

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	26038 Frederick Road, Clarksburg	<b>Meeting Date:</b>	8/14/2019
<b>Resource:</b>	Primary (1810-1890) Resource (Hyattstown Historic District)	<b>Report Date:</b>	8/7/2019
<b>Applicant:</b>	Tobias Herman and Kristine Lui	<b>Public Notice:</b>	7/31/2019
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Yes
<b>Case Number:</b>	10/59-19A	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b>	Roof replacement		

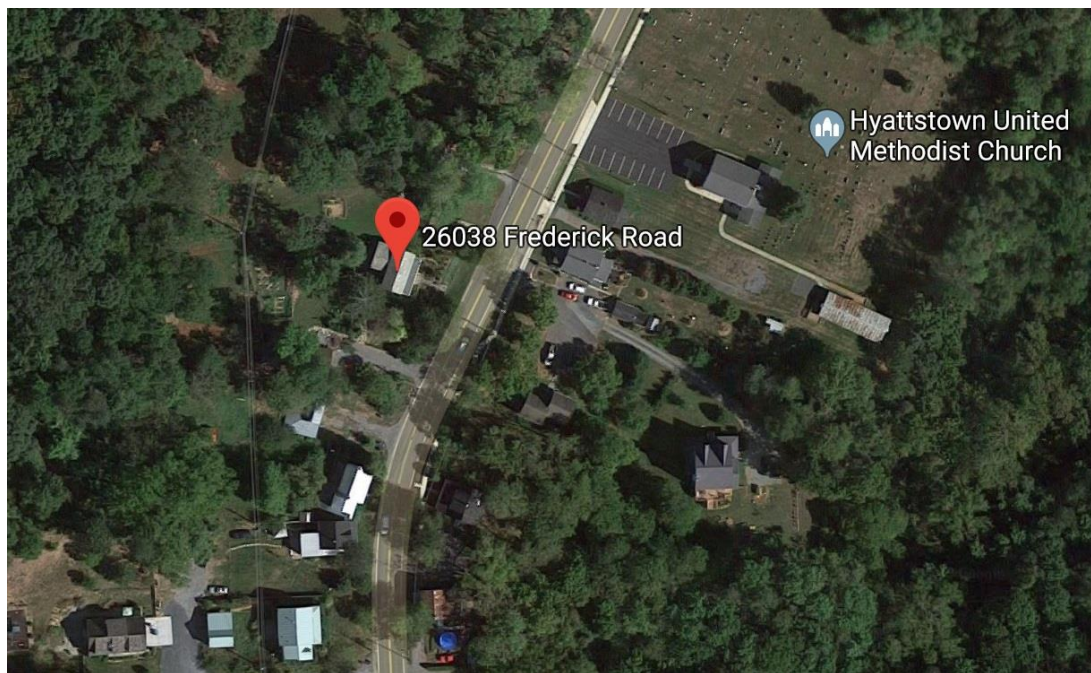
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**STAFF RECOMMENDATION:**

- ☒ Approve  
☐ Approve with conditions

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Primary (1810-1890) Resource within the Hyattstown Historic District  
**STYLE:** Vernacular  
**DATE:** 1840

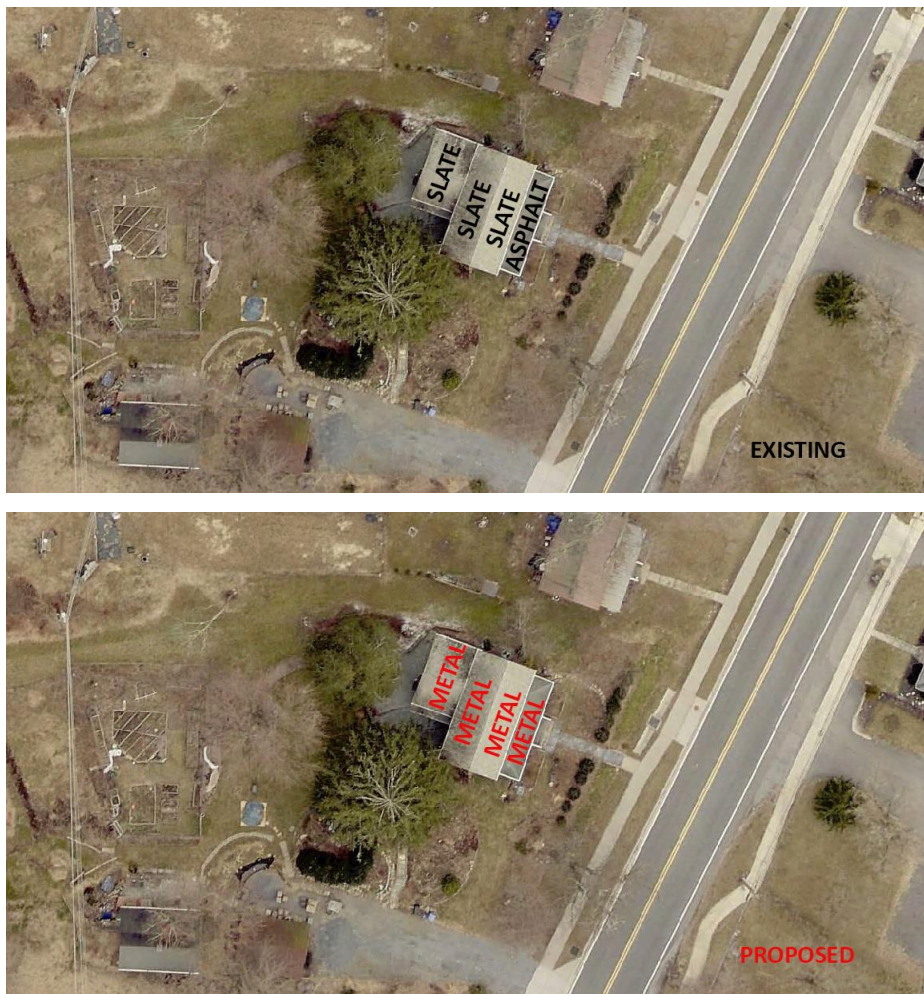


*Fig. 1: Subject property.*

**PROPOSAL:**

The applicants propose to replace the existing slate and asphalt roofing with standing seam metal roofing at the subject property. The proposed standing seam metal roofing will have 1" high mechanically locked vertical seams; and, in lieu of ridge caps, the ridges will be seamed to match the vertical seams.

The applicants have stated that the existing slate roofing tiles and nails are failing, requiring replacement. Additionally, the slope of the existing rear addition is 2:12, which is below the standard roof pitch for slate (with the standard being 4:12, according to the guidelines established by the Slate Roof Contractors Association of North America). At 4.5/12, the slope of the main house roof is just above standard. Standing seam metal roofs are a prevalent feature in the Hyattstown Historic District and standing seam roofing is an appropriate and compatible material for the subject property.



*Fig. 2: Existing roofing materials (top, black text) and proposed roofing materials (bottom, red text).*

**APPLICABLE GUIDELINES:**

IV. The Expedited Staff Report format may be used on the following type of cases:

11. Replacement of roofs on non-contributing or out-of-period building, as well as new installation of

historically appropriate roofing materials on outstanding and contributing buildings.

### **Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

### ***Secretary of Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

### **STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of

Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #3

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: Krispuhinhui@gmail.com Contact Person: KRIS LUI  
Daytime Phone No.: 646-596-0442  
Tax Account No.: \_\_\_\_\_  
Name of Property Owner: JOSIAS HERMAN & KRISTINE LUI Daytime Phone No.: 646-596-0442  
Address: 26038 FREDERICK RD, HATT HYATTSTOWN, MD 20871  
Street Number City State Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PREMISE

House Number: 26038 Street: FREDERICK RD.  
Town/City: HYATTSTOWN Nearest Cross Street: MD - 109  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PAINT ACTION AND USE

### 1A. CHECK ALL APPLICABLE

- ☐ Construct ☐ Extend ☐ Alter/Renovate  
☐ Move ☒ Install ☐ Wreck/Reze  
☐ Revision ☒ Repair ☐ Revocable

### CHECK ALL APPLICABLE

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family  
☐ Fence/Wall (complete Section 4) ☒ Other: ROOF

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved above permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 880114 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edt 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

Date Received in DPS  
Mail Log # 409956

JUN 14 2019

Assigned To: over

**1. WRITTEN DESCRIPTION OF THE PROJECT**

**a. Description of existing structure(s) and environmental setting, including their historical features and significance:**

The existing structure is a single family home in the historic district of Hyattstown, in upper Montgomery County. According to documents provided by the previous home owners, probably obtained from the Historical Society collections, the original house was built in 1840 by the Dutrow family, and subsequent additions result in the structure today. Circa 2000, the previous home owners had submitted an application for a copper roof; however, the house has a slate roof. Slate tiles are already damaged, and there are leaks in the back part of the house. According to the Slate Roof Contractors Association of North America's guidelines<sup>1</sup>, slate should not be installed on roofs with a pitch less than 4:12; this was confirmed by several contractors visiting the house. The roof in the back part of the house has a pitch of 2:12, while the pitch on the front (original) part of the house is 4.5:12. The front porch is covered, and currently the roof is asphalt shingle.

**b. General description of project and its effect on the historical resource(s), the environmental setting, and, where applicable, the historic district:**

The project is to replace the roof for this home. We propose to use a standing seamed metal roof, with snow birds on the back part of the house, and snow rails on the front part of the house. The National Roofing Contractors Association<sup>2</sup> suggests two main classes of roofing for low-slope roofs (those with a pitch of 3:12 or less): membranes (such as thermoplastic) or metal panels (with lap sealant or standing seams). Given the historical nature of the house and district, a metal roof is clearly preferred over an artificial membrane. Moreover, almost all houses in historic Hyattstown have roofs of metal or asphalt shingle. In fact, only one other house has a slate roof; replacing our roof with metal panels would help maintain the consistency within the district.

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<sup>1</sup> Slate Roof Contractors Association of North America, Inc. "General Installation Guidelines for Natural Quarried Roofing Slate, Version 1.5" October 2017. [http://slateroofers.org/downloads/SRCA\\_Installation\\_Guidelines.pdf](http://slateroofers.org/downloads/SRCA_Installation_Guidelines.pdf) Section 4.2.C. "Installing roofing slates on slopes less than 4:12 is not recommended." (Accessed 10 June 2019.)

<sup>2</sup> Graham, Mark S. "Roof slope guidelines: Minimum and maximum slopes vary by roof system and project type" August 2018. <http://docserver.nrca.net/technical/10319.pdf> (Accessed 10 June 2019.)

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

TOBY HERMAN & KRIS LUI  
 26038 FREDERICK RD.  
 HYATTSTOWN, MD 20871

**Owner's Agent's mailing address**

**Adjacent and confronting Property Owners mailing addresses**

WAYNE HAWSE  
 26111 FREDERICK RD.  
 HYATTSTOWN, MD 20871

KRIS GEORGINIS  
 26034 FREDERICK RD.  
 HYATTSTOWN, MD 20871

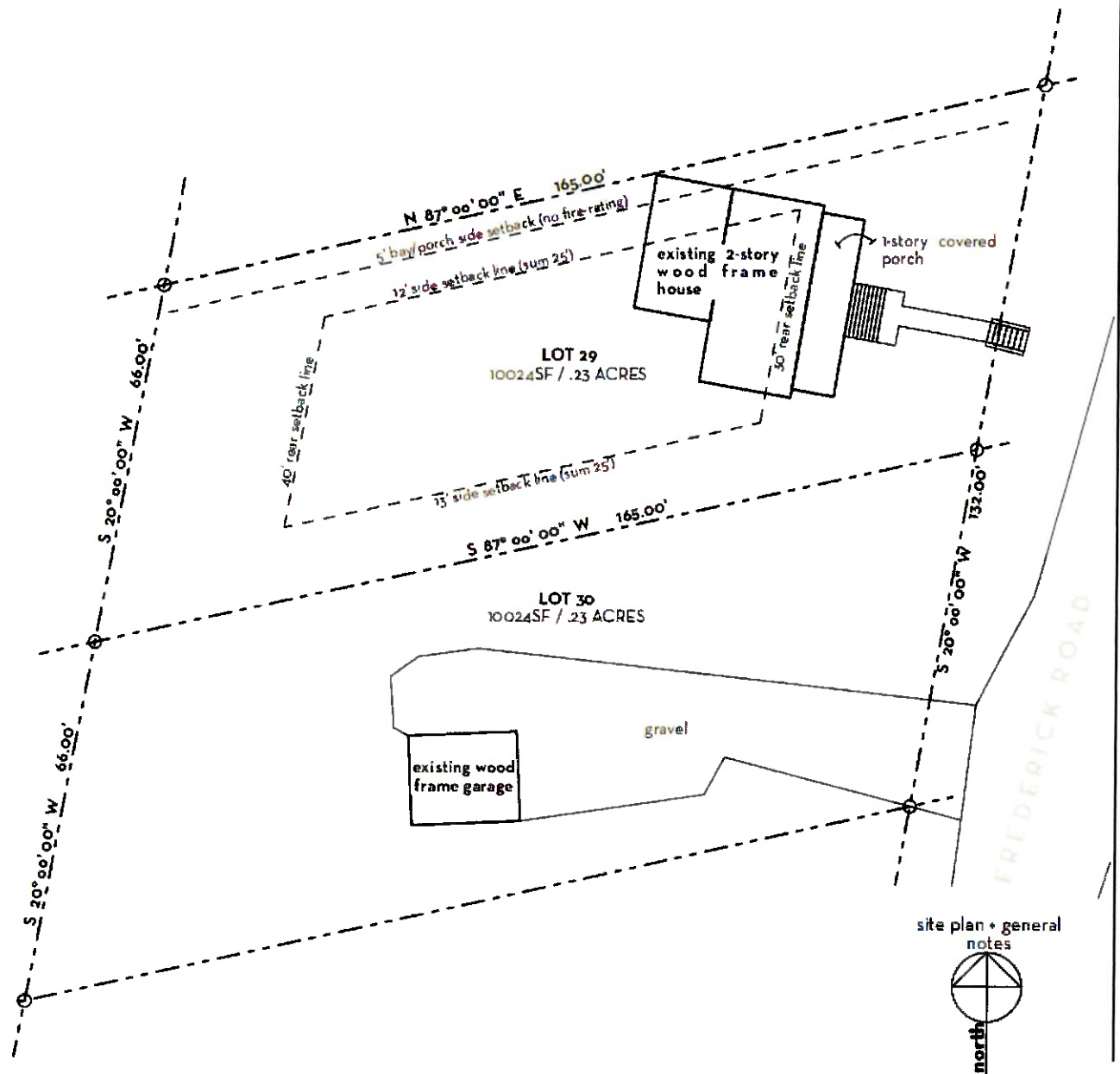
RACHEL, SABRAMARIE, &  
 RASCHTEL GROSS  
 26101 FREDERICK RD.  
 HYATTSTOWN, MD 20871

CHAR & THOMAS HOLLAND  
 26112 FREDERICK RD.  
 HYATTSTOWN, MD 20871

## 2. SITE PLAN

The site plan was created by Brennan + Company Architects, 20 March, 2019. This is also included as an attachment.

### SITE PLAN scale: 1" = 20'



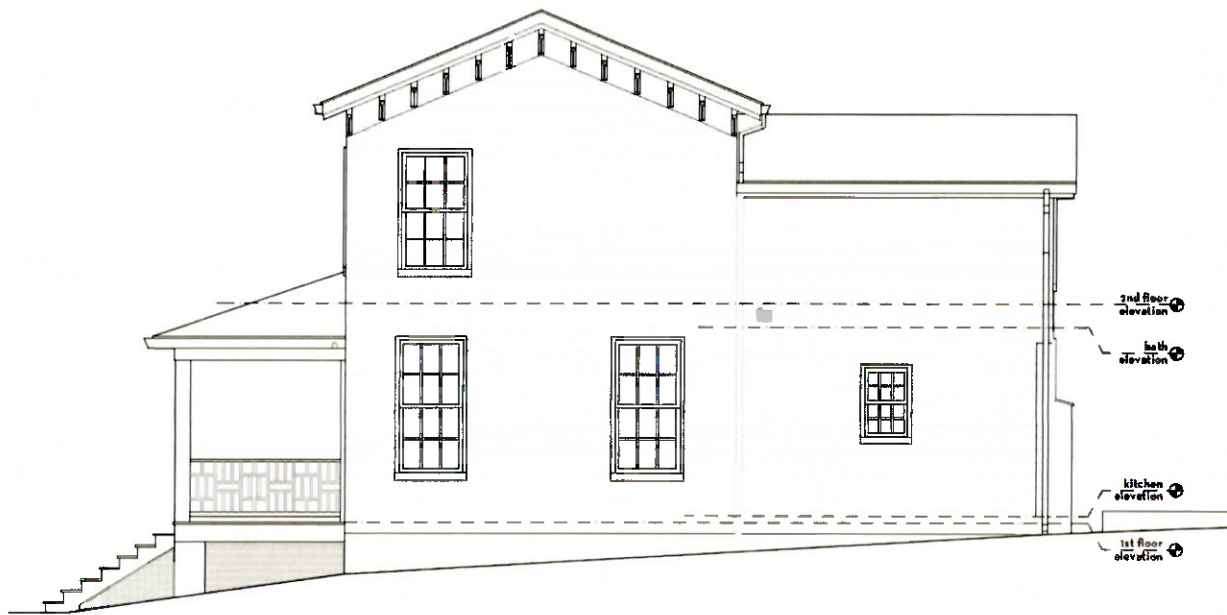


### 3. PLANS AND ELEVATIONS

The elevation drawings were created by Brennan + Company Architects, 20 March, 2019. These are also included as attachments.



**1** existing west elevation  
scale: 1/4" = 1'-0"



**2 existing north elevation**  
scale: 1/4" = 1'-0"

**4. MATERIALS SPECIFICATIONS**

**General description of materials and manufactured items proposed for incorporation in the work of the project.**

We have a proposal from Modern Renovations (5100 Buckeystown Pike, Suite 250, Frederick MD) to remove the slate, replace any damaged sheeting, install a titanium synthetic underlayment, and install 26 gauge Englert standing seam metal roof panels. The installation will include drip and rake edge flashing, ridge caps, and pipe collars. Snow birds will be used on the back (lower pitched roof) while snow rails will be installed in the front (original) roof. Metal seamed roofing will be installed on the covered front porch as well (which is currently asphalt shingle).

**5. PHOTOGRAPHS**

**Facades of existing resource and views from adjacent properties.**

**i. West Elevation**





- ii. North Elevation (and view from 26112 Frederick Road)  
Photo 1



Photo 2



- iii. East Elevation (and view from 26101 and 26111 Frederick Road) *AND PUBLIC RIGHT OF WAY*





iv. South Elevation (and view from 26034 Frederick Road) *AND PUBLIC RIGHT OF WAY*



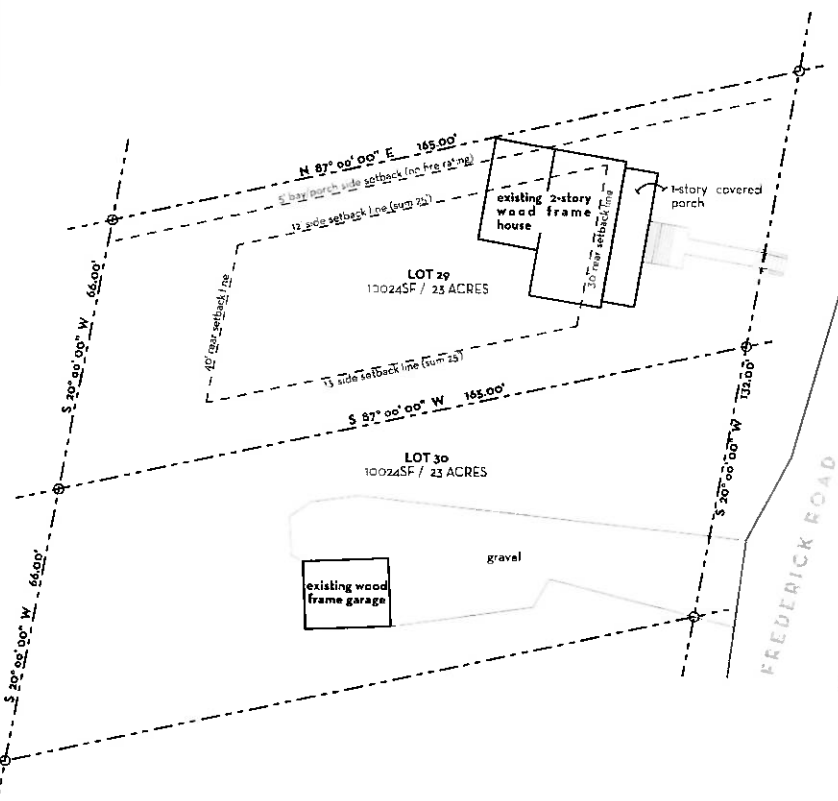
6. TREE SURVEY

Not required for roof changes.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

Please see attachment.

# SITE PLAN scale: 1" = 20'



## SITE NOTES

- It is the owner's intention to preserve the natural vegetation and land features of the site to the greatest extent possible. Remove the minimum amount of existing vegetation possible for new construction.
- The Owner and Architect will approve the site layout prior to digging the footings.
- Topsoil and large boulders will be stockpiled for future use by the Owner. Stockpiling area to be determined by Owner.
- All trees designated for removal from the building site are to be marked for review by the Owner or Architect.
- All stumps will be removed and disposed of off site in order to prevent insect infestation.
- The Owner and Architect will determine which trees are to be transplanted or maintained during construction. The Contractor will provide the price for this service which is not included in the contract.
- The construction area and access to the construction area will be as small an area as is reasonable to facilitate construction of the home. This area is to be clearly demarcated and "capped" off to prevent any destruction of natural terrain outside the area by construction vehicles.
- Water must have positive drainage away from the building at all points along its perimeter in a direction of least impact on site and surrounding buildings.
- All downspouts will have splash blocks or rain barrels and adequate drainage path away from the building OR tied into a below grade drain tile that is piped to daylight and screened.
- Do not treat soil with manufactured chemical treatments.
- Treat sand surfaces under floors and brick or stone walkways with diatomaceous soil.
- Use a barrier cloth under exterior walkways to prevent weed overgrowth.

## ABBREVIATIONS

AFR	ADJUSTABLE	ABOVE FINISH FLOOR
ARC-4	ARCHITECTURAL	
BKG/BLK	BLOCKING	
CLG	CENTERLINE	
CUG	CENTERLINE	
CONT	CONTINUOUS	
DIM	CONSTRUCTION	
EA	EACH	
ELEC	ELECTRICAL	
EQ	EQUAL	
EXIST	EXISTING	
EXT	EXTERIOR	
FIN	FINISH	
OVIPID	OVERLAP WALL BOARD	
INSUL	INSULATION	
INST	INSTALL	
INT	INTERIOR	
MIN	MINIMUM	
MFR	MANUFACTURER	
MTD	MOUNTED	
MTL	METAL	
NEC	NECESSARY	
NO	NUMBER	
NTS	NOT TO SCALE	
OC	ON CENTER	
OPCL	OWNER PROVIDED	
	CONTRACTOR INSTALL	
2D	2D	
3D	3D	
PT	POINT	
REQ	REQUIRED	
RH	ROOM	
SMACNA	SHEET METAL - AIR CONDITIONING	
	NATIONAL ASSOCIATION	
SD	SQUARE	
STD	STANDARD	
STRUCT	STRUCTURAL	
TV	TYPE	
UON	UNLESS OTHERWISE NOTED	
VIF	VERIFY IN FIELD	
W	WITH	
WD	WOOD	

## GENERAL NOTES

- Any inconsistencies found between drawings and existing conditions or between the drawings themselves shall be reported to the Architect. Do not perform any work affected in any manner by the inconsistencies until the Architect has clarified the information. Any work done will be solely at the Contractor's risk and expense. The Architect will resolve the inconsistencies in a timely matter.
- All work shall be done in a workmanlike manner and in conformance with product manufacturers' installation instructions and guarantee requirements. Work shall be completed to the satisfaction of the owner.
- All work shall be done in accordance with applicable state and local codes and regulations.
- Do not scale drawings to determine dimensions.
- Provide minimum R-21 at exterior walls and R-49 at ceilings, or greater as shown on drawings.
- All new dimensions are to the rough face of framing and centerline dimensions are to finish unless noted otherwise.
- Dimensions and notes for a given condition are typical for all similar conditions unless otherwise noted.
- Drawings at larger scale shall take precedence over drawings at smaller scale, except for any notes elsewhere that may be found in the drawings.
- Existing walls, columns, piers, etc. are shown shaded on the plans.
- Contractor to protect all landscape, paving and other site conditions from damage.
- Contractor to provide specified copper flashing at all window heads. For horizontal window stops, window sills, the bottom of all cavity walls and at all other locations recommended by SMACNA.
- Contractor to provide proper flashing at all roof penetrations as recommended by SMACNA.
- Contractor to flash and insulate all through wall penetrations in order to meet air leakage results as required by IRC 2015.
- Contractor shall arrange for the proper disconnection and/or relocation of all public utilities when required, including sewer, water, gas, electric and telephone lines.
- All dimensions of existing construction shall be field verified before ordering material or beginning work.
- Contractor to complete all work in accordance with the drawings. At the end of the job, Contractor to clean all finished surfaces and leave job in an orderly and neat fashion, capable of being used for its intended purpose. One-year warranty shall begin at substantial completion of the work, as determined by the Architect. Provide all keys, equipment operating instructions, record drawings, etc. to Owner.
- Smoking on property only in areas designated by Owner.

## ENERGY NOTES

- Permanent Certification shall be completed and posted on or in the electric distribution panel by the builder. It shall list the predominant R-values of insulation installed for ceiling/rafters, walls, foundation (slab, basement wall, crawlspace wall and/or floor) and outside of conditioned spaces, U-factors for fenestration and the solar heat gain coefficient of fenestration and the results from any required duct system and building envelope air leakage testing done on the building. Certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. All gas-fired unvented room heaters, electric furnaces, or baseboard electric heaters shall be listed but the efficiency is not required to be listed.
- The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of sections R402.4.1 through R402.4.4 of the IRC 2015. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 3 air changes per hour. Testing shall be conducted with a blower door at a pressure of 50 pascals. Testing shall be conducted by an approved third party testing agency (BPI Certification required) and the signed written report shall be submitted to the Code Official prior to the Building Final. Ordering the blower door test is the responsibility of the Contractor.
- At least one programmable thermostat shall be provided for each separate heating and cooling system.
- All ducts to be completely located inside the building thermal envelope or be insulated to R-8 (prescriptive).
- Unless located entirely within the building thermal envelope, ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall comply with the IRC 2015.
- Building framing cavities shall not be used as ducts or plenums.
- Mechanical system piping capable of carrying fluids above 105 degrees or below 55 degrees shall be insulated to a minimum of R-3.
- Insulation for hot water pipe must meet the requirements of R403.4.2 and Table R403.4.2 of the IRC 2015 (prescriptive).
- The building shall be provided with ventilation that meets the requirements of the IRC 2015, or with approved means of ventilation. Outdoor air intakes and exhaust shall have automatic or gravity dampers that close when the ventilation system is not operating. See R403.3 of IRC 2015 for fan efficacy and exception.
- The whole house mechanical ventilation system shall provide outdoor air at a continuous rate of not less than that determined in accordance with Table M602.3.3(1).
- Heating and cooling equipment shall be sized in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies.
- A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or a minimum of 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

## HYATTSTOWN HISTORIC DISTRICT: compliance and notes

The house is a contributing structure within the Hyattstown Historic District - National Register Historic District. **NO WORK CAN BEGIN UNTIL ALL WORK HAS BEEN SUBMITTED AND APPROVED BY THE REVIEWING AGENCIES: MONTGOMERY COUNTY PLANNING & MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION.**

All proposed work including materials, windows, and doors shall be completed as indicated in the drawings and described in the notes and scheduled conforming to Montgomery County Historic Preservation Commission. Any alternates or changes shall first be reported to HPS for revision approval.

## CODE INFO

Design Intent to meet International Residential Code, 2015  
COMAR 05.02.07

## ZONING INFO

**HOUSE LOCATION**  
MAP DX62 LOT 29-30 LOT 83/84  
26038 FREDERICK ROAD  
HYATTSTOWN, MD 20871

**ZONING INFO: Montgomery County**

Zoned R-200  
Front Setback 40' / 25' wide  
Side Setback 12' / 25' sum  
Rear Setback 30'  
Building Height existing  
Coverage existing

## SYMBOLS

①	DOOR #
△	WINDOW #
①	PLUMBING FIXTURE #
②	APPLIANCE #
④ (A) 2	INTERIOR ELEVATION #
③	BUILDING SECTION
④ (A) 2	NEW WALL
③	EXISTING WALL

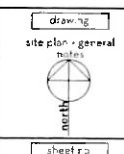
## DRAWING LIST

A0	site plan + general notes
A1	floor plans deconstruction
A2	floor plans deconstruction
A3	existing basement + roof plan
A4	new floor plans + schedules
A5	elevations
A6	sections
A7	detail plan + interior elevations
A8	detail plan + interior elevations + notes
A9	bath interior elevations
E1	rcp + electrical plans + schedules
S1	structural framing plans

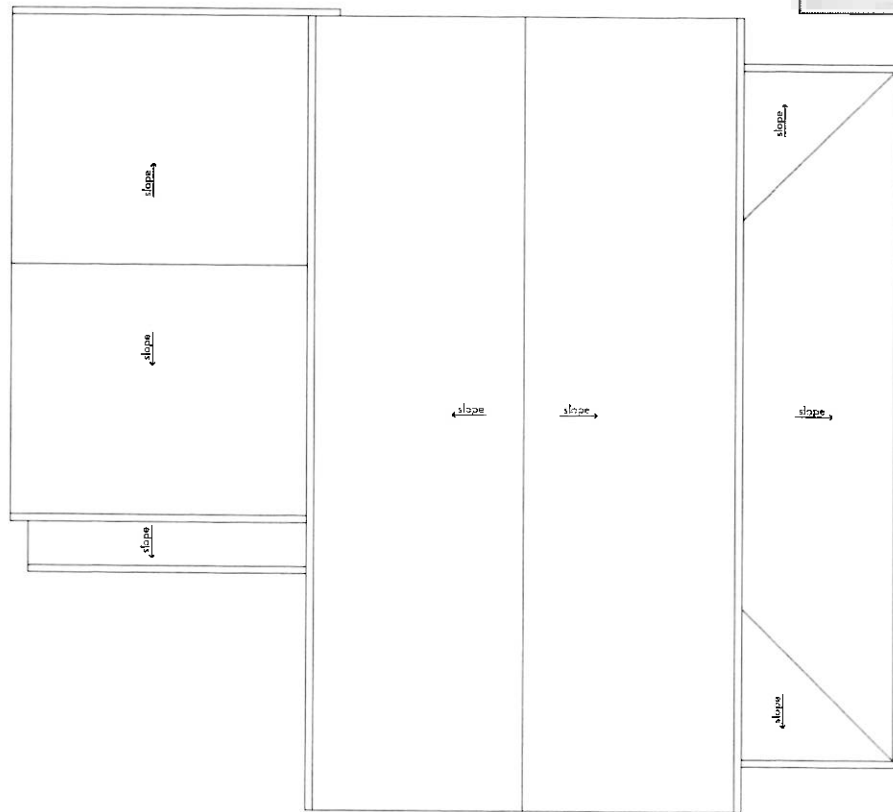
company  
BRENNAN + COMPANY  
ARCHITECTS

project  
LUI - HERMAN RESIDENCE  
26038 FREDERICK ROAD  
HYATTSTOWN, MD 20871

phase	date
MD	08.25.2018
SD Rev	09.17.2018
Prelim. Pricing	10.10.2018
Perm t	03.20.2019

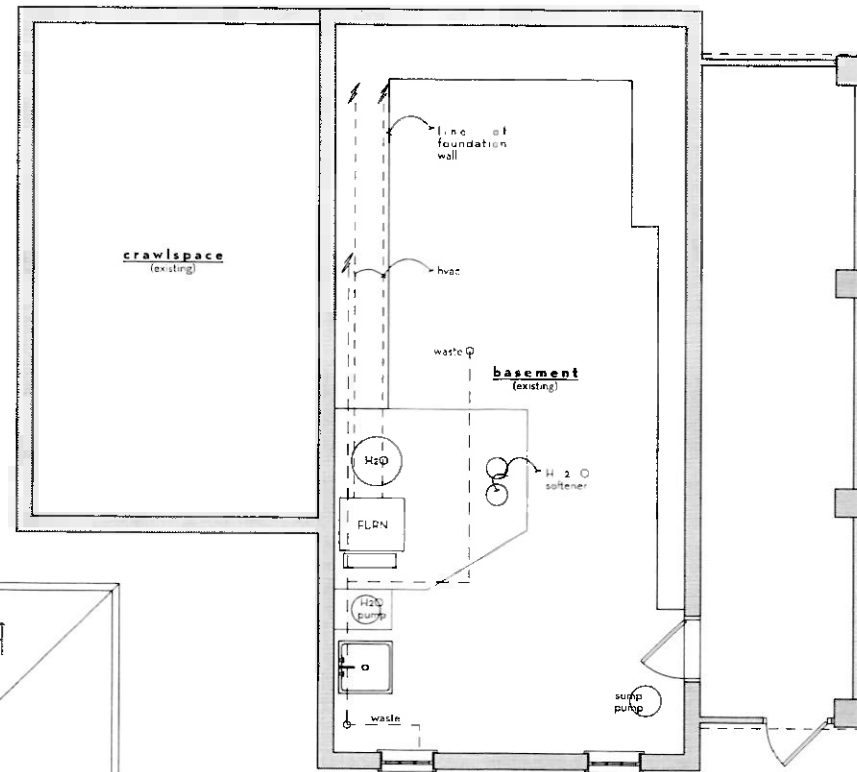


A0



## 2 existing roof plan

scale 1/4" = 1'-0"



**1 existing basement plan**  
scale: 1/4" = 1'-0"

phase	date
MD	08/23/2018
SD Rev.	09/17/2018
Prelim Pricing	10/10/2018
Permit	05/23/2019

project

**LUI-HERMAN RESIDENCE**  
26038 FREDERICK ROAD  
HYATTSTOWN, MD 20871

[illegible]

drawing  
existing basement +  
root plan

sheet no

**A3**



scale,  $1/4'' = 1'-0''$



scale:  $1/4" = 1'-0"$

LUI-HERMAN RESIDENCE  
226038 FREDERICK ROAD  
HYATTSTOWN, MD 20871

phase	date
MD	08/23/2018
SD Rev.	09/17/2018
Prelim. Pricing	10/30/2018
Permit	03/20/2019

elevations



short no

A5



## Invoice

<b>Invoice No:</b> 746 <b>Date:</b> 05/23/2019	5100 Buckeystown Pike Suite 250 Frederick, MD, 21704 ModernRenovationsMD@gmail.com Mymodernrenovations.com 240-520-9488 Modern Renovations LLC MHIC# 136269 Shawn Wolford MHIC# 116795
<b>Bill To:</b> Kris & Toby Lui blumaroo@hotmail.com 26038 Frederick Rd Clarksburg, MD, 20871 646-596-0442  (JD18)	

Description	Quantity	Rate	Amount
STANDING SEAM FOR ENTIRE HOUSE AND FRONT PORCH -remove all slate from the roof -inspect all sheeting -installed titanium synthetic underlayment over the entire roof -install custom fabricated drip edge and rake edge flashing -install 26 gauge pre- englert standing seam metal roof panels -install ridge cap along peak of roof -installed new pipe collars around plumbing vents -clean up around dwellings thoroughly -haul all trash away COLOR IS PATINA GREEN	1	\$19,800.00	\$19,800.00
Snow Rail System for main house only.	1	\$3,040.00	\$3,040.00



Subtotal	\$22,840.00
Total	\$22,840.00
Paid	\$5,710.00

**BALANCE DUE**

**\$17,130.00**

### Comments

Each contractor must hold a current MHIC license and anyone can ask about the contractor using the following information:

MHIC: 500 North Calvert Street, Baltimore, MD 21202

Phone: 410-230-6309, 1-888-218-5925

--The Maryland Home Improvement Commission administers the Guaranty Fund, which may compensate homeowners for certain actual losses caused by acts or omissions of licensed contractors.

--A homeowner has the right to purchase a performance bond for additional protection against losses not covered by the Guaranty fund.

--The estimated Start date for Project will be 4 WEEKS

--The estimated completion date for the project will be 3 DAYS

--You may cancel the transaction at any time prior to midnight of the fifth business day, or midnight of the seventh business day if buyer is at least 65 years old after the date of the transaction



Modern Renovations LLC



Client's signature

## Kyne, Michael

---

**From:** Kris Lui <krispuihinlui@gmail.com>  
**Sent:** Tuesday, August 6, 2019 12:32 PM  
**To:** Kyne, Michael  
**Cc:** Ballo, Rebecca; T Herman  
**Subject:** Re: HAWP Application for 26038 Frederick Road, Hyattstown

Hi Michael,

Here is the contractor's response:

"We are proposing to install an Englert 26 gauge steel coated with Permacolor 3500 coating. (70% Kynar 500/Hylar 5000 baked on color coating) The seams are a double locked mechanical one inch standing seam. The ridge will be "turned" (seamed) to form a ridge seam that will correlate with vertical seams. Hidden fasteners I, clips attached to sheathing with screws will secure metal panels to structure. Clips and fasteners are then seamed inside of seams."

-Kris

On Mon, Aug 5, 2019 at 12:16 PM Kyne, Michael <[michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org)> wrote:

Hi Kris,

Can you please provide additional information regarding the proposed new roofing materials? Your contractor should be able to provide full material specs from the manufacturer. Specifically, we need information regarding the seams (type of seam and height) and the ridge cap, as these are the major components regarding compatibility. Staff is comfortable with a standing seam metal roof, as these are quite prevalent in the historic district; however, if you look at the other standing seam metal roofs in the district, you will note that they are mostly traditional field-turned roofs with turned ridges or minimal ridge caps.

I have to complete the staff report and send recommendations to the Commission by end of day tomorrow, so please get this information to me ASAP.

Thank you,

Michael Kyne

Planner Coordinator | Historic Preservation Section

Montgomery County Planning Department | M-NCPPC

8787 Georgia Avenue, Silver Spring, MD 20910 | 301-563-3403

## Kyne, Michael

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**From:** Kris Lui <krispuihinlui@gmail.com>  
**Sent:** Sunday, July 28, 2019 3:15 PM  
**To:** Kyne, Michael  
**Cc:** Ballo, Rebecca; T Herman  
**Subject:** Re: HAWP Application for 26038 Frederick Road, Hyattstown

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Dear Mr. Kyne:

Thank you for letting us know that we are on the August 14th agenda.  
To answer your questions:

1. Both slate tiles and nails are failing.
2. After conducting some research, we are skeptical about synthetic slate tiles.
  - a. According to the ICC-2018 International Building Code (<https://codes.iccsafe.org/content/IBC2018P2/chapter-15-roof-assemblies-and-rooftop-structures>) Chapter 15, Section 7, the only TILED material recommended for a 2/12 roof pitch is asphalt shingle, and that is with special underlayment procedures. Synthetic slate tiles (rubber, polymer, or cement) do not appear in this Code document, possibly due to its newness to the market. Other tile materials, including concrete, clay, metal and wood, all require higher-pitched roofs.
  - b. With a low-pitched roof (2/12 or lower), ANY tiled roof system (asphalt, metal, slate, wood) is susceptible to freeze-thaw-cycle damage. As ice or snow melts during the day, water can pool between the tiles, and when it freezes overnight, can cause tile failure.
  - c. Synthetic slate tiles are relatively new, and thus have not had the field-testing for longevity that metal roofs have. While accelerated environmental tests have been conducted, we would prefer to use a time-tested material such as metal.
  - d. Synthetic slate tiles can warp or curl, requiring sooner repair and replacement.
  - e. Synthetic slate tiles can discolor quickly.

We appreciate the efforts to retain the current look of the house! However, we are more focused on a long-lasting roof design that maintains some historical element. We believe that the standing-seam metal roof helps preserve historical flavor, and at the same time, provides functionality and longevity.

Please let us know if there is any further information we can provide.  
Thank you!

Sincerely,  
- Kris Lui and Toby Herman

On Fri, Jul 26, 2019 at 3:00 PM Kyne, Michael <[michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org)> wrote:

Hi Kris,

We are in receipt of the additional information, and your case has been added to the August 14 meeting agenda.

Can you please answer the following questions:

- Are the existing slate tiles failing, or are the nails failing?
- Have you considered artificial slate roofing as a replacement material? There are some high quality products on the market, which may be more in keeping with the house's current appearance.

Thank you,

Michael Kyne

Planner Coordinator | Historic Preservation Section

Montgomery County Planning Department | M-NCPPC

8787 Georgia Avenue, Silver Spring, MD 20910 | 301-563-3403

[Michael.Kyne@montgomeryplanning.org](mailto:Michael.Kyne@montgomeryplanning.org)

[www.montgomeryplanning.org/historic](http://www.montgomeryplanning.org/historic)

**From:** Kris Lui <[krispuihinlui@gmail.com](mailto:krispuihinlui@gmail.com)>

**Sent:** Monday, July 15, 2019 11:48 AM

**To:** Kyne, Michael <[michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org)>

**Subject:** Re: HAWP Application for 26038 Frederick Road, Hyattstown

Dear Mr. Kyne:

I am inquiring as to whether you have received the added information regarding a new roof for 26038 Frederick Road, in Hyattstown.

Do you think it is possible to be on the Agenda for the August 14th meeting?

RE: Historic Area Work Permit Application  
FOR: 26038 Frederick Road, Hyattstown, MD 20871

8 July 2019

Dear Mr. Kyne:

We have attempted to answer your questions regarding our application to replace the leaking roof of our home. Please find enclosed:

- FILE 1: Additional photos of the existing roof, as well as documentation of damage.
- FILE 2: Contract with roofing company Modern Renovations, including specifications and scope.
- FILE 3: What information we have about the roof *prior* to our ownership.
  - Page 1: The issued building permit to repair the roof, dated 03/20/2000.
  - Page 2: The HAWP approval, dated 02/24/2000.  
Permit #210412, #210413  
HPC #10-59-00B
  - Page 3: Drawing showing existing structure (including roof information) at the time of the HAWP of 02/24/2000. This shows corrugated tin on the back roof, and slate on the front roof.
  - Page 4: Drawing showing approved plan to replace all roof materials with standing seam copper.

Unfortunately we do not have any further information regarding the recent history of our roof. For unknown reasons, the previous owners repaired/replaced the roof with slate.

We feel it is prudent to replace the roofing of the entire structure with standing seam metal. To reiterate our application justification:

- The back roof is less than 20 years old and is already leaking into the interior. The pitch is too shallow for any tiled roofing systems, according to professional roofing associations.
- The front roof is shedding slate pieces, possibly already causing leaks. The pitch is at the minimum of recommended slate roof tiles.
- The front porch is currently asphalt shingle, which is not in keeping with the historic character of the home.

We hope these details complete our application for a Historic Area Work Permit.

Note that we will be unavailable for the July 24<sup>th</sup> meeting; we hope to be on the agenda for the August 10<sup>th</sup> meeting instead.

Sincerely,  
Kris Lui and Toby Herman



26038 Frederick Road  
Hyattstown, 20871

All pictures taken on the morning of 7 July  
2019, following about one inch of rain the  
previous evening.



**PHOTO 1: North gable**

The exact age of our roof is unknown. However, the attic was obviously reframed recently, meaning that the roof is probably about 20 years old.

New framing can be seen paralleling older beams. Oriented strand board is visible as the roof decking. At gable ends the original support timbers are visible.



**PHOTO 2: South gable**



**PHOTO 3**

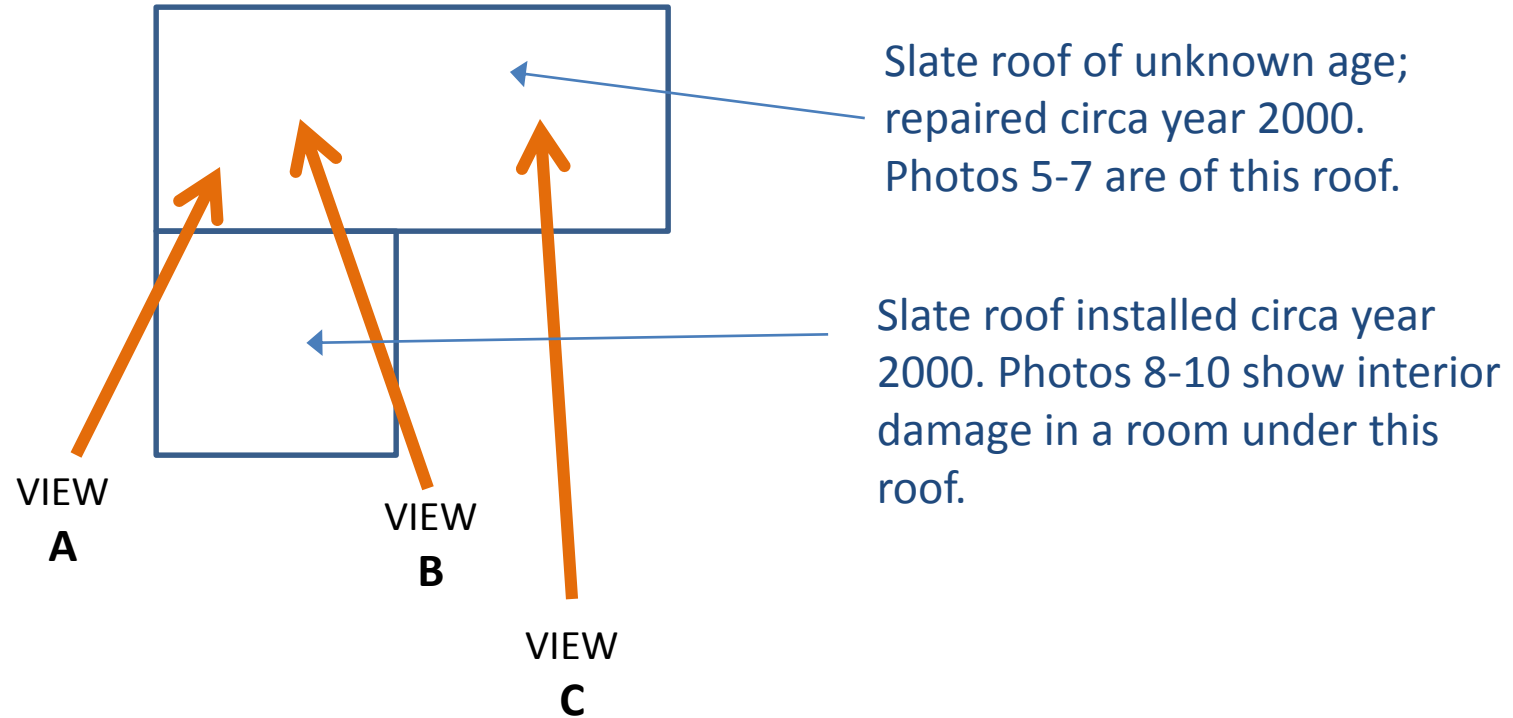
Safe access to the roof for clear pictures of damage *in situ* is difficult as we do not own a tall enough ladder. Four different roof contractors inspected the roof in order to provide a quote and all expressed degradation of the slates.

However, evidence of damaged and broken slate can be seen on the porch roof below the slate roof (picture taken from interior of second floor room). (The front porch is currently asphalt shingle.)



**PHOTO 4**

## Plan view of lines-of-sight for photos on following pages.







**PHOTO 5:**

Cracked and broken slates:  
some examples indicated by  
red circles.

Also note unevenness in  
ridgeline on the left.





**PHOTO 6:** Area in this picture overlaps previous

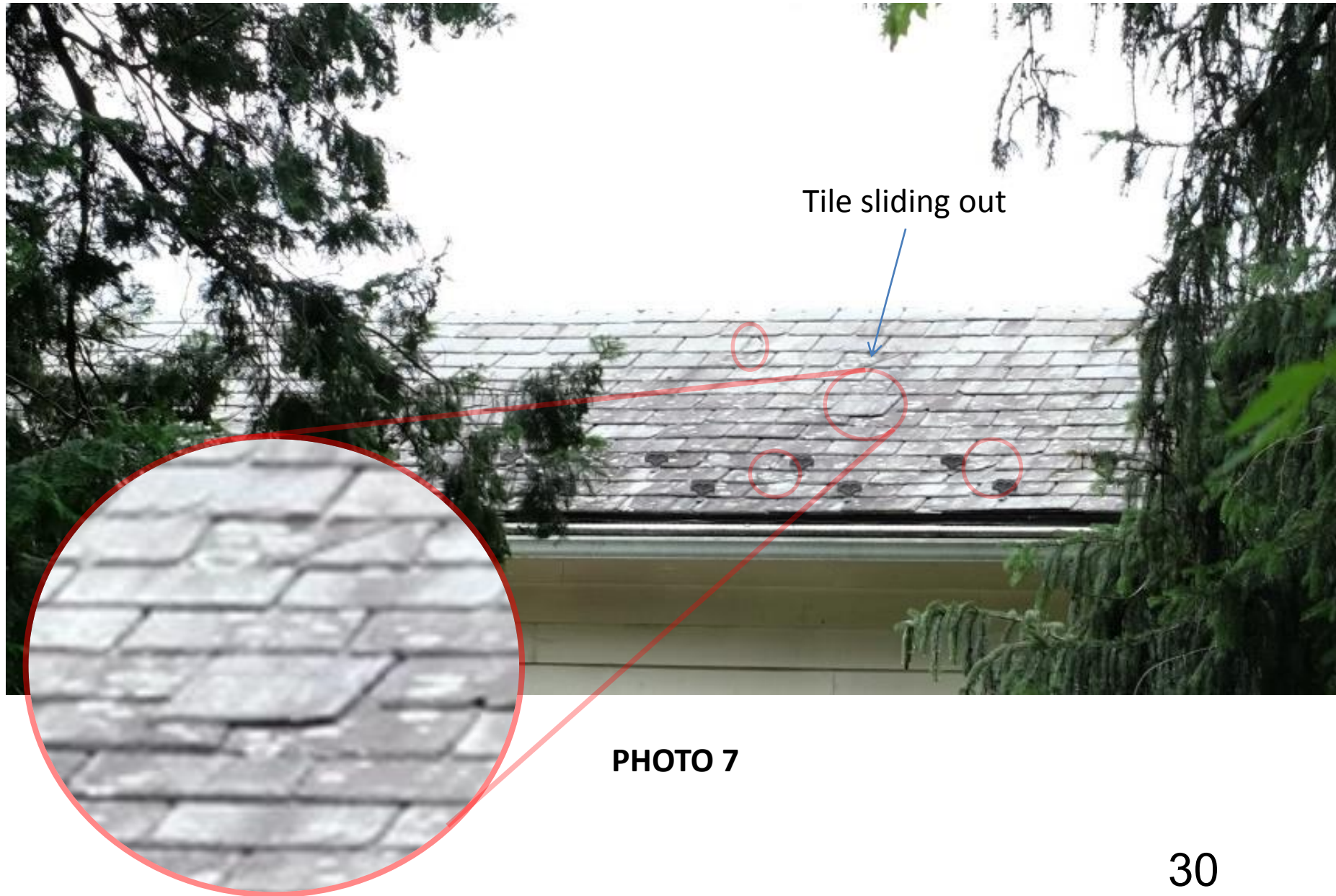


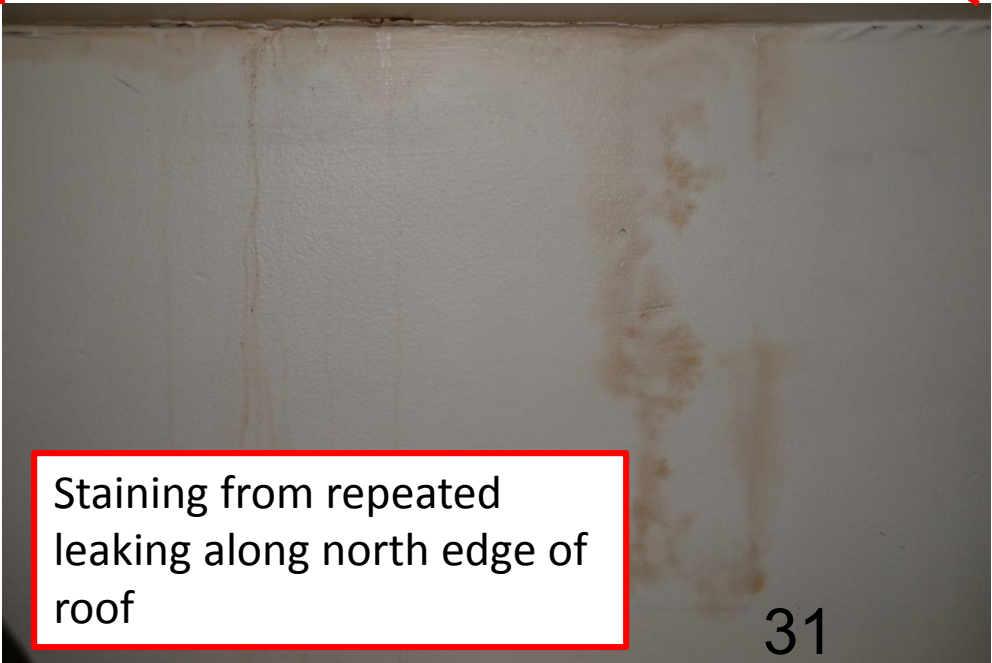
PHOTO 7



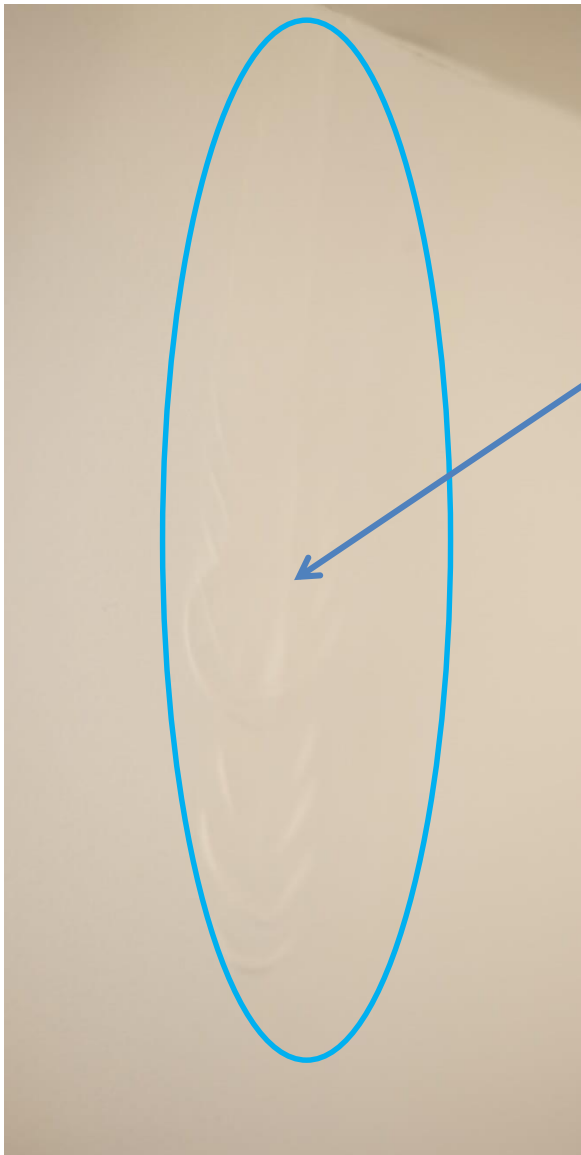
**PHOTO 8:**

Leaks in roof have allowed water to flow under the slate, causing bulging of ceiling and intrusion where roof meets wall. Water is no doubt flowing down through the wall as well.

Leak emanating from electrical receptacle



Staining from repeated leaking along north edge of roof

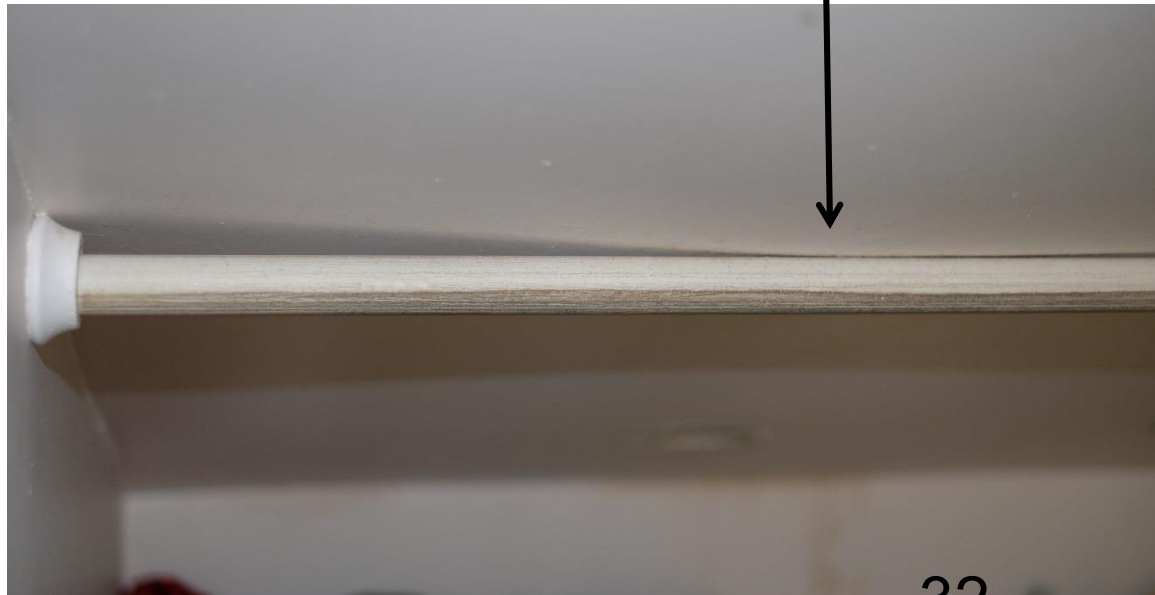


**PHOTO 9:**

More damage caused along the same wall as the previous pictures.

**PHOTO 10:**

Bulging of ceiling  
(the rod in the  
picture is level)





Date: 2/24/00

# MEMORANDUM


TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

MONTGOMERY COUNTY  
PERMITTING SERVICES  
APPROVED AS NOTED

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

 Approved

Approved with Conditions: \_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: PATRICK AND ROSANNE CASSELMAN

Address: 26038 FREDERICK RD., HYATTSVILLE H.D.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.





DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

BUILDING  
PERMIT

Issue Date: 3/20/2000

Permit No: 213962  
Expires: 3/21/2001  
X Ref.  
Rev. No:

THIS IS TO CERTIFY THAT:

PATRICK I CASSELMAN  
26038 FREDERICK RD  
HYATTSTOWN MD 20871

HAS PERMISSION TO: ALTER

SINGLE FAMILY DWELLING

PERMIT CONDITIONS: also, repair roof

PREMISE ADDRESS: 26038 FREDERICK RD  
HYATTSTOWN MD 20871-

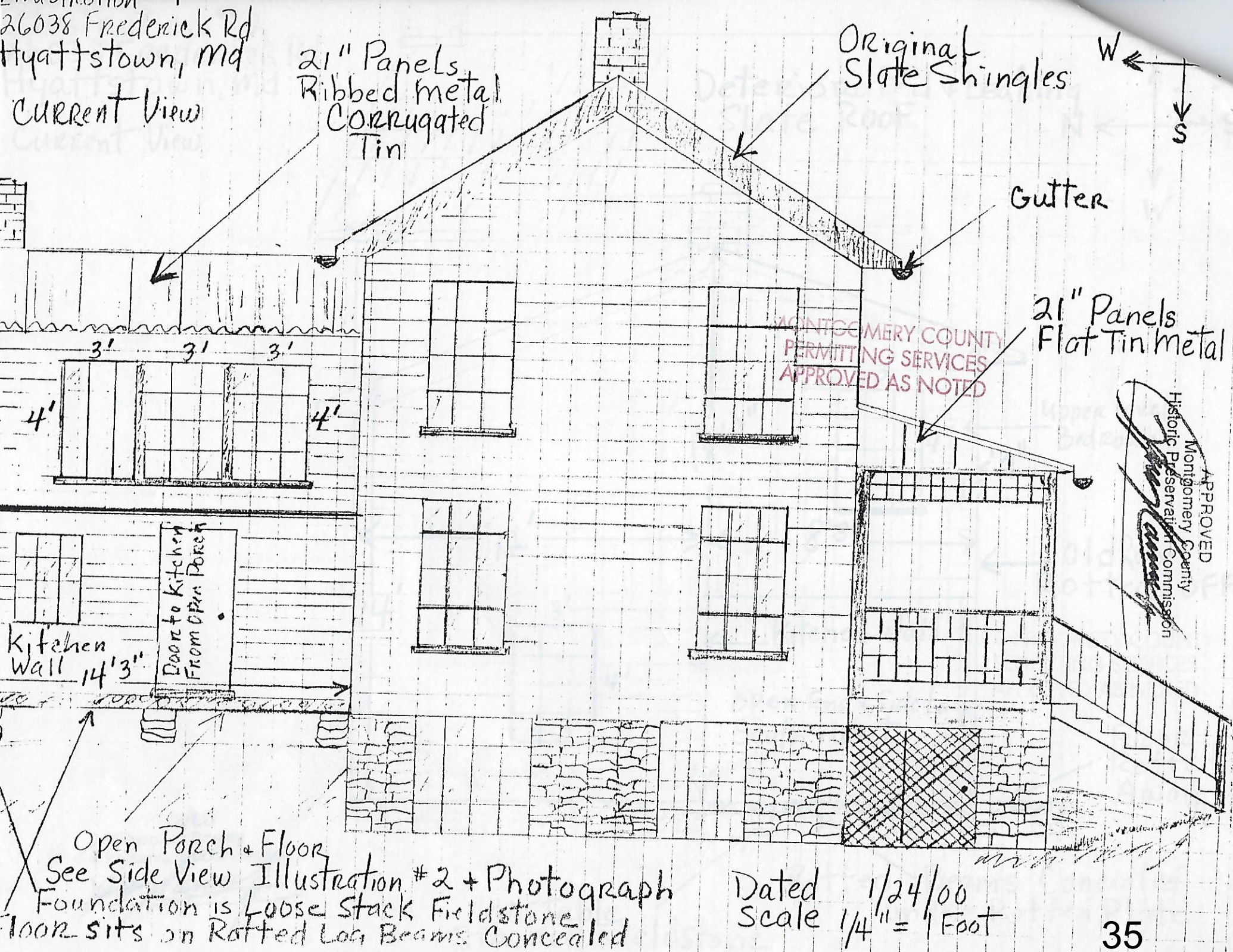
LOT BLOCK  
LIBER ELECTION DISTRICT  
FOLIO TAX ACCOUNT NO.:  
PERMIT FEE: \$137.50 SUBDIVISION

ZONE GRID  
PLATE PARCEL  
PS NUMBER 0

Director, Department of Permitting Services



26038 Fredericks Rd  
Hyattstown, Md  
CURRENT VIEW



Open Porch + Floor  
See Side View Illustration #2 + Photograph  
Foundation is Loose Stack Fieldstone  
Floor sits on Rotted Log Beams Concealed

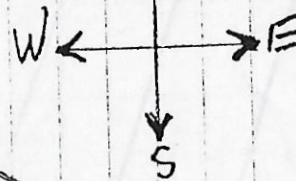
Dated 1/24/00  
Scale 1/4" = 1 Foot



Standing Seam Copper  
21" Panels

Copper Gutter  
& Downspout

Resin Felt under house Porch  
+ garage all metal Roof panels 21" Copper  
over New 1/2" Vented Nail Box on  
Celotex Celovent Insulated shingle Deck



Standing Seam Copper  
21" Panels

Copper Gutter  
& Downspouts

MONTGOMERY COUNTY  
PERMITTING SERVICES  
APPROVED AS NOTED

SEED  
Montgomery County  
Historic Preservation Commission

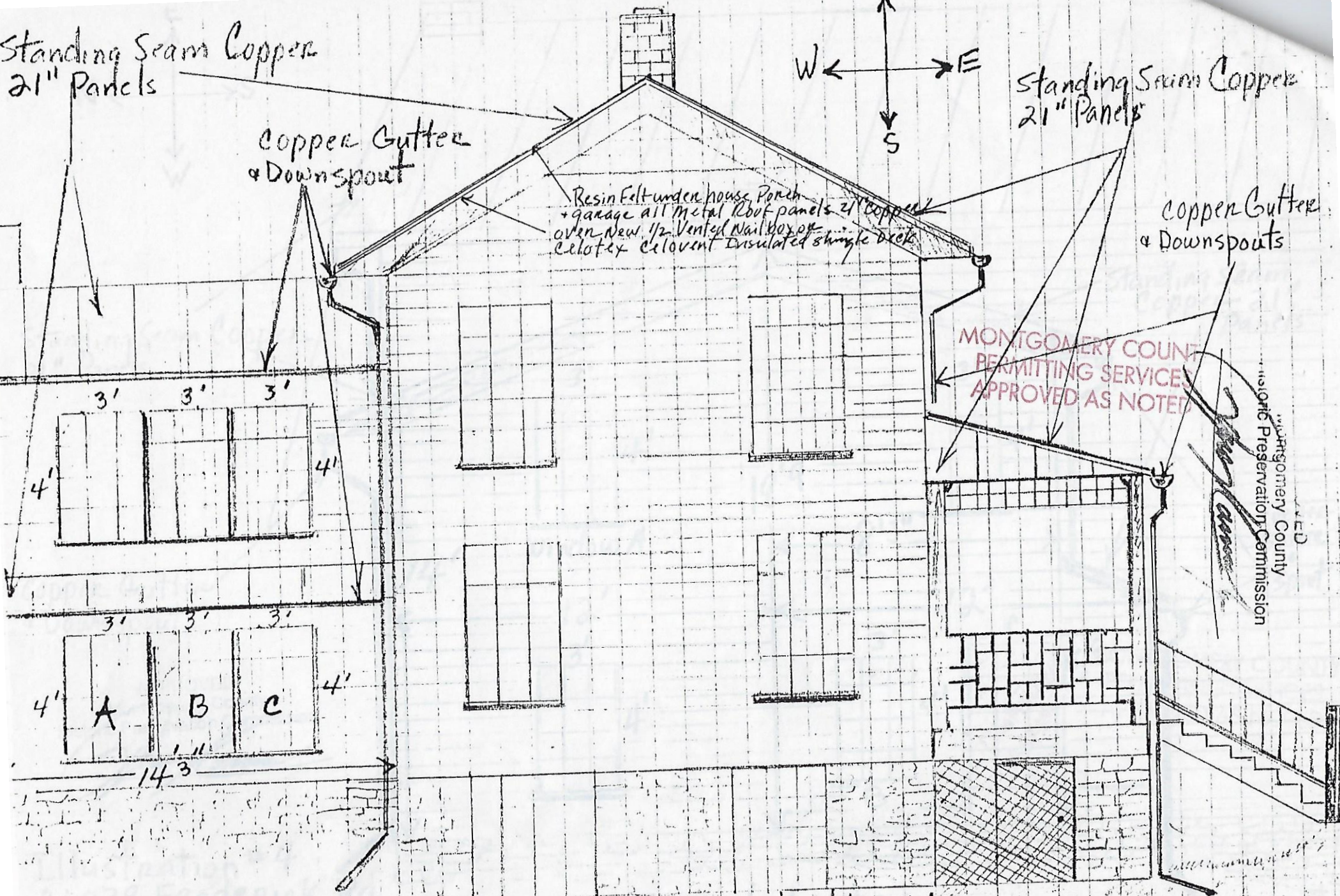


Illustration #3  
26038 Frederick Rd  
Finished View

- Changes From Illustration #1
- 1) Replace Roof Gutters
  - 2) Restructure Porch wall base in Fieldstone
  - 3) Enclose Porch with Matched Siding
  - 4) Add Windows A, B, C

Dated 1/24/00  
Scale 1/4" = 1 Foot  
36