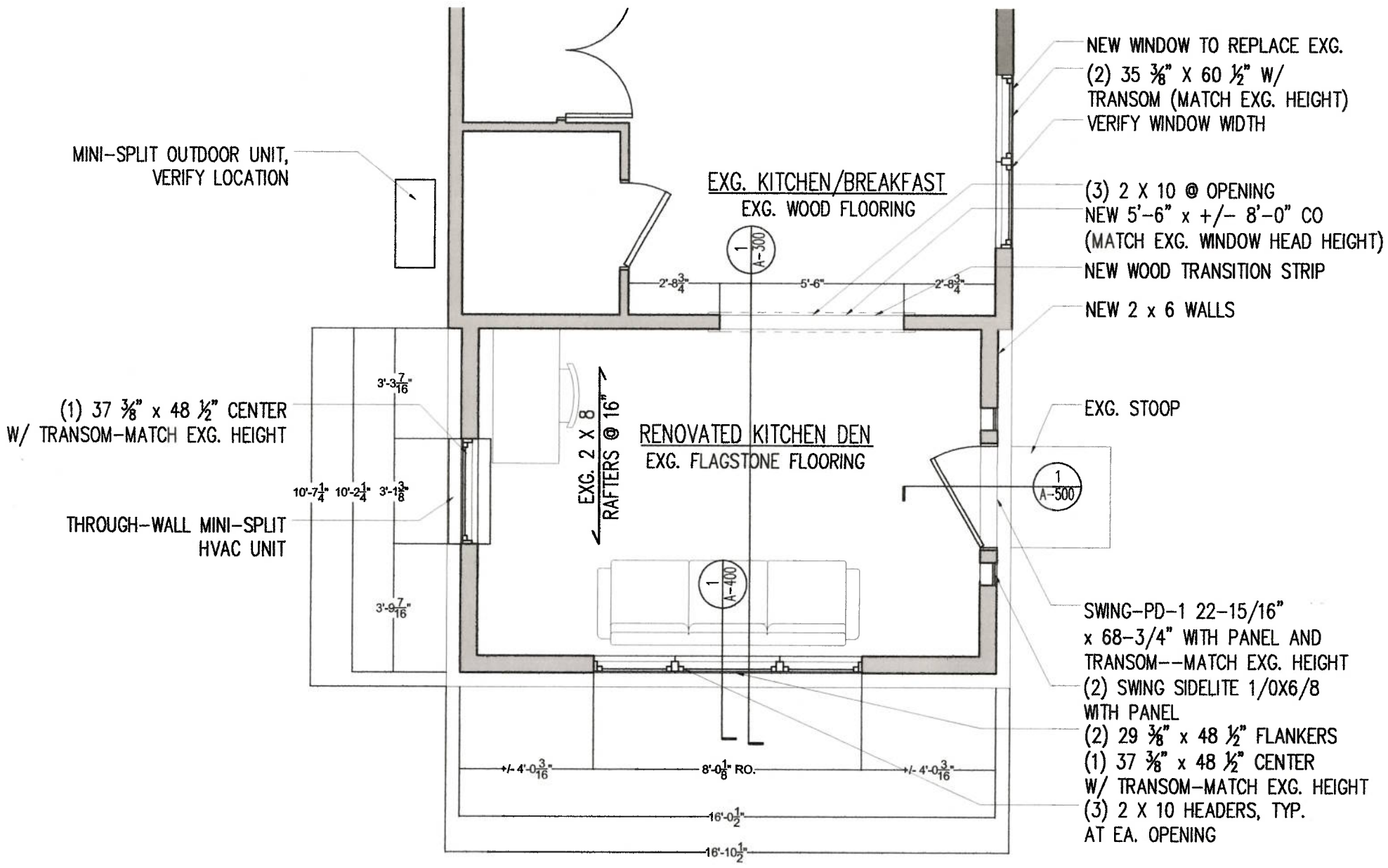
Montgomery Residence  
24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

FLOOR PLAN

No.	Description	Date

Sheet Number:

A102  
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NOTE: SUBMIT WINDOW ORDER TO ARCHITECT  
BEFORE PLACING ORDER

FLOOR PLAN PROPOSED

1/4"=1'-0"  
SCALE

PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me,  
and that I am duly licensed architect under laws of the State of Maryland,  
License No. 7023  
Expiration Date: 04/05/2020

RICHARD  
LEGGIN  
ARCHITECTS



301-320-0107

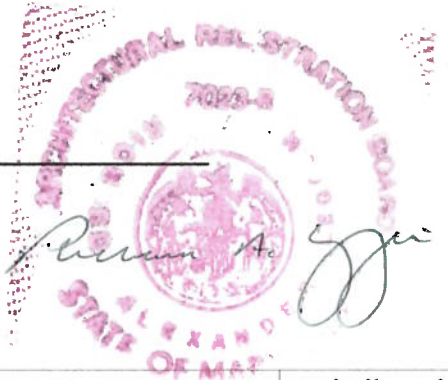
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Cabin John, MD 20818

Montgomery Residence

24 WEST KIRKE STREET, CHEVY CHASE, MD, 20815

ELEVATION

No.	Description	Date



WEST ELEVATION EXISTING

1/4"=1'-0"  
SCALE

Sheet Number:

A200  
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I hereby certify that these documents were prepared or approved by me,  
and that I am duly licensed architect under laws of the State of Maryland,  
License No. 7023  
Expiration Date: 04/05/2020

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ELEVATION

No.	Description	Date

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A201

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EXG. ADDITION RENOVATED

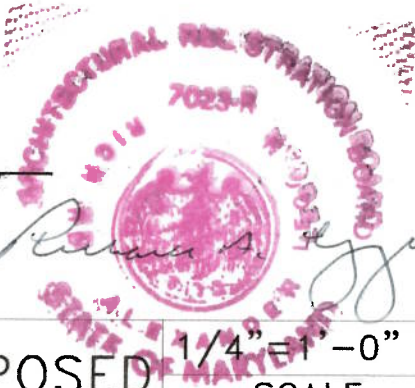


MINI-SPLIT HVAC UNIT

(1) 37 3/8" x 48 1/2" CENTER  
W/ TRANSOM—MATCH EXG. HEIGHT


WEST ELEVATION PROPOSED

1/4"=1'-0"  
SCALE



PROFESSIONAL CERTIFICATION:  
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ELEVATION

No.	Description	Date

Sheet Number:

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SOUTH ELEVATION EXISTING

1/4"=1'-0"  
SCALE



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ELEVATION



(2) 29 3/8" x 48 1/2" FLANKERS  
(1) 37 3/8" x 48 1/2" CENTER  
W/ TRANSOM-MATCH EXG. HEIGHT



No.	Description	Date

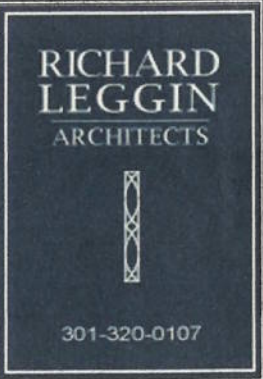
Sheet Number:

A203  
21

SOUTH ELEVATION PROPOSED 1/4"=1'-0"  
SCALE

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ELEVATION

No.	Description	Date

Sheet Number:

A204  
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EAST ELEVATION EXISTING

1/4"=1'-0"  
SCALE



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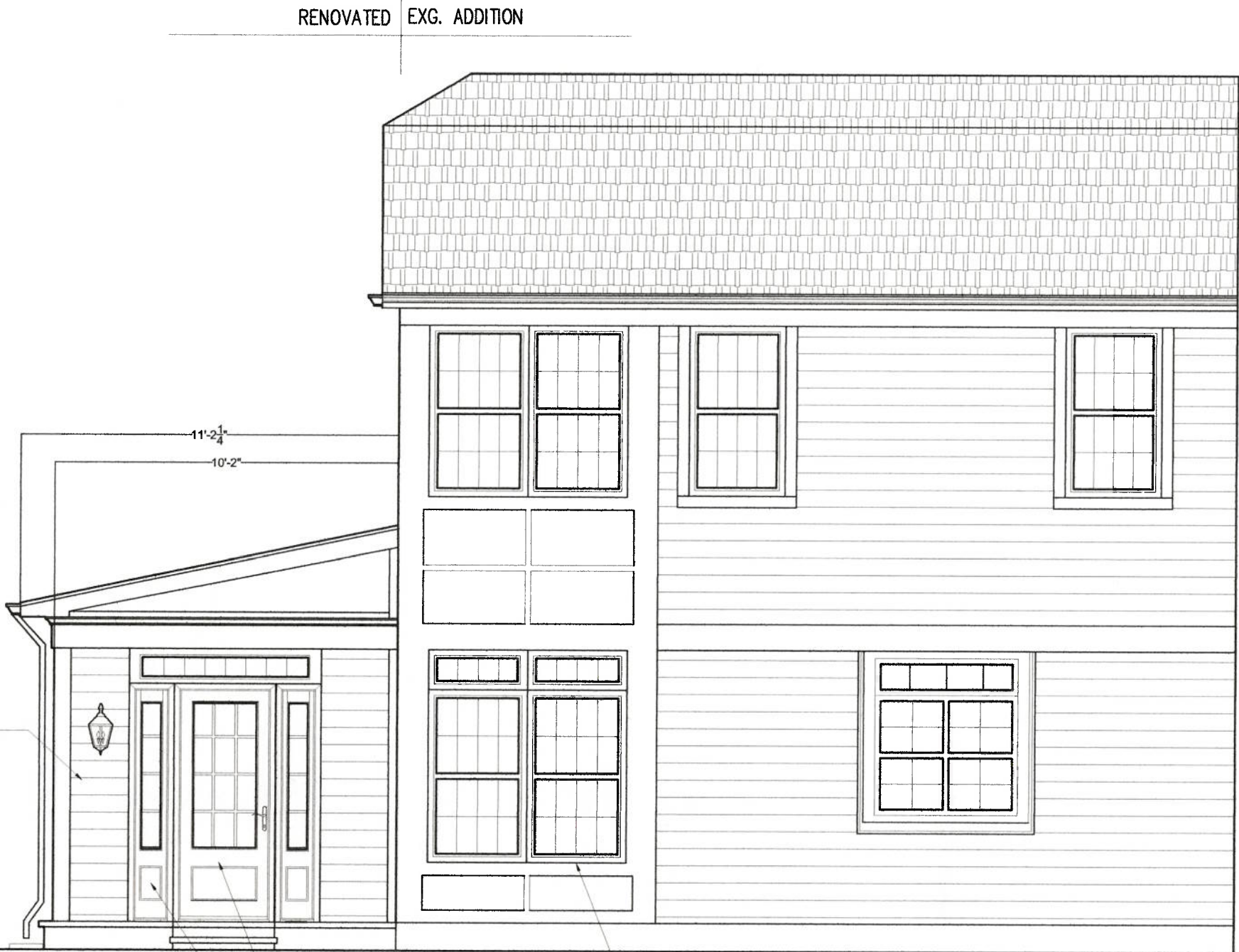
Montgomery Residence  
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ELEVATION

No.	Description	Date

Sheet Number:

A205  
23



MATCH EXG. SIDING

11'-2 1/4"  
10'-2"

SWING-PD-1 22-15/16"  
x 68-3/4" WITH PANEL AND  
TRANSOM--MATCH EXG. HEIGHT  
(2) SWING SIDELITE 1/0X6/8  
WITH PANEL

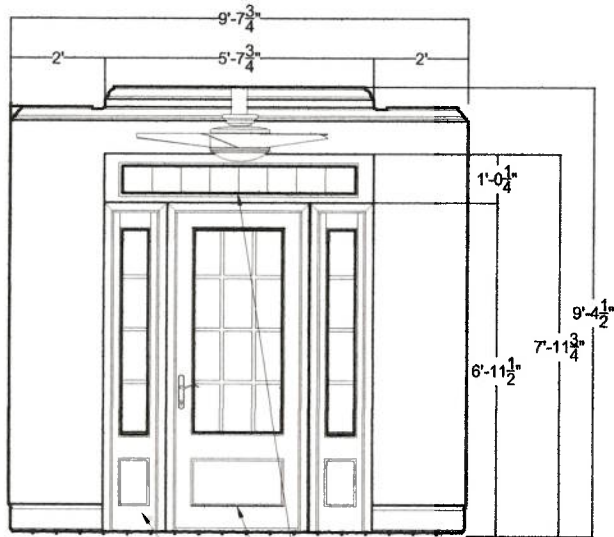
(2) 35 3/8" X 60 1/2" W/  
TRANSOM (MATCH EXG. HEIGHT)

NOTE: SUBMIT WINDOW ORDER  
TO ARCHITECT BEFORE PLACING ORDER



EAST ELEVATION PROPOSED

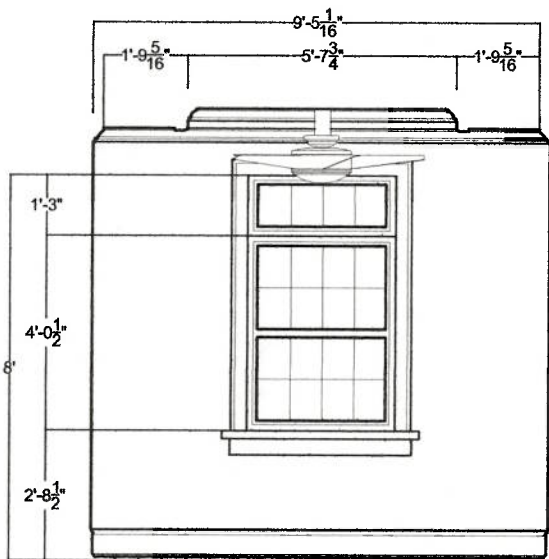
1/4"=1'-0"  
SCALE



TRANSOM--MATCH EXG.  
HEIGHT  
SWING-PD-1 22-15/16"  
x 68-3/4" WITH PANEL  
(2) SWING SIDELITE 1/0X6/8  
WITH PANEL

INTERIOR ELEVATION PROPOSED

1/4"=1'-0"  
SCALE

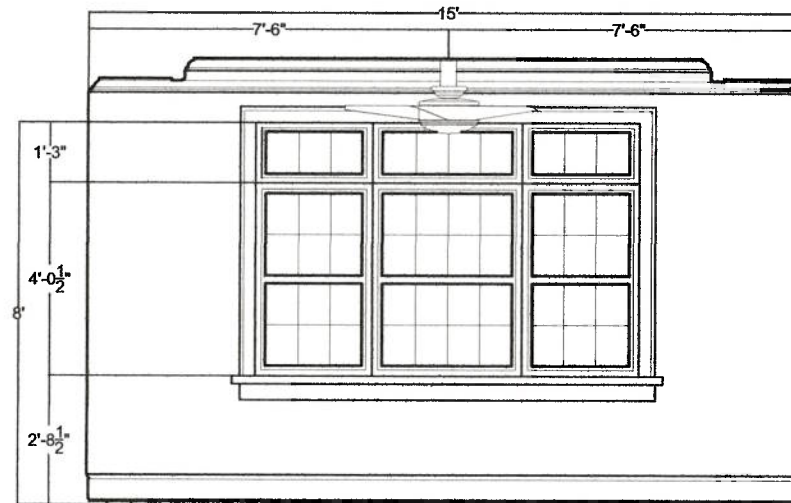


INTERIOR ELEVATION PROPOSED

1/4"=1'-0"  
SCALE

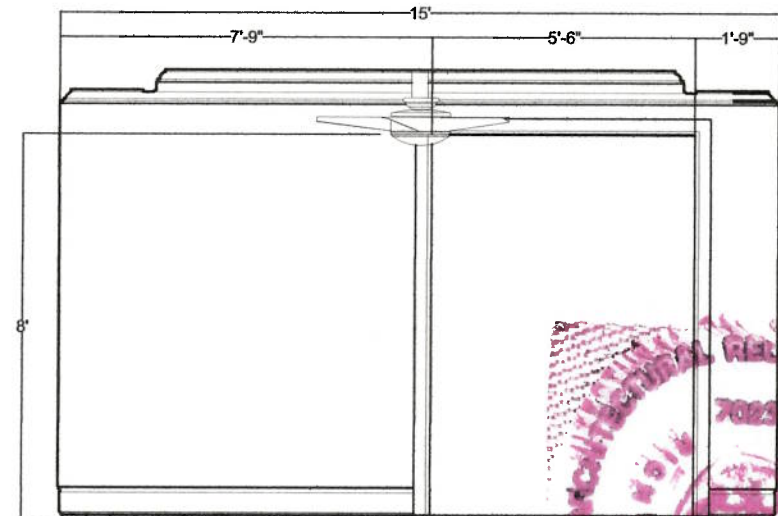
PROFESSIONAL CERTIFICATION:

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License No. 7023  
Expiration Date: 04/05/2020



INTERIOR ELEVATION PROPOSED

1/4"=1'-0"  
SCALE



INTERIOR ELEVATION PROPOSED

1/4"=1'-0"  
SCALE

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ELEVATION

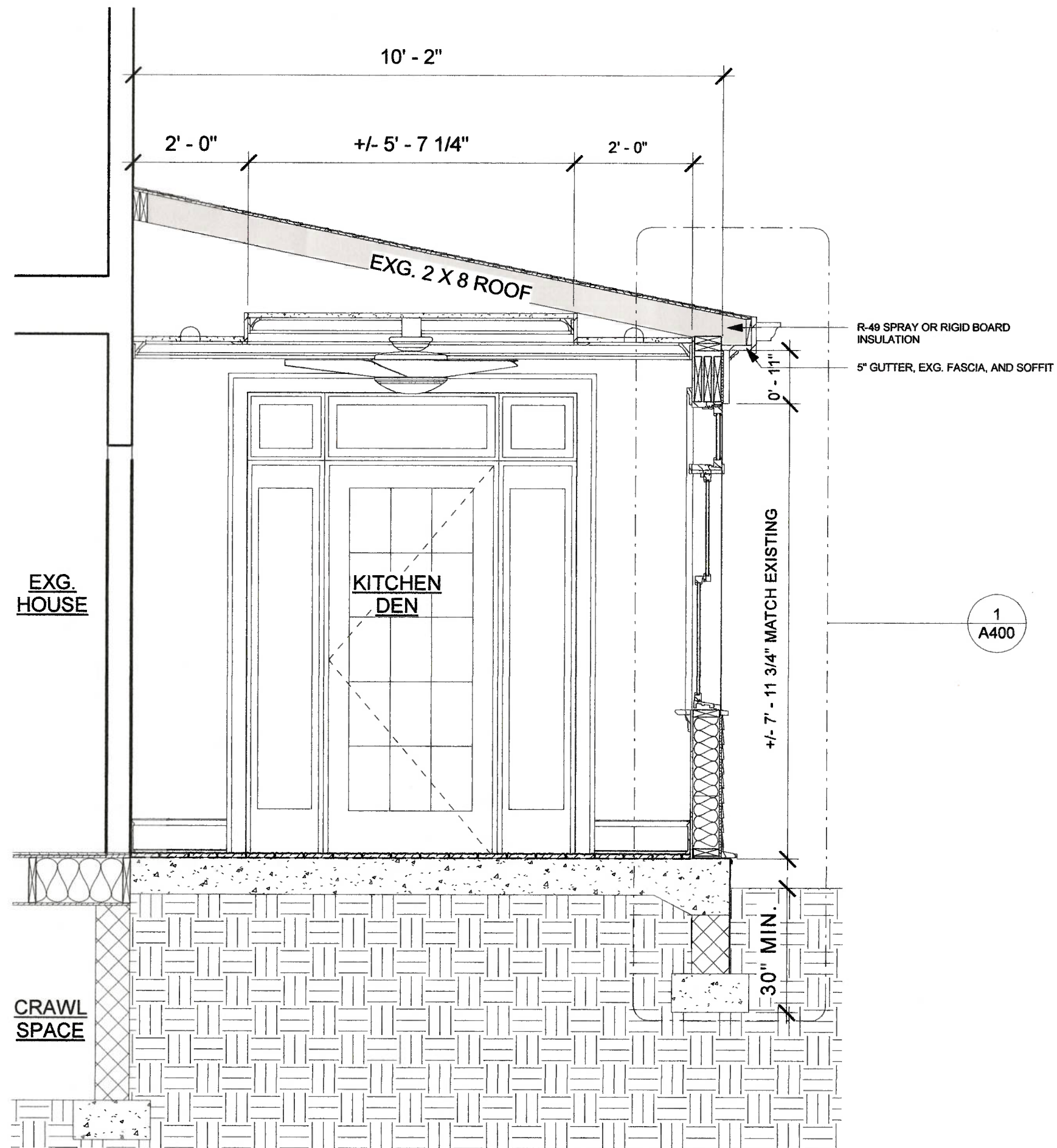
No.	Description	Date

Sheet Number:

A206

24





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ROOM SECTION

No.	Description	Date

Sheet Number:

A300  
25

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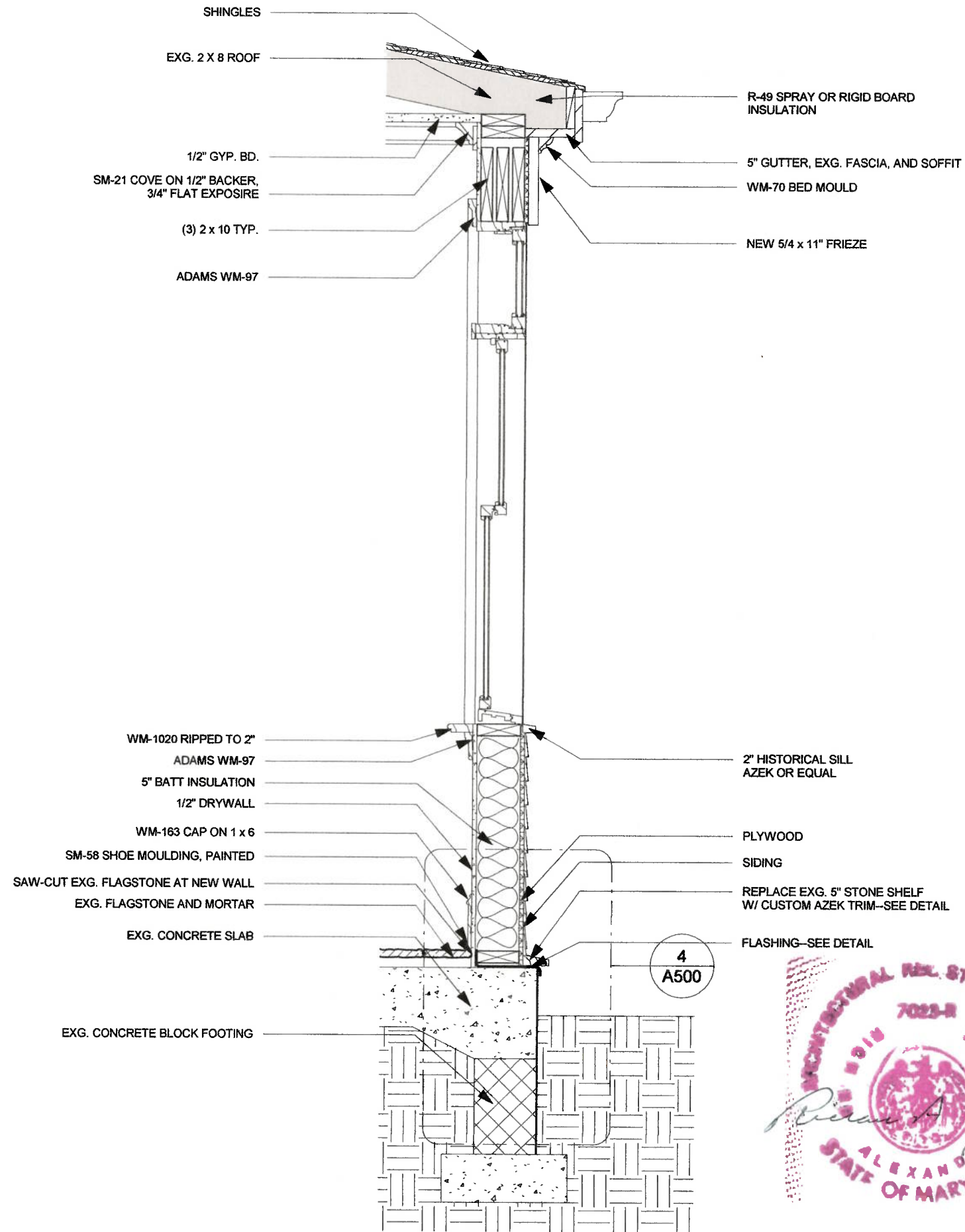
WALL SECTION

No.	Description	Date

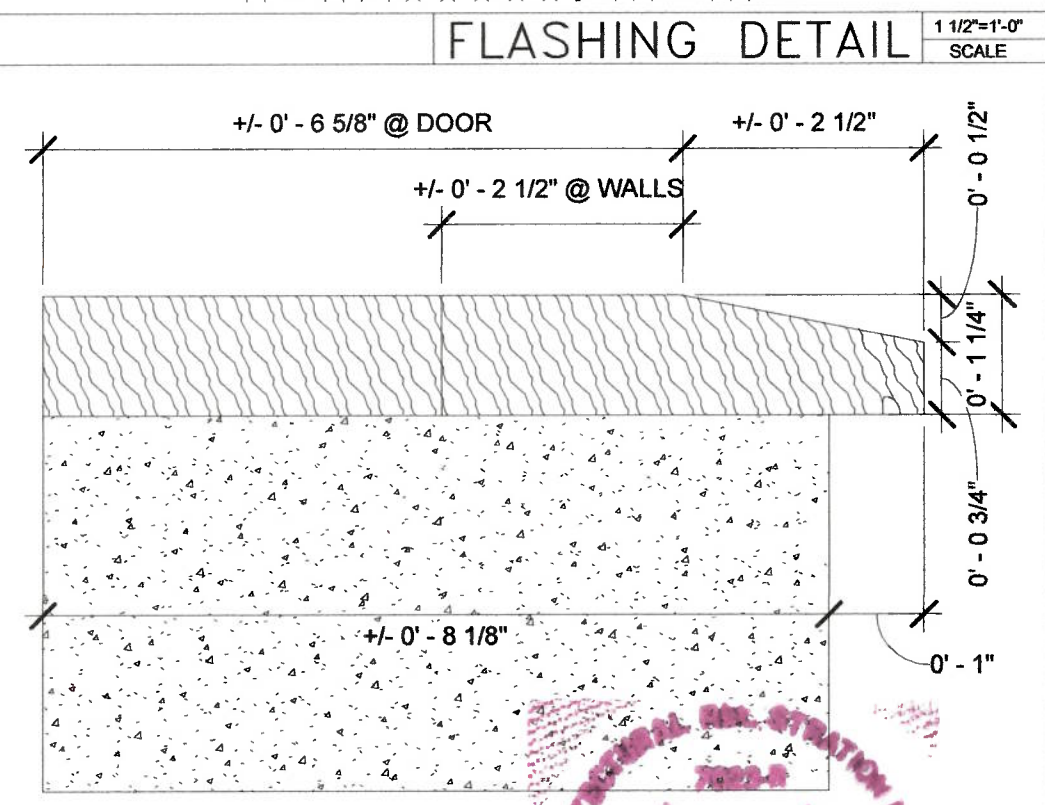
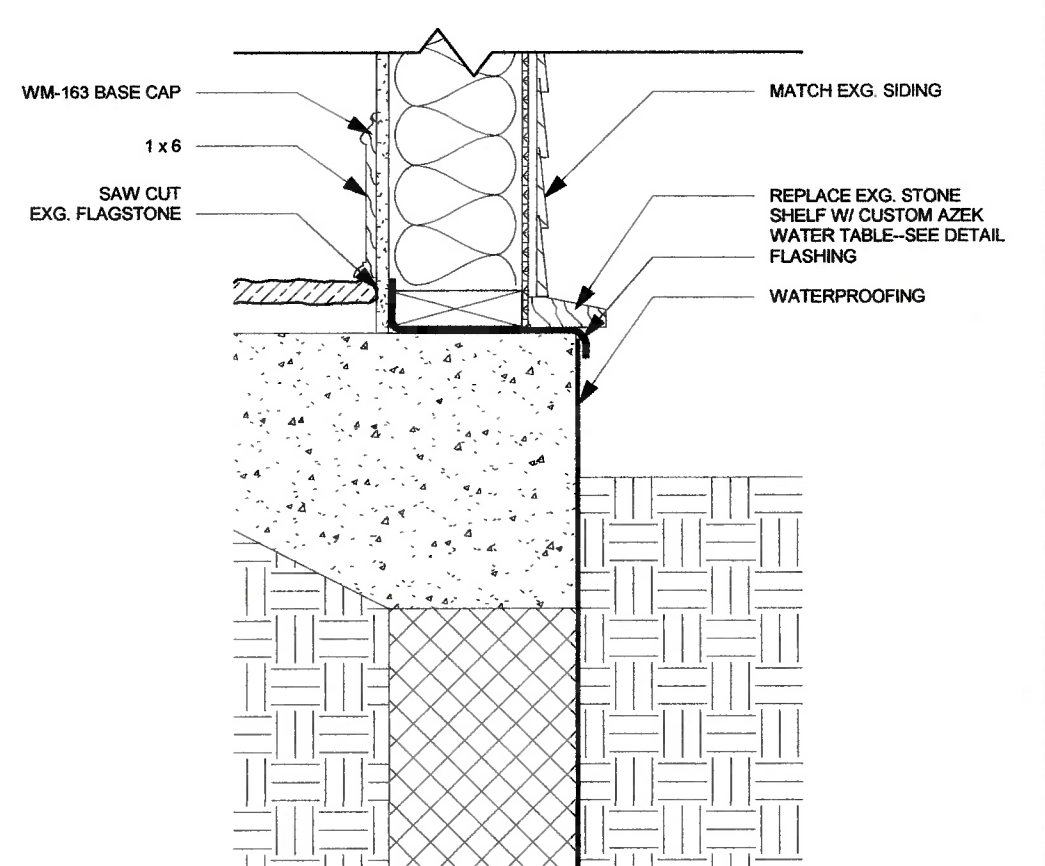
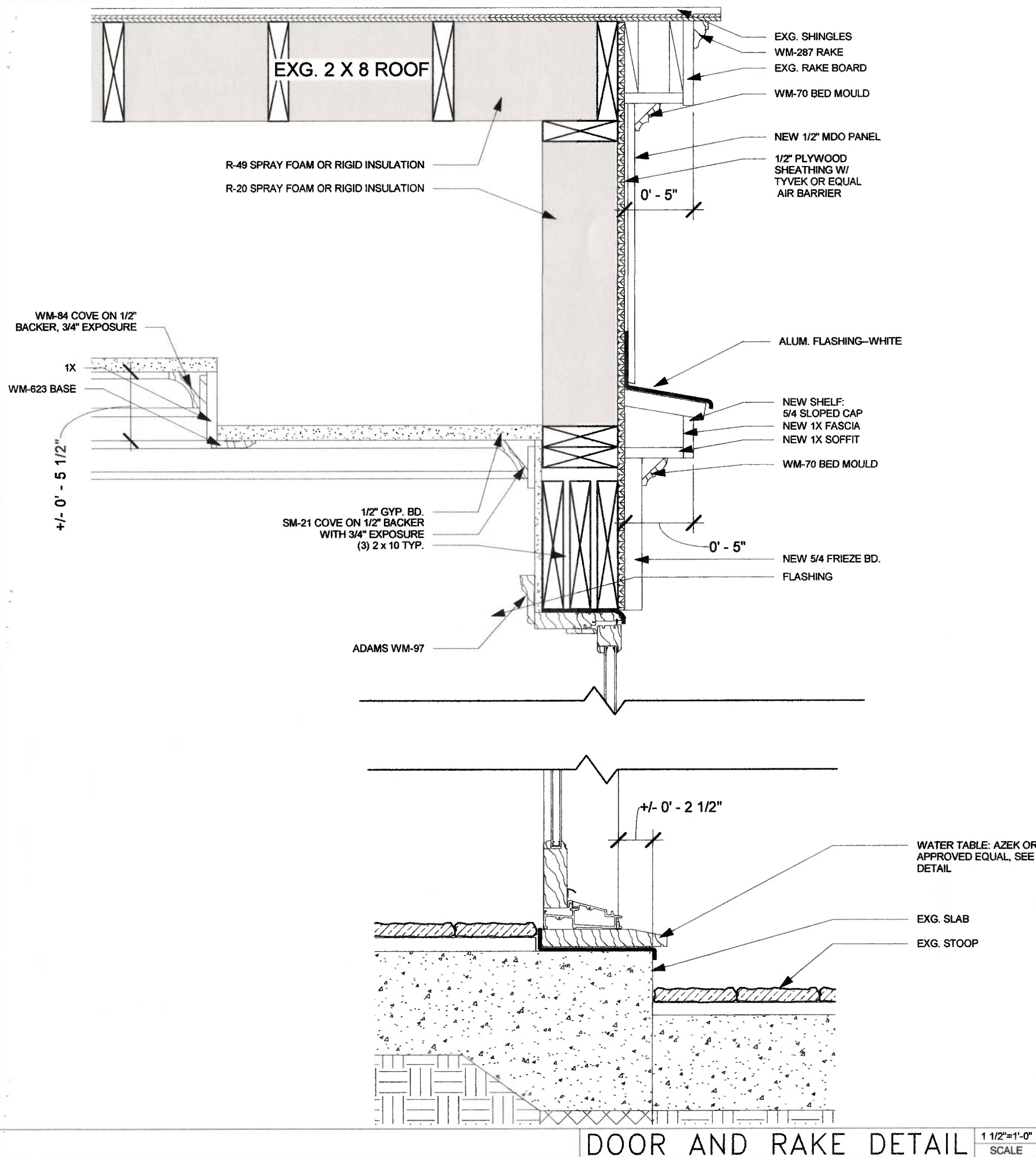
Sheet Number:

A400

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**RICHARD LEGGIN ARCHITECTS**

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**DETAILS**

No.	Description	Date

Sheet Number:

A500

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