

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7312 Willow Avenue, Takoma Park	Meeting Date:	9/11/2019
Resource:	Contributing Resource (Takoma Park Historic District)	Report Date:	9/4/2019
Applicant:	Nancy Hughes and Tim Rahn	Public Notice:	8/28/2019
Review:	HAWP	Tax Credit:	No
Case Number:	37/03-19II	Staff:	Michael Kyne
PROPOSAL:	Hardscape alterations, new fence , and construction of accessory building.		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
 STYLE: Cottage-Bungalow
 DATE: c. 1910s

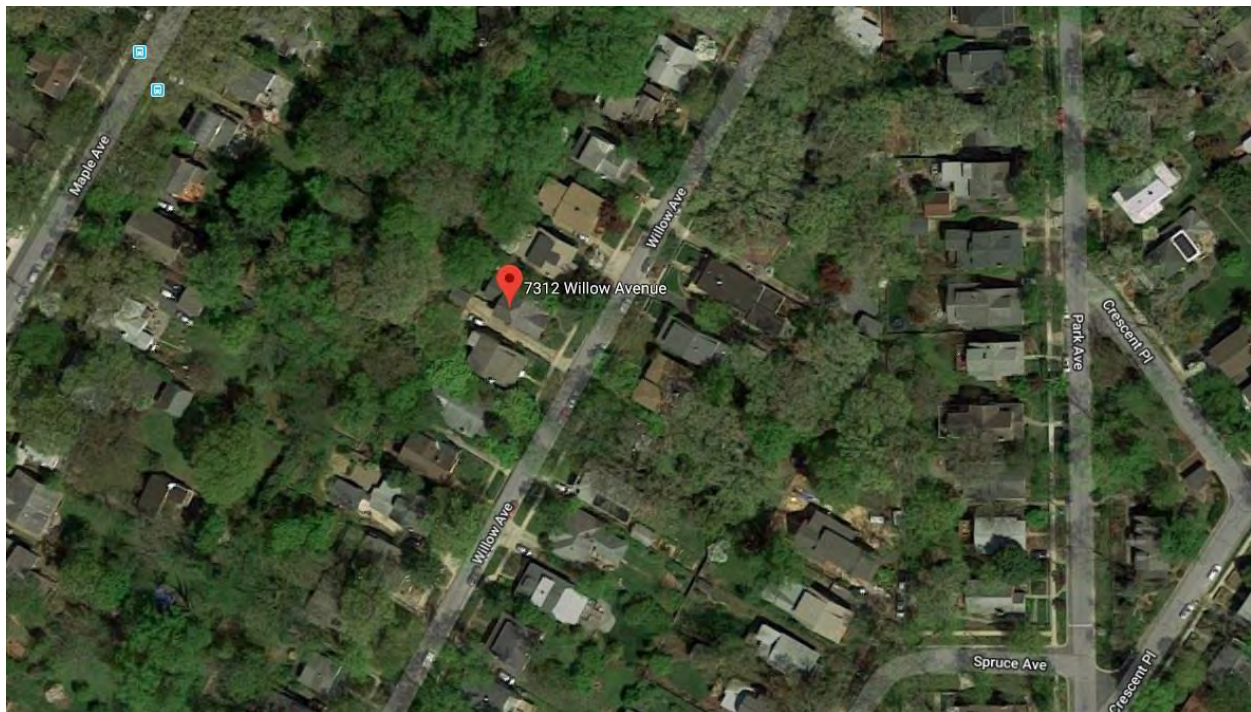


Fig. 1: Subject property.

PROPOSAL:

The applicants propose the following work items at the subject property:

- Replace existing timber retaining walls and concrete stairs at the rear of the property with natural stone retaining walls and stairs.
- Construct a new pavilion at the rear of the property.
- The new fence was advertised as part of this application, but has been removed from consideration at this time with the HAWP.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

When reviewing alterations and new construction within the Takoma Park Historic District, several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of structures in the Takoma Park Historic District have been assessed as being "Contributing Resources." While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The *Guidelines* that pertain to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property [or, as in this case, the historic district] shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION

The subject property is a c. 1910s Cottage-Bungalow-style Contributing Resource within the Takoma Park Historic District. The applicants propose the following work items at the subject property:

- Replace existing timber retaining walls and concrete stairs at the rear of the property with natural stone retaining walls and stairs.
- Construct a new pavilion at the rear of the property.

The proposed pavilion will have the following specifications:

- Constructed on a grade beam on a concrete pad.
- 13' x 16', with a 7.5' x 2' bay at the rear.
- Concrete block columns covered with stucco.
- Post and beam roof support and architectural asphalt shingle roofing.
- Standing seam copper roofing for the proposed rear bay.
- Removable bronze screen panels.
- Permanent bronze screen panels in the gables.
- Will include an interior stove and metal pipe chimney on the southwestern (left) roof slope.

Staff finds that the applicants' proposal is compatible with the character-defining features of the subject property and surrounding streetscape. The proposal will not remove or alter character-defining features of the subject property, in accordance with *Standards* #2 and #9. Additionally, staff finds that the proposal is be generally consistent with the predominant architectural style and period of the resource and respects the existing environmental settings, landscaping, and patterns of open space, in accordance with the *Guidelines*.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2, having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* #2, and #9, and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

881150



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: twrahn@gmail.com Contact Person: Tim Rahn, Nancy Hughes
 Daytime Phone No.: 301.325.2806
 Tax Account No.: _____
 Name of Property Owner: Nancy Hughes & Tim Rahn Daytime Phone No.: 301.325.2806
 Address: 7312 Willow Avenue Takoma Park, MD 20912
Street Number City State Zip Code
 Contractor: Heritage Building & Renovation Phone No.: 301.270.4799
 Contractor Registration No.: _____
 Agent for Owner: Rick Leonard Daytime Phone No.: _____

LOCATION OF BUILDING/PERMIT

House Number: 7312 Street: Willow Avenue
 Town/City: Takoma Park Nearest Cross Street: Valley View Avenue
 Lot: _____ Block: _____ Subdivision: _____
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

1A. CHECK ALL APPLICABLE:

☒ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☒ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

☐ A/C ☒ Slab ☐ Room Addition ☒ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☒ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: _____

1B. Construction cost estimator: \$ 80,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: _____
 2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy A. Hughes
Timothy W. Rahn

Signature of owner or authorized agent

7/1/2019
2019-07-01

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached description of existing features.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached description of project.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1.a. Description of existing structures and environmental setting

The existing structures include a house and a one-car garage on a 50 X 150 ft lot. The front of the house sits back approximately 30 feet from Willow Avenue. See Figure 1. The trees on northeast side of the lot include a Serviceberry, Fringe Tree, River Birch, Tulip Poplar, and Black Walnut. (See Tree Survey.) The west side of the lot is exposed and unusually sunny for Willow Avenue.

The backyard consists of the following three levels:

- lower flagstone patio approximately 8 ft deep
- middle raised earthen terrace approximately 23 ft deep and retained by a 44 in. high timbered wall 38 ft long
- upper terrace earthen terrace approximately 40 ft deep (to rear property line) and retained by a 20 in. high timbered wall

A stone wall in the upper terrace was completed in 2016 as part of the work approved in a previous HAWP.

The house was built approximately 1917 as a one and a half-story clapboard bungalow. The house features typical bungalow details including a low-pitched main roof with brackets that support deep eaves. The deep eaves and brackets are also a feature of the front porch gable. In addition, the house has several unique features including a slight flare in the clapboards where the siding meets the foundation and windows that are three lites over one.

In 2000-01, the current owners remodeled the rear and half-floor of the house as shown in Figure 1. In 2008, the garage was rebuilt and a wooden fence installed on the upper driveway. Both projects used architectural features found on the original house and garage.

Documents from the daughter of the original owner describe how the front of the house was extensively modified in 1956. These modifications included removal of the original porch stairs, approximately half of the porch, and the projecting beams from the porch gable.

To replace these features, new concrete stairs and a landing were constructed on the right side of the porch and clapboard siding covered the beams on the porch gable. A rusticated cinder block retaining wall was built along the sidewalk. Work to restore many of the original features and landscaping was approved by a HAWP (Case Number 37/03-19U) issued in May 2019.

1.b. General description of the project

The following sections describe the owners' proposal for landscaping the backyard and building a pavilion.

Landscaping

The owners propose to landscape the middle and upper terraces to accommodate construction of the pavilion as shown on the site plan, sheet 1 of the project plan. Aside from the replacement of the walls and stairs, a minimum of landscaping would be performed to accommodate the pavilion.

Middle terrace landscaping and materials

The following work would be completed to landscape the middle terrace:

- Remove all of the existing 38 ft long lower timber wall (Figure 3) and concrete stairs (Figure 4).
- Construct a new curved wall from natural stone or repurposed concrete (from demolished sidewalks and driveways; sometimes known as urbanite). The appearance of the wall would be similar to either of the examples shown in Figure 6 and Figure 7.

The wall would be approximately 30 in. high and begin at the north property line and end at the garage. It would be interrupted by the new stairs as shown in the site plan. The terrace would be graded to meet the top of the new wall.

- Construct new stone stairs near the garage to lead from the patio to the pavilion. An example of how these stairs may be constructed is shown in Figure 8.
- Construct a 7 x 3 ft flagstone pad at the entrance to the pavilion.
- Construct a flagstone path leading around the north side of the pavilion to the stairs for the upper terrace.

Upper terrace landscaping and materials

The following work would be completed to landscape the upper terrace:

- Remove the timbered wall and stairs (Figure 5) from a point close to the north rear corner of the garage to the point where the timber wall terminates near the north property line.
- Construct a stone wall approximately 3 ft long and 1.5 ft tall between the end of the timbered wall to the south side of the pavilion.
- Construct a stone wall extending from the northside of the pavilion to the north property line. The wall would taper to an endpoint following the contour of the terrace. It would not be more than 1.5 ft tall.
- Construct new stone steps north section of the stone wall.

Pavilion

The owners propose building a 13 x 16 ft pavilion or standalone screened-in porch positioned at an angle to both the house and garage on the middle terrace. The location of the pavilion would straddle the current timber wall separating the middle and upper terrace shown in the view illustrated by Figure 9. The site plan illustrates that the east corner of the pavilion would be approximately 14 ft from the front of the existing middle terrace wall.

To maintain a level surface with the middle terrace, the rear of the pavilion would project into an excavated section of the upper terrace. The pavilion will feature a 7 x 2 ft bay on the rear wall.

The following construction is proposed for the pavilion:

- The pavilion would be constructed on a grade beam and concrete pad supported by 12 x 12 in. piers on 24 x 24 x 8 in. footers as shown on sheet 5 of the project design drawings. The intent of the piers is to have as minimum an impact on possible to any of the tree root systems in the yard.
- The exterior of the pavilion will feature stucco over concrete block columns for the structural elements. The stucco would be similar to the stucco on the house foundation and garage walls.
- Site-built, removable bronze screen panels will be inserted between the columns. Site-built, permanent bronze screen panels would be inserted in the gable ends. Screened double doors (Figure 11) would be constructed in the front wall; the view in Figure 10 looks at the location of the front wall.
- Simple post and beam construction will support the pavilion roof. The pitch of the pavilion roof will match the roof pitch used for the house. Composition shingles would cover the main roof. The owners propose using Tamko Heritage shingles similar to the color (Rustic Evergreen) used on the rear of the house and garage. A copper roof would cover the bay in the rear wall.
- To enable three-season use of the pavilion, the owners propose that it include a small wood stove. The plans include this feature and show the location of the chimney for the stove. The owners propose the using a Selkirk chimney system for the stove.

5. Photographs



Figure 1—7312 Willow Avenue viewed from the front.



Figure 2—7312 Willow Avenue viewed from the rear property line and showing 2001 addition and remodeled second floor.



Figure 3—Patio and timber wall for middle terrace.

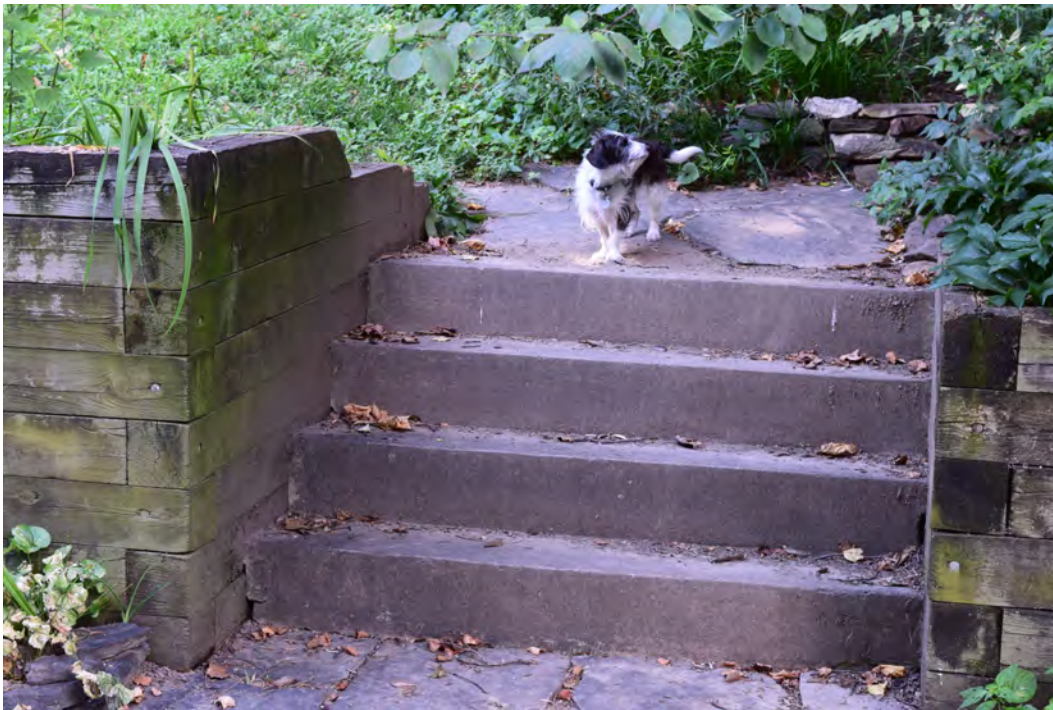


Figure 4—Concrete stairs to middle terrace.



Figure 5—Middle terrace with timber wall for upper terrace.



Figure 6—Example of recycled concrete wall. Proposed as option for lower replacement wall.



Figure 7—Example of natural stone wall. Proposed for lower replacement wall option and for upper wall.



Figure 8—Example of stone steps. Proposed for stairs to pavilion.



Figure 9—View looking south showing garage. North wall of pavilion would face this direction.



Figure 10—View looking west from existing stairs. East or front of pavilion would face this direction.

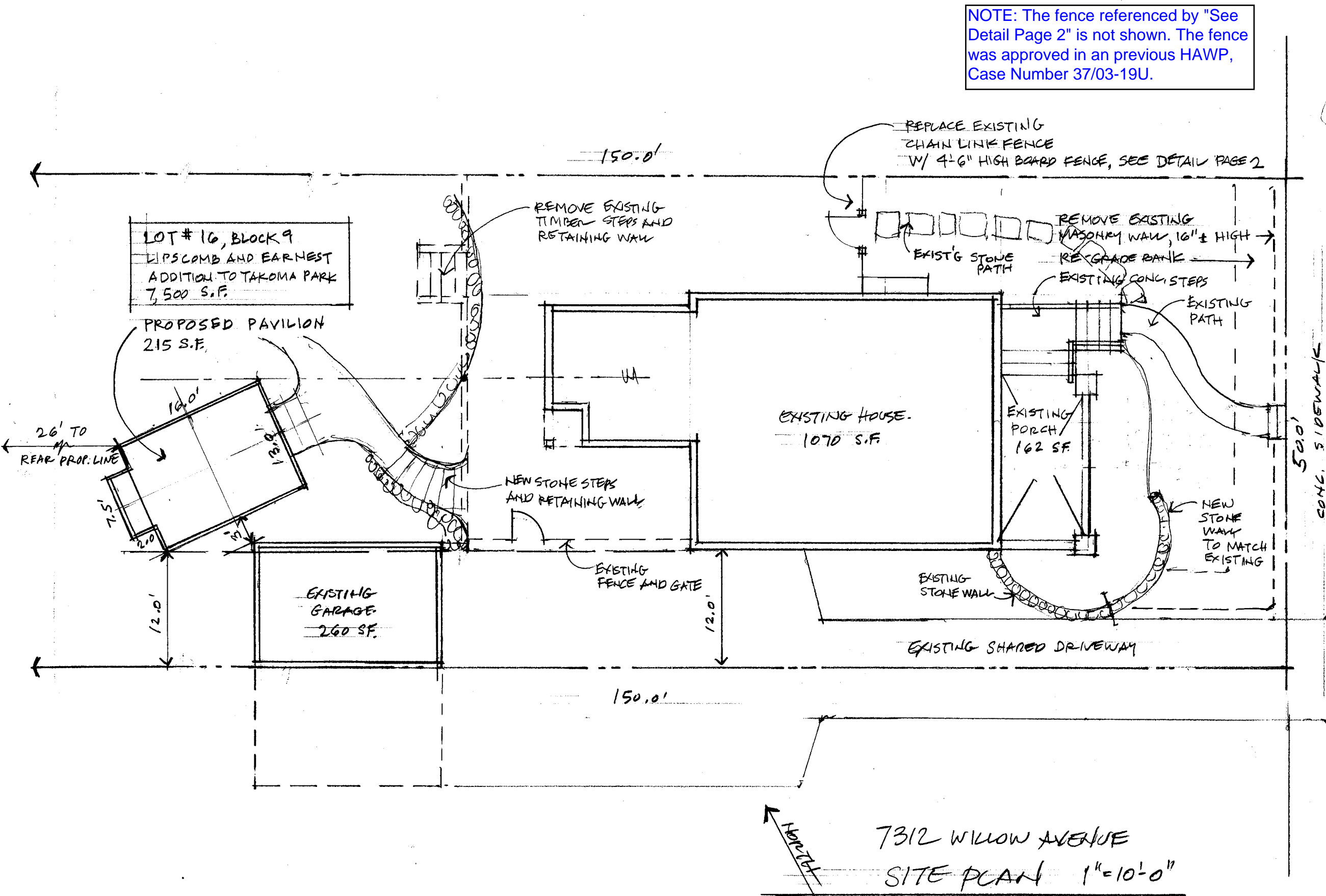


Figure 11—Screened double doors similar to those proposed for pavilion.

6. Tree Survey

The following table lists the primary trees on the property.

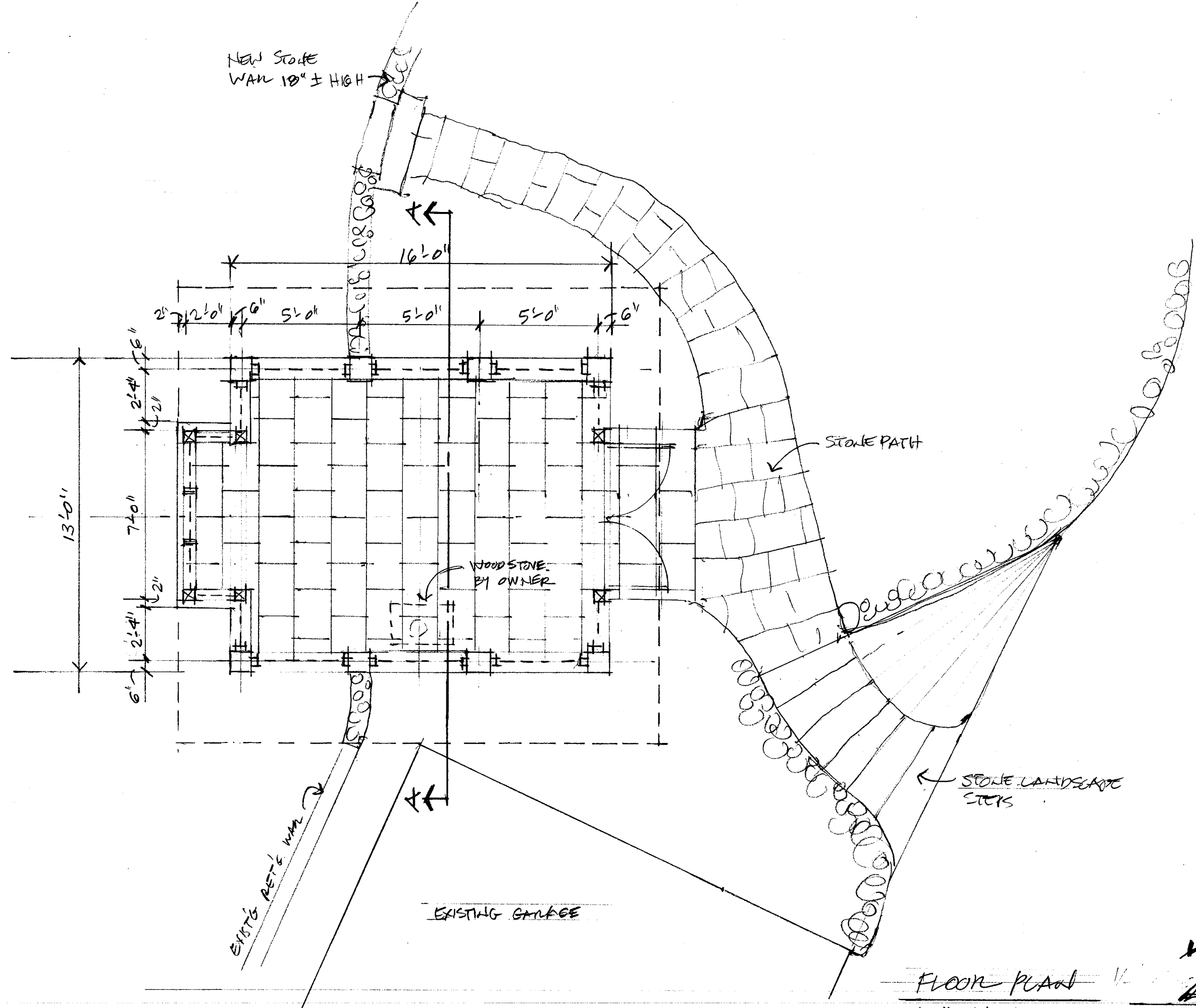
Species	Urban Forest	Comments
River Birch "Heritage" <i>Betula nigra</i>	Yes	
Serviceberry <i>Analachier canadensis</i>	No	
Tulip Poplar <i>Liriodendron tulipifera</i>	Yes	
Eastern Redbud <i>Cercis canadensis</i>	No	
Black Walnut <i>Juglans nigra</i>	Yes	
Fringe Tree <i>Chionanthus virginicus</i>	No	



6320 Wiscasset Road
Bethesda, MD 20816
301-320-1580
Fax— 301-320-1581
Paul.Treseder@verizon.net

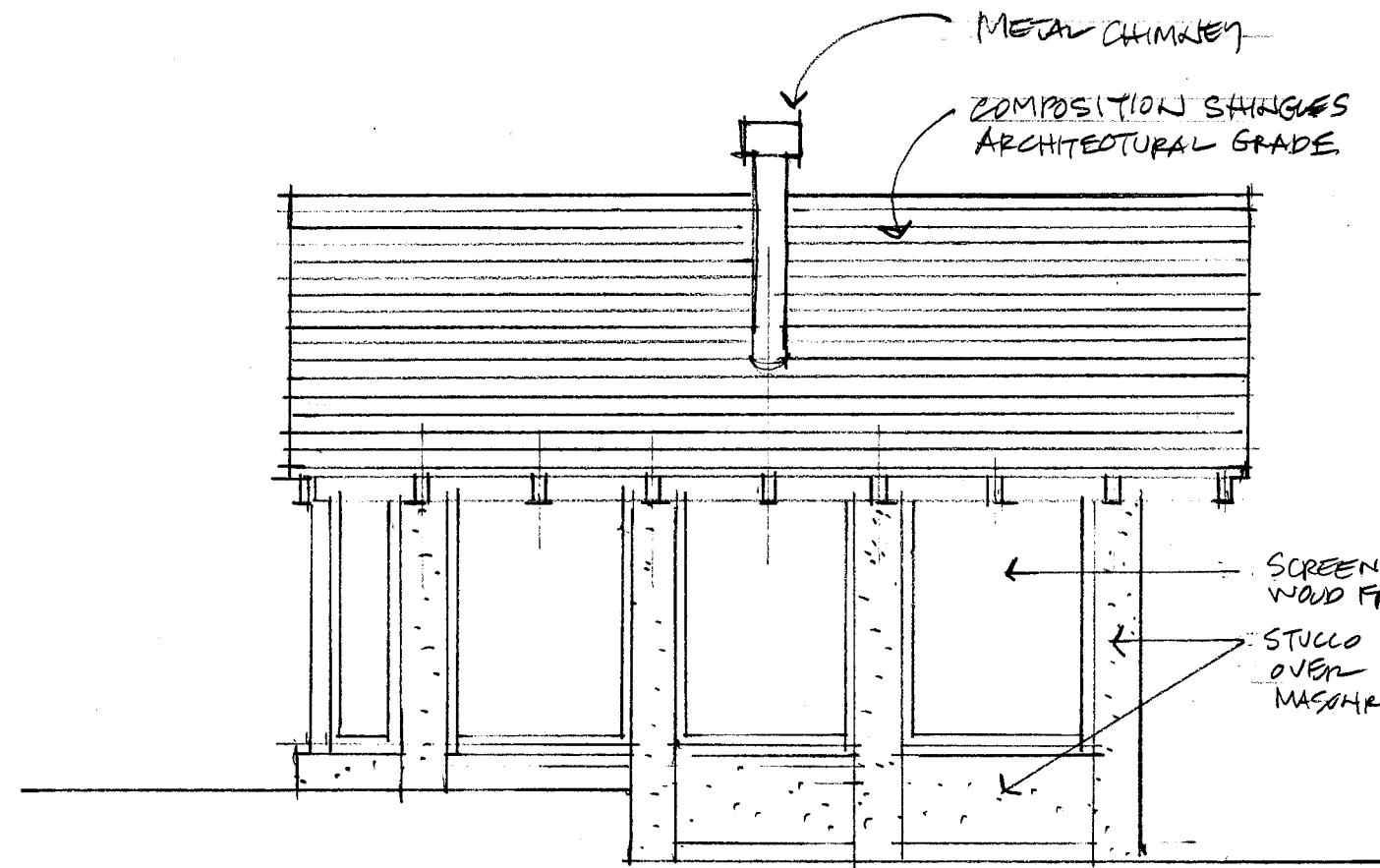
Paul Treseder
Architect AIA

DATE	7-30-19
SCALE	1"=10'-0"
DRAWN	PT.
JOB	RAHHL
SHEET	1
OF 6 SHEETS	

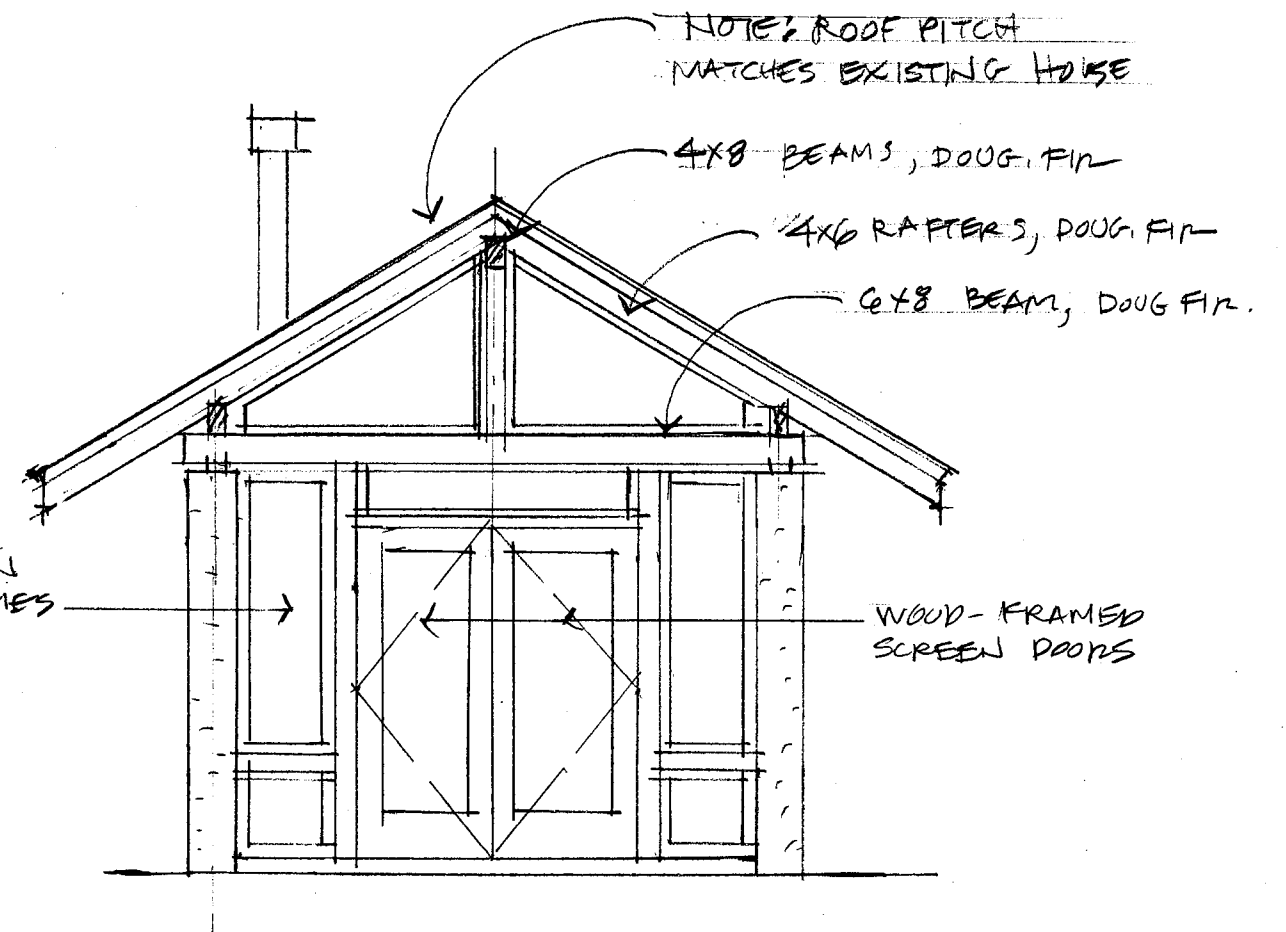


FLOOR PLAN

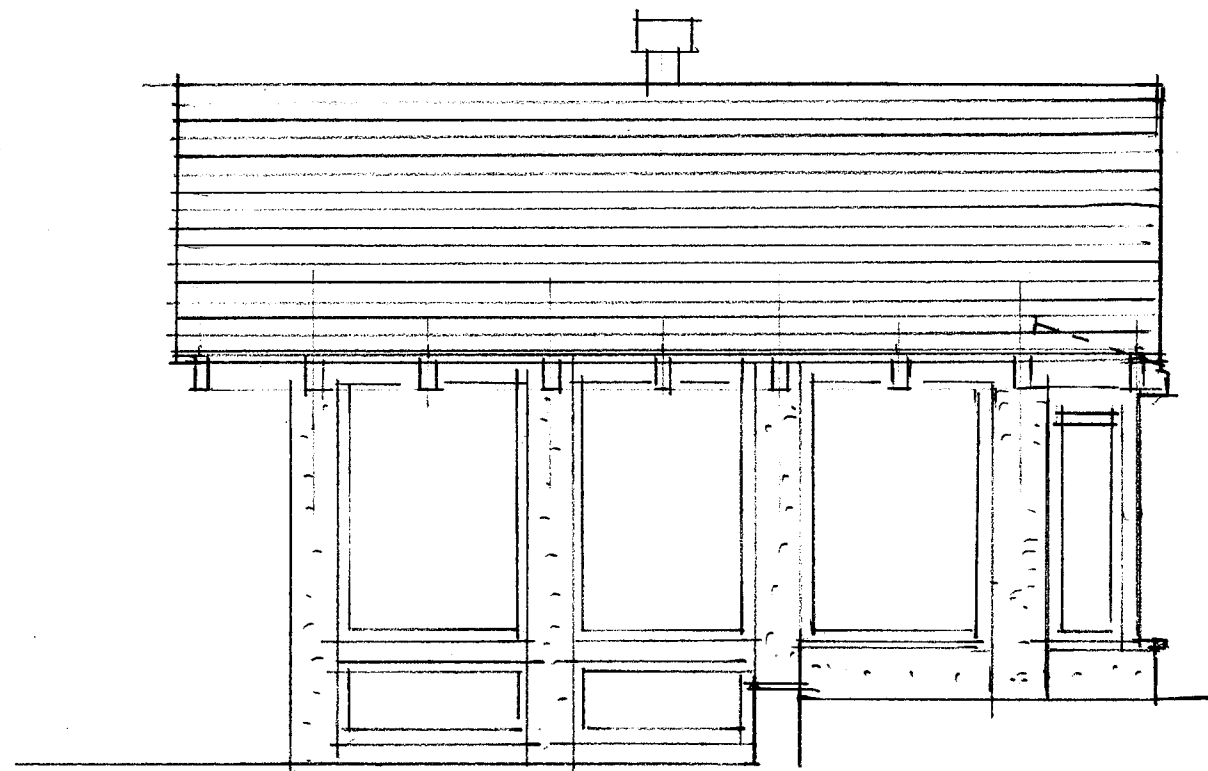
1/4" = 1'-0"



LEFT SIDE ELEVATION

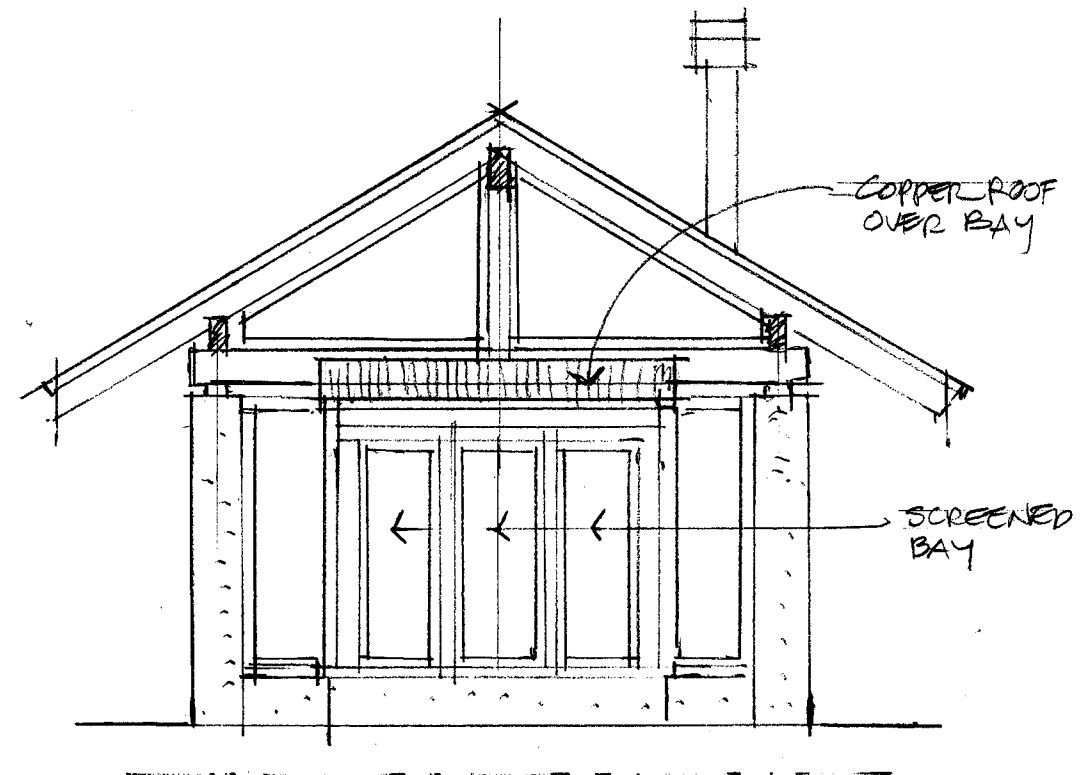


FRONT ELEVATION.



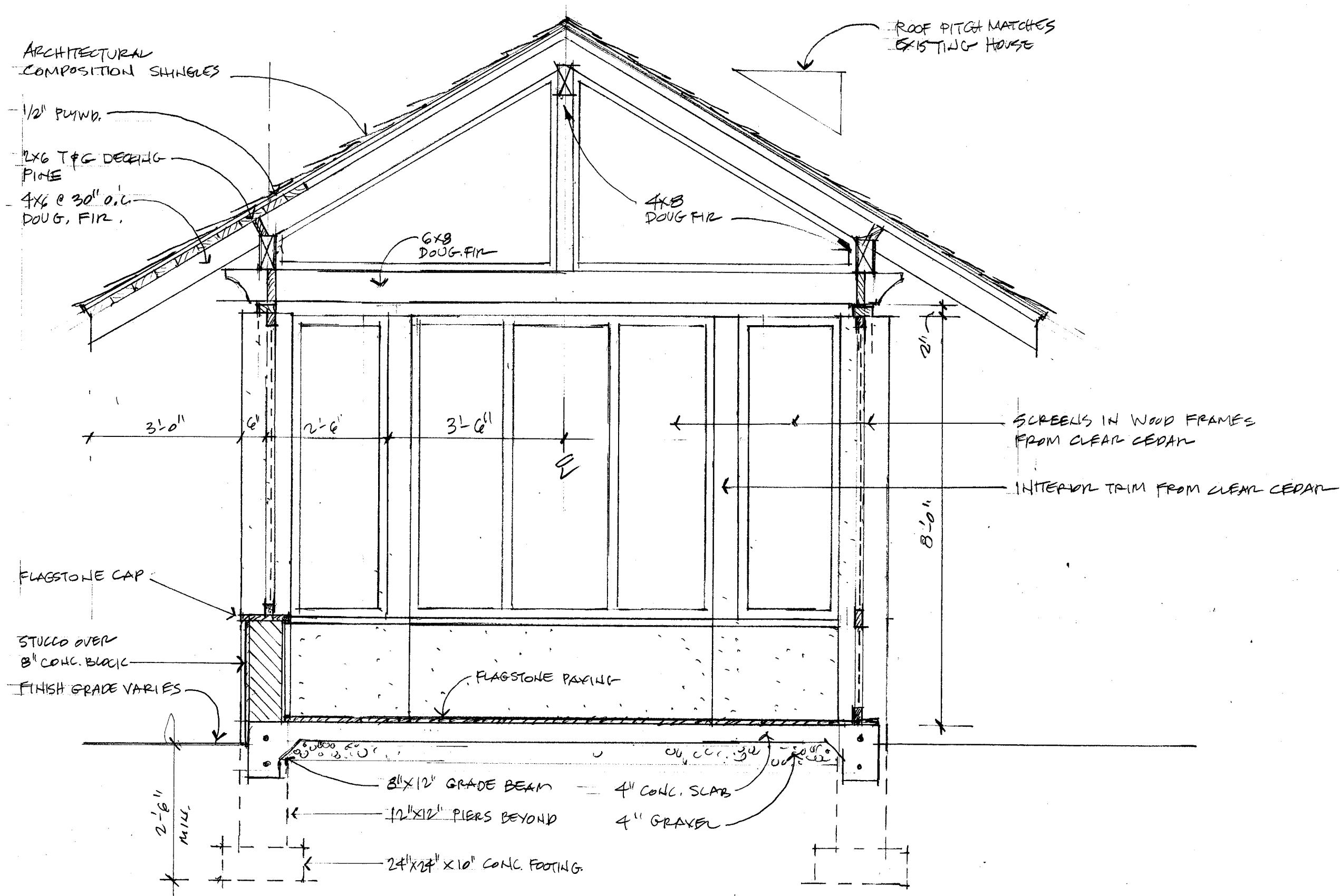
RIGHT SIDE ELEVATION

$\frac{1}{4}'' = 1'-0''$



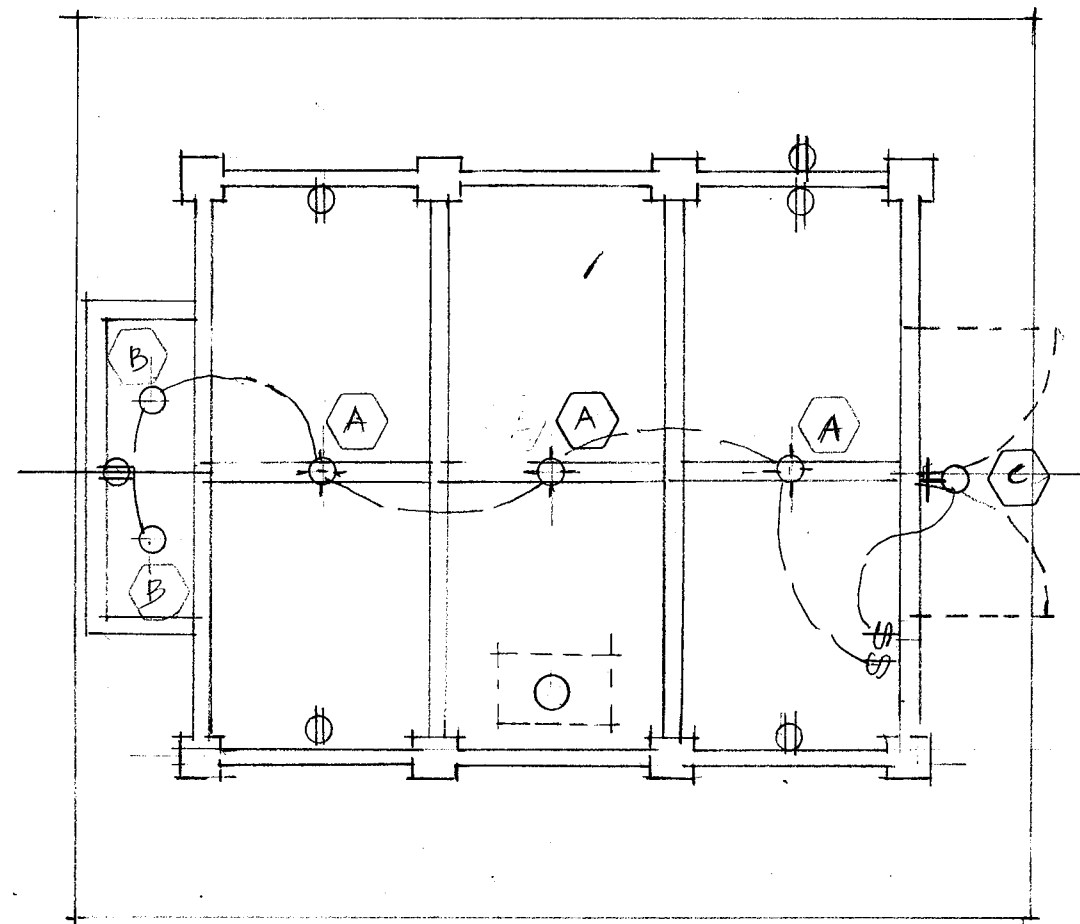
REAR ELEVATION

$\frac{1}{4}'' = 1'-0''$



PAVILION CROSS SECTION, A-A

Scale: 1/2" = 1'-0"



ELECTRICAL PLAN.

	LIGHT FIXTURE SCHEDULE
A	PENDANT TYPE
B	RECESSED 4" L.E.D.
C	RLM TYPE

Selkirk® Chimney System (SCS)

The rugged all-fuel chimney designed for maximum safety and performance!

We Stand Behind Our Products.

Backing our commitment to quality, Selkirk All-Fuel Chimney Systems carry the “Smart Choice” Limited Lifetime Warranty. All system components (not just the insulated lengths) are warranted against defects in material and workmanship for the life of the product.

An impeccable safety record, along with unsurpassed durability, design and materials, all give us the confidence to offer a warranty this comprehensive and unmatched by anyone else in the industry.

For over 85 years we have been the industry’s chimney innovator, using the highest in design standards to develop the safest products.

Safety

Our All-Fuel Chimney is listed to Underwriters Laboratories Safety Standard for Factory-Built Chimneys (UL-103).

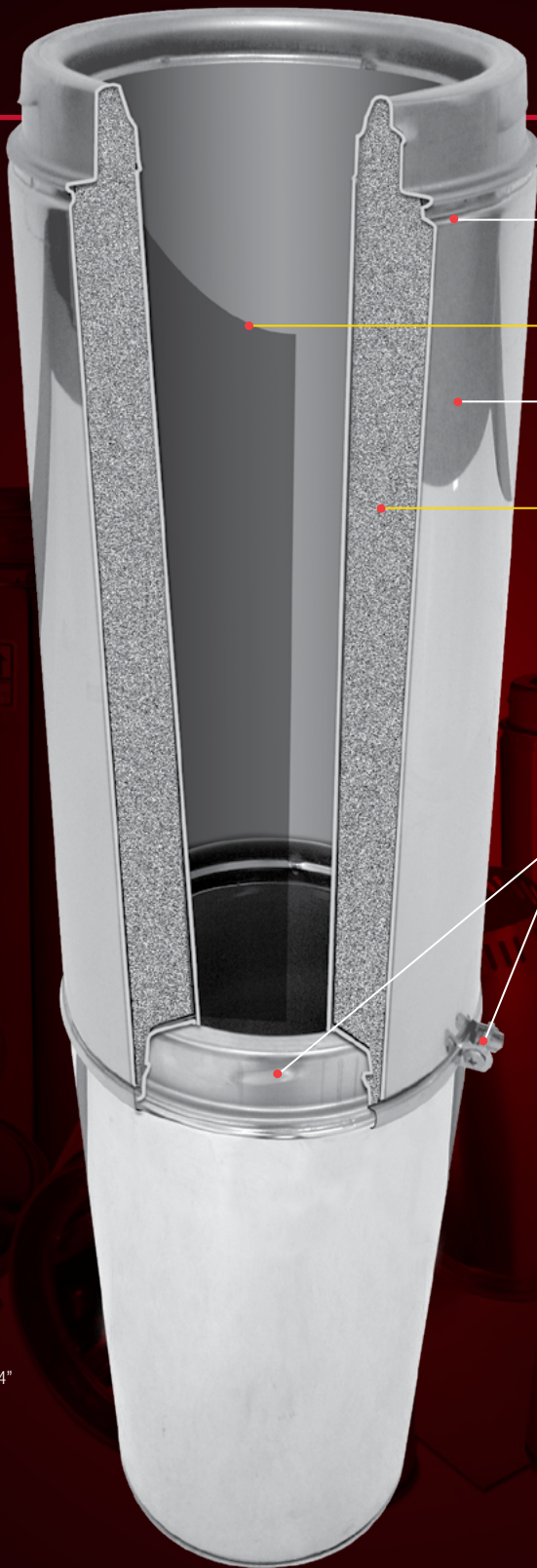
ULTRA-TEMP® HT
GALVA-TEMP® HT

Diameter Sizes: 5", 6", 7" & 8"
Part Identification: Letter UT and GT
Clearances: 2" of Airspace to Combustibles
Temperature Ratings: 2100°F (Maximum Test 10 min.)
1400°F (Maximum for 60 min.)
1000°F (Maximum Continuous Operating Temperatures)



ULTRA-TEMP®
GALVA-TEMP®

Diameter Sizes: 10", 12", 14", 16", 18", 20", 22" & 24"
Part Identification: Letter U and G
Clearances: 2" of Airspace to Combustibles
Temperature Ratings: 1700°F (Maximum Test 10 min.)
1400°F (Maximum for 60 min.)
1000°F (Maximum Continuous Operating Temperatures)



Ultra-Temp® – All-Stainless Steel
Galva-Temp® – Galvanized Exterior

- 5"-8" Type HT All-Fuel Chimney listed to UL103HT
- 304 Stainless Steel inner liner
- Choice of Stainless Steel or Galvanized Steel outer casing
- 1" Solid Pack Insulation - Our proprietary Solid Pack Insulation helps maintain higher flue gas temperatures for superior drafting performance and lower outside temperatures for safety. Independent testing by Omni Labs shows Ultra-Temp Chimney is the coolest under the hottest conditions.*
- Twist-Lock Coupler w/Locking Band included at no extra charge
- Hard Tooled supports and accessories for the perfect fit every time
- “Smart Choice” Lifetime Warranty



Professional installation qualifies for extended coverage - see warranty for details.

*UL103HT Chimney independently tested by Omni-Test Laboratories, Inc.

Get the Selkirk® Advantage...

The tradition continues... Selkirk is the original innovator of prefabricated Venting systems – and we continue to move forward. Count on Selkirk, the world’s most recognizable name in Chimney & Venting, for the widest range of high-performance products to meet your needs.

Selkirk Corporation
5030 Corporate Exchange Blvd. SE
Grand Rapids, MI 49512
1.800.433.6341

Selkirk Canada Corporation
375 Green Road
Stoney Creek, Ontario
Canada L8E 4A5
1.888.SELKIRK (735.5475)
Toll Free Fax: 1.866.835.9624



www.selkirkcorp.com



All-Fuel Chimney Buyers Guide



Ultra-Temp®
All-Stainless Steel

Galva-Temp®
Galvanized Exterior



Selkirk Chimney Systems
“The Coolest Under the Hottest Conditions...”



Selkirk® Chimney System (SCS) Insulated Pipe and Accessories
The rugged all-fuel chimney designed for maximum safety and performance!

Insulated Pipe (5", 6", 7" & 8" I.D.; 6", 9", 12" 18", 24", 36" & 48" Lengths)

Adjustable Insulated Pipe (T-AIP)

Insulated Tee & Plug (T-IT)

Insulated Elbow Kits 15° - (T-EL15) 30° - (T-EL30)

Thru-The-Wall Support Kit*

Flat Ceiling Support Kit*

Pitched Ceiling Support Kit*

Wall Support Kit (T-WSK)

Finish Support Package (T-FSP)

Finish Support Package Round (T-FSPR)

Anchor Plate (T-AP)

Roof Support Package (T-RSP)

Support Box (T-SB)

Interior Resupport (T-IR)

Round Top (T-CT)

Storm Collar (T-SC)

Adjustable Flashing (T-AF6) (T-AF12)

Rubber Boot Flashing Kit (URBAK)

Insulated Wall Thimble (T-WT)

Attic Insulation Shield (T-AIS)

Fire Stop/Joist Shield (JS)

Dripless Stove Pipe Adapter W/Coupler (T-DSAC)

Dripless Stove Pipe Adapter (T-DSA)

Roof Brace Kit (T-RBK) (Pipe Not Included)

Wall Band (T-WB)

Adjustable Pitched Ceiling Plate (T-PCPAJ)

Finish Collar (T-FC)

Trim Plate (T-PS)

SUSI Insulation

PIPE DIAMETER (choose one): 5" 6" 7" 8" U=Ultra Temp. G=Galva Temp.

ITEM	PRODUCT CODE	QUANTITY	PRICE
INSULATED CHIMNEY PIPE			
6" LENGTH (T6)	20X006U or 20X006G		
9" LENGTH (T9)	20X009U or 20X009G		
12" LENGTH (T12)	20X012U or 20X012G		
18" LENGTH (T18)	20X018U or 20X018G		
24" LENGTH (T24)	20X024U or 20X024G		
36" LENGTH (T36)	20X036U or 20X036G		
48" LENGTH (T48)	20X048U or 20X048G		
ADJ. INSULATED PIPE (T-AIP)	20X011U		
INSULATED TEE (T-IT)	20X100 or 20X100G		
15° INSULATED ELBOW KIT(T-EL15)*	20X206 or 20X206G		
30° INSULATED ELBOW KIT(T-EL30)*	20X211 or 20X211G		
WALL SUPPORT KIT (T-WSK)	20X430		
FINISH SUPPORT**	20X410(FSP) or 20X411(FSPR)		
ANCHOR PLATE (T-AP)	20x400		
ROOF SUPPORT (T-RSP)	20X420 or 20X420G		
SUPPORT BOX (T-SB)	20X424		
INTERIOR RESUPPORT	20X435		
ROUND TOP (T-CT)	20X800		
STORM COLLAR (T-SC)	20X810		
ADJUSTABLE FLASHING (T-AF6)	20X825		
2/12 TO 6/12			
ADJUSTABLE FLASHING (T-AF 12)	20X830		
6/12 TO 12/12			
RUBBER BOOT FLASHING KIT (T-TF)	200275		
ATTIC INSULATION SHIELD (T-AIS)	20X490		
INSULATED WALL THIMBLE (T-IWT)	20X463		
FIRE STOP/JOIST SHIELD (T-JS)	20X465		
DRIPLESS SMOKE PIPE ADAPTER WITH COUPLER (T-DSAC)	20X240		
DRIPLESS SMOKE PIPE ADAPTER (T-DSA)	20X242		
ROOF BRACE KIT (T-RBK or URBK)	20X440(RBK) or 200240(URBK)		
WALL BAND (T-WB)	20X520		
ADJ. PITCHED CEILING PLATE 0/12-6/12 (T-PCPAJ)	20X512		
ADJ. PITCHED CEILING PLATE 6/12-12/12 (T-PCPAJ12)	20X514		
FINISH COLLAR (T-FC)	20X480		
TRIM PLATE (T-PS)	20X488		
SUSI INSULATION (SUSI)	2000001		
			TOTAL

*2 Elbows, 2 Locking Bands, 1 Interior Resupport and Couplers
**(T-FSP) SQUARE (T-FSPR) ROUND
For a complete product catalog, order All Fuel Catalog #MBAFC00-E.

CHIMNEY KITS

ITEM	PRODUCT CODE	QUANTITY	PRICE
Roof Termination Kit (CT, AF6 & SC)	20X600		
Flat Ceiling Support Kit (CT, AIS, SC, FSP, AF6 & DSAC)	20X620		
Pitched Ceiling Support Kit (CT, SC, FC, RSP, DSAC & PCPAJ)	20X621or 20X621G		
THRU-THE-WALL SUPPORT KIT (CT, WB, IT, FC, WSK, IWT, CPA & T-12)	20X622 or 20X622G		

DSP – DOUBLE WALL STOVE PIPE Available in 6", 7", 8"

PIPE DIAMETER (choose one): 6" 7" 8"

ITEM	PRODUCT CODE	QUANTITY	PRICE
Vertical Installation Kit, Includes			
Telescoping length 39"-66"	DSPXTL		
36" Length	DSPXP36-1		
24" Length	DSPXP24-1		
12" Length	DSPXP12-1		
12" Adjustable Length	DSPXAL-1		
90° Elbow	DSPXE9-1		
45° Elbow	DSPXE4-1		
Tee with Insulated Cap	DSPXTE-1		
Chimney Pipe Adapter	DSPXCPA		

We carry a full line of increasers and decreaseers to fit 6", 7" and 8" diameters.
For a complete product catalog, order Stove Pipe Catalog #DSP002-E.

Fuels and Appliances

Ultra-Temp and Galva-Temp (SCS) systems are certified to UL103HT for All-Fuel Chimney systems in sizes 5", 6", 7" and 8". These Type A-Vent Chimneys have been tested, listed and certified to meet the 2100 degree safety standard by Underwriters Laboratories. Sizes 10"-24" Type A-Vent Chimneys have been tested, listed and certified to UL103 (1700 degree) safety standard by Underwriters Laboratories.

A System for Every Installation

The SCS includes a variety of components to meet every installation requirement. These components may be combined in a wide variety of ways to solve almost any chimney installation problem. For additional information on part selection, refer to the guide pages and diagrams located in this catalog.

Complete Product Information

The Ultra-Temp and Galva-Temp (SCS) product lines are supported by the website at www.selkirkcorp.com. Visit our site for product catalogs, installation instructions and web-based tools, including an On-Line Chimney Planner, Dealer Locator, Selkirk University On-Line Training and more.



HERITAGE[®]

LAMINATED ASPHALT SHINGLES

FREDERICK



BRING
COLOR & STYLE
HOME



Weathered Wood

Express your style and showcase the beauty of your home with the rustic hues and bold textures of Heritage® Series Laminated Asphalt Shingles. These shingles are available with a Limited Lifetime Warranty. See TAMKO's Limited Lifetime Warranty and Arbitration Agreement for complete details.

See how the Heritage Series can enrich your home's beauty.

SHINGLES BEGIN TO AGE AS SOON AS THEY ARE EXPOSED TO NATURE. BUILDINGS EXPERIENCE AGING FACTORS DIFFERENTLY, SO IT IS DIFFICULT TO PREDICT HOW LONG BUILDING PRODUCTS WILL LAST. THAT'S WHY TAMKO PROVIDES A LIMITED WARRANTY FOR MANY PRODUCTS, THAT INCLUDES A BINDING ARBITRATION CLAUSE AND OTHER TERMS AND CONDITIONS WHICH ARE INCORPORATED HEREIN BY REFERENCE. YOU MAY OBTAIN A COPY OF THE LIMITED WARRANTY AT TAMKO.COM OR BY CALLING 1-800-641-4691.

HERITAGE®
LAMINATED ASPHALT SHINGLES

HERITAGE®
Premium
LAMINATED ASPHALT SHINGLES

BRING HERITAGE HOME



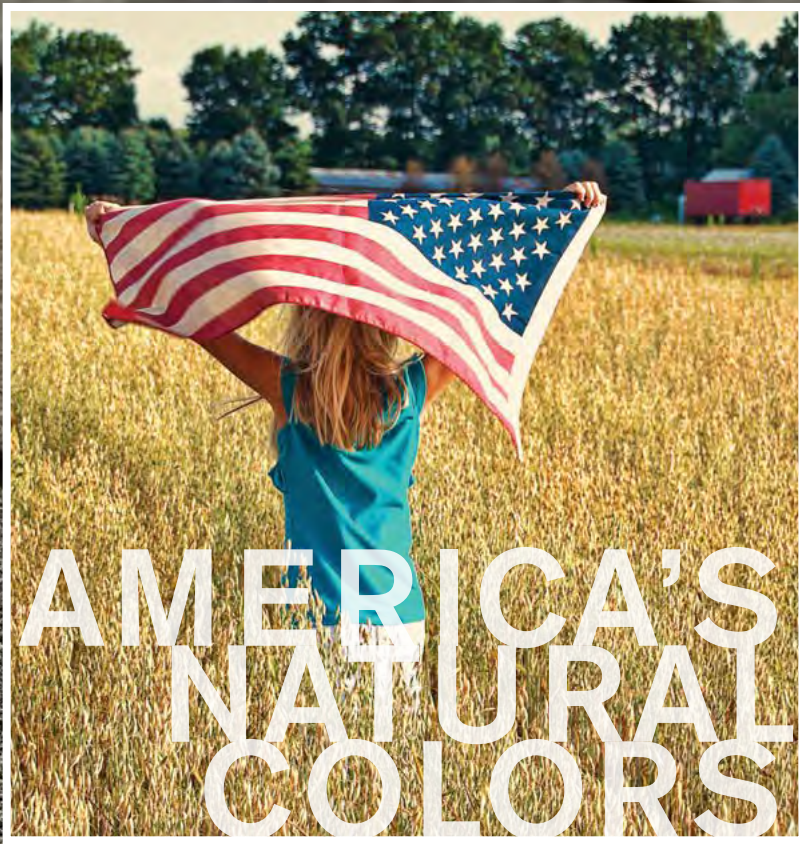
**VIVID COLORS. DRAMATIC STYLE.
ADD WARMTH AND DIMENSION TO YOUR HOME WITH HERITAGE.**

Our **distinctive granule mix** and **unique color drops** add vivid color and texture to enhance your roof's beauty.

TAMKO's **blended shadowtone** creates dimension, striking contrast and remarkable depth while adding curb appeal to help ensure a look you'll want to call your own.

Thunderstorm Grey





HERITAGE® AMERICA'S NATURAL COLORS COLLECTION



Symbols shown beside each color name denote product options and availability.

HP Heritage Premium Shingles

H Heritage Shingles

PRIOR TO MAKING YOUR FINAL COLOR SELECTION, TAMKO RECOMMENDS VIEWING AN ACTUAL ROOF INSTALLATION OF THE SAME SHINGLE COLOR AND MANUFACTURING PLANT YOU ARE CONSIDERING FOR THE FULL IMPACT OF COLOR BLENDING AND PATTERNS. AS COLORS VARY BY REGION, YOU MAY WANT TO VISIT WWW.TAMKO.COM AND VIEW COLORS AVAILABLE BY ZIP CODE. HOUSE PHOTOGRAPHY IN THIS BROCHURE MAY HAVE BEEN DIGITALLY MODIFIED OR CREATED USING PHOTOGRAPHS OF ACTUAL SHINGLES. PRINTED REPRODUCTION OF THE SHINGLE COLORS IS AS ACCURATE AS OUR PRINTING WILL PERMIT. PRIOR TO INSTALLING THE SHINGLES, OPEN A BUNDLE AND VIEW A FEW OF THE SHINGLES TO BE CERTAIN IT IS THE COLOR YOU SELECTED. TAMKO WILL NOT BE RESPONSIBLE FOR COLOR CLAIMS ONCE THE SHINGLES ARE INSTALLED ON A ROOF.

Natural Timber

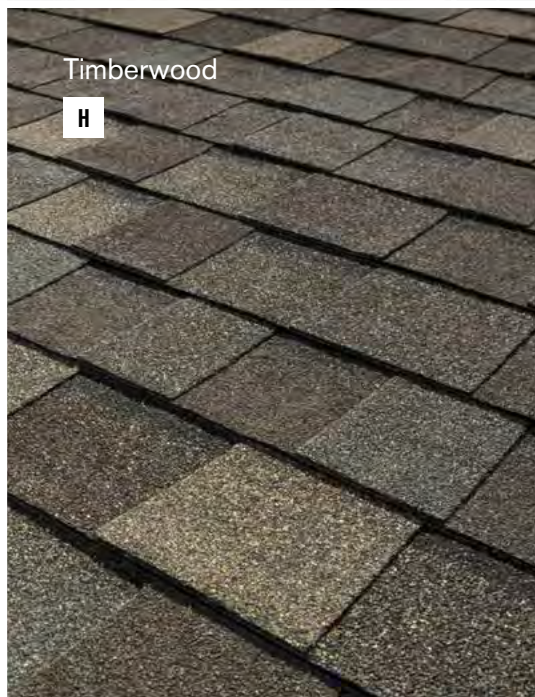
Invest in curb appeal. Roofing is the highest return on investment for exterior remodeling projects,

according to the NARI and National Association of REALTORS.

REALTOR® Mag, Dec. 2015,
<http://tamko.com/realtormag-value>

Timberwood

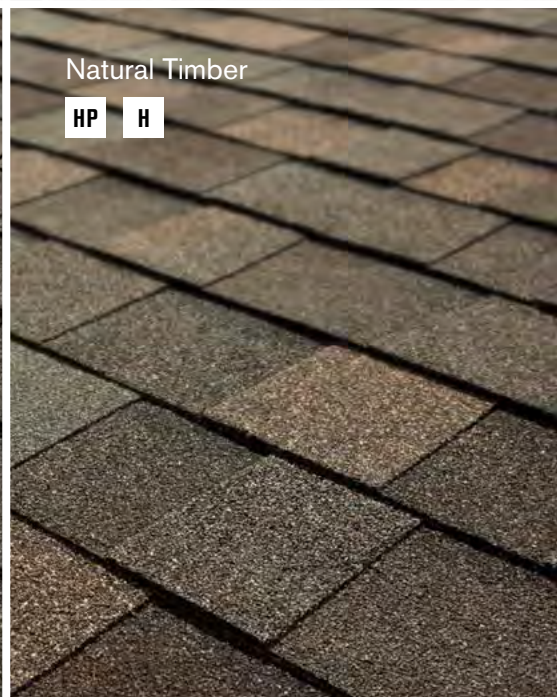
H



Natural Timber

HP

H



Welcome beauty home with the lively tones and intense warmth and contrast of America's Natural Colors. Inspired by the woodsy browns, stormy greys and other vibrant hues found in nature, these colors will help you craft a roof that fits your personal style.

Black Walnut



Thunderstorm Grey



Timberwood



Autumn Brown



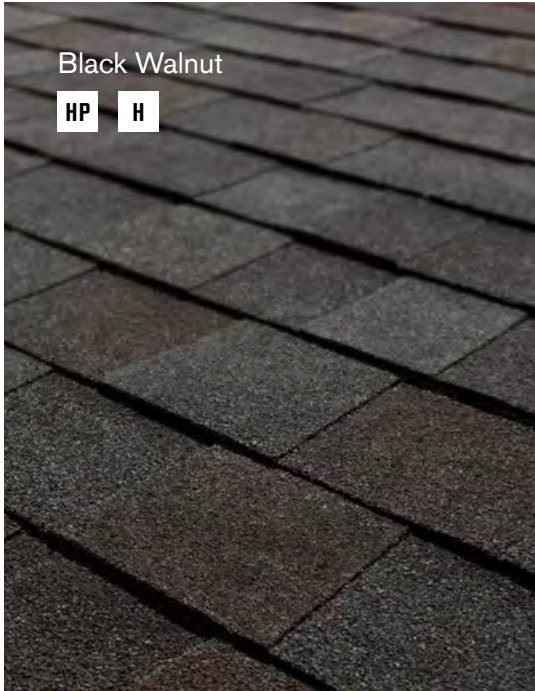
Thunderstorm Grey

HP H



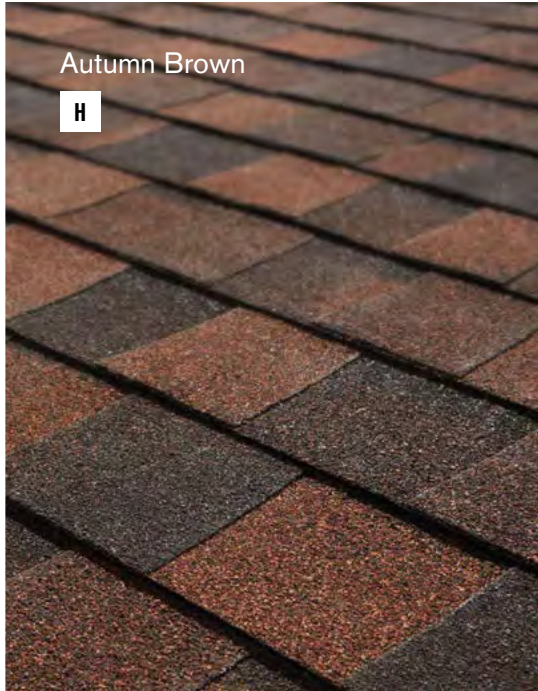
Black Walnut

HP H

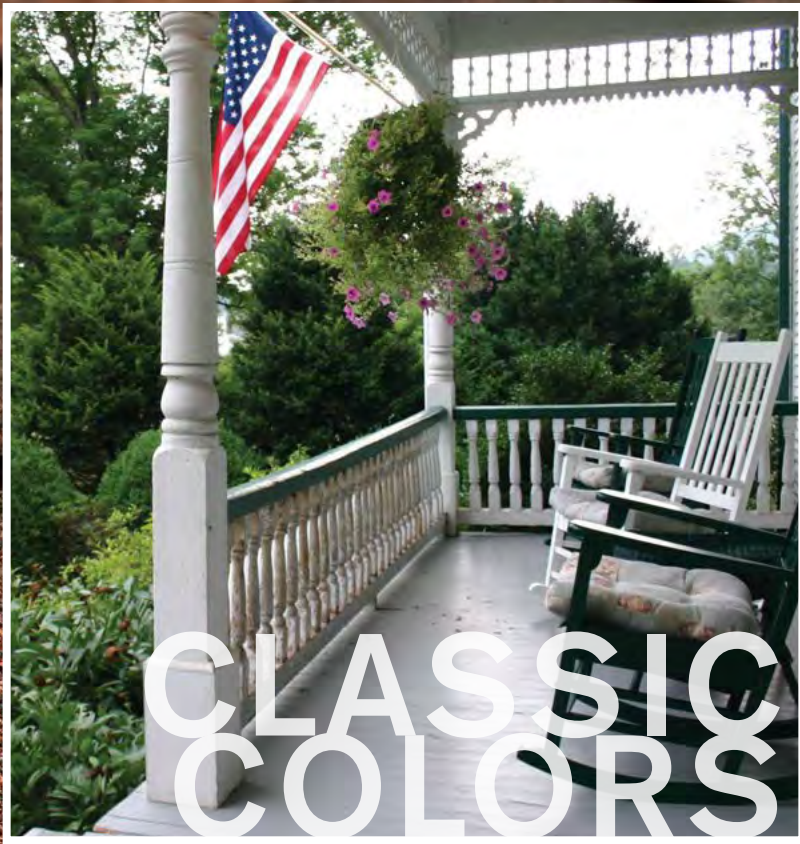


Autumn Brown

H

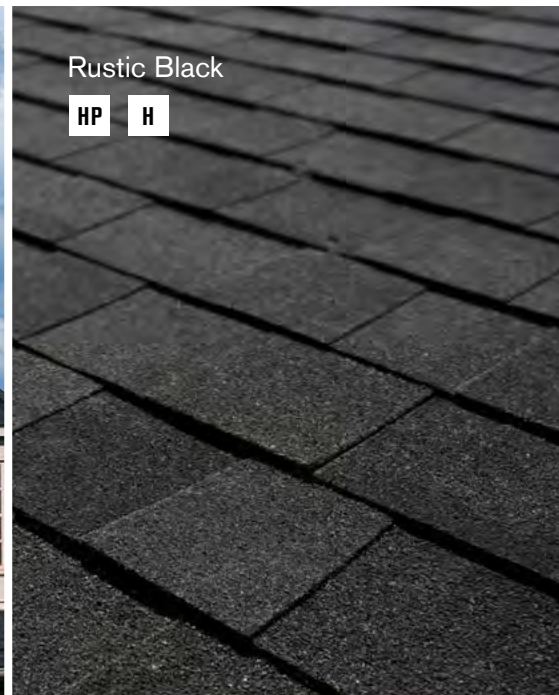






CLASSIC
COLORS

HERITAGE® CLASSIC COLORS COLLECTION



Make your home a focal point with classic, traditional shades. With Classic Colors, choose from a selection of charming greys, elegant reds and earth tones to create a roof that complements your home's unique style.



Olde English Pewter



Oxford Grey

Shingles are just the beginning. TAMKO offers a variety of additional accessories for your roof.

Additional accessories include Underlayments, Shingle Starter, Cements & Sealants, Heritage Shingle Options, Ventilation and Hip & Ridge Shingles.

[See back for details.](#)



Oxford Grey

HP H



Aged Wood

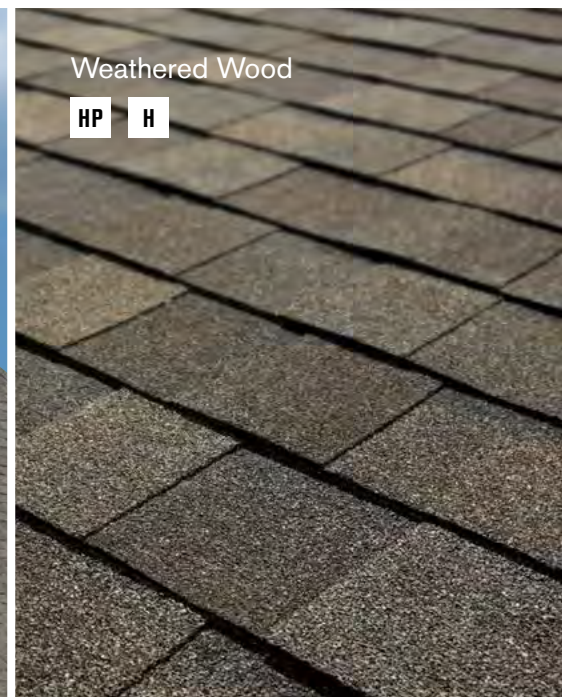
H



Olde English Pewter

HP H

HERITAGE® CLASSIC COLORS COLLECTION





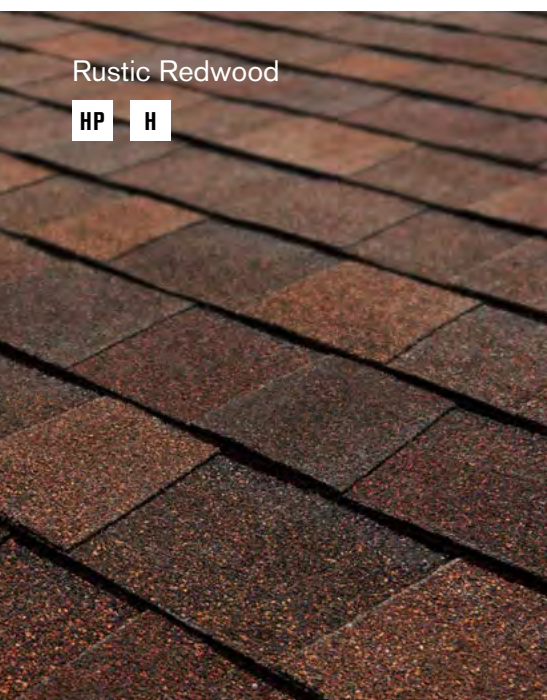
Rustic Slate



Rustic Cedar

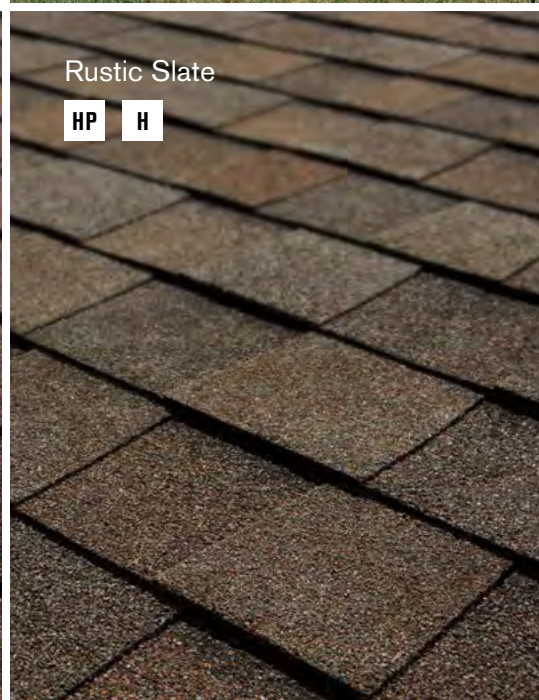
“ My Heritage
Rustic Cedar
roof looks great!
The neighbors
have been
complimentary.”

—Paula C.
Phoenix, Arizona



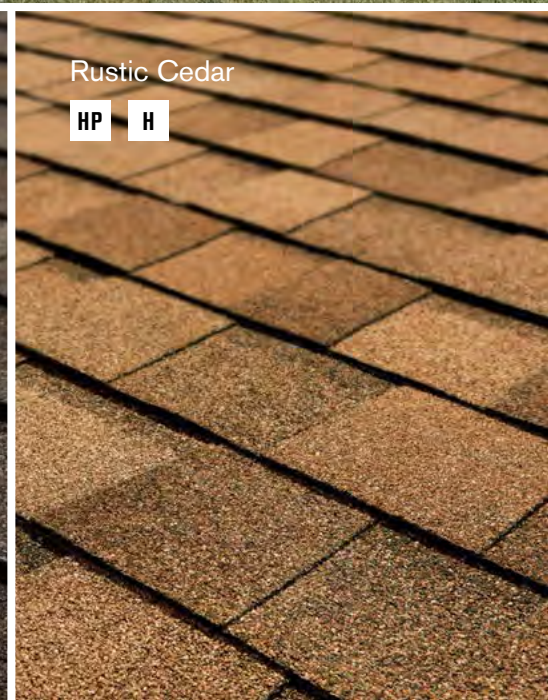
Rustic Redwood

HP H



Rustic Slate

HP H



Rustic Cedar

HP H

HERITAGE CLASSIC COLORS COLLECTION



Virginia Slate

Symbols shown beside each color name denote product options and availability.



Heritage Premium Shingles



Heritage Shingles

Rustic Evergreen



Come home to HERITAGE.

According to the National
Association of REALTORS,

61% of homeowners
enjoy spending
more time at home
since completing
a roofing project.

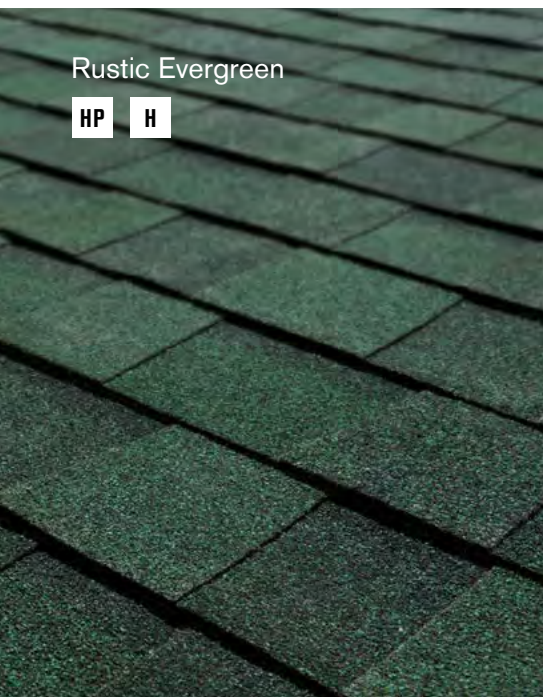
2015 Remodeling Impact Report,
National Association of REALTORS®/NARI,
<http://tamko.com/Remodeling-Report>

Slatetone Grey



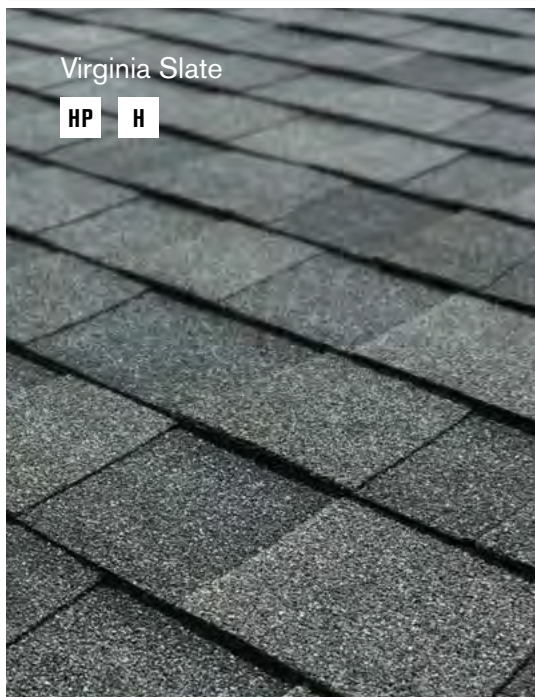
Rustic Evergreen

HP H



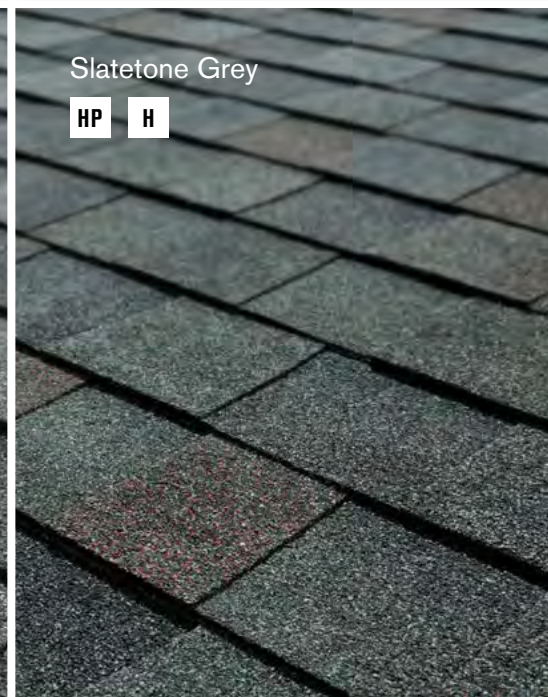
Virginia Slate

HP H



Slatetone Grey

HP H



SHINGLES BEGIN TO AGE AS SOON AS THEY ARE EXPOSED TO NATURE. BUILDINGS EXPERIENCE AGING FACTORS DIFFERENTLY, SO IT IS DIFFICULT TO PREDICT HOW LONG SHINGLES WILL LAST. THAT'S WHY TAMKO PROVIDES A LIMITED WARRANTY FOR MANY PRODUCTS, THAT INCLUDES A BINDING ARBITRATION CLAUSE AND OTHER TERMS AND CONDITIONS WHICH ARE INCORPORATED HEREIN BY REFERENCE. YOU MAY OBTAIN A COPY OF THE LIMITED WARRANTY AT TAMKO.COM OR BY CALLING 1-800-641-4691.

THE BEAUTY OF HERITAGE® SHINGLES

Heritage shingles deliver vivid color and texture to enhance your roof. These shingles are available with a Limited Lifetime Warranty. See TAMKO's Limited Lifetime Warranty and Arbitration Agreement for complete details. Heritage Premium shingles qualify for the Mastercraft Limited Warranty Enhancement at no additional cost to the homeowner when installed by a TAMKO® Pro Certified Contractor (see tamko.com for details). Heritage shingles also meet the following classifications:

UL Listed for:

Class A Fire Resistance

UL Classified:

Wind Resistance

ASTM D3462 and ICC-ES Acceptance Criteria AC438

UL Evaluation Reports:

UL Evaluation Report ER2919-01

UL Evaluation Report ER2919-02

**Florida Building Code
Product Approval**

FL 18355

Tested in Compliance with:

UL 790/ASTM E 108, Class A

ASTM D3161, Class F

ASTM D7158, Class H

ASTM D3462

ICC-ES Acceptance Criteria AC438



IMPORTANT ACCESSORIES

The beauty of your roof is only half the story. Underneath are several additional layers. TAMKO offers a variety of accessories for your roof.

- 1 Ice & Rain Underlayments
- 2 Underlayments
- 3 Shingle Starter
- 4 Cements & Sealants
- 5 Heritage Shingle Options
- 6 Ventilation
- 7 Hip & Ridge Shingles

The above illustration shows the placement of important accessories for new roof installation and is not meant to show proper installation techniques. Visit tamko.com to download product application instructions.



BUILDING PRODUCTS FOR THE PROFESSIONAL.

Since 1944, building professionals and homeowners have looked to TAMKO for building products. Today, we offer a wide range of building products, including Heritage® Laminated Asphalt Shingles, Elite Glass-Seal® 3-tab Shingles, MetalWorks® steel shingles, waterproofing materials, and ventilation products.



P.O. Box 1404
Joplin, MO 64802-1404
1-800-641-4691
tamko.com

PRIOR TO MAKING YOUR FINAL COLOR SELECTION, TAMKO RECOMMENDS VIEWING AN ACTUAL ROOF INSTALLATION OF THE SAME SHINGLE COLOR AND MANUFACTURING PLANT YOU ARE CONSIDERING FOR THE FULL IMPACT OF COLOR BLENDING AND PATTERNS. AS COLORS VARY BY REGION, YOU MAY WANT TO VISIT WWW.TAMKO.COM AND VIEW COLORS AVAILABLE BY ZIP CODE. HOUSE PHOTOGRAPHY IN THIS BROCHURE MAY HAVE BEEN DIGITALLY MODIFIED OR CREATED USING PHOTOGRAPHS OF ACTUAL SHINGLES. PRINTED REPRODUCTION OF THE SHINGLE COLORS IS AS ACCURATE AS OUR PRINTING WILL PERMIT. PRIOR TO INSTALLING THE SHINGLES, OPEN A BUNDLE AND VIEW A FEW OF THE SHINGLES TO BE CERTAIN IT IS THE COLOR YOU SELECTED. TAMKO WILL NOT BE RESPONSIBLE FOR COLOR CLAIMS ONCE THE SHINGLES ARE INSTALLED ON A ROOF.

Certain colors and products may not be available in your area. Information included in this brochure was current at the time of printing. To obtain a copy of the most current version of this brochure, visit us online at tamko.com or call us at 1-800-641-4691. Front cover shingle color is Heritage Weathered Wood.

©2019 TAMKO Building Products LLC