

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	21500 New Hampshire Avenue, Brookeville	Meeting Date:	7/10/2019
Resource:	Master Plan Site #23/71 (Farview)	Report Date:	7/3/2019
Applicant:	Victor Cierra	Public Notice:	6/26/2019
Review:	HAWP	Tax Credit:	N/A
Case Number:	23/71-19A	Staff:	Michael Kyne
PROPOSAL:	New pool, fence, and accessory structure		

STAFF RECOMMENDATION:

☒ Approve
☐ Approve with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Master Plan Site #23/71, *Farview*
STYLE: Modern Construction
DATE: 2006

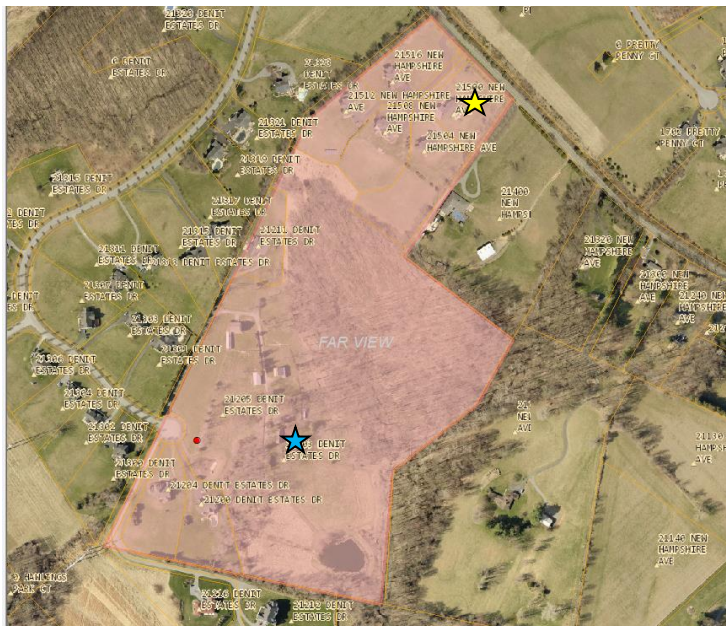


Fig. 1: Subject property, with subject property marked by the yellow star and the historic resource marked by the blue star.

PROPOSAL:

The Master Plan Historic Site, Farview (#23/17), was subdivided in 1995, and the subject property was constructed in 2006 within the boundaries of the Environmental Setting. The subject property is located more than 1,500' from the historic resource. The applicant proposes the following:

- Construct an 808 sf swimming pool with 1,177 sf deck at the rear of the subject property.
- Construct 224 gazebo adjacent to the proposed swimming pool and deck.
- Install a swimming pool safety fence around the perimeter of the proposed swimming pool and deck.

APPLICABLE GUIDELINES:

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Email: vmcierra@aol.com Contact Person: Victor Cierra
Tax Account No.: 03497533 Daytime Phone No.: 301-573-3645
Name of Property Owner: Victor Manuel Cierra Daytime Phone No.: 301-573-3645
Address: 21500 New Hampshire Ave. Brookeville, MD 20833
Street Number City State Zip Code
Contractor: to be done by owner - Victor Cierra Phone No.: 301-573-3645
Contractor Registration No.: by owner
Agent for Owner: N/A Daytime Phone No.: 301-573-3645

LOCATION OF BUILDING/ PREMISE

House Number: 21500 Street: New Hampshire Avenue
Town/City: Brookeville Nearest Cross Street: Rocky Glen Drive Denit Estates Drive
Lot: 8 Block: A Subdivision: Far view Manor
Liber: _____ Folio: _____ Parcel: P482

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- ☐ Construct ☐ Extend ☐ Alter/Renovate
☐ Move ☐ Install ☐ Wreck/Raze
☐ Revision ☐ Repair ☐ Revocable

CHECK ALL APPLICABLE:

- ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Fence/Wall (complete Section 4) ☐ Other: Pool and Gazebo

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # 875390

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☐ WSSC 02 ☒ Septic 03 ☐ Other: _____
2B. Type of water supply: 01 ☐ WSSC 02 ☒ Well 03 ☐ Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 70' 6" feet 0" inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- ☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

around the pool area only for protection

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Victor Cierra
Signature of owner or authorized agent

6/14/2019

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The current structure is a single family home of 3 stories build in 2006.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The projects consist of a new 20'x40' swimming pool and a 14x16' gazebo. Please check design plan attached. The reason of the pool is for my special need daughter to enjoy the pool in our backyard. Public pools are over crowded for her to enjoy and she tends to swallow water constantly.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

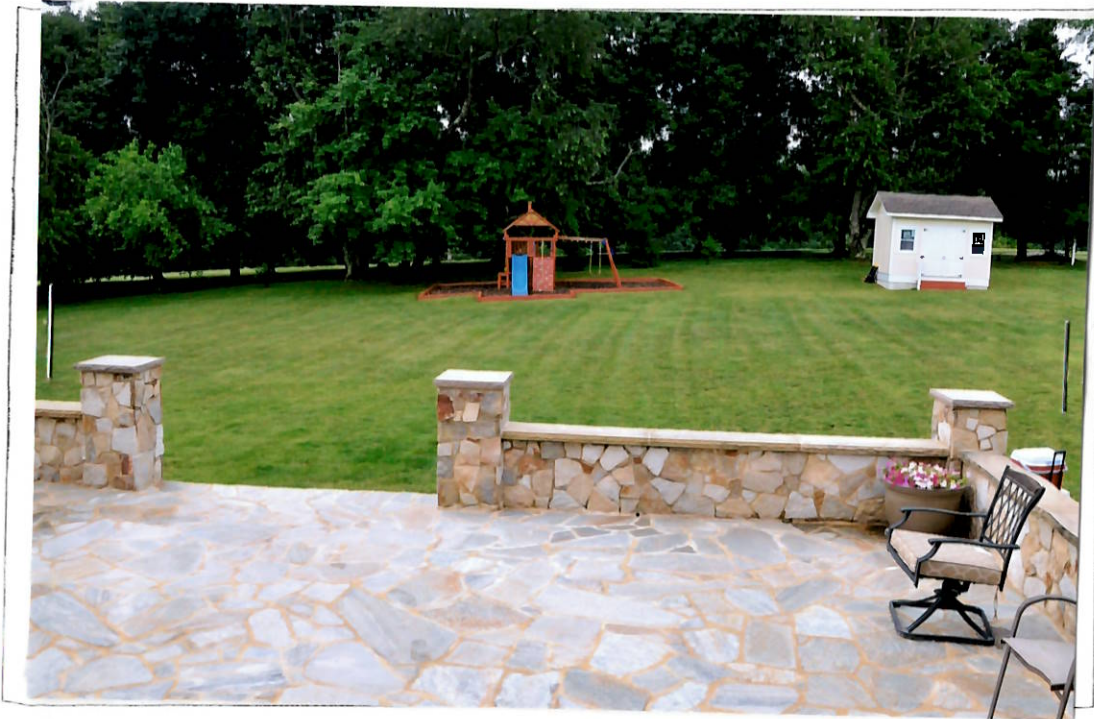
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Front neighbor line Agnelo Gonzalves and Maria G 21516 New Hampshire Ave. Brookeville, MD 20833	Right Neighbor: Jude Nyambi and Marielline A. 21504 New Hampshire Ave Brookeville, MD 20833
Rear neighbor line. Robert P. Buice and Elaine K. Buice 21400 New Hampshire Ave. Brookeville, MD 20833	No left neighbor because it's the street New Hampshire Ave.

Existing Property Condition Photographs (duplicate as needed)



Detail: Back line neighbor to back of house



Detail: From back house looking to back neighbor line

Applicant: _____

Page: _____

Existing Property Condition Photographs (duplicate as needed)



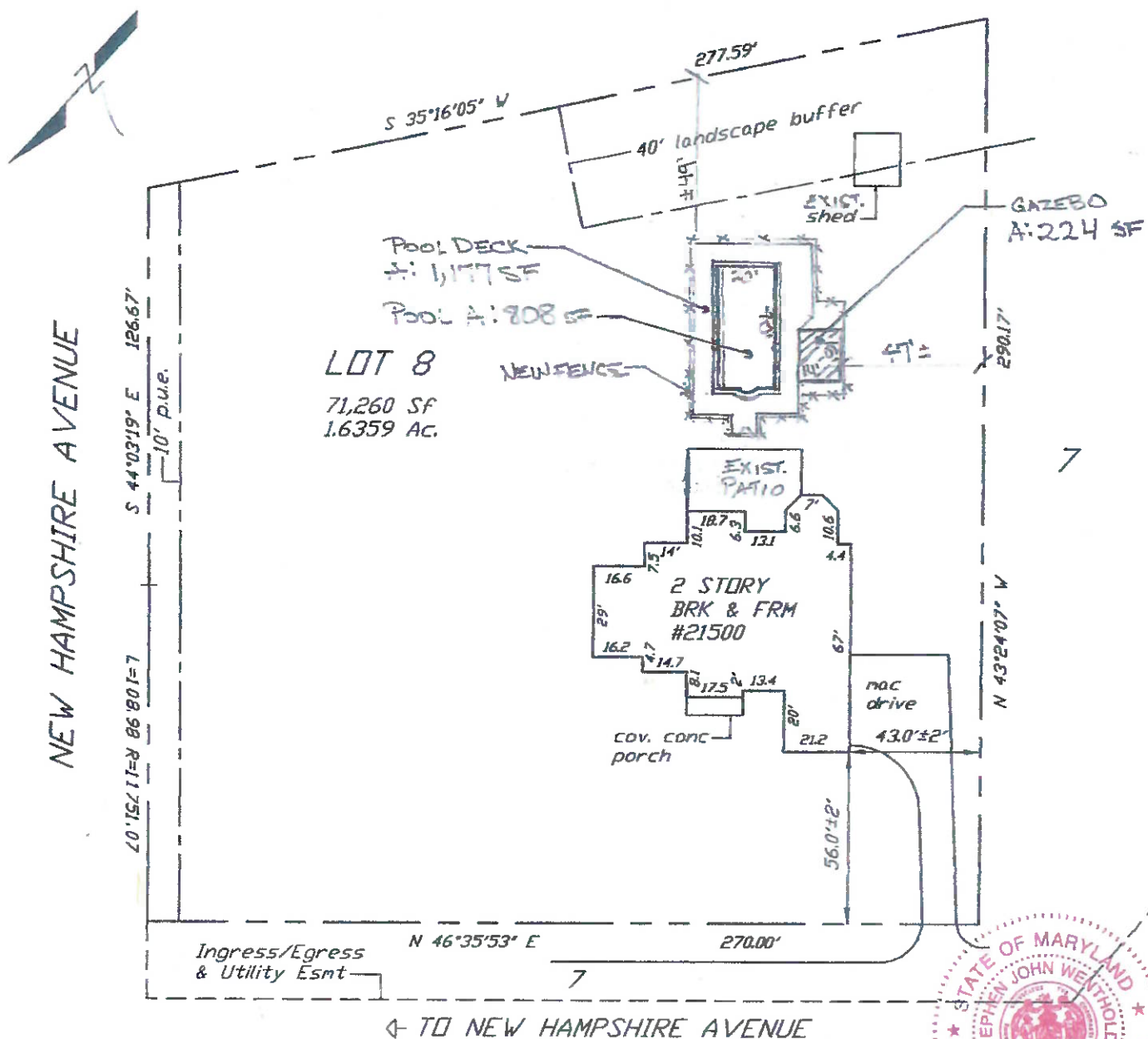
Detail: Looking from left side of the house to the right side neighbor



Detail: Looking from right side neighbor towards New Hampshire Avenue

Applicant: _____

Page: ____



No evidence of property corners was found.
Apparent occupation shown.

Date: 4-03-19 Scale: 1" = 50' Dm: R.C.d.
 Plat Book: NO TITLE REPORT FURNISHED
 Plat No.: 23216
 Work Order: 19-1128
 Address: 21500 NEW HAMPSHIRE AVENUE
 District: 08
 Jurisdiction: MONTGOMERY COUNTY, MARYLAND

LOCATION DRAWING

LOT 8
BLOCK A
FAR VIEW MANOR

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Surveyor's Certification

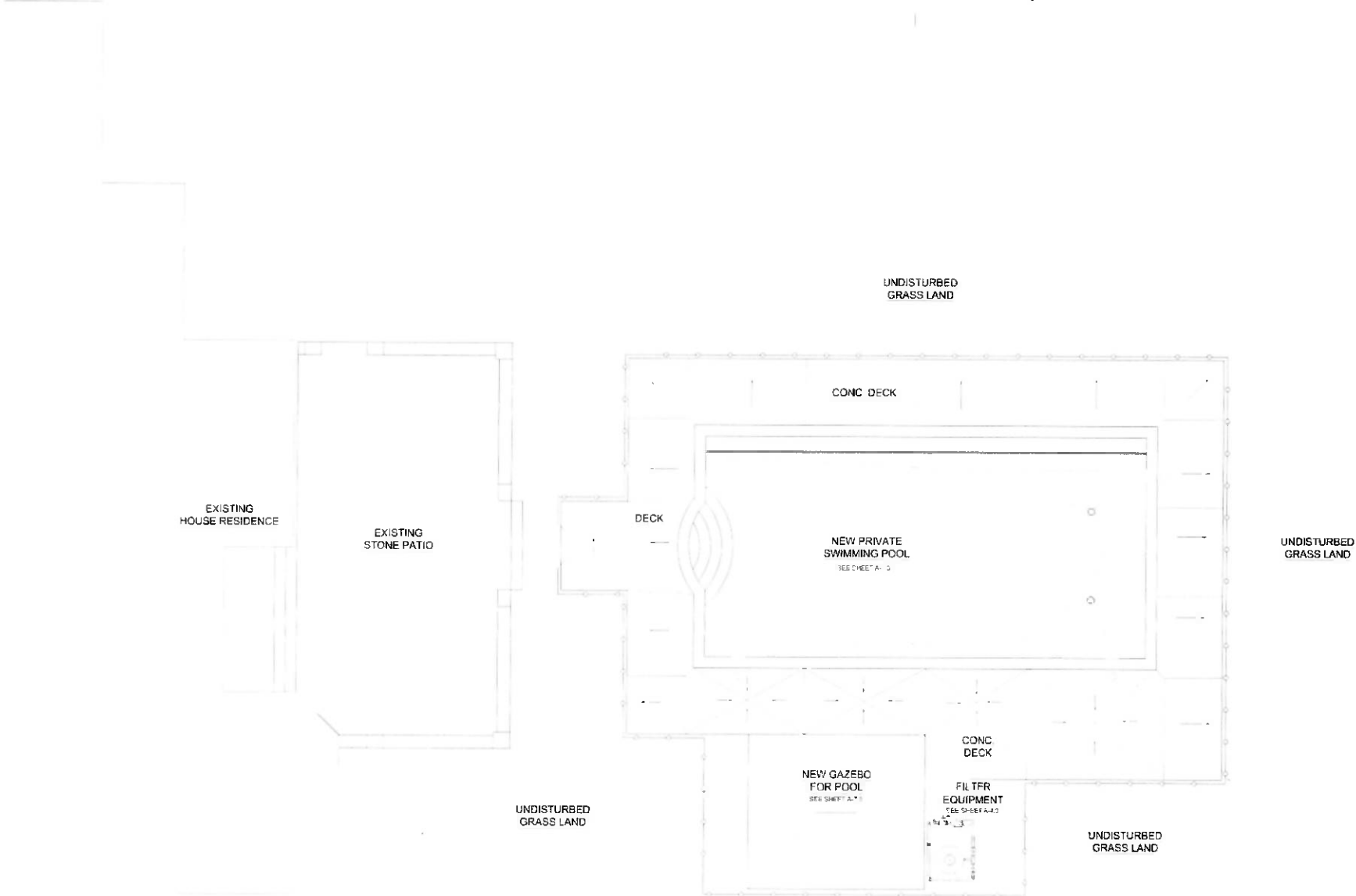
My License expires February 10, 2020

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building restriction lines shown are per available information and are subject to the interpretation of the originator.

Stephen John Wenthold
Meridian
Surveys

MERIDIAN SURVEYS, INC.
 PO BOX 549
 FREDERICK, MD 21705
 (301) 721-9400

NEW PRIVATE SWIMMING POOL
CIERRA RESIDENCE
MONTGOMERY COUNTY, MD



NEW POOL CONSTRUCTION NOTES:

MONTGOMERY COUNTY - CHAPTER 5 (PRIVATE RESIDENTIAL SWIMMING POOL)
USE GROUP TYPE: A-3 (I.B.C., 2015)
CONSTRUCTION TYPE: II-B, (I.B.C., 2015)

OCCUPANCY LOAD

SWIMMING POOL: (50 S.F. WATER SURFACE PER OCCUPANT) I.B.C. 2015
POOL WATER SURFACE AREA = 808 S.F. / 50 S.F. = 16 OCCUPANTS
SWIMMING POOL DECK: (1 OCCUPANT PER 15 S.F. DECK) I.B.C. 2015
TOTAL DECK AREA = 1,177 S.F. / 15 S.F. = 78 OCCUPANTS

DRAWING INDEX

- A-0.0 COVER SHEET
- A-1.0 POOL PLAN
- A-2.0 POOL SECTIONS
- A-3.0 OVERALL PIPING
- A-4.0 FILTER PLAN AND ELEVATIONS
- A-5.0 DETAILS
- A-5.1 DETAILS
- A-6.0 DECK PLAN
- A-7.0 GAZEBO PLANS, SECTION AND ELEVATION

PROPERTY ADDRESS:
21500 NEW HAMPSHIRE AVE.
BROOKEVILLE, MD 20833

DESIGN DATA

	POOL
DIMENSIONS	20'-0" X 40'-0"
PERIMETER	120' - 8 3/4"
SURFACE AREA	808 SF
GALLONS	27,692 Gallons
DEPTHS	3'-0" TO 8'-0"
FILTER RATE	77 GPM
TURNOVER TIME	6 HRS.

GENERAL NOTES

SCOPE OF WORK:
Construct one outdoor swimming pool. Swimming Pool will be constructed with stone coping and its design will include a metal stair entry.
Pool Dimensions & Depth range to be following: dimensions : 20'-0" x 40'-0", depths: 3'-0" to 8'-0" Swimming pool will include a complete filtration system.
Construct a New Gazebo, Pool Deck, and Fence per plans and notes.

GENERAL NOTES DEFINITIONS:
PROVIDE: To furnish and install work, including incidental items.
FURNISH: To deliver item/ material to the project, item/ material to be installed by others.
INSTALL: To incorporate into the work an item or material furnished by others.

- CONSTRUCTION NOTES:
- Provide labor and material for the construction of one rectangular outdoor pool, approximately 20'-0" x 40'-0". Water depths are from 3'-0" to 8'-0" at main drains. Total water surface area to be 808 approximately sq. ft.
 - Provide pool shop drawings sealed by an engineer licensed in the State of Maryland and pool building permit.
 - Provide pool recirculation piping and valves as indicated on drawings. All piping to be schedule 40 PVC.
 - Provide reinforcing steel as indicated on drawings.
 - Provide gunite/concrete shell (3000 psi) to dimensions indicated on drawings.
 - Provide filtration & sanitation systems as noted on drawings and schedules, including schedule 40 PVC piping, fittings, and valves.
 - Provide precast stone coping around perimeter of the pool. Deck depth markers to be 8"x8" white tile with black numerals.
 - Provide all in-pool ceramic tile and depth markers as shown on drawings.
 - Waterline tile to be 6" wide band of frost proof ceramic tile, Del Tile Group 1 thru 3). Depth markings to be 6" white tile with black numerals.
 - Provide white "Marble" plaster to interior of the pool.
 - Furnish underwater lights with special 100 foot cord as indicated on drawings. (Lights and junction boxes furnished loose for installation by others) Install the niches in pool wall with 30 inches on one conduit. MEP to continue 1" conduit as required.

- RELATED WORK BY OTHERS:
- Earthwork:
- Any fill material should be at 85% compaction.
provide access to the pool location for power excavating equipment and trucks. Pool excavation with spoils stockpiled within 100' or loaded onto trucks provided by others.
excavation with the earth walls of the excavation being suitable as a form for the pneumatically placed concrete (gunite), as is typical to swimming pool construction. Should soils conditions require the over excavating, forming, and redesign of the pool shell.
Remove any should hardpan, rock, decomposed rock, or other materials be encountered in the excavations resulting use of either a compressor or blasting material, additional costs shall be paid by the owner or general contractor. Rock or hardpan excavation will likely result in voids in the soil "backfill" and may require extra costs for pool wall forming or extra gunite material to fill voids.
 - Two (72 hour) full depth water static tests prior to gunite operations.

- Electrical:
- All electrical bonding and grounding, panels, motor starters/disconnects, wiring, conduit and connections.

- Plumbing/Mechanical:
- Provide potable water source within 100 feet of new pool construction for gunite and plaster operations.
 - Provide freshwater fill line to main drain line, hose bibs, backflow preventer, backwash receptor and backwash holding tank, if necessary, to waste as required to accommodate the pool system (As indicated on drawings).

- Miscellaneous:
- Deck and deck drainage.
 - Sealant at the deck to pool junction.
 - Water required to fill the pool; chemicals and staff for daily maintenance shall be provided by others at the time the pool interior is completed.
 - Protection of the building and any additional guard rail installation necessary for the gunite operation.
 - Swimming Pool Fence, Gate, and Locks.
a) Fence requirements: the fence or wall enclosing a private swimming pool must be:
1) At least 5 feet high
2) Securely anchor in the ground
3) Not easy to climb or penetrate and
4) Maintained in good condition.
b) Gates and locks: any gate or door in a fence or wall enclosing a private swimming pool must have a self-closing and self-latching lock or latch on the pool side of the gate/ door at a height of no less than 4 feet from the ground; any gate or door must be closed and latched when the pool is not attended.

DAMEZA Designs

DENIS MEZA
ARCHITECTURAL DESIGNS
20011 CHOCTAU CT.
GERMANTOWN, MD 20876
301-320-4363

PROFESSIONAL CERTIFICATION:
I hereby certify that this set of documents was prepared or approved by me, and that I am a duly licensed professional Engineer under the laws of the State of Maryland
License # : #4329
Expiration Date: 12/28/2020

PLAN TITLE:

REVISIONS: DATE:

CLIENT NAME & ADDRESS:

CIERRA RESIDENCE
21500 NEW HAMPSHIRE AVE
BROOKEVILLE, MD 20833

DATE:

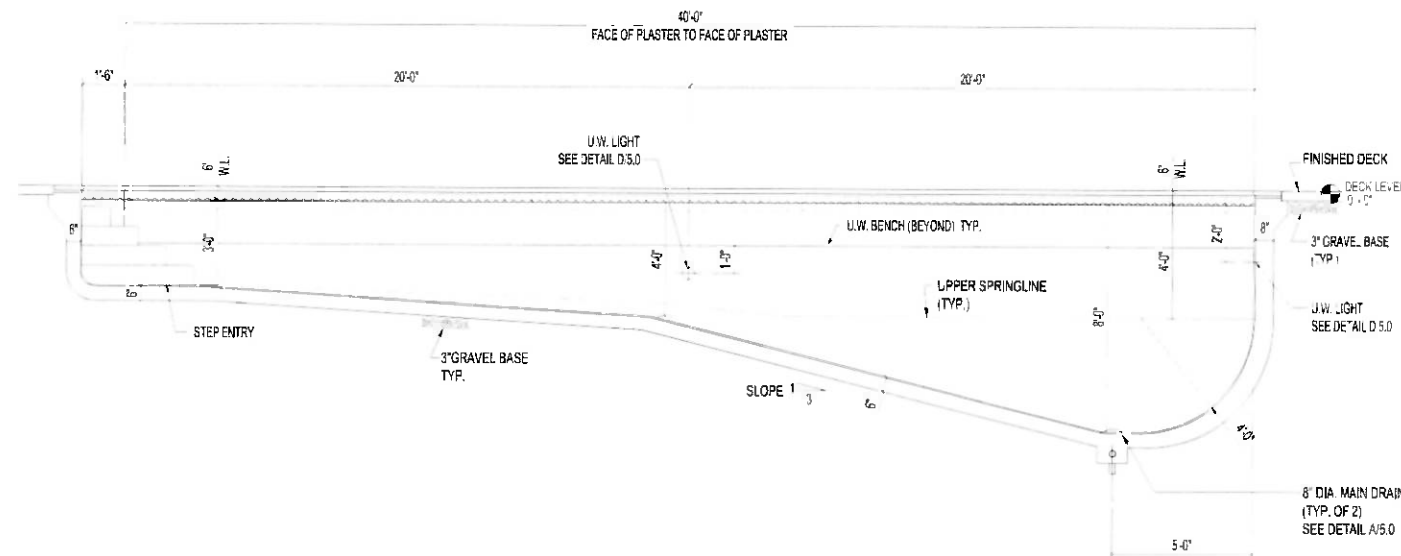
5/6/2019

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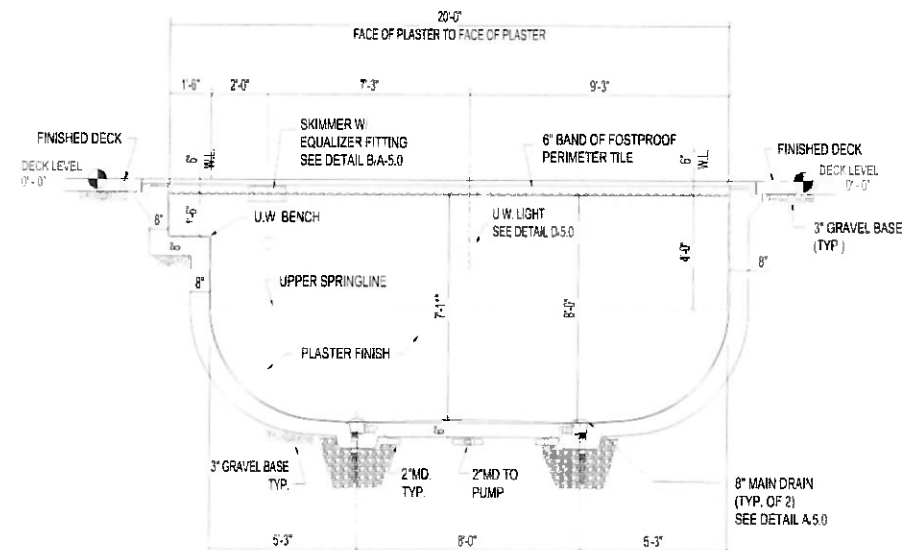
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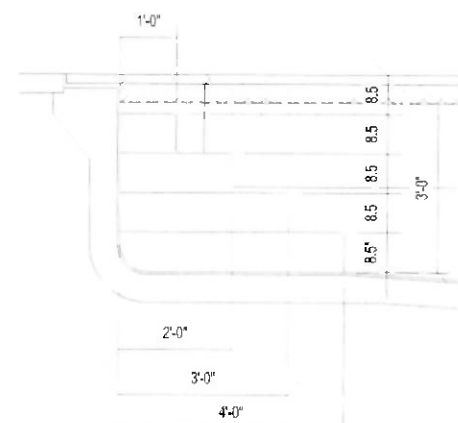
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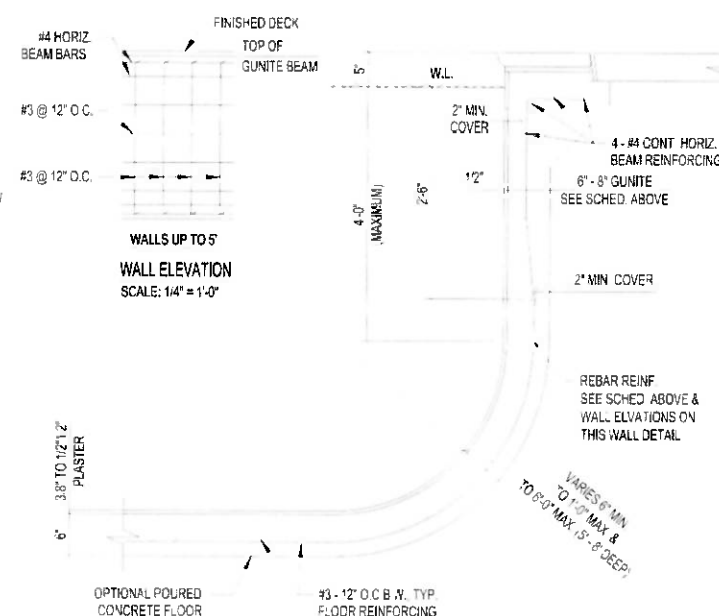
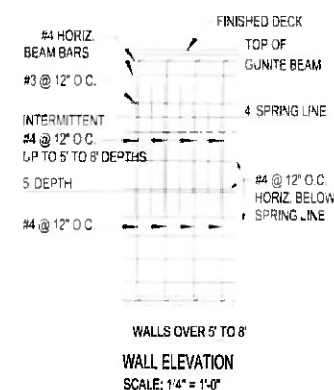
A LONGITUDINAL POOL SECTION
SCALE: 1/4"=1'-0"



B CROSS POOL SECTION
SCALE: 1/4"=1'-0"



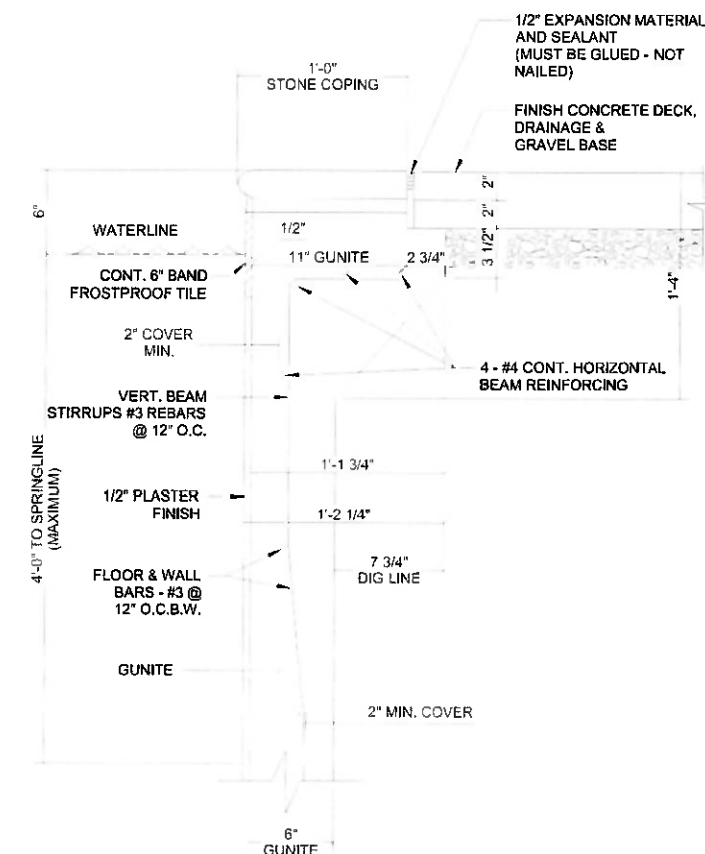
C STEP ENTRY DETAIL
SCALE: 1/2"=1'-0"



WALL DETAIL
SCALE: 3/4"=1'-0"

STRUCTURAL WALL & STEEL SCHEDULE		
WATER DEPTH	WALL THICKNESS	REINFORCING
0'-0" TO 4'-6"	6"	#3 @ 12" O.C. B.V.
5'-0" TO 8'-0"	8"	#4 @ 6" (VERT.) #4 @ 12" (HORIZ.)

NOTE: STEEL SCHEDULE ASSUMES UNDISTURBED SITE w/ SOIL OF MIN. 2,000 PSF BEARING CAPACITY & NO SURCHARGES. GRADE 40 STEEL MIN. 3,000 PSI GUNITE/CONCRETE.



BEAM DETAIL
SCALE: 1 1/2"=1'-0"

DESIGN DATA

	POOL
DIMENSIONS	20'-0" X 40'-0"
PERIMETER	120' - 8 3/4"
SURFACE AREA	808 SF
GALLONS	27,692 Gallons
DEPTHS	3'-0" TO 8'-0"
FILTER RATE	77 GPM
TURNOVER TIME	6 HRS.

DAMEza Designs

DENIS MEZA
ARCHITECTURAL DESIGNS
2001 CHOCTAU CT.
GERMANTOWN, MD 20896
301-920-4363

PROFESSIONAL CERTIFICATION:
I hereby certify that this set of documents was prepared or approved by me, and that I am a duly licensed professional Engineer under the laws of the State of Maryland.
License #: **#4329**
Expiration Date: **12/28/2020**

PLAN TITLE:

REVISIONS: DATE:

CLIENT NAME & ADDRESS:

CIERRA RESIDENCE
21500 NEW HAMPSHIRE AVE.
BROKEVILLE, MD 20833

DATE:

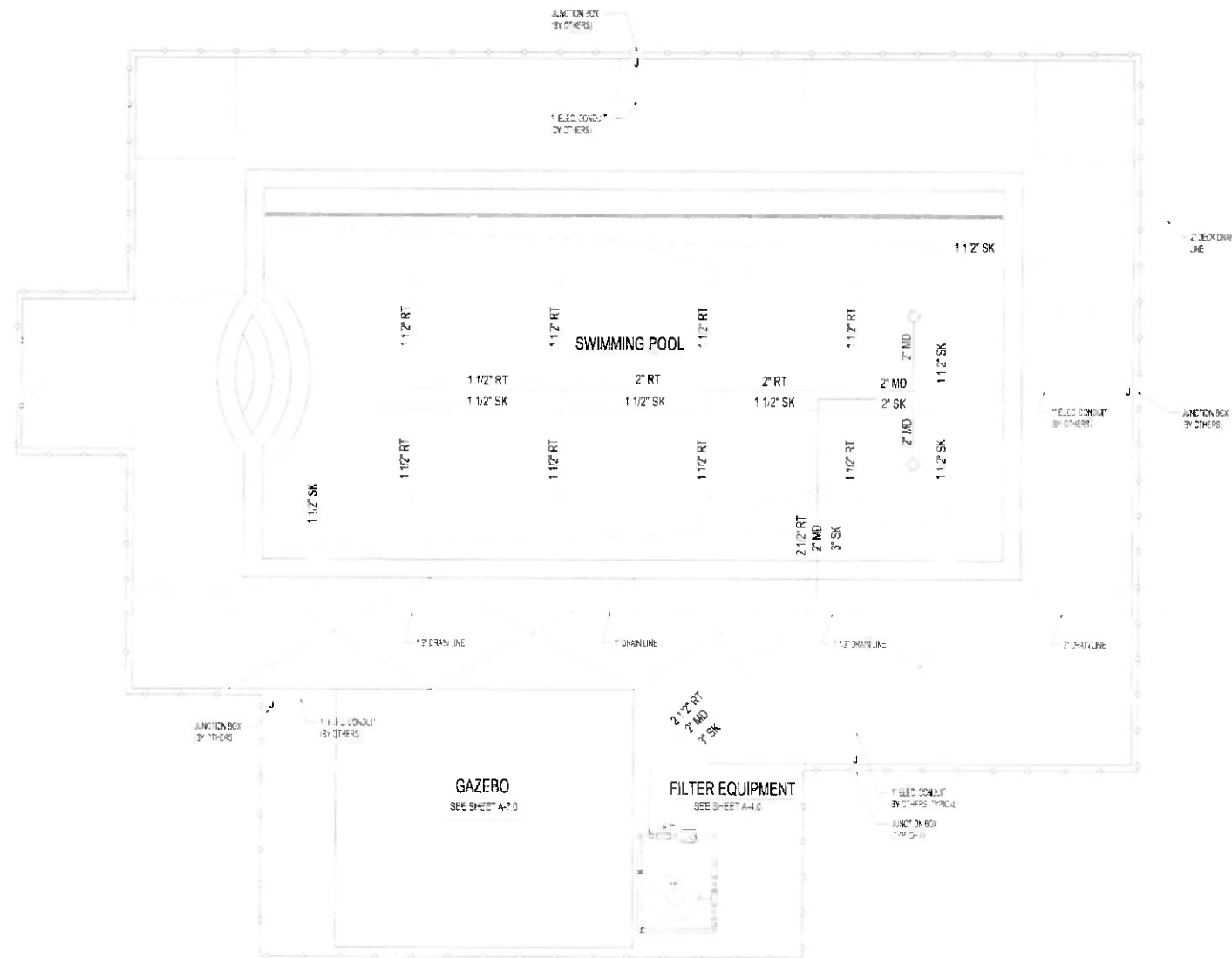
5/6/2019

SCALE:

AS NOTED

SHEET:

A-2.0



FOR DECK PLAN, SEE SHEET A-6.0

POOL PIPING PLAN
SCALE: 3/16"=1'-0"

MECHANICAL EQUIPMENT LIST

FILTER	1	PENTAIR - TRITON #TR100, 30" DIA, POOL DESIGN FLOW RATE 77 GPM NSF LISTED; 74 GPM (COMM.), REQUIRED SAND 600 LBS. FILTER AREA =4.91 SQ. FT.
PUMP	1	PENTAIR WHISPERFLO MODEL #WFE-6 1 PH 1 1/2 HP 208-230 V DESIGN RATE OF 77 GPM AT 74" TDH COMPLETE W/ HAIR AND LINT STRAINER
FLOW METER	1	BLUE-WHITE 3" CF-30300 (80-240 GPM)
GAUGES	2	ASHCROFT, ST. STL, 2" DIA, PRESSURE 1 ASHCROFT, ST. STL, 2" DIA, VACUUM
SIGHT GLASS	1	1 1/2" BRASS #41158

POOL SHELL EQUIPMENT LIST

MAIN DRAINS	2	HAYWARD #SP1154AV, 8" ROUND W/ COVER, 2" PORT (VGB APPROVED) ANTI-VORTEX - 125 APPROVED FLOW GPM FLOOR (HORIZONTAL) PIPE SIZE BOTTOM PLUG: 2 in. - PLUMBING PORT TYPE: FEMALE
SKIMMERS	3	2" HAYWARD #SP-1082FVE (RC) W/ 1 1/2" EQUALIZER LINE AND WATERWAY #540-6246V VGB APPROVED EQUALIZER GRATE
FLOOR INLETS	8	SWIMQUIP #8417-0000
U.W. LIGHTS	3	PENTAIR AMERLITE #78458100, 120V, 500W, W/ 50' CORD 1 PENTAIR SPABRITE #78108100, 120V/100W, W/ 50' CORD
NICHES	3	PENTAIR ST. STL, #78210500, W/ 1" TOP HUB CONNECTION 1 AMERLITE ST. STL, #78244300, W/ 1" REAR HUB CONNECTION

PIPING NOTES:

- POOL RECIRCULATION PIPING TO BE TYPE 1 SCHED. 40 PVC W/ SOLVENT WELD FITTINGS NSF APPROVED. ALL PIPING TO BE ADEQUATELY PRESSURE TESTED PRIOR TO BURIAL OR CONCEALMENT. EXPOSED POOL PIPING IN FILTER ROOM TO BE ADEQUATELY SUPPORTED AND STABILIZED WITH STANDARD PIPE HANGING DEVICES OR CUSTOM MADE AS REQUIRED.
- ALL VALVES UP TO 3" IN SIZE TO BE PVC BALL VALVES VALVES OVER 3" TO BE PVC BUTTERFLY VALVES
- HOSE BIBS AND FLOOR DRAINAGE PROVIDED BY OTHERS.

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PIPE TYPE ABBREVIATION
LEGEND

MD	= MAIN DRAIN
RT	= RETURN
SK	= SKIMMER
VA	= VACUUM
JR	= JET RETURN
JS	= JET SUCTION
BW	= BACKWASH
FW	= FRESH WATER

DAMEza Designs

DENIS MEZA
ARCHITECTURAL DESIGN
20011 CHOCTAW CT.
GERMANTOWN, MD 20876
301-920-4363

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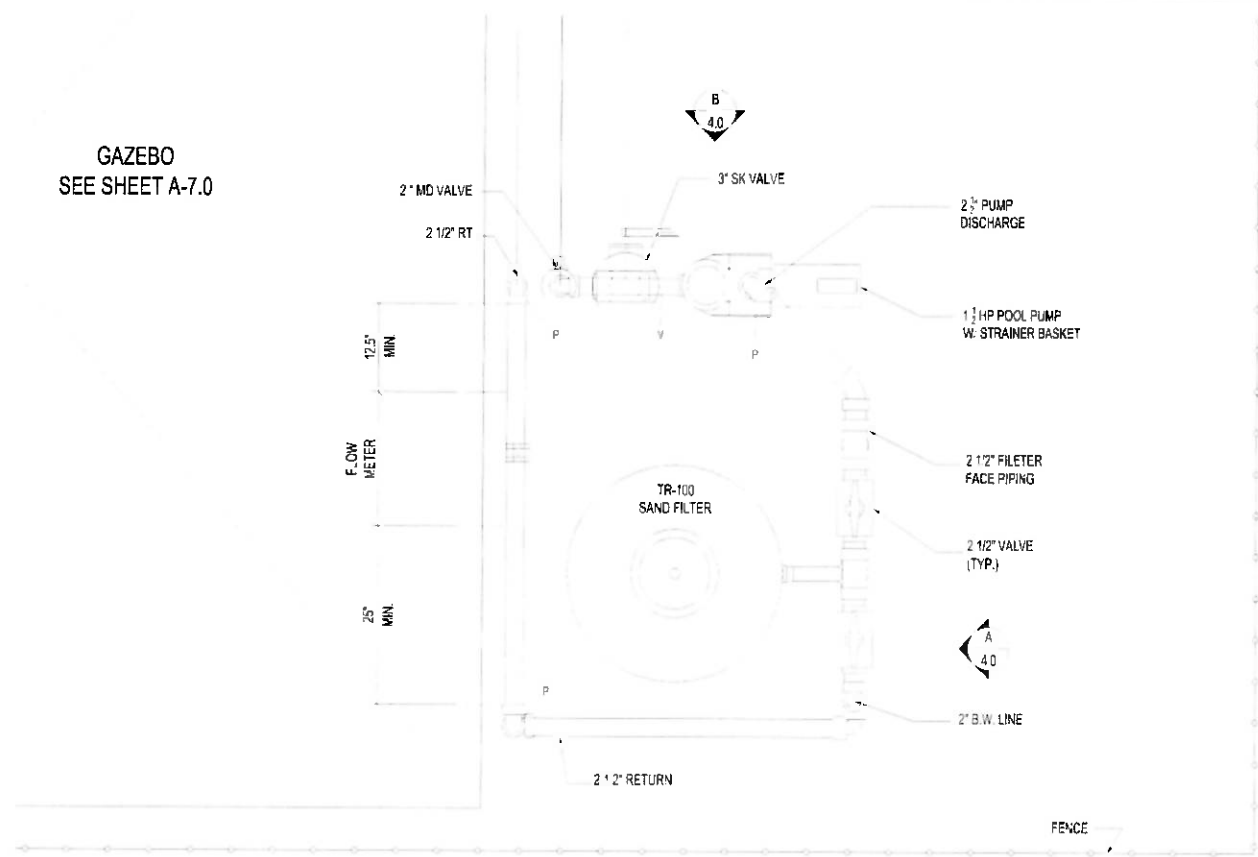
5/6/2019

SCALE:

AS NOTED

SHEET:

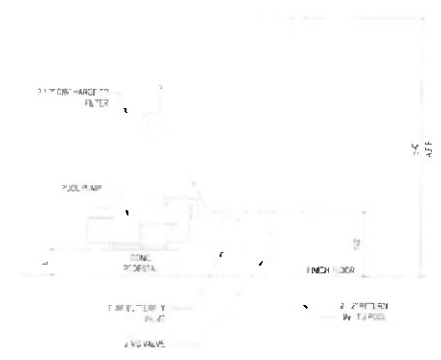
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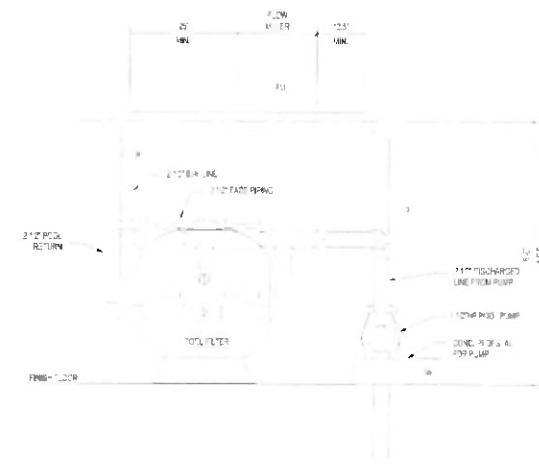
FILTER EQUIPMENT PLAN
SCALE: 3/4"=1'-0"

MECHANICAL EQUIPMENT LIST	
FILTER	1 PENTAIR - TRITON #TR100, 30" DIA. POOL DESIGN FLOW RATE 77 GPM NSF LISTED; 74 GPM (COMM.), REQUIRED SAND 600 LBS. FILTER AREA #4.91 SQ. FT.
PUMP	1 PENTAIR WHISPERFLO MODEL #WFE-8, 1 PH. 1 1/2 HP, 208-230 V. DESIGN RATE OF 80 GPM AT 7' TDH COMPLETE W/ HAIR AND LINT STRAINER
FLOW METER	1 BLUE-WHITE 2.5" CF-30250 (60-240 GPM)
GAUGES	2 ASHCROFT, ST. STL. 2" DIA. PRESSURE 1 ASHCROFT, ST. STL. 2" DIA. VACUUM
SIGHT GLASS	1 1 1/2" BRASS #41198

B
4.0
FILTER EQUIPMENT - SIDE ELEVATION
SCALE: 3/4"=1'-0"



A
4.0
FILTER EQUIPMENT - FRONT ELEVATION
SCALE: 3/4"=1'-0"



PIPE TYPE ABBREVIATION LEGEND	
MD	= MAIN DRAIN
RT	= RETURN
SK	= SKIMMER
VA	= VACUUM
JR	= JET RETURN
JS	= JET SUCTION
BW	= BACKWASH
FW	= FRESH WATER
P	= PRESSURE GAUGE
V	= VACUUM GAUGE
F	= FLOW METER

- PIPING NOTES:
- POOL RECIRCULATION PIPING TO BE TYPE 1 SCHED. 40 PVC w/ SOLVENT WELD FITTINGS NSF APPROVED. ALL PIPING TO BE ADEQUATELY PRESSURE TESTED PRIOR TO BURIAL OR CONCEALMENT. EXPOSED POOL PIPING IN FILTER ROOM TO BE ADEQUATELY SUPPORTED AND STABILIZED WITH STANDARD PIPE HANGING DEVICES OR CUSTOM MADE AS REQUIRED.
 - ALL VALVES UP TO 3" IN SIZE TO BE PVC BALL VALVES. VALVES OVER 3" TO BE PVC BUTTERFLY VALVES.

DESIGN DATA	
	POOL
DIMENSIONS	20'-0" X 40'-0"
PERIMETER	120' - 8 3/4"
SURFACE AREA	808 SF
GALLONS	27 692 Gallons
DEPTHS	3'-0" TO 8'-0"
FILTER RATE	77 GPM
TURNOVER TIME	6 HRS

DAMEza Designs

DENIS MEZA
ARCHITECTURAL DESIGNS
20011 CHOCTAW CT.
GERMANTOWN, MD 20876
301-320-4363

PROFESSIONAL CERTIFICATION:
I hereby certify that this set of documents was prepared or approved by me, and that I am a duly licensed professional Engineer under the laws of the State of Maryland.
License # **#4329**
Expiration Date: **12/28/2020**

PLAN TITLE:

REVISIONS: DATE:

CLIENT NAME & ADDRESS:

CIERRA RESIDENCE
2100 NEW HAMPSHIRE AVE.
BROOKVILLE, MD 20833

DATE:

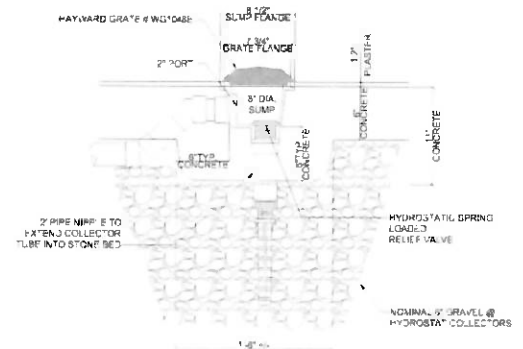
5/6/2019

SCALE:

AS NOTED

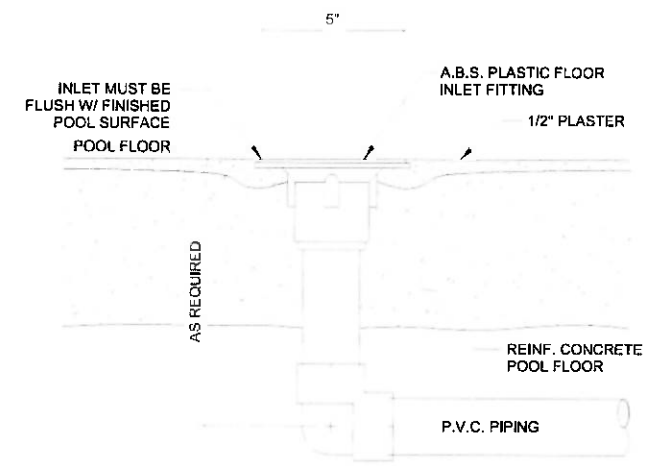
SHEET:

A-4.0



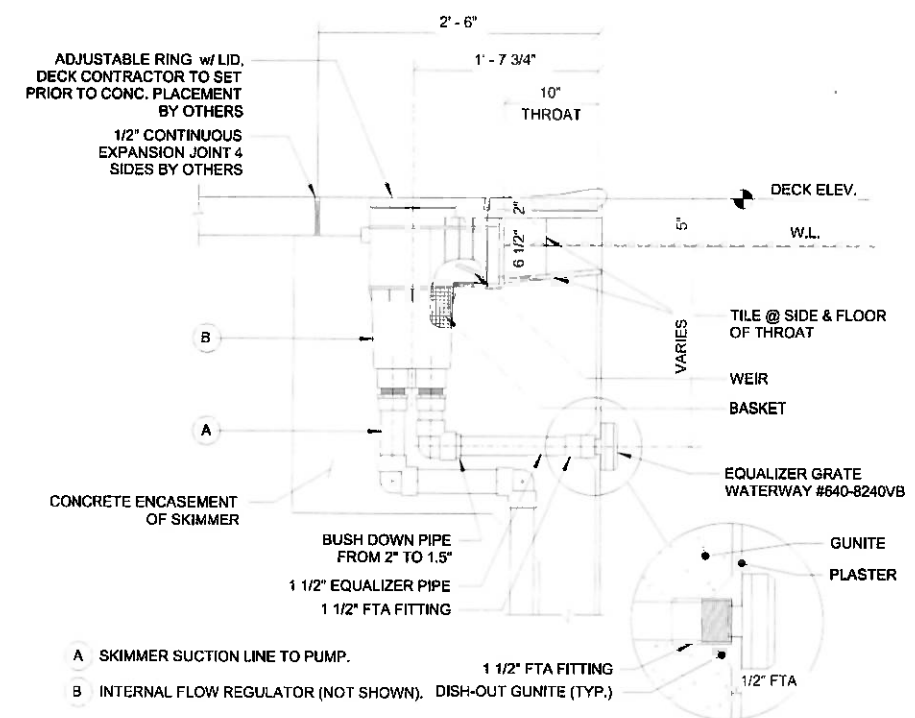
HAYWARD MODEL # WG-1054AV (SUMP)

A 8" MAIN DRAIN DETAIL
1 1/2" = 1'-0"



NOTE: FOR PIPE SIZE REFER TO POOL PIPING DRAWING.

C RETURN INLET DETAIL - FLOOR
3" = 1'-0"

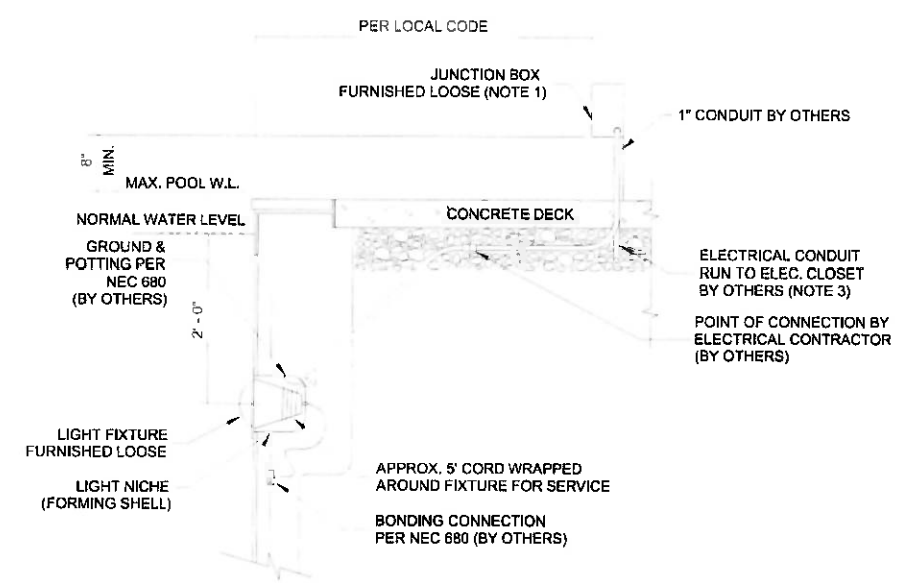


EQUALIZER GRATE DETAIL

HAYWARD MODEL #SP-1082FVE (RC)

EQUALIZER GRATE MEET OR EXCEED CURRENT ASME/ANSI A112.19.8 NATIONAL STANDARDS

B SKIMMER DETAIL- STONE COPING
1" = 1'-0"



NOTES:
1. ELEVATED JUNCTION BOXES OR TRANSFORMERS TO BE LOCATED UNDER OR ADJACENT TO FIXED STRUCTURES SO AS NOT TO CONSTITUTE A HAZARD TO FOOT TRAFFIC.
2. TYPE OF CONDUIT AS APPROVED BY ELECTRICAL INSPECTION AGENCY HAVING JURISDICTION.
3. UNDERWATER LIGHT CONNECTION TO GFI PROTECTED CIRCUITS PER NEC 680.

PENTAIR STAINLESS STEEL NICHE MODEL #78210500

D UNDERWATER LIGHT - STONE - INGROUND
3/4" = 1'-0"

DESIGN DATA	
	POOL
DIMENSIONS	20'-0" X 40'-0"
PERIMETER	120' - 8 3/4"
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GALLONS	27 692 Gallons
DEPTHS	3'-0" TO 8'-0"
FILTER RATE	77 GPM
TURNOVER TIME	6 HRS

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21500 NEW HAMPSHIRE AVE.
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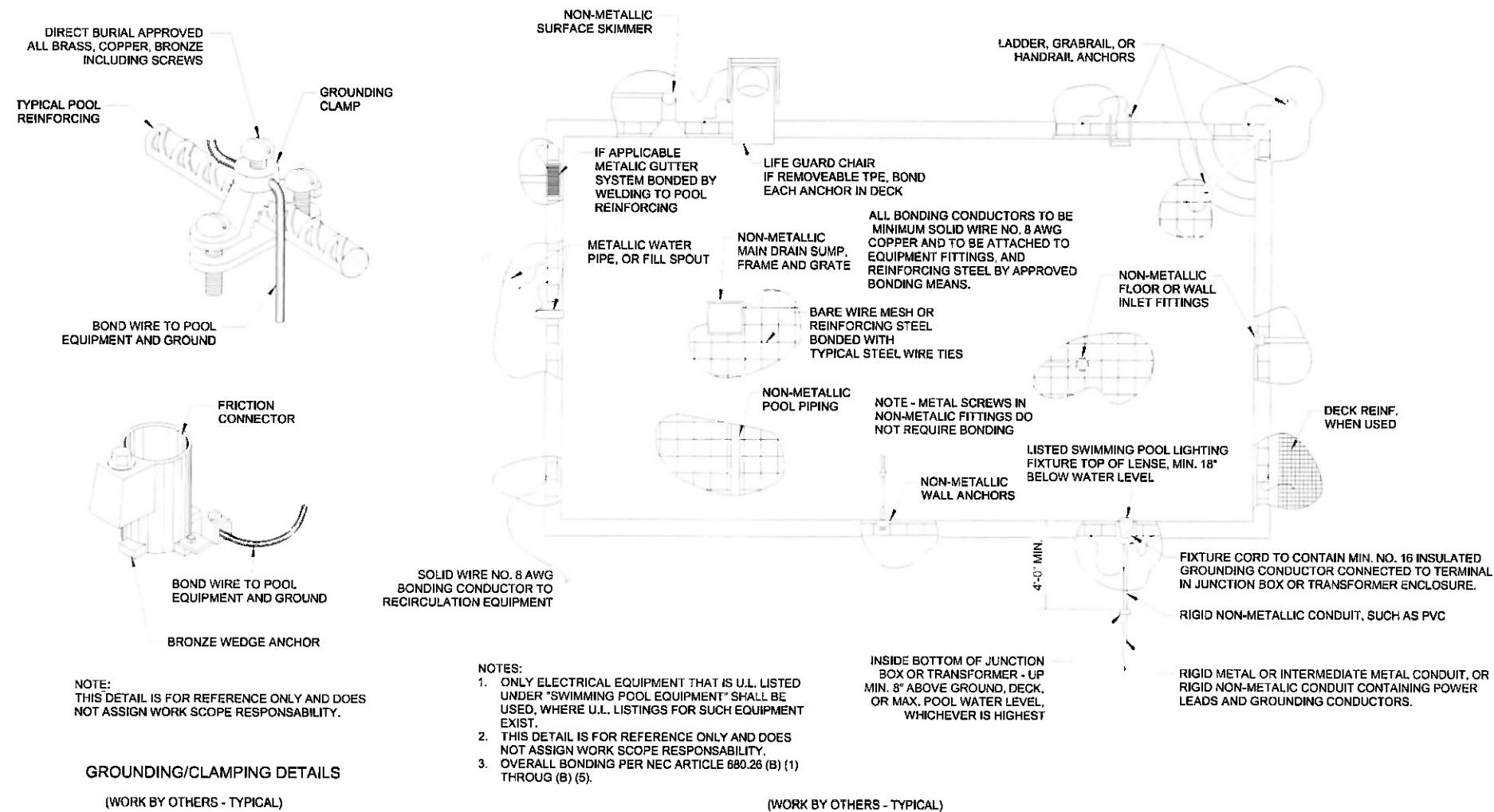
5/6/2019

SCALE:

AS NOTED

SHEET:

A-5.0



NOTE:
THIS DETAIL IS FOR REFERENCE ONLY AND DOES NOT ASSIGN WORK SCOPE RESPONSABILITY.

GROUNDING/CLAMPING DETAILS

(WORK BY OTHERS - TYPICAL)

- NOTES:
1. ONLY ELECTRICAL EQUIPMENT THAT IS U.L. LISTED UNDER "SWIMMING POOL EQUIPMENT" SHALL BE USED, WHERE U.L. LISTINGS FOR SUCH EQUIPMENT EXIST.
 2. THIS DETAIL IS FOR REFERENCE ONLY AND DOES NOT ASSIGN WORK SCOPE RESPONSABILITY.
 3. OVERALL BONDING PER NEC ARTICLE 680.26 (B) (1) THROUGH (B) (5).

(WORK BY OTHERS - TYPICAL)

A BONDING AND GROUNDING - NO DIVING BOARD
N.T.S.

DESIGN DATA

	POOL
DIMENSIONS	20'-0" X 40'-0"
PERIMETER	120' - 8 3/4"
SURFACE AREA	808 SF
GALLONS	27 692 Gallons
DEPTHS	3'-0" TO 9'-0"
FILTER RATE	77 GPM
TURNOVER TIME	6 HRS.

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21500 NEW HAMPSHIRE AVE.
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DATE:

5/6/2019

SCALE:

AS NOTED

SHEET:

A-5.1

EXISTING
HOUSE RESIDENCE

EXISTING
STONE PATIO

CENTER POOL TO
MIDPOINT OF EXIST'
PATIO STEPS

48" WIDE GATE (BY OWNER)
SEE NOTES BELOW

UNDISTURBED
GRASS LAND

UNDISTURBED
GRASS LAND

CONC. DECK

NEW PRIVATE
SWIMMING POOL
SEE SHEET A-1.0

NEW GAZEBO
FOR POOL
SEE SHEET A-7.0

CONC.
DECK
FILTER
EQUIPMENT
SEE SHEET A-4.0

UNDISTURBED
GRASS LAND

NEW FENCE (BY OWNER)
SEE NOTES BELOW

UNDISTURBED
GRASS LAND

NEW FENCE (BY OWNER)
SEE NOTES BELOW

DECK PLAN
SCALE: 3/16"=1'-0"

DECK NOTES:

1. TOP OF NEW POOL ELEVATION = 0.00' (REF. ONLY)
2. ALL NEW DECK TO BE 4" BROOM-FINISH CONCRETE DECK W/ 6X6 WIRE MESH ON 4" GRAVEL (TYPICAL)
3. BOX ALL SKIMMERS WITH CONTROL JOIN MATERIAL.
4. DECK TO SLOPE AT A MIN. 1/4" PER FOOT, MAX. 1/2" PER FOOT TO DRAIN.
5. SWIMMING POOL FENCES, GATES AND LOCKS.
A) FENCE REQUIREMENTS: THE FENCE OR WALL ENCLOSING A PRIVATE SWIMMING POOL MUST BE:
1) AT LEAST 5 FEET HIGH
2) SECURELY ANCHOR IN THE GROUND
3) NOT EASY TO CLIMB OR PENETRATE AND
4) MAINTAINED IN GOOD CONDITION.
B) GATES AND LOCKS. ANY GATE OR DOOR IN A FENCE OR WALL ENCLOSING A PRIVATE SWIMMING POOL MUST HAVE A SELF-CLOSING AND SELF-LATCHING LOCK OR LATCH ON THE POOL SIDE OF THE GATE/ DOOR AT A HEIGHT OF NO LESS THAN 4 FEET FROM THE GROUND. ANY GATE OR DOOR MUST BE CLOSED AND LATCHED WHEN THE POOL IS NOT ATTENDED.
(INSTALLATION PER MANUFACTURER COMPANY)

DESIGN DATA

	POOL
DIMENSIONS	20'-0" X 40'-0"
PERIMETER	120' - 8 3/4"
SURFACE AREA	808 SF
GALLONS	27,692 Gallons
DEPTHS	3'-0" TO 8'-0"
FILTER RATE	77 GPM
TURNOVER TIME	6 HRS.

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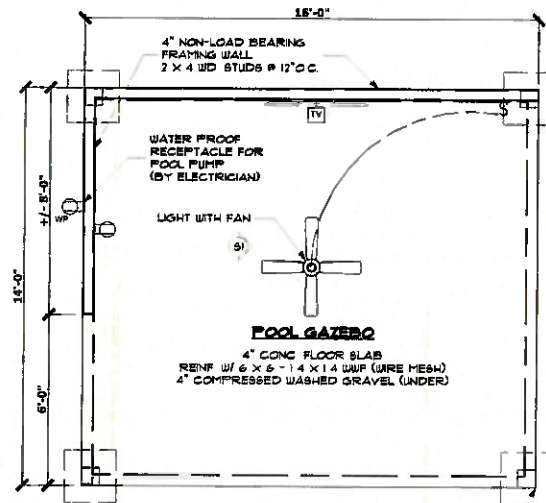
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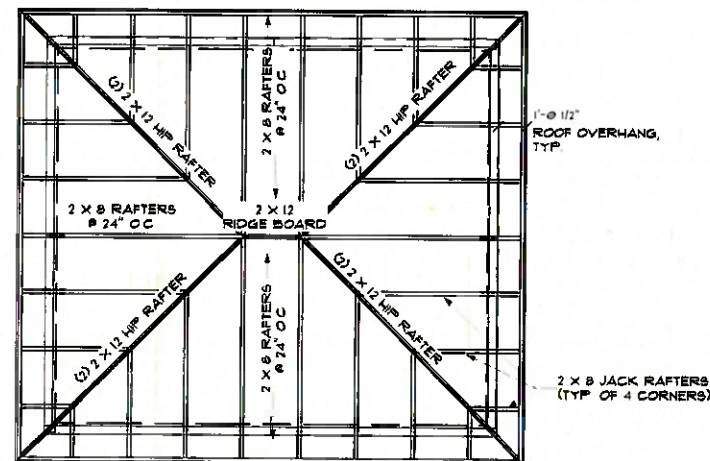
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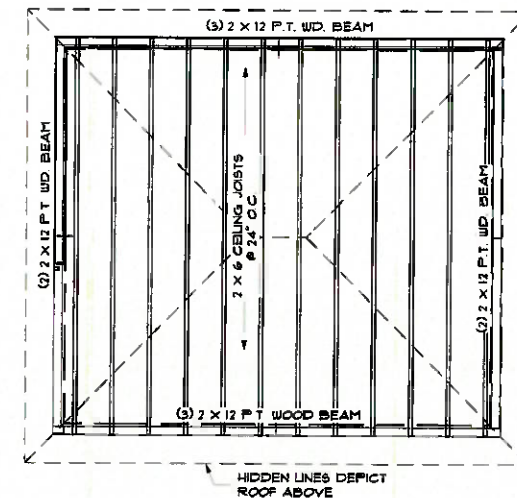
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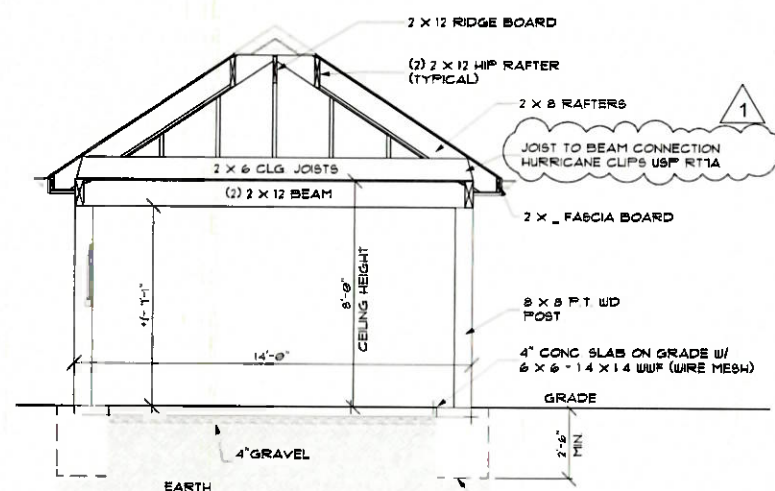
GAZEBO PLAN
SCALE: 1/4"=1'-0"



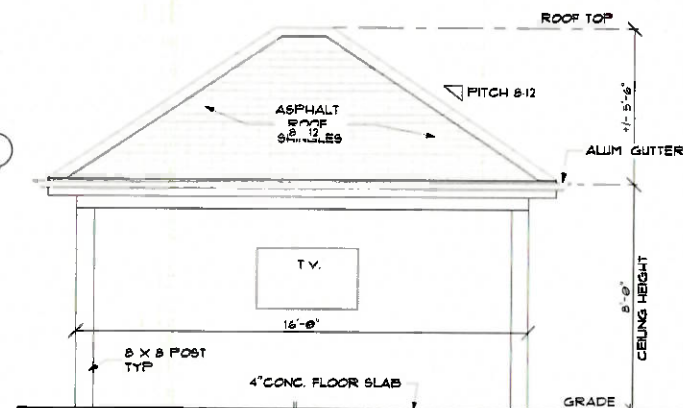
GAZEBO ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



GAZEBO CEILING FRAMING PLAN
SCALE: 1/4"=1'-0"



CROSS SECTION
SCALE: 1/4"=1'-0"



ELEVATION
SCALE: 1/4"=1'-0"

GAZEBO GENERAL CONSTRUCTION NOTES

APPLICABLE CODE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 IRC RESIDENTIAL CODES.

LOADS:	
FLOOR LIVING LIVE	40 PSF
FLOOR SLEEPING LIVE	30 PSF
FLOOR DEAD	15 PSF
ROOF LIVE	30 PSF
ROOF DEAD	15 PSF
WIND SPEED	115 MPH
GROUND SNOW LOAD	30 PSF

STRUCTURAL LUMBER:
#2 DOUGLAS FIR-LARCH (DFL), SOUTHERN PINE (SP), HEM-FIR (HF), SPRUCE-PINE-FIR (SPF), #2 HEM-FIR
2x12 980 1.3
2x10 1075 1.3
2x8 1175 1.3
2x6 1270 1.3
LAMINATED VENEER LUMBER (LVL) - F_b = 2800 PSI, F_v = 285 PSI, E = 2x10(6)
PARALLEL STRAND LUMBER (PSL) - F_b = 2900 PSI, F_v = 280 PSI, E = 2x10(6)
TRUSSED JOIST/RAFTERS (TJIS): CERTIFIED BY ENGINEER

FRAMING LUMBER: SPF #2 - ENGINEERS DRAWINGS TAKE PRECEDENCE

CONCRETE STRENGTH:
BASEMENT FOUNDATIONS AND SLABS - 3000 PSI @ 28 DAYS
PORCHES, CARPORTS, STEPS AND GARAGE FLOOR SLABS - 3500 PSI @ 28 DAYS, AIR ENTRAINED
CONCRETE TO MEET REQUIREMENTS OF ACI 301-10

ALLOWABLE SOIL BEARING PRESSURE: 1500 PSF

CONCRETE FOOTINGS:
EXTEND A MINIMUM OF 1'-0" INTO UNDISTURBED SOIL
EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE
STEP 2 HORIZONTAL TO 1 VERTICAL UNIT
22" W x 22" x 30" D FOR 8" POST WITH (2) #4 REINF. REBARS

CONCRETE SLABS:
MINIMUM OF 4" THICK
REINFORCED WITH 6x6 WITH 1.4x1.4 WELDED WIRE FABRIC. VAPOR BARRIER OF 0.006" POLYETHYLENE
BASE OF 4" THICK CRUSHED STONE 3/4" MAX FILL (WHERE APPROVED) IN 6" LAYERS TO 95% DENSITY

STEEL:
REINFORCING - ASTM A-615, 60 KSI
WELDED WIRE FABRIC (WWF) - ASTM A-185
STRUCTURAL - ASTM A-992

MASONRY:
CONCRETE HOLLOW LOAD - BEARING UNITS: ASTM C-90
CONCRETE SOLID LOAD - BEARING UNITS: ASTM C-145
FACE BRICK - ASTM C-216, GRADE MW
EXTERIOR MORTAR - ASTM C-270, TYPE N, APPROX. 3:1:11 PORTLAND CEMENT, LIME, SAND

PROTECTION OF MASONRY BELOW GRADE:
PARGING - TWO 3/8" LAYERS OF PORTLAND CEMENT - SAND BLASTER
DAMP PROOFING - ASTM A-449, TYPE A ASPHALT MASTIC
WATER PROOFING - 0.80 RUBBERIZED ASPHALT (BITUTHENE W/ PROT. BD)

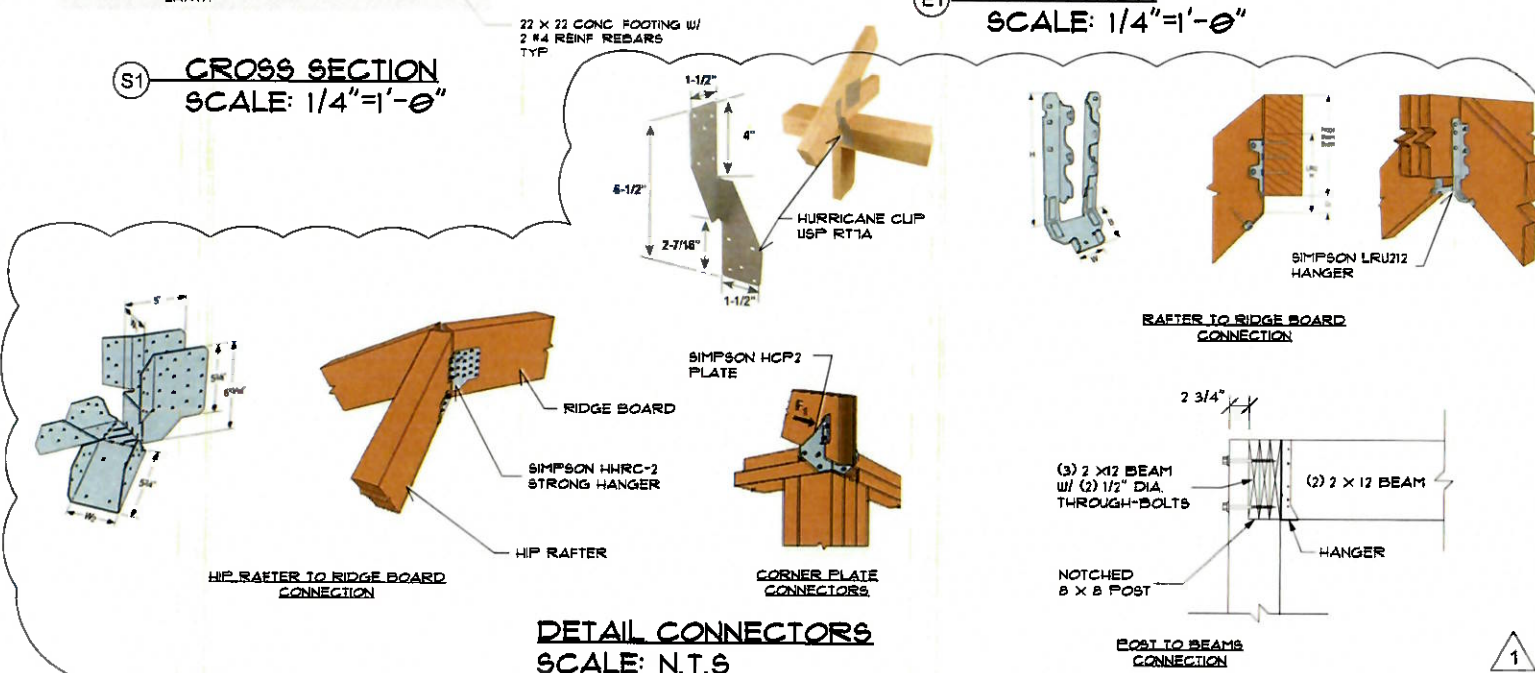
BACKFILLING:
CLEAN EARTH FREE OF TRASH, DEBRIS, ORGANIC MATTER

ALL INTERIOR WALLS ARE 3-1/2" (2x4 STUD) UNLESS NOTED OTHERWISE ON PLAN

ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" PLYWOOD UNLESS NOTED OTHERWISE

ALL HEADERS TO BE (2) 2x10 UNLESS NOTED OTHERWISE

IF A DISCREPANCY EXISTS BETWEEN THESE PLANS AND THE APPROVED SPECIFICATIONS, THE SPECIFICATIONS HAVE PRECEDENCE



DETAIL CONNECTORS
SCALE: N.T.S

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7001 CHOCTAU CT.
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301-510-4363

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DATE:

5/6/2019

SCALE:

AS NOTED

SHEET:

A-7.0