

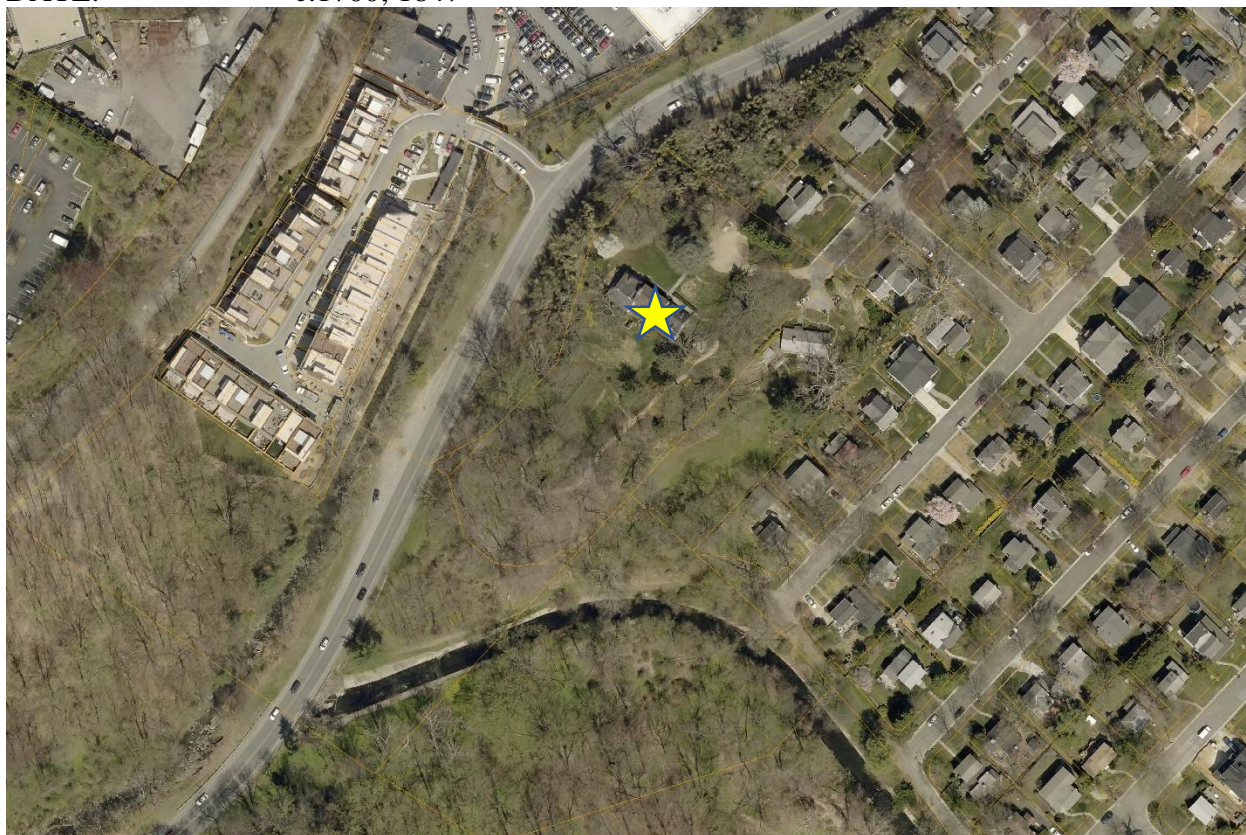
***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	5312 Allendale Rd., Bethesda	<b>Meeting Date:</b>	6/26/2019
<b>Resource:</b>	Individually Listed Master Plan Site Milton (35/35)	<b>Report Date:</b>	6/19/2019
<b>Review:</b>	HAWP	<b>Public Notice:</b>	6/12/2019
<b>Case Number:</b>	35/35-19A	<b>Tax Credit:</b>	n/a
<b>Applicant:</b>	David Brown Outerbridge Horsey, Architect	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Building Addition		

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**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Individually Listed Master Plan Site (*Milton #35/35*)  
**STYLE:** Federal  
**DATE:** c.1700; 1847



*Figure 1: Milton is located on a large parcel adjacent to the Little Falls Parkway.*

*From Places from the Past:*

“Milton is a three-part stone house that was the home of Nathan Loughborough, Comptroller of the U.S. Treasury during the John Adams Administration. Loughborough built the main block and the west wing in 1847, on the occasion of his second marriage. When he bought the property, about 1820, there was a small stone structure, using rough stone to match the original. Loughborough came to Washington from Philadelphia to serve in the Federal government. Active in the financial community, he was stockholder in the C & O Canal Company and a director of Georgetown’s Farmers and Mechanics Bank. Loughborough moved to Milton from Grasslands, an estate located on the present site of American University.

The earliest section of the house is the east (left) wing that, according to tradition, was built c.1700 as a Dutch trading post and tavern. Milton is located along River Road, an early Indian trail. This early section has two rooms on the main floor. Typical of Mid-Atlantic building traditions are stone construction, central chimney, and basement kitchen. The structure is banked into a hillside with full basement exposed on the south side, a tradition usually associated with Germanic construction.”

## **PROPOSAL**

The applicant proposes to construct a one-story addition to the east of the house connected by a breezeway. The addition and breezeway will match the details of the historic house, but in smaller proportions than the historic house and wings.

The Maryland Historical Trust holds a façade easement on the property and has reviewed the work and supports the proposed addition.

## **APPLICABLE GUIDELINES**

The use of the expedited review form is supported by the first item on the Policy on Use of Expedited Staff Reports for Simple HAWP Cases:

1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.

### **Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

### **Secretary of the Interior’s Standards for Rehabilitation**

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) and having found that the proposal is consistent with the Secretary of the Interior's Standards for Rehabilitation (specifically, Standards 2, 9, and 10), and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A; and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: ohc.outerbridgehorsey.com Contact Person: OUTERBRIDGE HORSEY  
Daytime Phone No.: 202 337 7834  
Tax Account No.: \_\_\_\_\_  
Name of Property Owner: JOHN T. BEAFY Daytime Phone No.: 301 240 605 4750  
Address: 5312 ALLENDALE ROAD BETHESDA  
Street Number City Street Zip Code  
Contractor: DAVID J. BROWN Phone No.: 301 674 2500  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: OUTERBRIDGE HORSEY Daytime Phone No.: 301 674 2500

## LOCATION OF BUILDING/PREMISE

House Number: 5312 ALLENDALE Street: ALLENDALE  
Town/City: BETHESDA Nearest Cross Street: RED FORD ROAD  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 0502 (FRIENDSHIP)  
MAP HM23 Folio: 0000 Parcel: P593  
GRID

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

☐ Construct ☒ Extend ☐ Alter/Renovate ☒ A/C ☒ Slab ☒ Room Addition ☐ Porch ☐ Deck ☐ Shed  
☐ Move ☐ Install ☐ Wreck/Raze ☐ Solar ☒ Fireplace ☐ Woodburning Stove ☒ Single Family  
☐ Revision ☐ Repair ☐ Revocable ☐ Fence/Wall (complete Section 4) ☐ Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 285,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 ☒ WSSC 02 ☐ Septic 03 ☐ Other: \_\_\_\_\_  
2B. Type of water supply: 01 ☒ WSSC 02 ☐ Well 03 ☐ Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

☐ On party line/property line ☐ Entirely on land of owner ☐ On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Outerbridge Horsey  
Signature of owner or authorized agent

May 24, 2019  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

HISTORIC HOUSE UNDER EASEMENT TO MARYLAND  
HISTORIC TRUST  
\* EASEMENT AND APPROVAL LETTER ATTACHED

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ONE STORY ADDITION TO EXISTING HOUSE  
\* REQUIRED LOGICAL STUDY ATTACHED

2. **SITE PLAN** ✓

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS** ✓

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS** ✓

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS** ✓

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY** N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

① PETER DUNKELBERGER 5311 ALLENDALE ROAD  
② LYNN SHELKINSON 5316 ALLENDALE ROAD

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

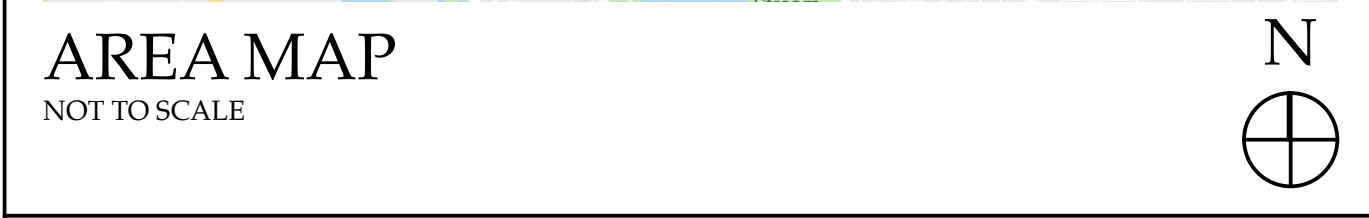
## GENERAL NOTES

1. All construction shall be in conformance with the International Residential Code (IRC) and International Energy Conservation Code (IECC), 2015 edition, as amended by Montgomery County Executive Regulation No. 8-12.
2. All Electrical work to be performed in accordance with the National Electrical Code and the Montgomery County code.
3. Dimensions and Notes for a given condition are typical for all similar conditions unless otherwise stated.
4. Drawings at a larger scale shall take precedence over drawings of a smaller scale. Notify Architect immediately if a discrepancy should be found.
5. Existing walls, columns, floor / ceiling assemblies, etc. are shown unrendered on the plans and sections. Elevations show existing elements - windows, doors, roofs, etc. as unrendered outline (new work is shown rendered).
6. General Contractor to keep disturbances in existing house to a minimum.
7. Protect existing planting during construction with erosion control type fence. Do not remove any trees or shrubs without prior approval of owner. Protect existing driveway from abuse, any damage should be repaired at the expense of the contractor. Provide conveniently located refuse barrels and maintain for workman use.
8. General Contractor to inspect existing electrical service and notify Owner and Architect if upgrading is required by code or with the proposed addition / renovation.
9. General Contractor to ensure flush transition from existing work to new work.
10. All wall surfaces are to be made flush and smooth prior to painting or installation of wallcovering.
11. Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.
12. Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
13. Coordinate the unloading and safe storage of Owner delivered material on site (casework, equipment, etc.). Installation of Owner delivered material is to be included in the base bid (unless noted otherwise).

- ## DEMOLITION NOTES
1. Coordinate removal of personal belongings or furnishings from affected areas with owner.
  2. Protect all interior walls, doors, trim, ceilings, and floors from unnecessary damage during demolition.
  3. Phase all work to achieve minimum disturbance in work areas. Protect unaffected areas from dust, dirt and noise.
  4. Salvage equipment, fixtures, counters, cabinets and doors as required by the contract drawings. Reuse as directed on drawings.
  5. All doors and windows to be salvaged for course of job. Those not reused should be removed by G.C. at end of job as directed by Owner. See door and window schedules for those salvaged and relocated.
  6. Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to nails, hooks, wires, door bells, etc. on first floor.
  7. The Contractor shall arrange for the proper discontinuance and / or relocation of all public utilities when required, including sewers, water, gas, electric, television, and telephone lines.
  8. Existing plumbing hook-ups to be shut off immediately prior to demolition work at each location.
  9. Cap off all abandoned waste and supply lines below floor level, patch where necessary.
  10. Brace structure as necessary during demolition to prevent structural damage and excessive movement. Protect the existing exterior walls, roof(s), and trim from damage during demolition.
  11. Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do no cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
  12. Contractor shall receive title to materials to be demolished, title shall vest to Contractor upon execution of the Contract. Owner will not be responsible for the condition, loss or damage to material after execution of Contract.
  13. Debris shall not accumulate on site. Sale or burning of material on site is prohibited. Site and adjacent areas shall be kept clean and free from mud, dirt, and debris at all times.
  14. Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.

PROJECT TEAM			
OWNER	Ms. Anne Mehringer Mr. John T. Beaty, Jr. 5312 Allandale Road Bethesda, MD 20816	ARCHITECT	Outerbridge Horsey Associates, PLLC    Tel 202.337.7334 1228 1/2 31st Street, NW Washington, DC 20007 Contact: Outerbridge Horsey, AIA oh@outerbridgehorsey.com John Cazayoux john@outerbridgehorsey.com Tatiana Sokolova tatiana@outerbridgehorsey.com

<div> <div>ADDITION TO</div> <div>OLD LOUGHBOROUGH-</div> <div>MILTON</div> <div>5312 Allandale Road, Bethesda, MD 20816</div> </div>				
LOT DESCRIPTION:	Parcel: P593, ACCT: 00422383	ZONING CRITERIA	REQUIRED	PROVIDED
ADDRESS:	5312 Allandale Rd. Bethesda, MD 20816			
LOT AREA:		MIN. LOT AREA:	6,000 SF	98,133 SF (2.25 Acres)
		MIN. LOT WIDTH AT FRONT BUILDING LINE:	60'	250'
		MIN. LOT WITH AT FRONT LOT LINE:	25'	40' APPROX.
ZONING DISTRICT:	R-60	FRONTAGE ON STREET OR OPEN SPACE:	Required, except as exempt under Chapter 50	
BUILDING TYPE:	Single Family Detached	MAX. DENSITY (units / acre):	7.26	1 unit on 2.25 acres
		MAX. LOT COVERAGE:	35%	3.7%
		MIN. FRONT SETBACK:	25'	133'-9"
		MIN. SIDE SETBACK:	8'	32'
		MIN. SUM OF SIDE SETBACKS:	18'	99'-7"
		MIN. REAR SETBACK:	20'	230'
		MAX. HEIGHT OF PRINCIPAL BUILDING:	35'	30'-9"



## SPECIAL NOTE

Existing conditions shown or implied are based on best available but limited information. If conditions are encountered that differ from those shown, noted or implied, all work in that specific area is to stop and the Architect is to be notified. No work is to continue in such areas without the permission of the Architect.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job and the Architect must be notified of any variation from the dimensions and conditions shown by these drawings.

The above drawings and specifications and the ideas, designs and arrangements represented thereby are, and shall remain the property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings shall constitute conclusive evidence of acceptance of these restrictions.

The professional seal is for certification of new work only and is not intended for general certification of preexisting conditions.

1228 1/2 31st STREET, NW  
WASHINGTON, DC 20007  
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CONSULTANTS:

DRAWING TITLE:

COVER SHEET

SCALE: AS NOTED

ISSUE	DATE
MHT _____	11/29/2018 _____
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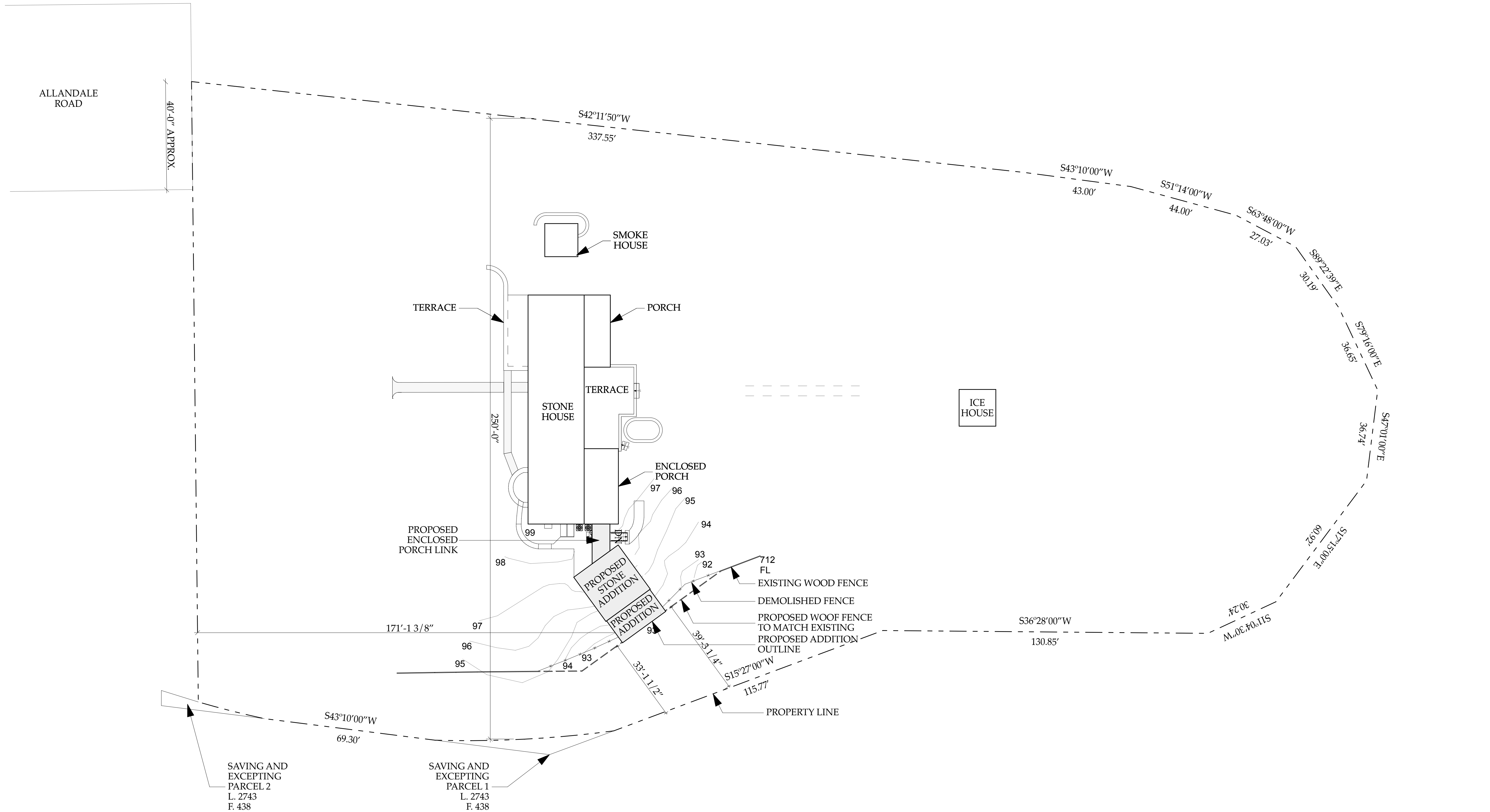
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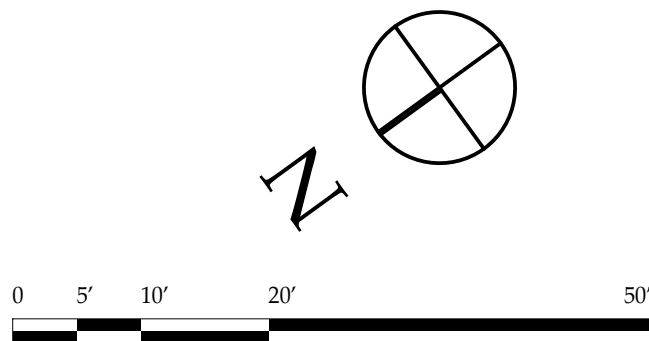
0001



SHEET	TITLE
0001	COVER SHEET
0002	PROPOSED SITE PLAN
D100	DEMO PLANS
D200	DEMO ELEVATIONS
A100	PROPOSED FIRST FLOOR AND ROOF PLANS
A200	PROPOSED ELEVATIONS
A201	ADDITION ELEVATIONS
A300	BUILDING SECTIONS
A400	PROPOSED ADDITION ENLARGED PLAN
A401	EXIST. AND PROPOSED WEST ELEVATION
A402	WALL SECTIONS
A500	INTERIOR ELEVATIONS
A501	INTERIOR ELEVATIONS
A700	PLAN DETAIL CONNECTION OF ADDITION TO EXIST. ENCLOSED PORCH
A701	STONE FASTENER DETAILS AND SPECIFICATIONS
A702	SECTION DETAILS
A1000	STONE AND SLATE MOCK UPS
A1001	COPPER ROOF DATA /DETAILS
A1002	WINDOW DATA /DETAILS
S100	STRUCTURAL PLANS AND NOTES



1 PROPERTY PLAN  
SCALE: 1" = 20'



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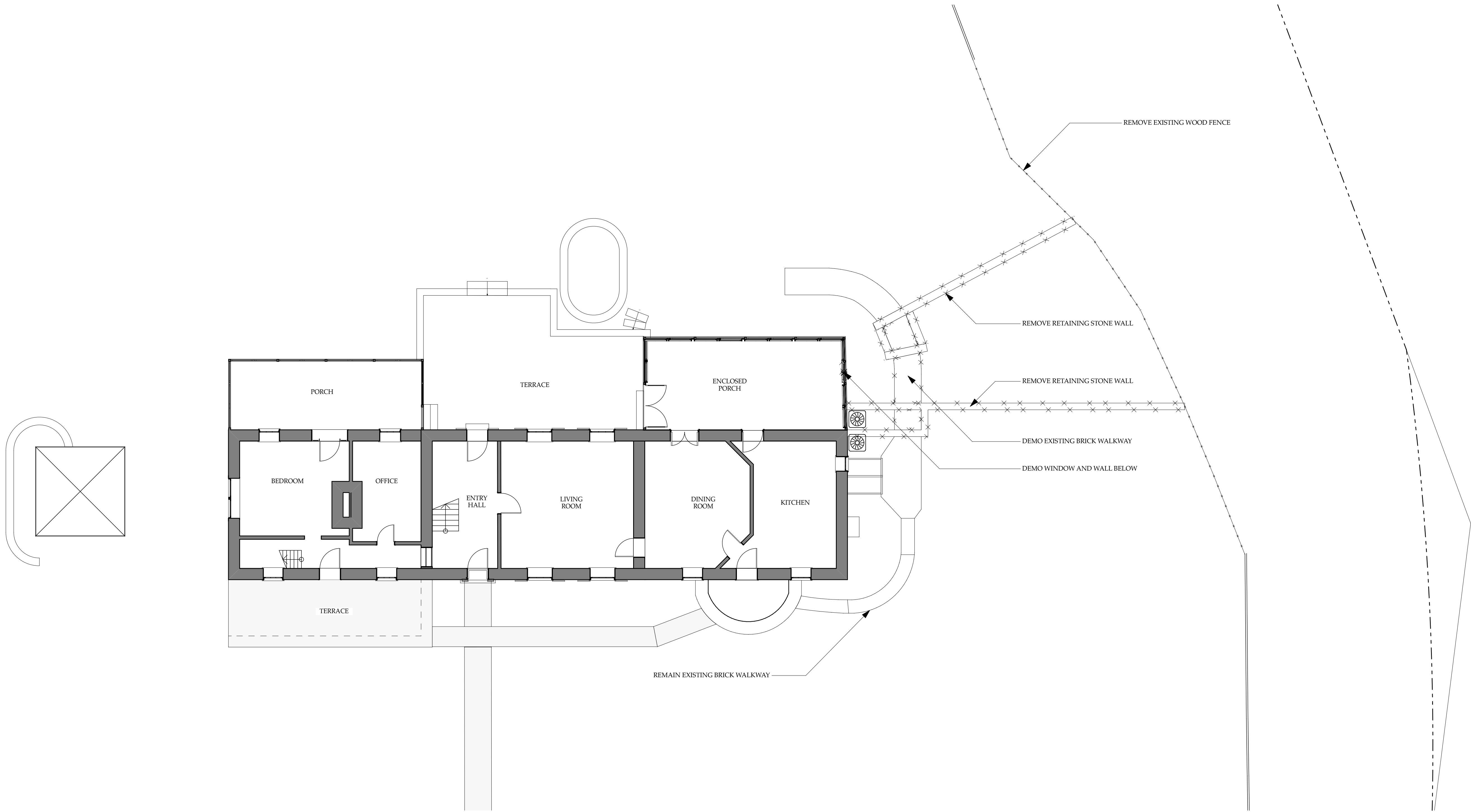
ADDITION TO  
OLD  
LOUGHBOROUGH-  
MILTON  
5312 Allandale Rd.  
Bethesda, MD 20816

DRAWING TITLE:  
  
PROPOSED SITE  
PLAN  
  
SCALE: AS NOTED

ISSUE	DATE
MHT	11/29/2018

PRINT DATE 5/17/19

SHEET NO.  
  
0002



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DRAWING TITLE:

**DEMO PLANS**

SCALE: AS NOTED

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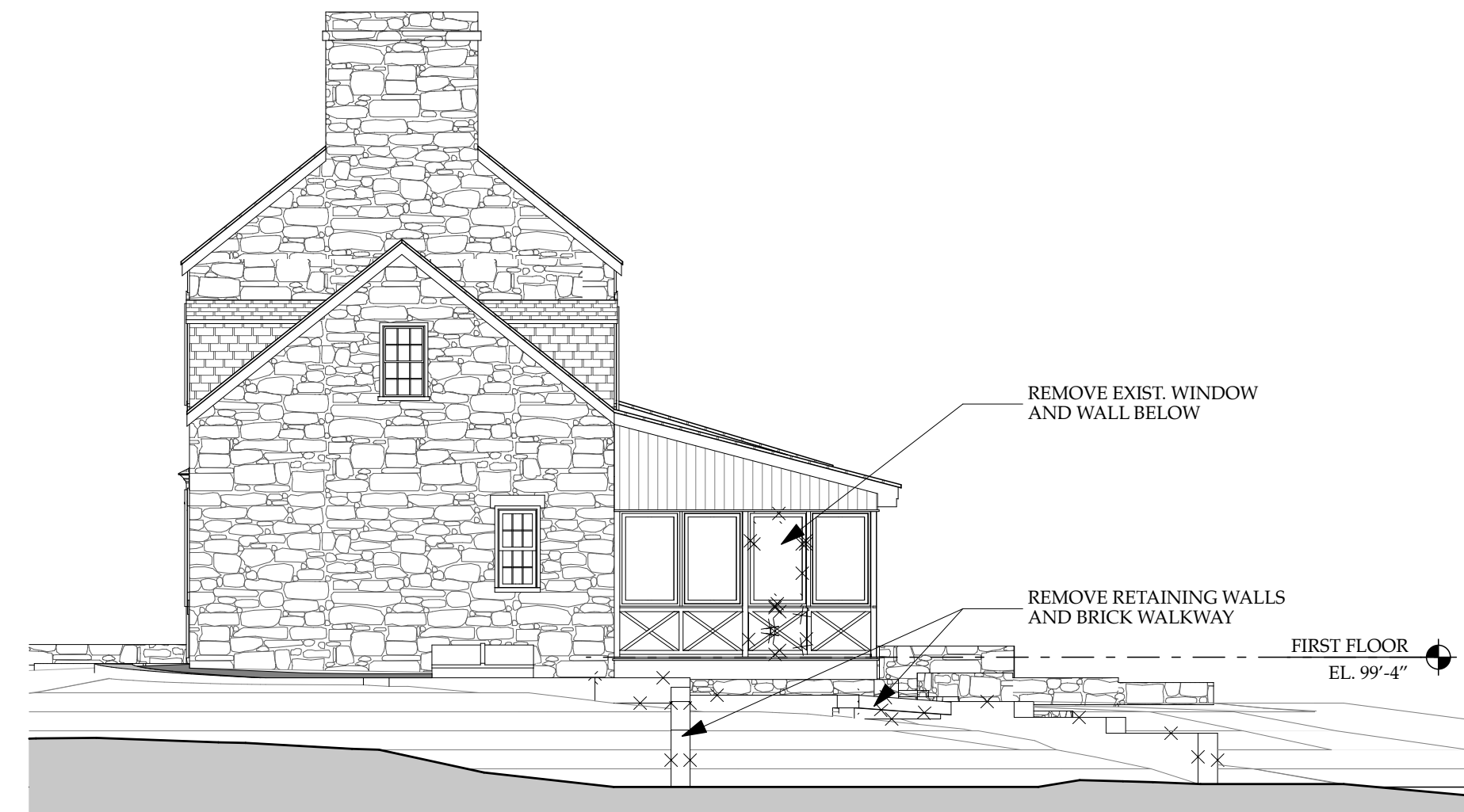
PRINT DATE 5/17/19

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**D100**

**2 DEMO FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



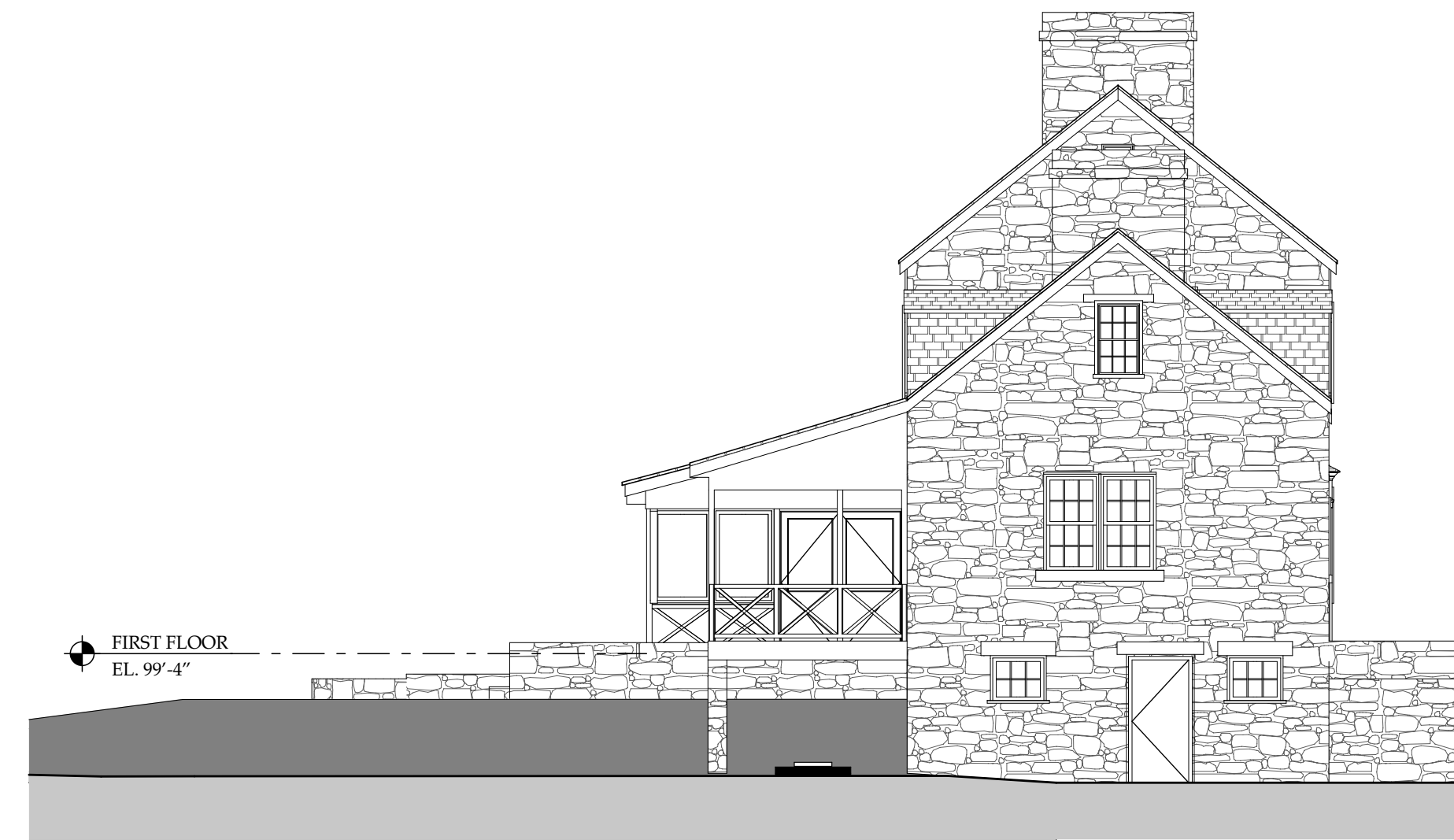
1 NORTH ELEVATION (NO CHANGE)  
SCALE: 1/8" = 1'-0"



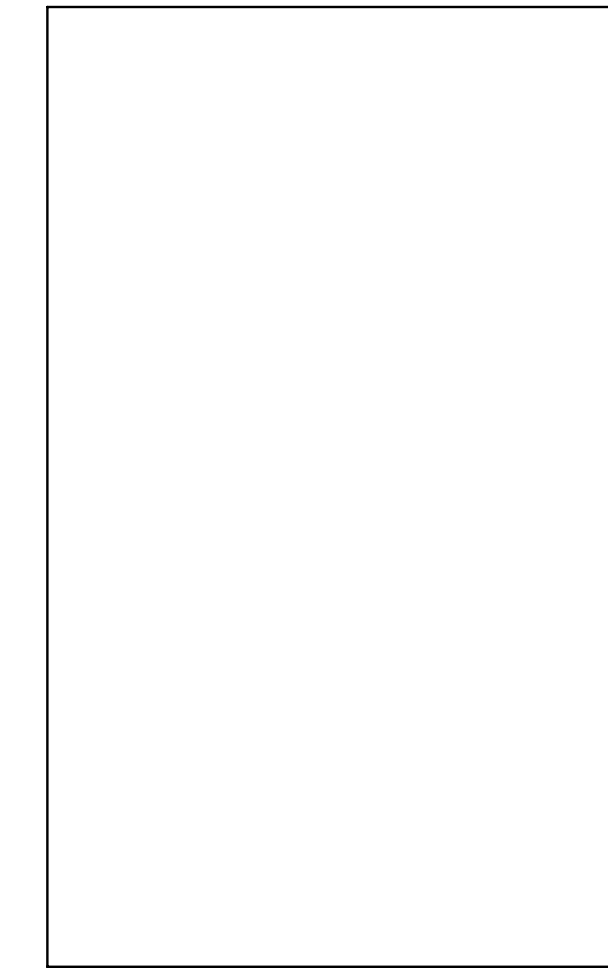
2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION (NO CHANGE)  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION (NO CHANGE)  
SCALE: 1/8" = 1'-0"



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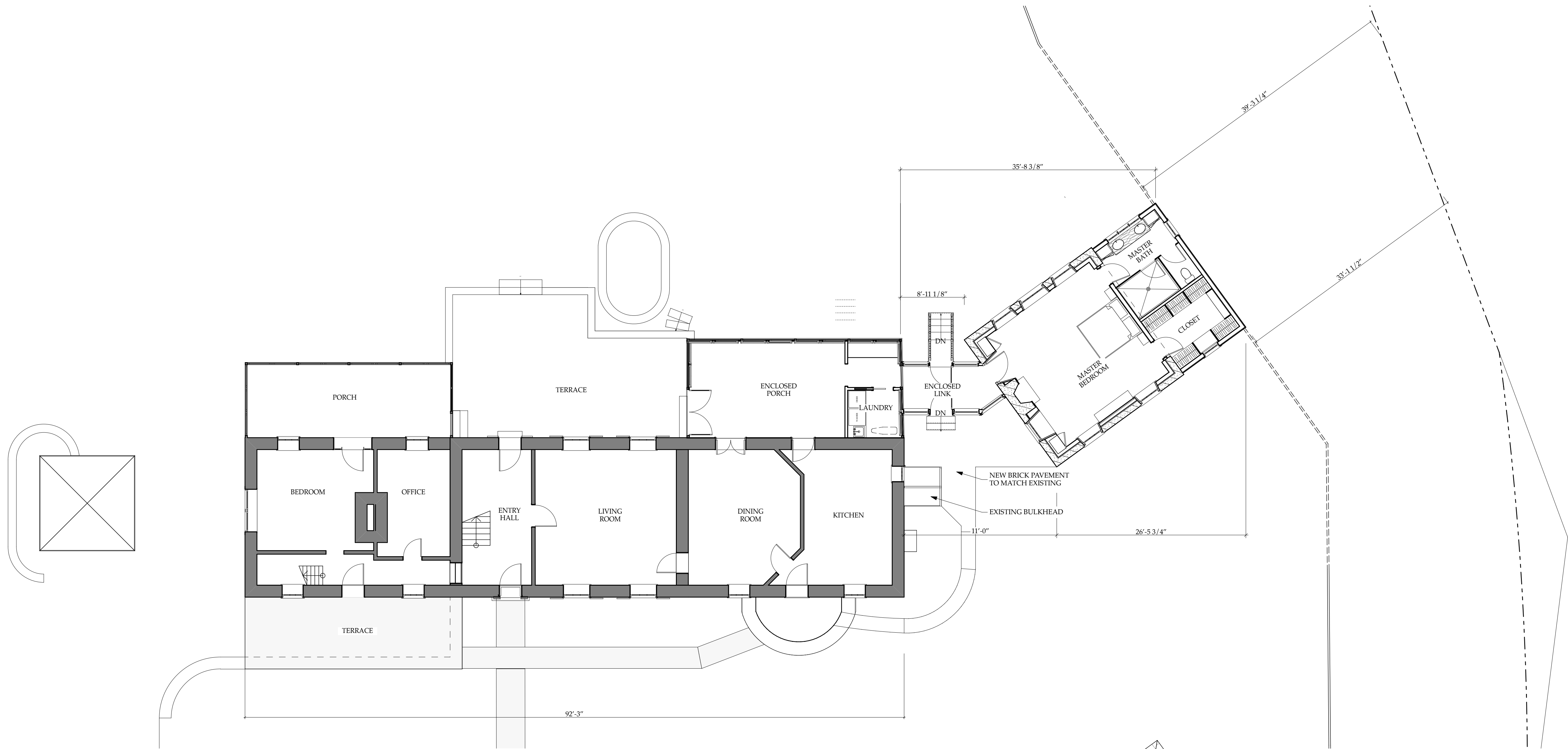
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ELEVATIONS  
  
SCALE: AS NOTED

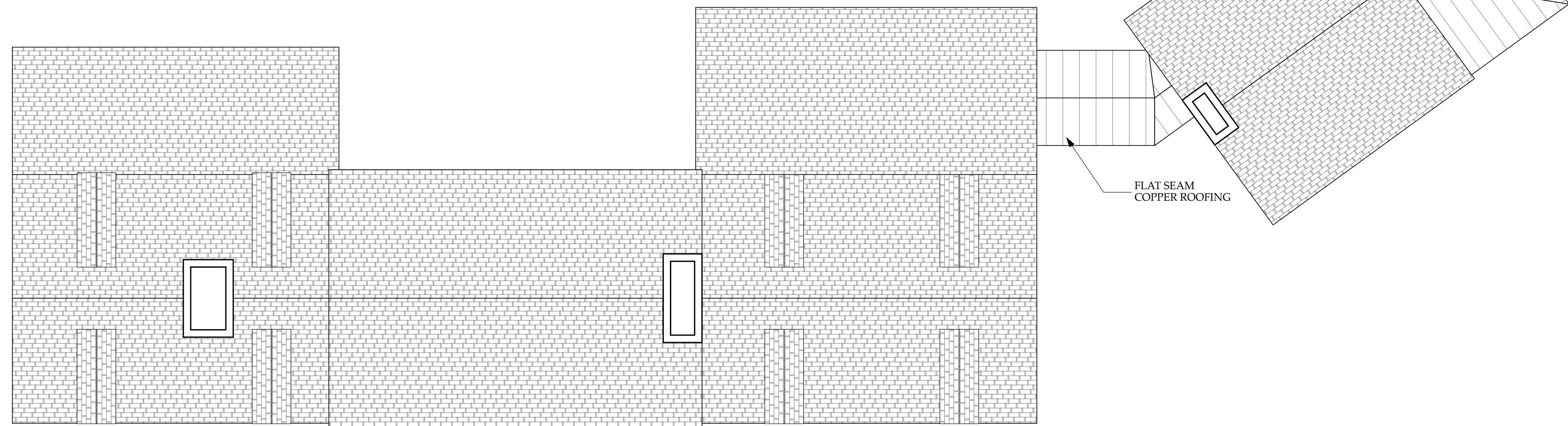
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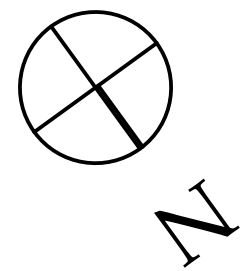
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D200



**1 PROPOSED FIRST FLOOR**  
SCALE: 1/8" = 1'-0"



**2 PROPOSED ROOF PLAN**  
SCALE: 1/8" = 1'-0"



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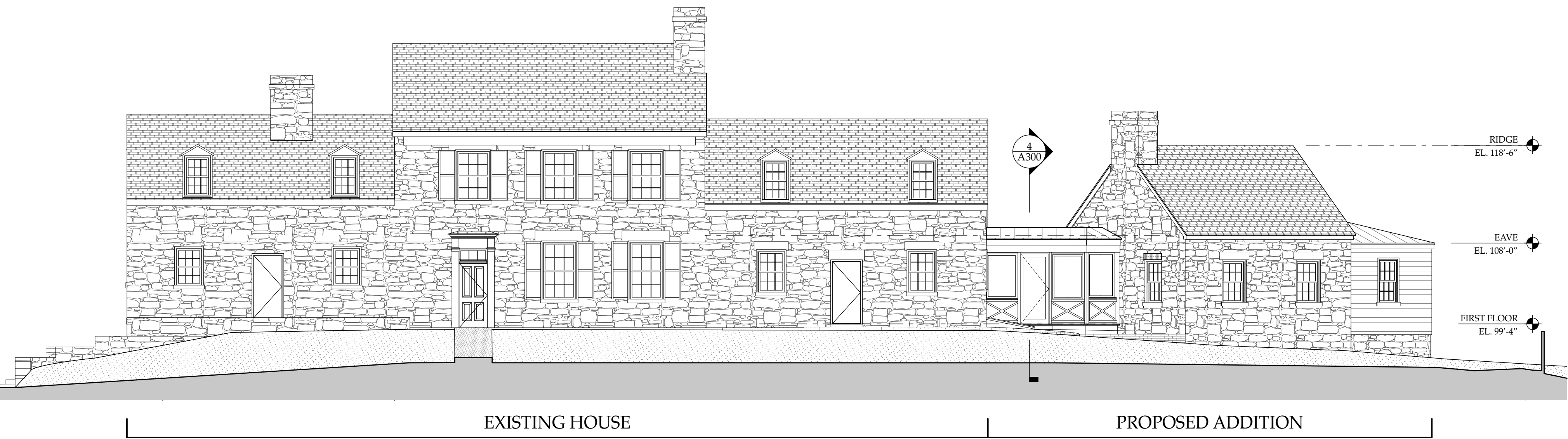
**PROPOSED FIRST  
FLOOR PLAN**

SCALE: AS NOTED

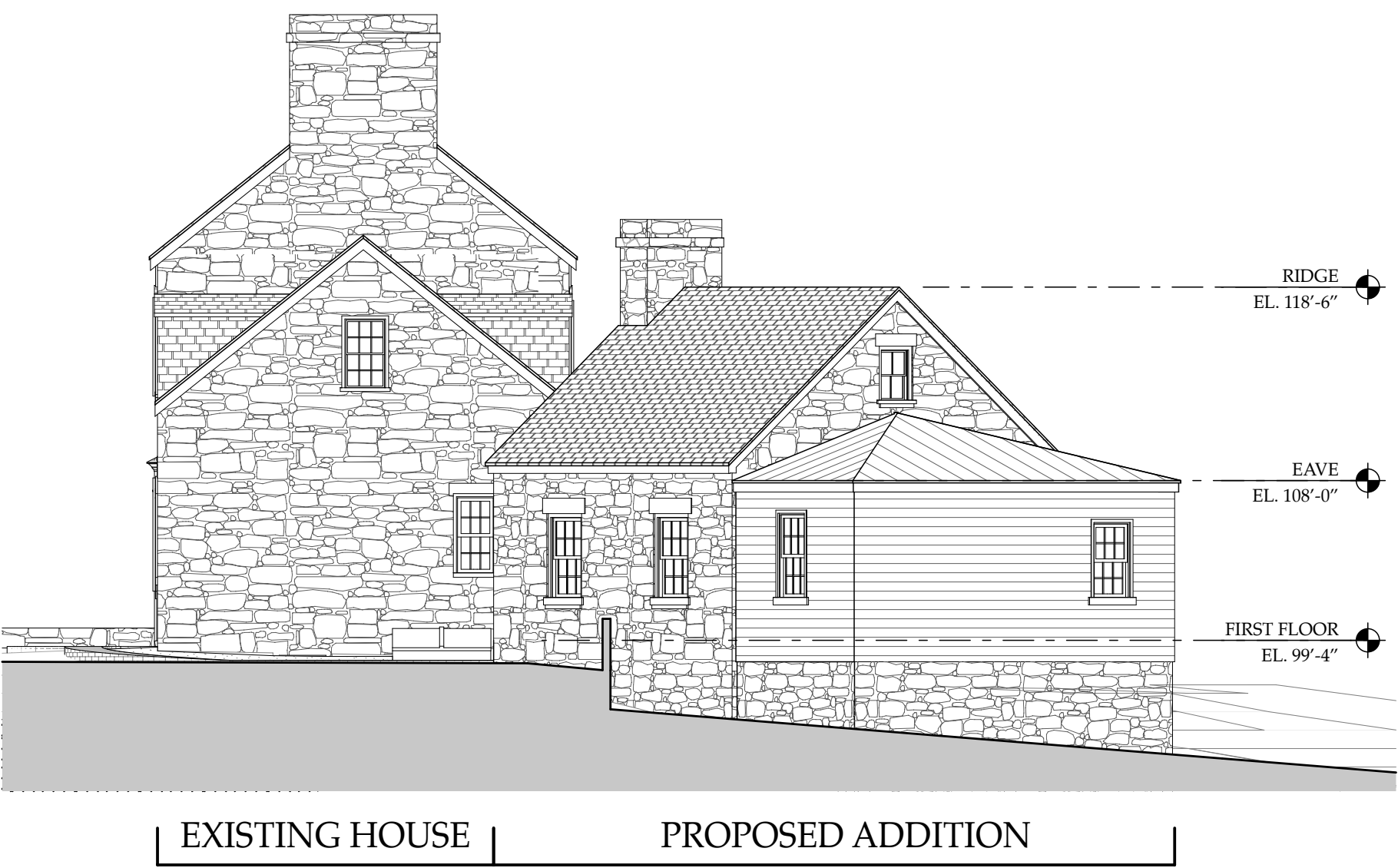
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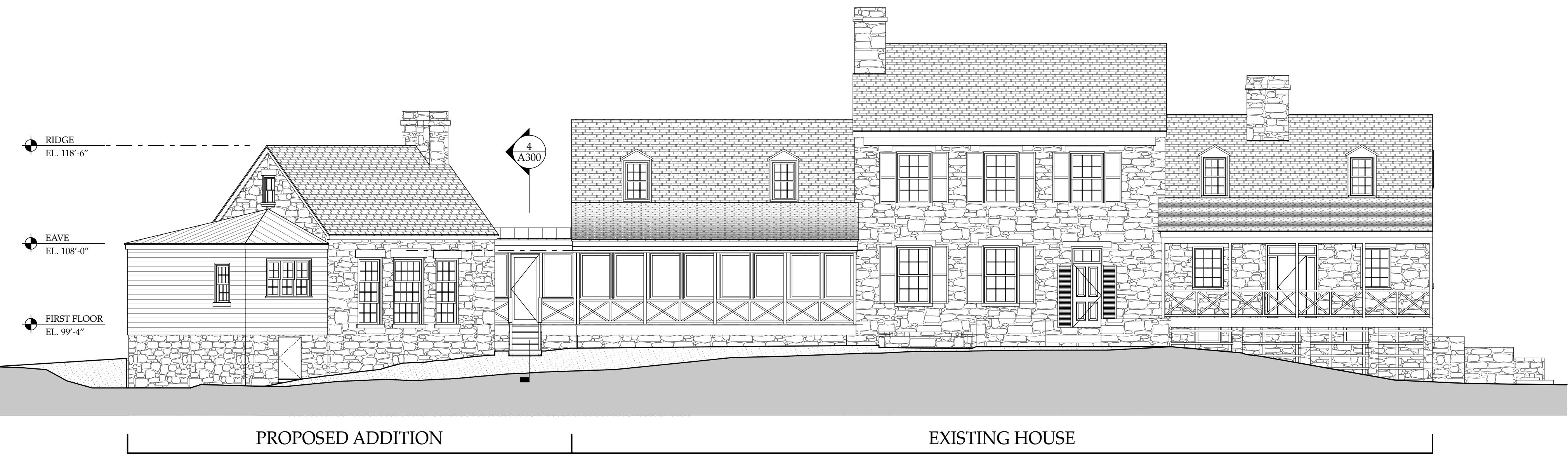
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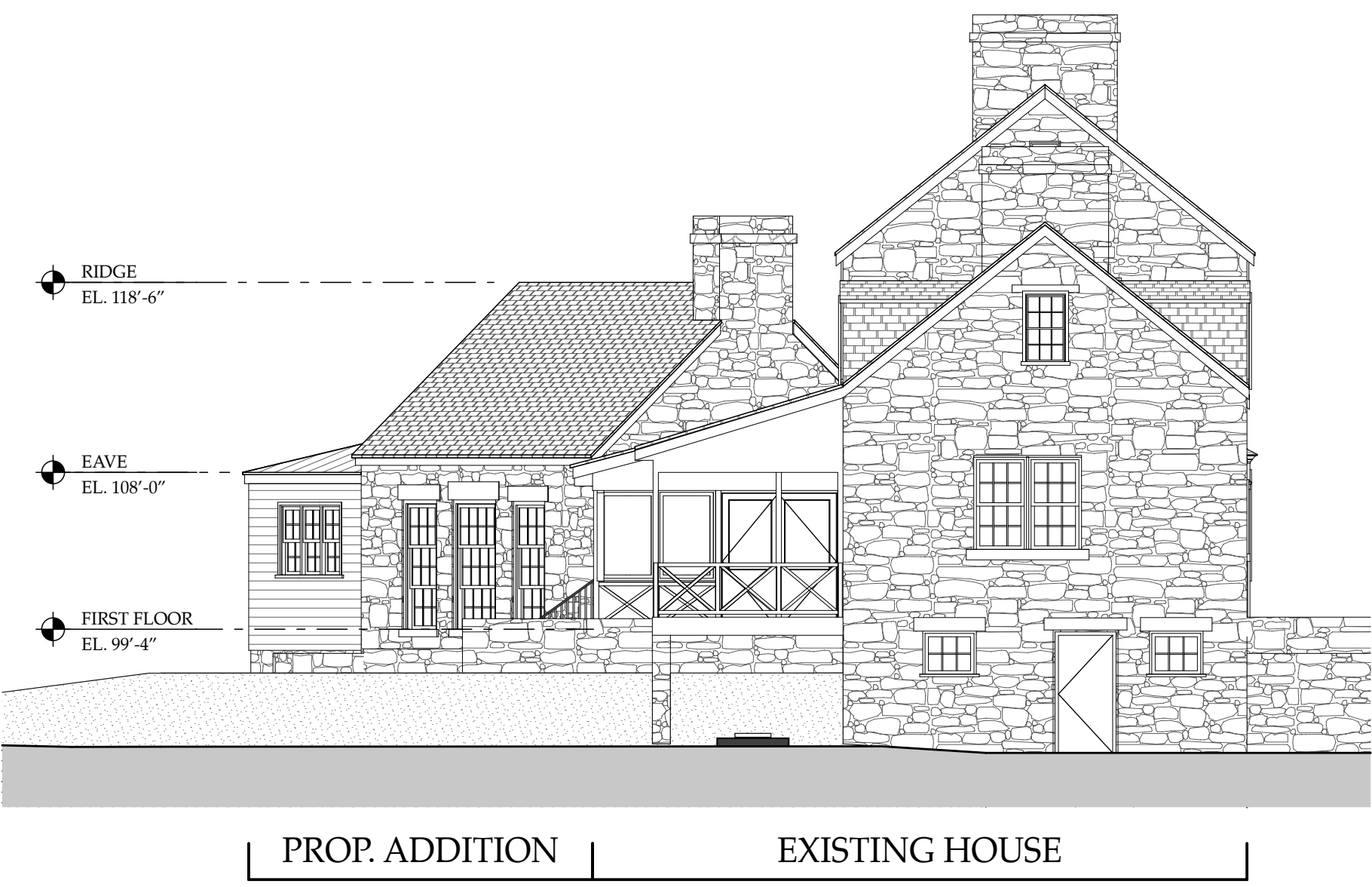
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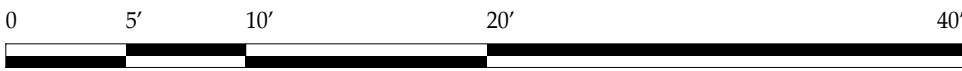
2 PROPOSED WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 PROPOSED SOUTH ELEVATON  
SCALE: 1/8" = 1'-0"



4 PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"



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PROPOSED  
ELEVATIONS

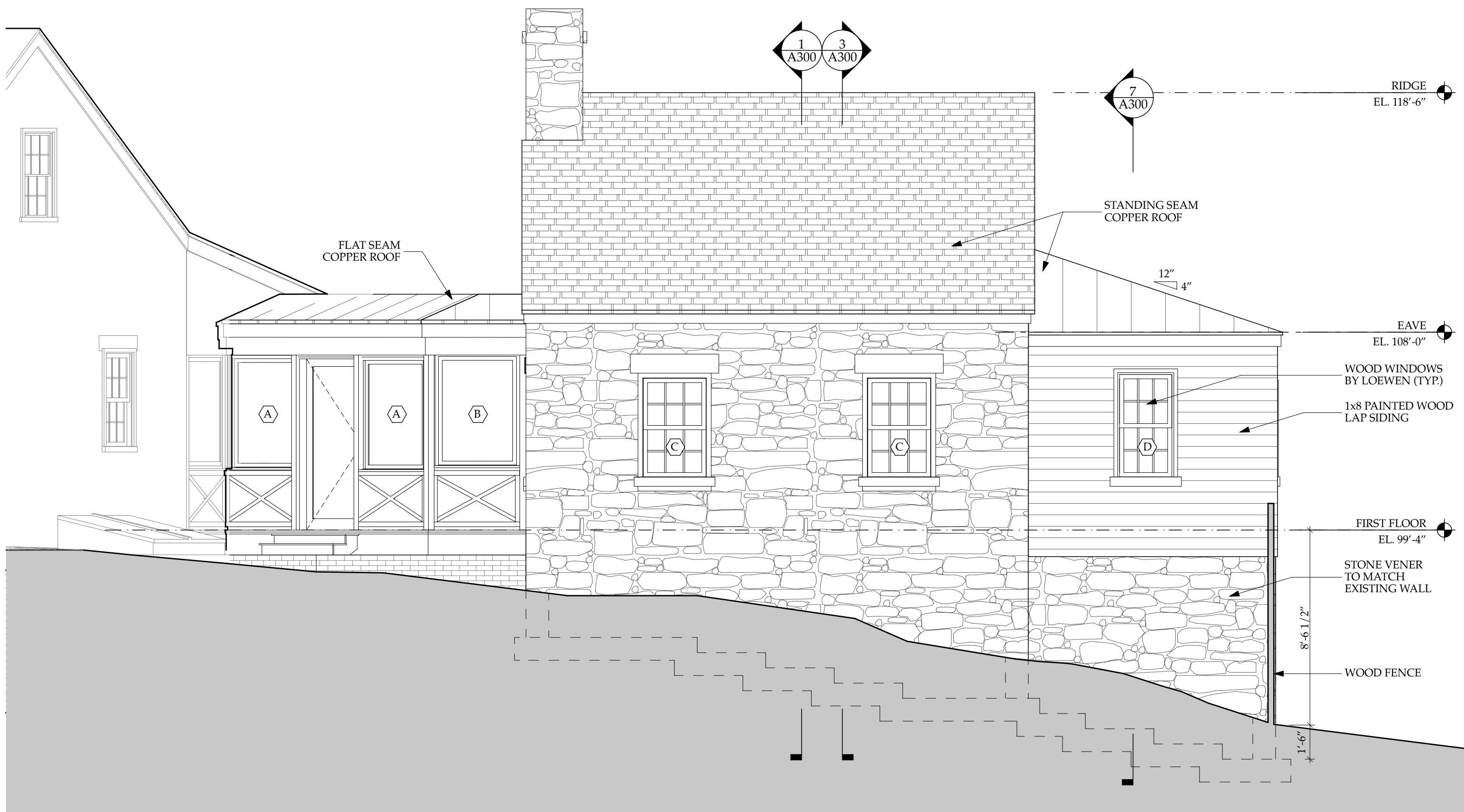
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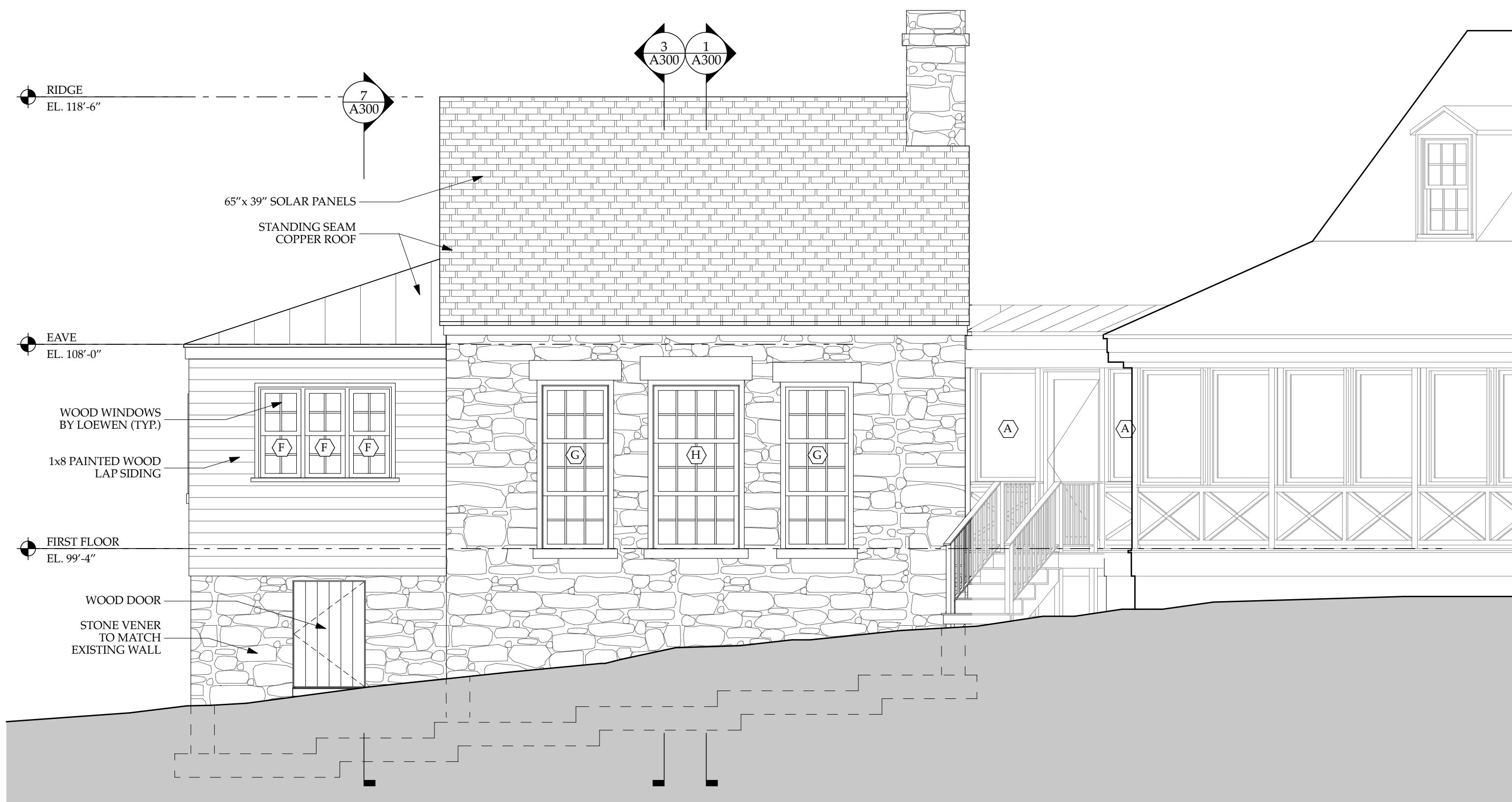
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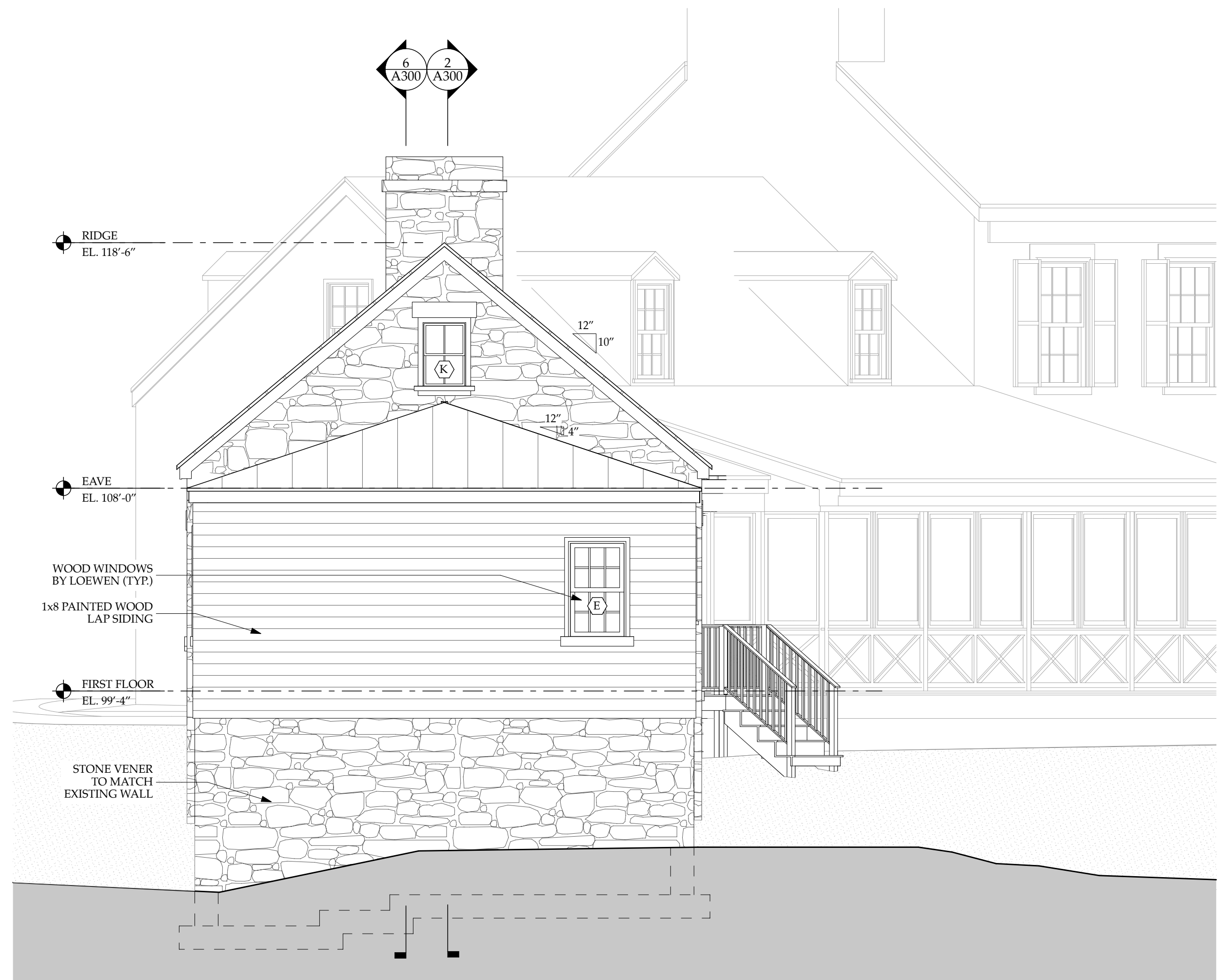
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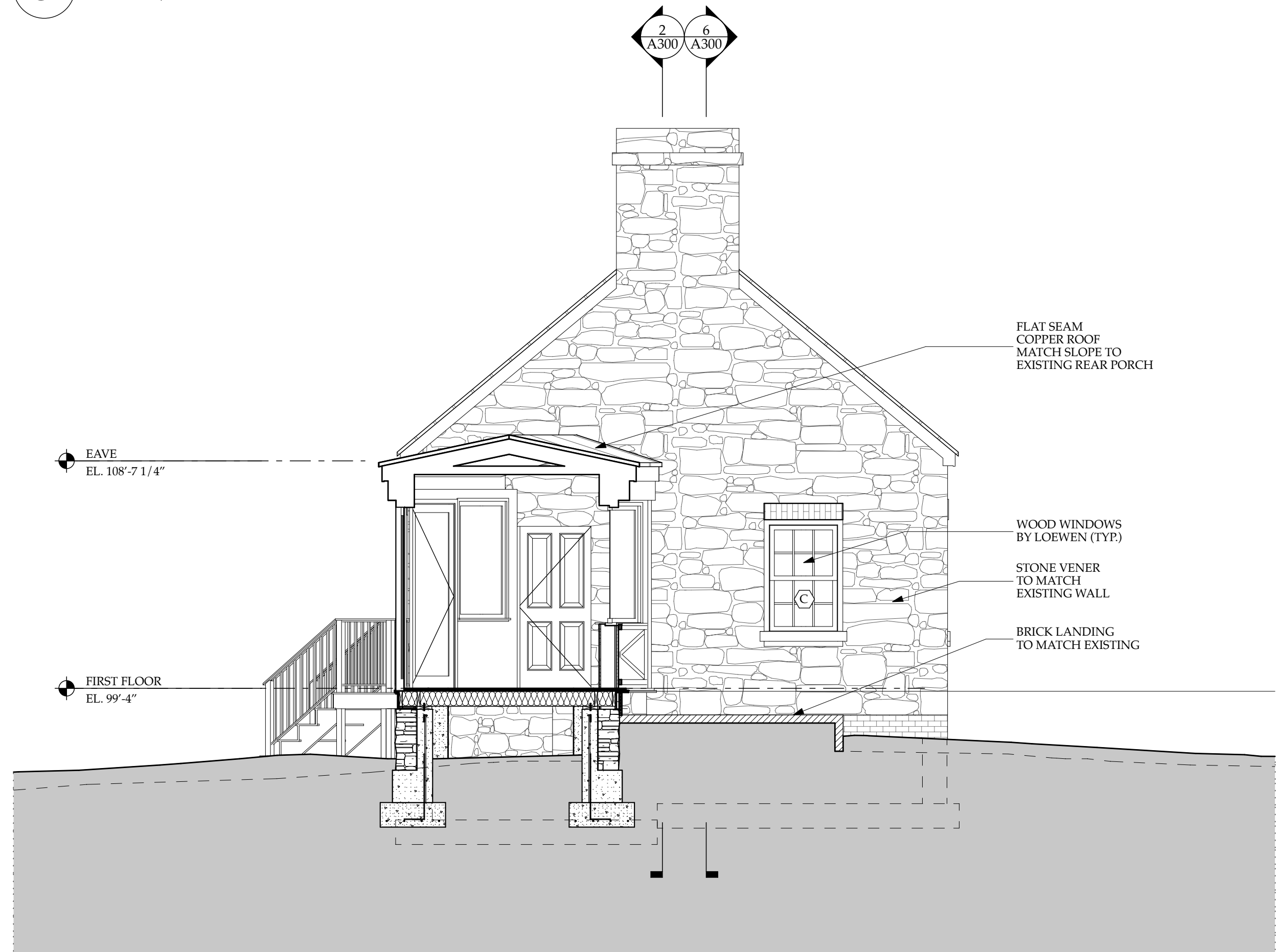
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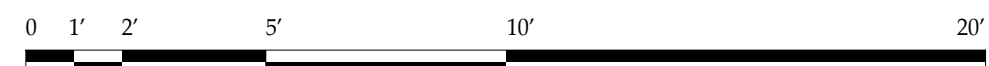
2 PROPOSED ADDITION SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 PROPOSED ADDITION WEST ELEVATION  
SCALE: 1/4" = 1'-0"



4 PROPOSED ADDITION EAST ELEVATION  
SCALE: 1/4" = 1'-0"



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DRAWING TITLE:

**ADDITON  
ELEVATIONS**

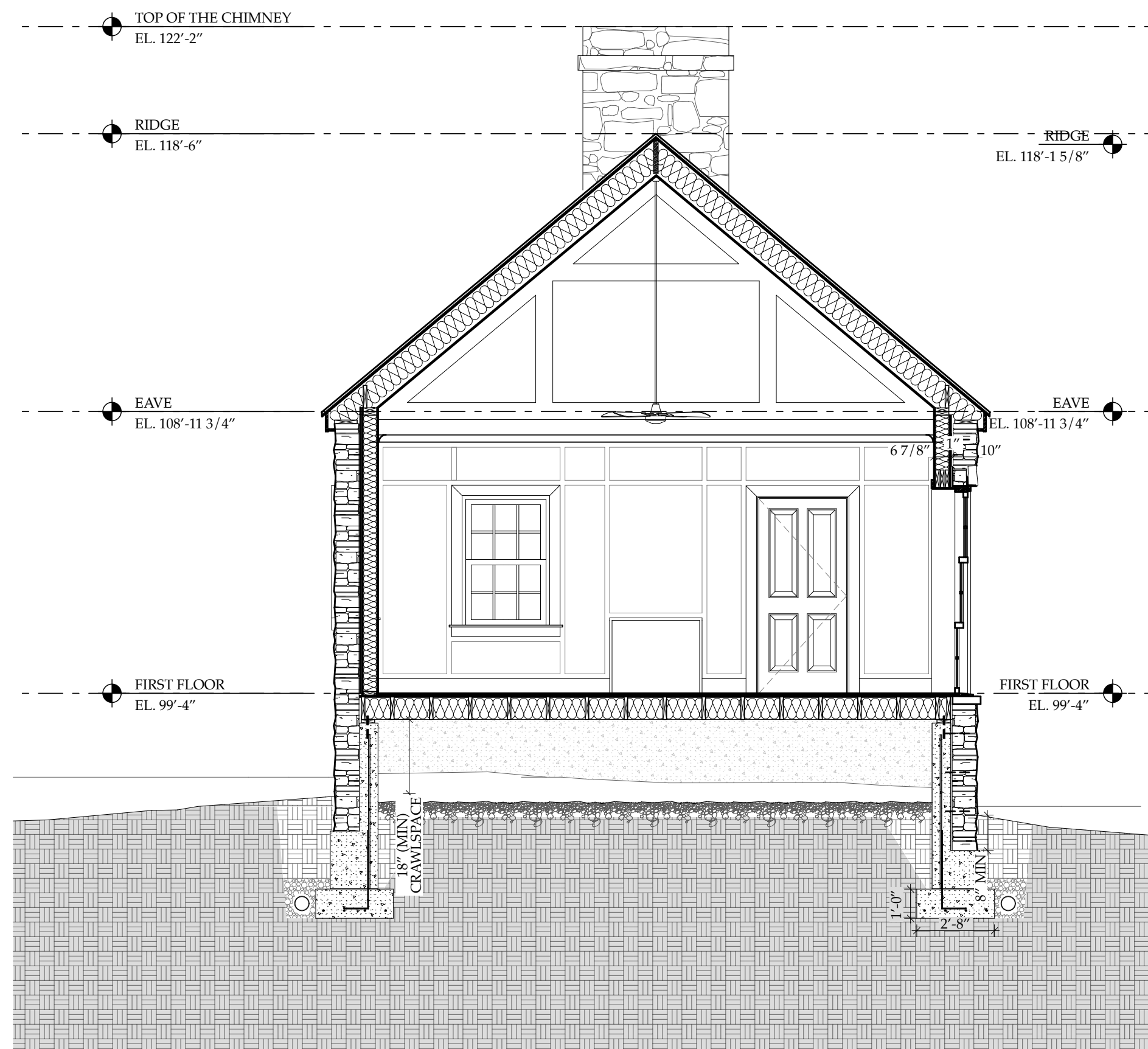
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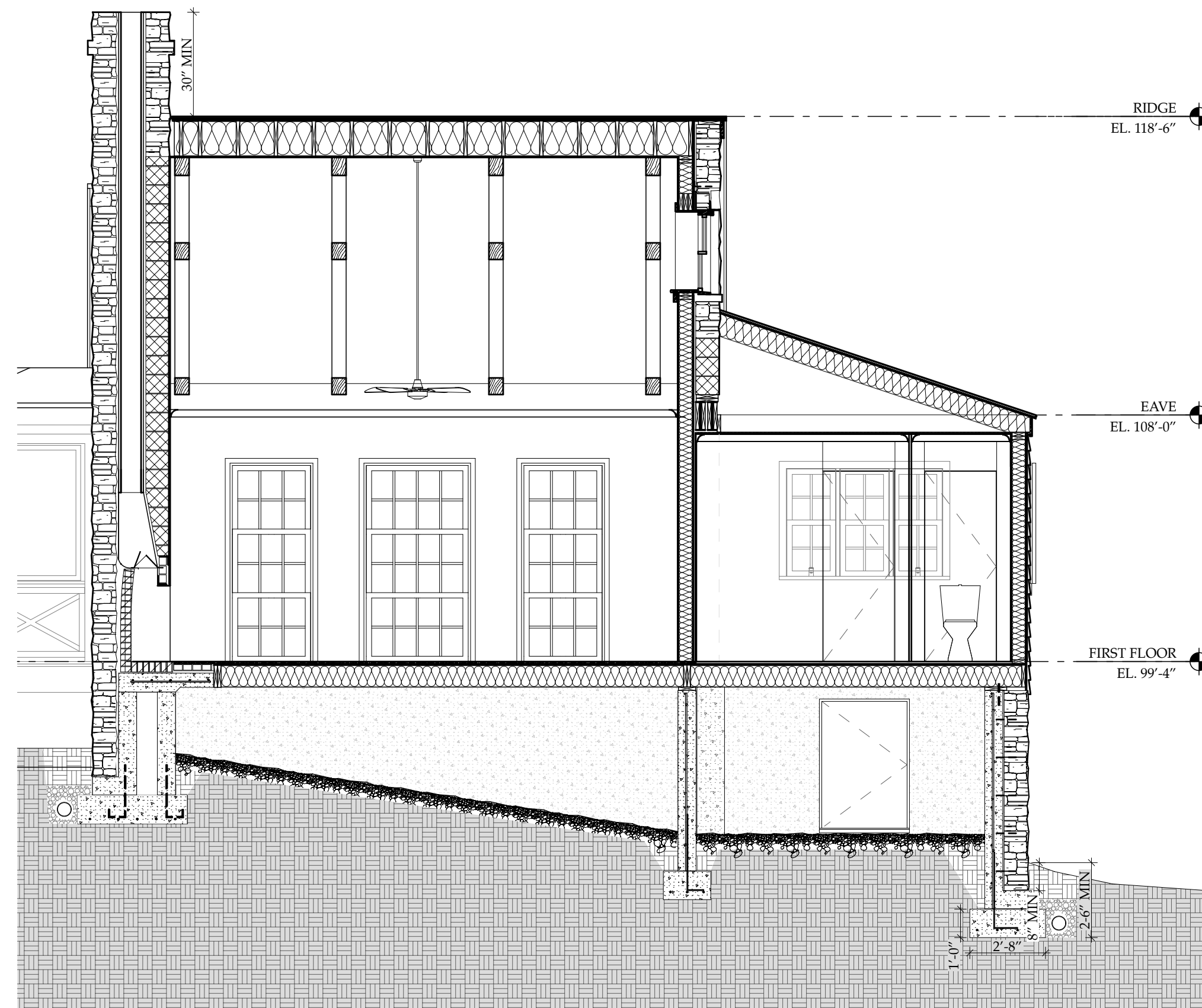
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SHEET NO.

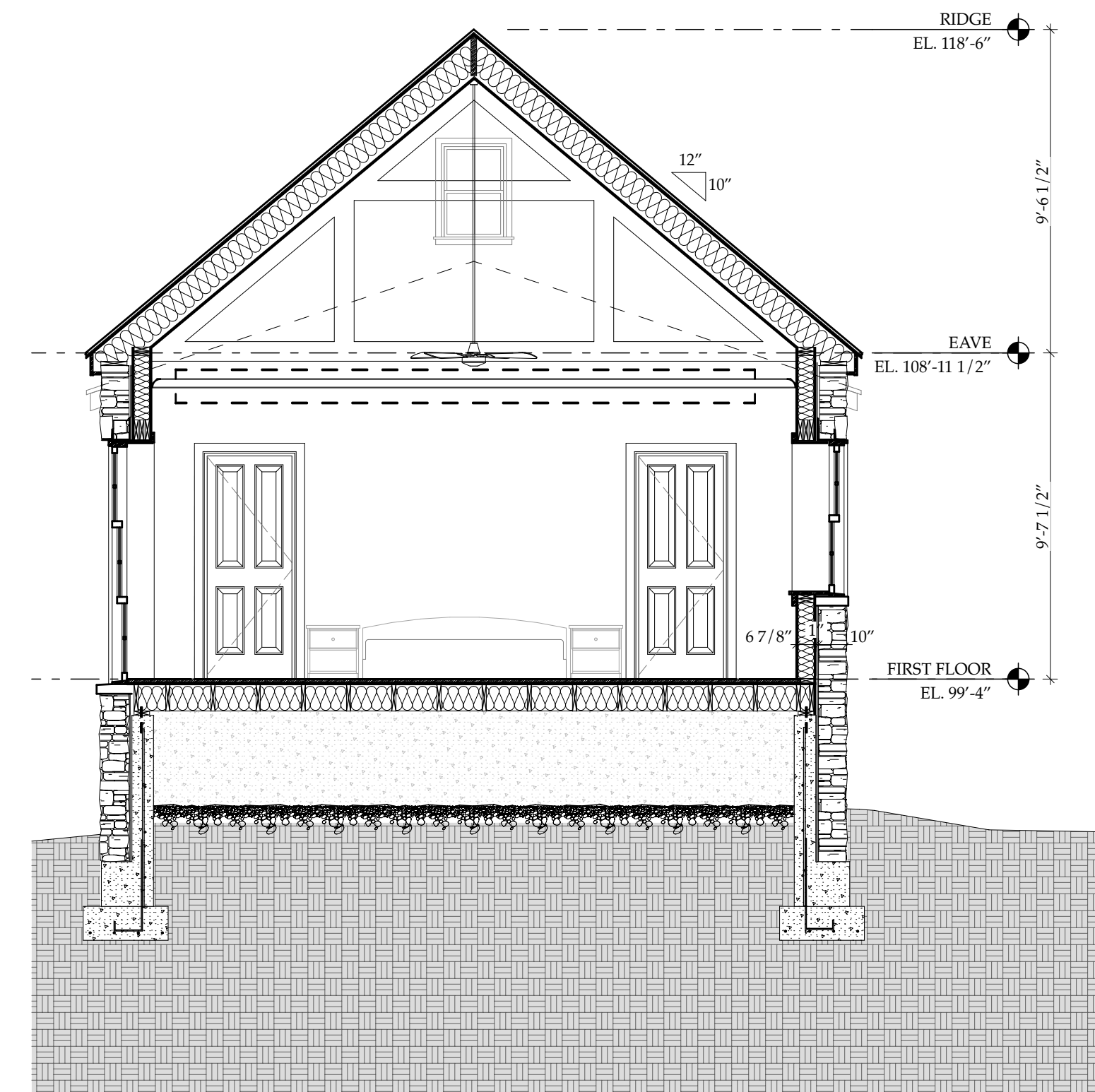
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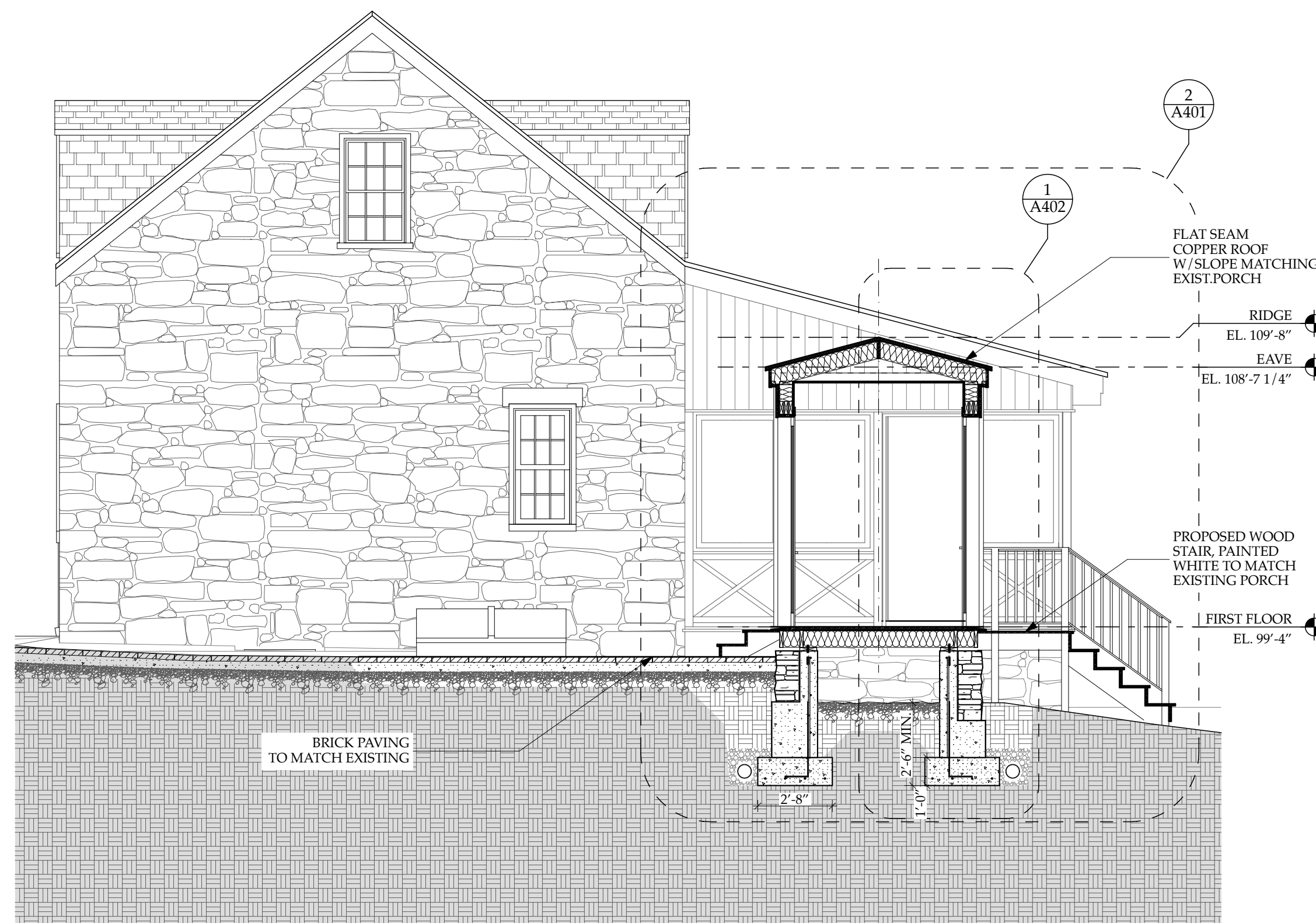
1 CROSS SECTION LOOKING EAST  
SCALE: 1/4" = 1'-0"



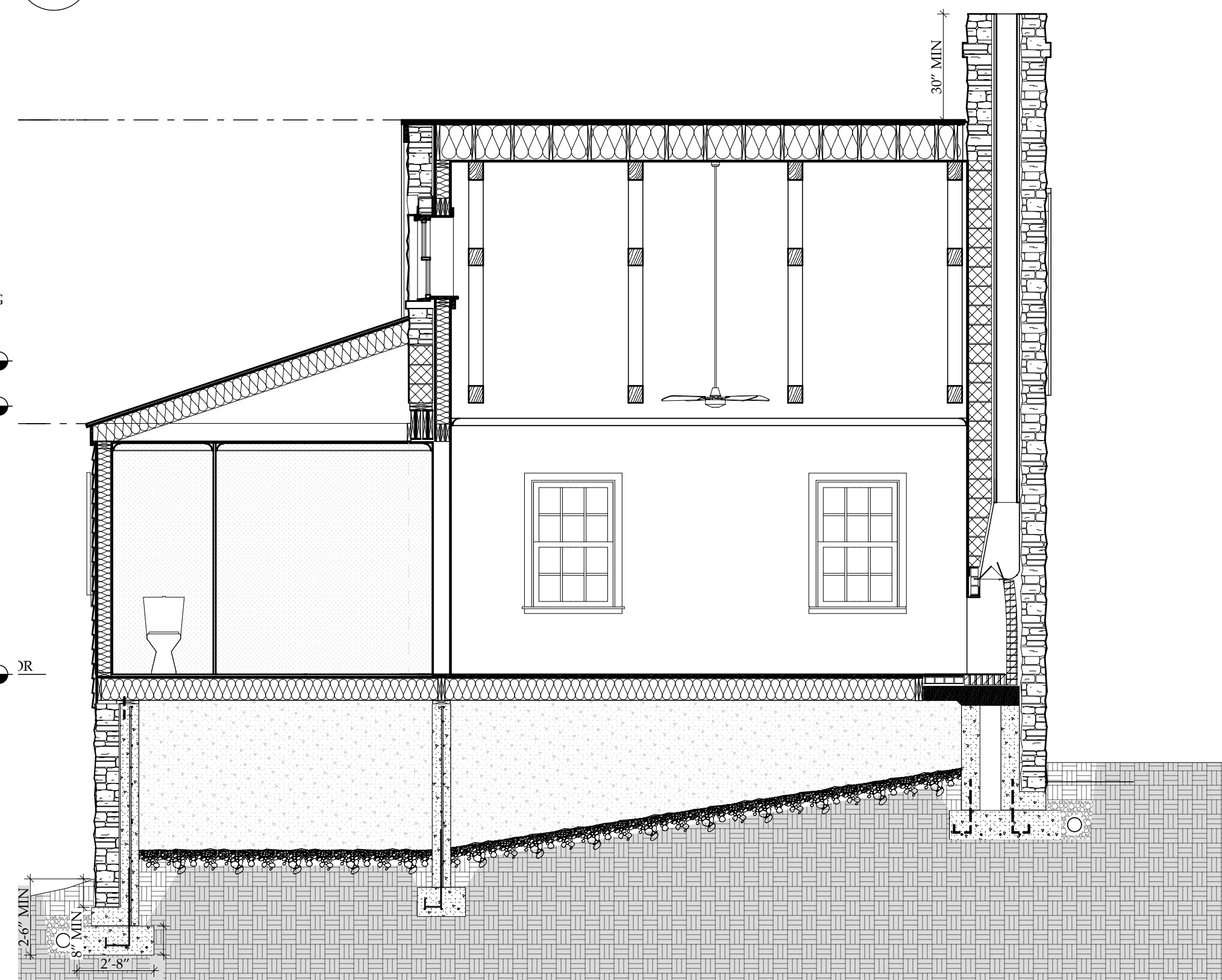
2 LONGITUDINAL SECTION LOOKING SOUTH  
SCALE: 1/4" = 1'-0"



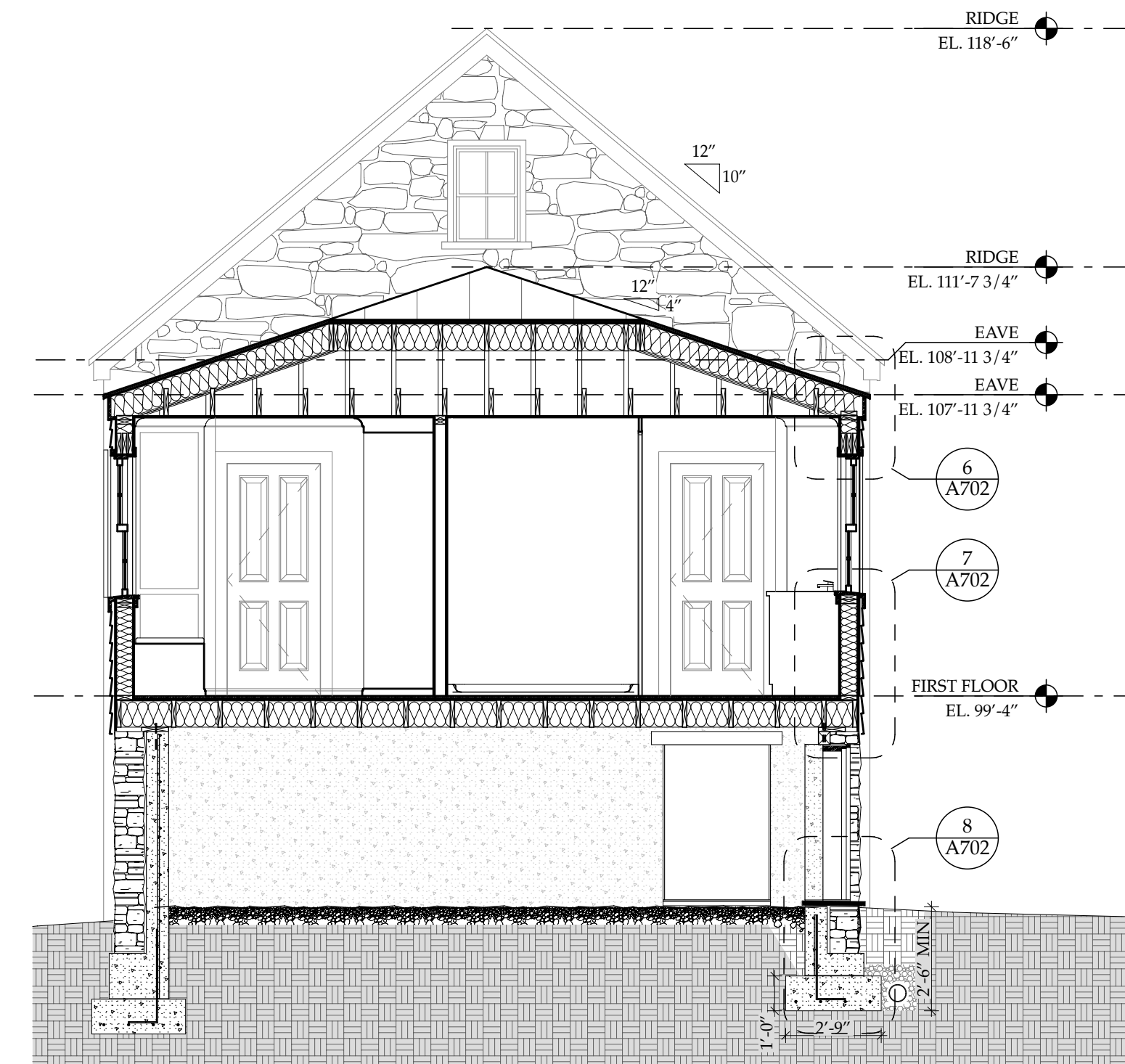
3 CROSS SECTION LOOKING WEST  
SCALE: 1/4" = 1'-0"



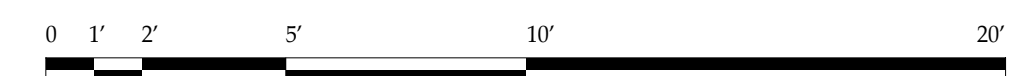
4 LINK CROSS SECTION  
SCALE: 1/4" = 1'-0"



5 LONGITUDINAL SECTION LOOKING NORTH  
SCALE: 1/4" = 1'-0"



6 SMALL ADDIT. SECTION LOOKING EAST  
SCALE: 1/4" = 1'-0"



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DRAWING TITLE:

BUILDING  
SECTIONS

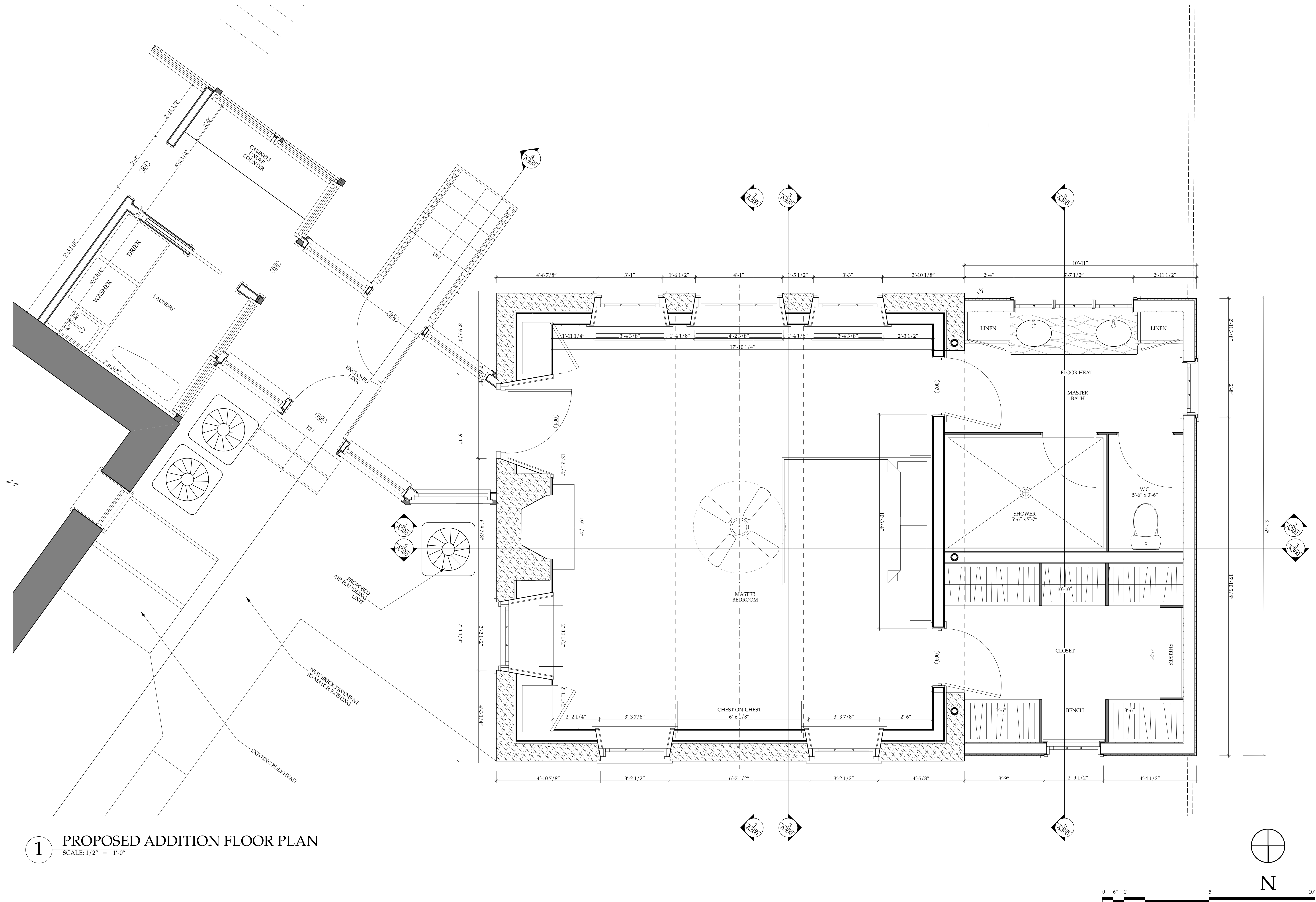
SCALE: AS NOTED

ISSUE	DATE
MHT	11/29/2018

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SHEET NO.

A300



**1** PROPOSED ADDITION FLOOR PLAN  
SCALE: 1/2" = 1'-0"

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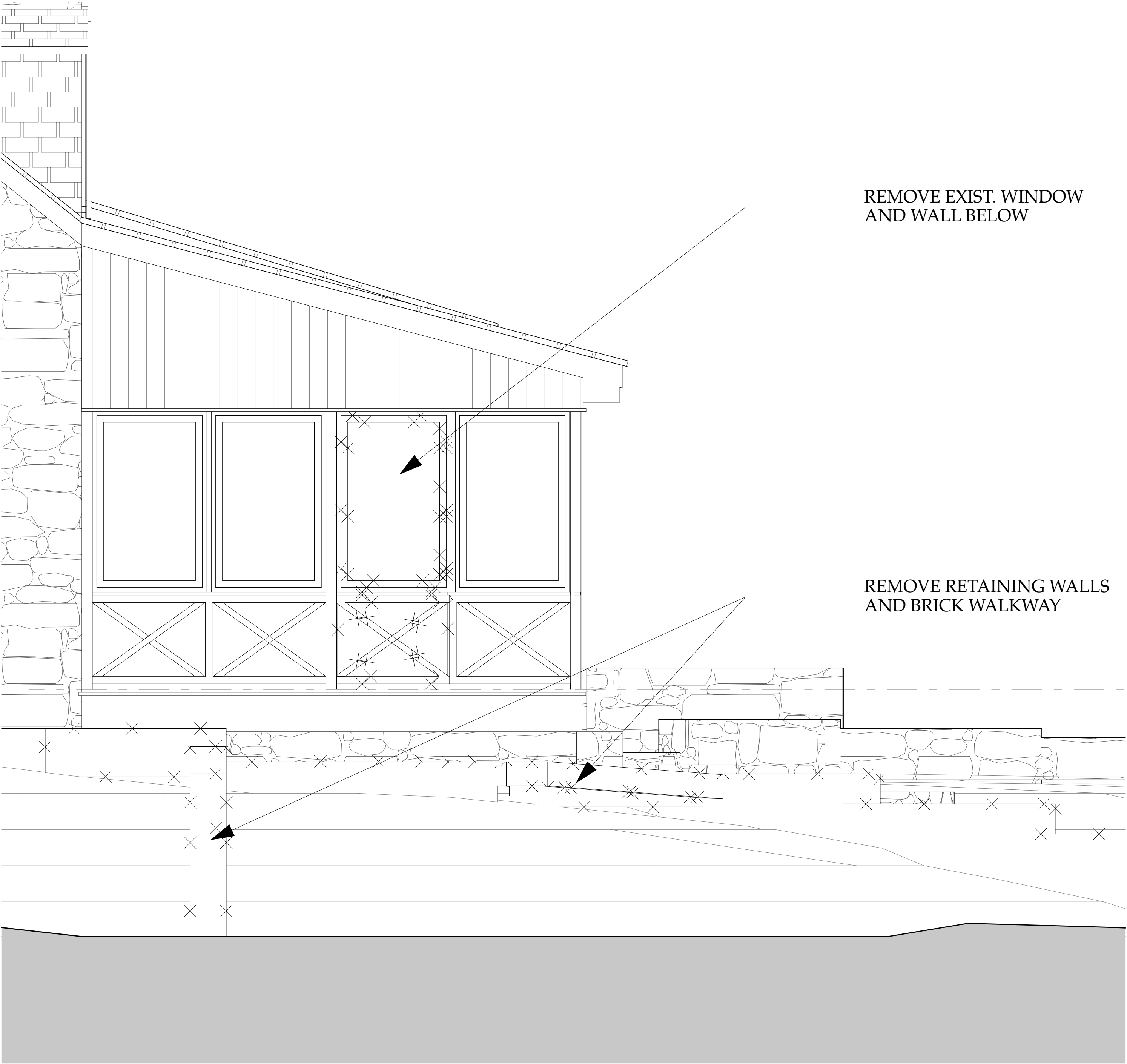
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**PROPOSED  
ADDITION  
ENLARGED PLAN**  
  
SCALE: AS NOTED

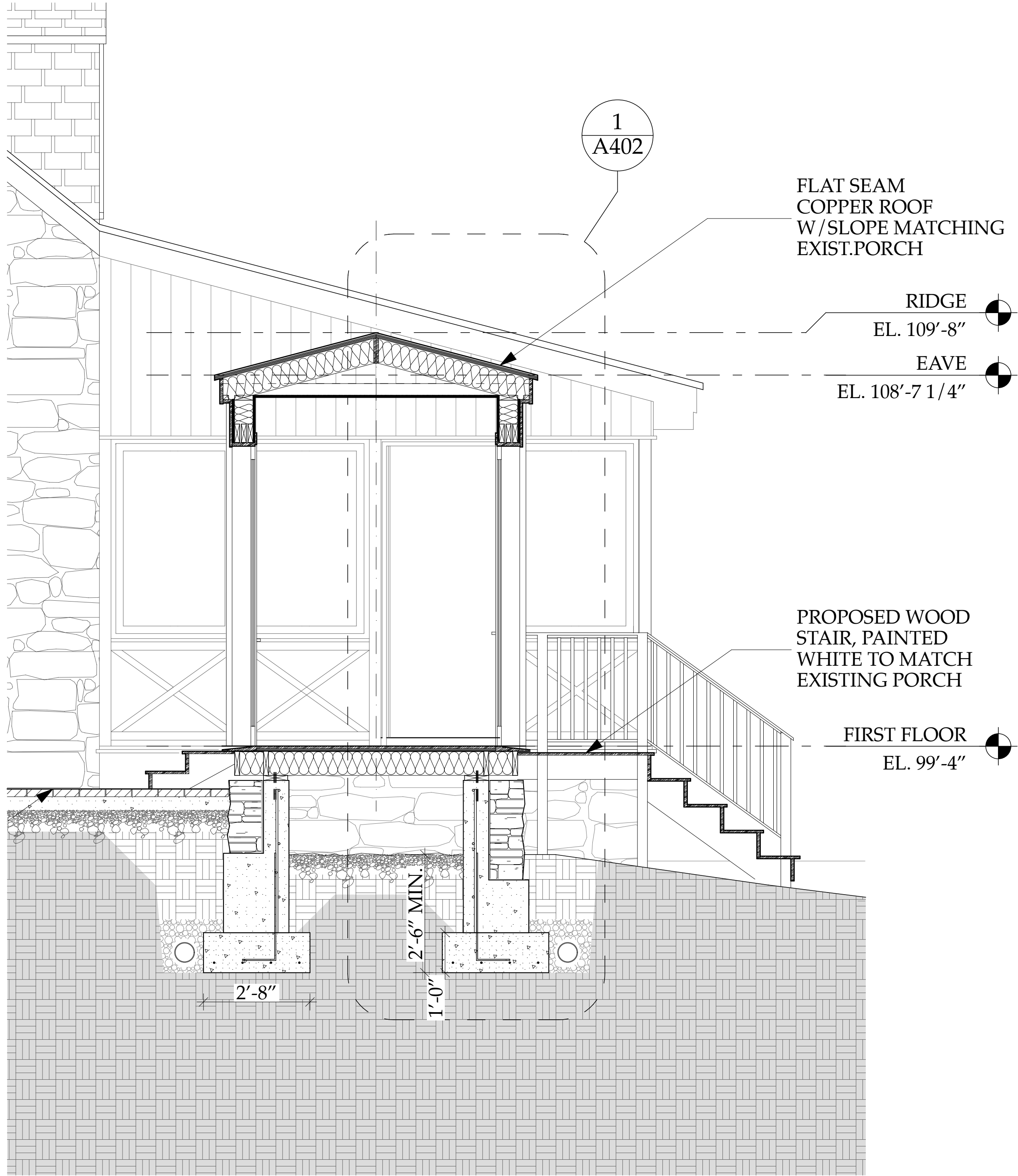
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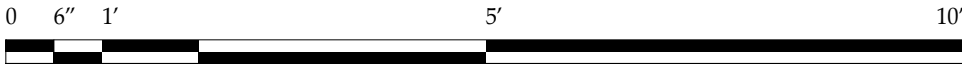
SHEET NO.  
  
**A400**



2 EXISTING SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



1 LINK CROSS SECTION  
SCALE: 1/2" = 1'-0"



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DRAWING TITLE:

EXIST. AND  
PROPOSED WEST  
ELEVATION

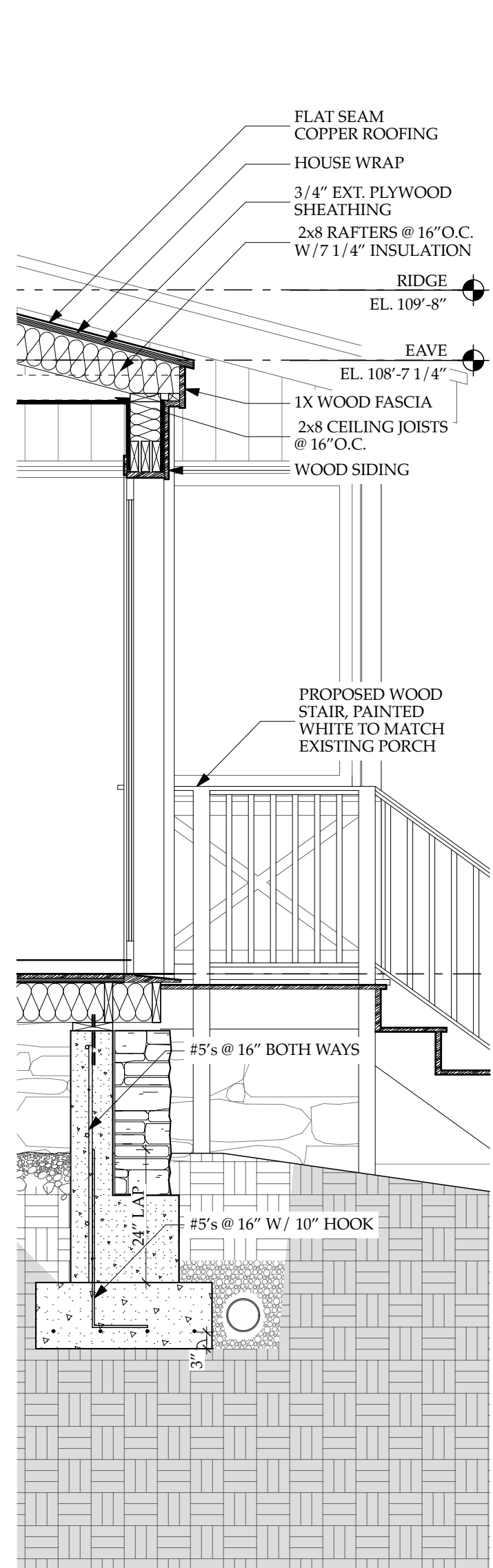
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ISSUE	DATE
MHT	11/29/2018

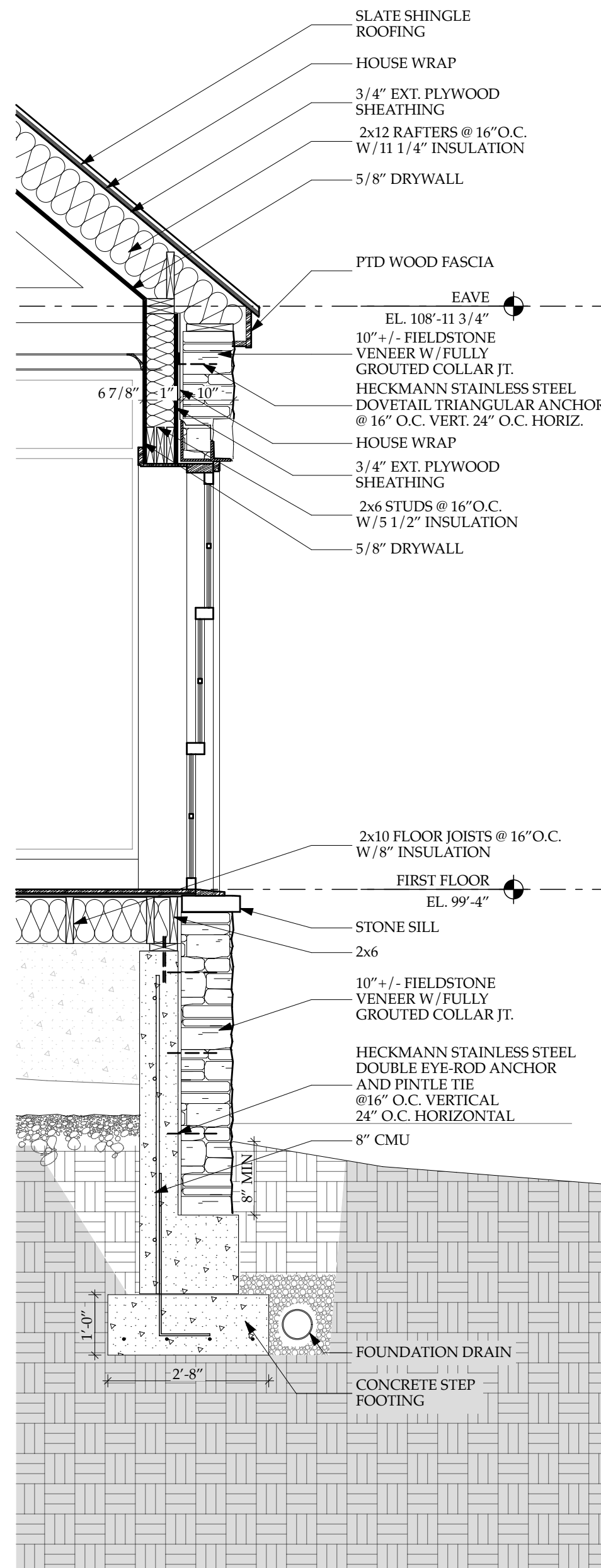
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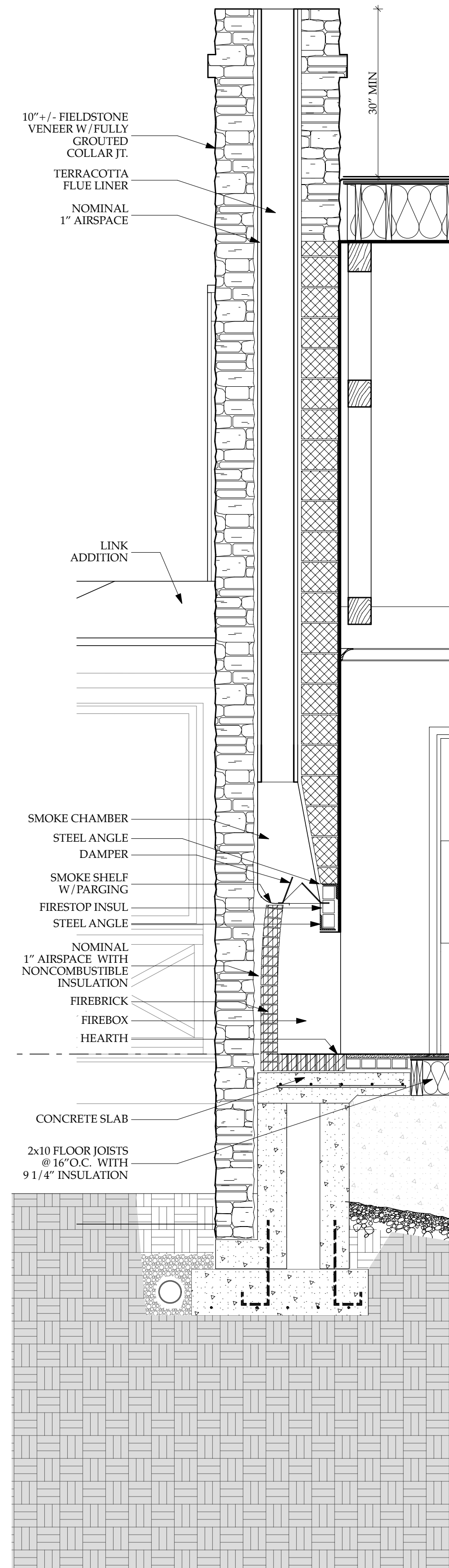
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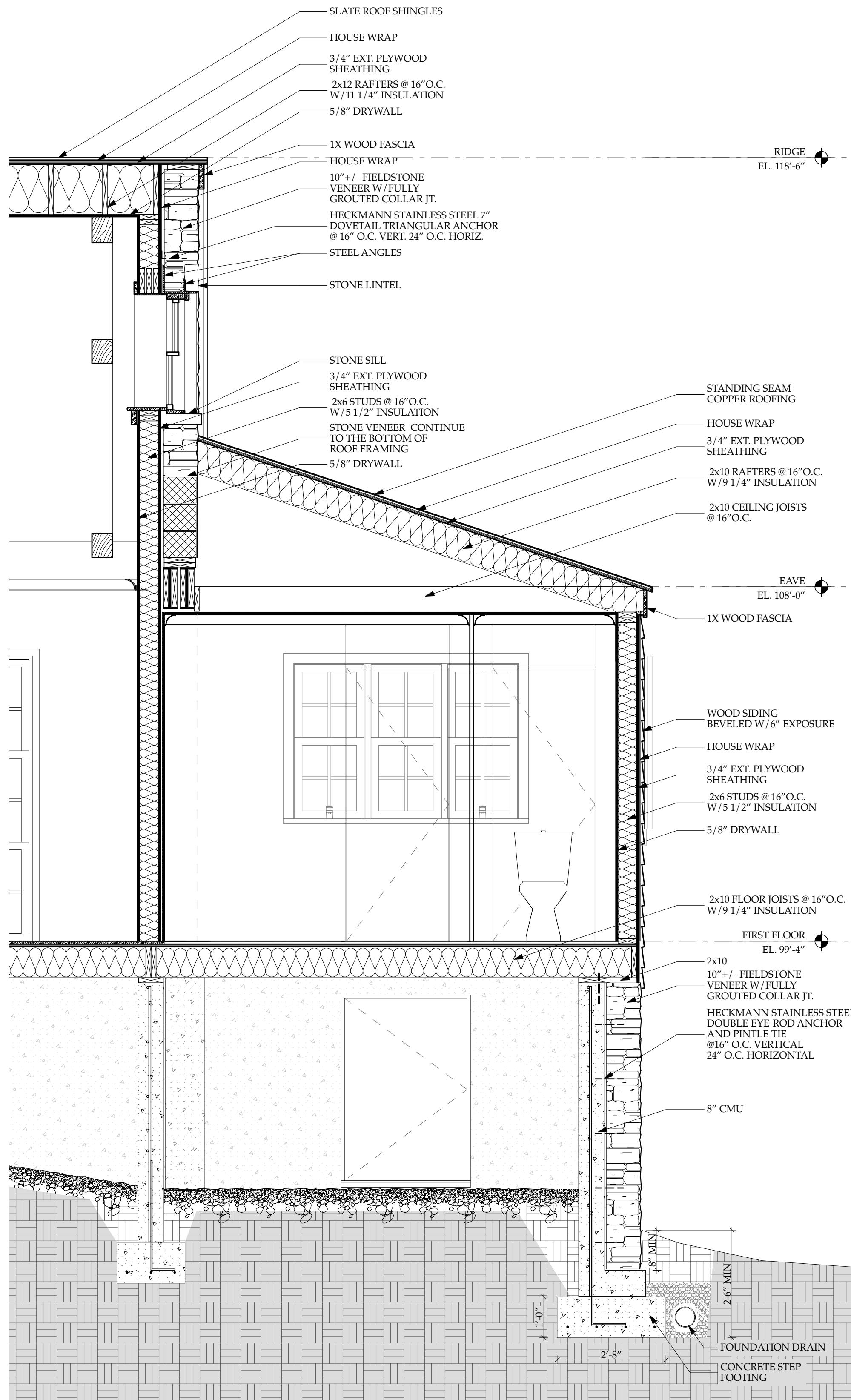
1 LINK WALL SECT.  
SCALE: 1/2" = 1'-0"



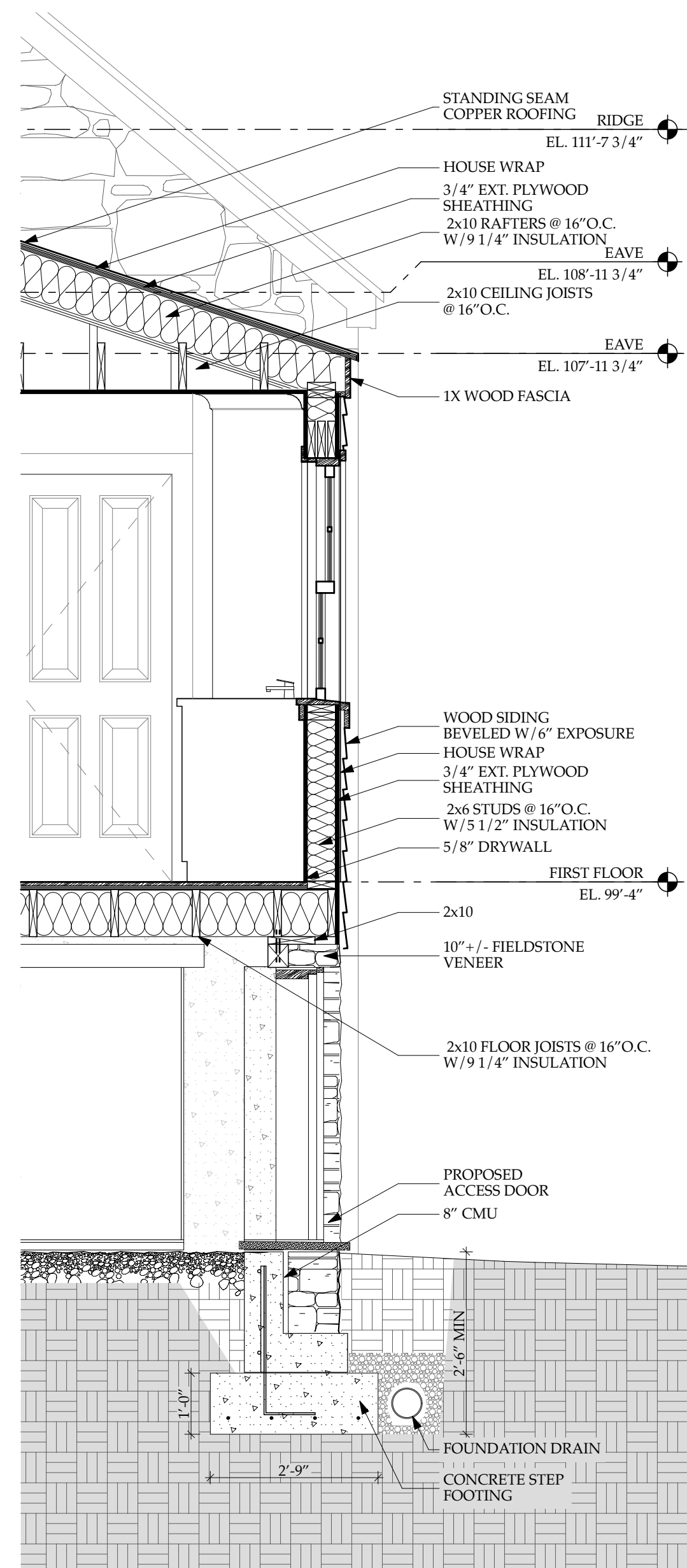
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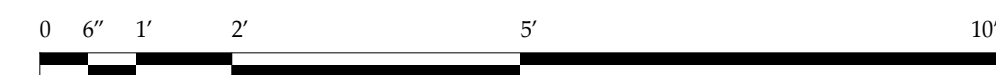
3 FIREPLACE SECTION  
SCALE: 1/2" = 1'-0"



4 EAST-WEST SECTION DETAIL  
SCALE: 1/2" = 1'-0"



5 BATHROOM WALL SECTION  
SCALE: 1/2" = 1'-0"



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DRAWING TITLE:

WALL SECTIONS

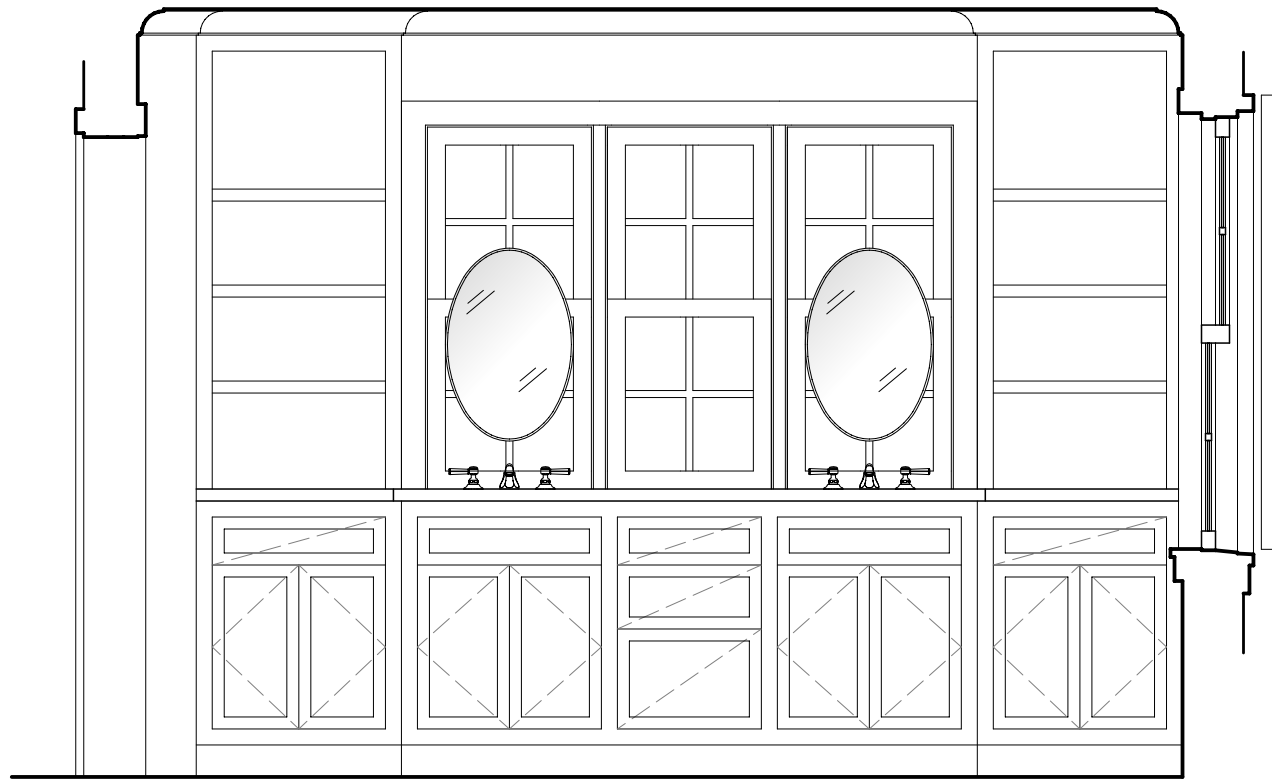
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ISSUE	DATE
MHT	11/29/2018

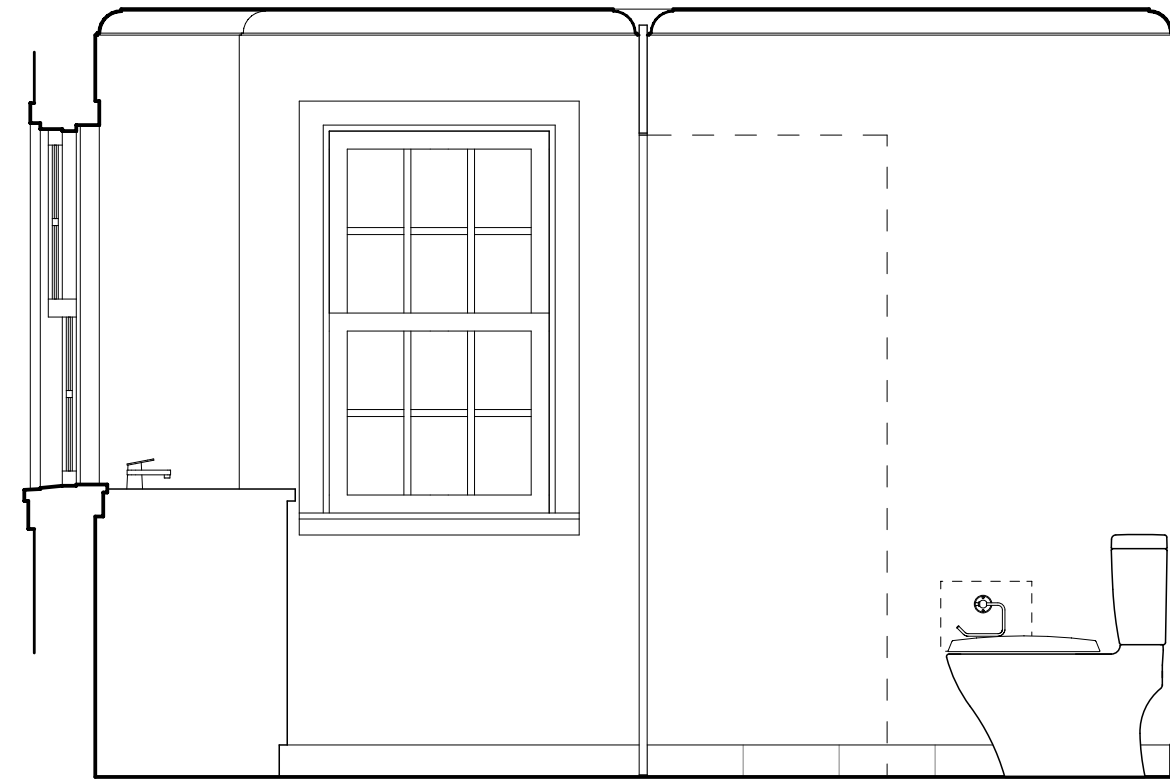
PRINT DATE 5/17/19

SHEET NO.

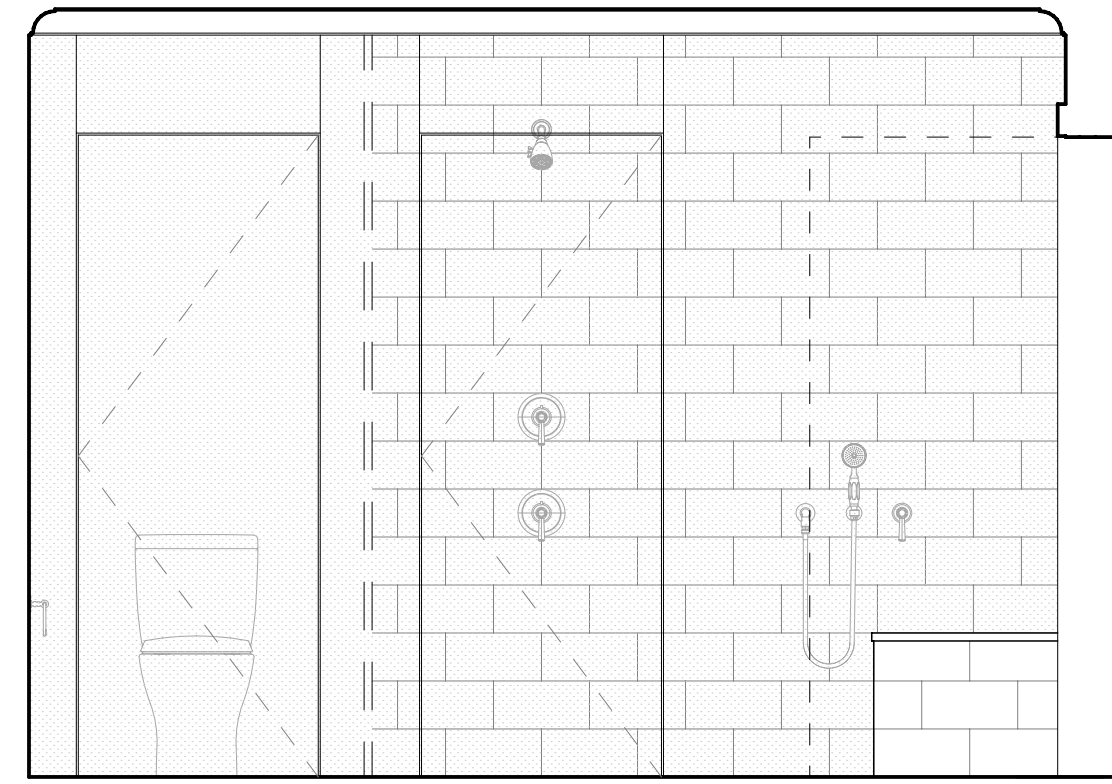
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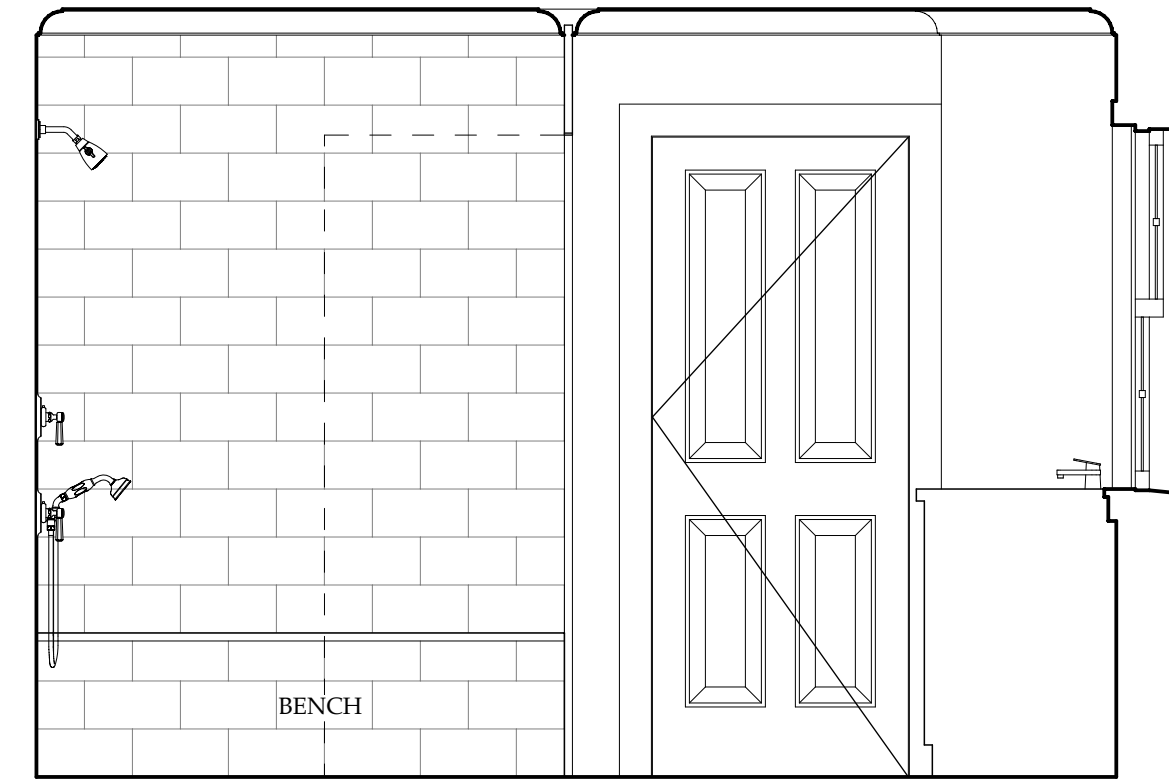
SOUTH



WEST



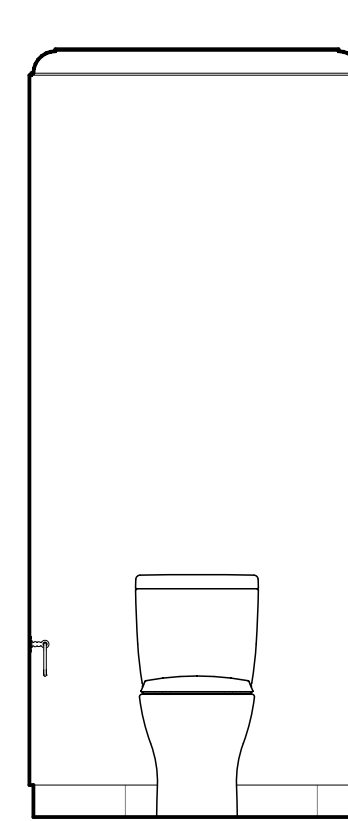
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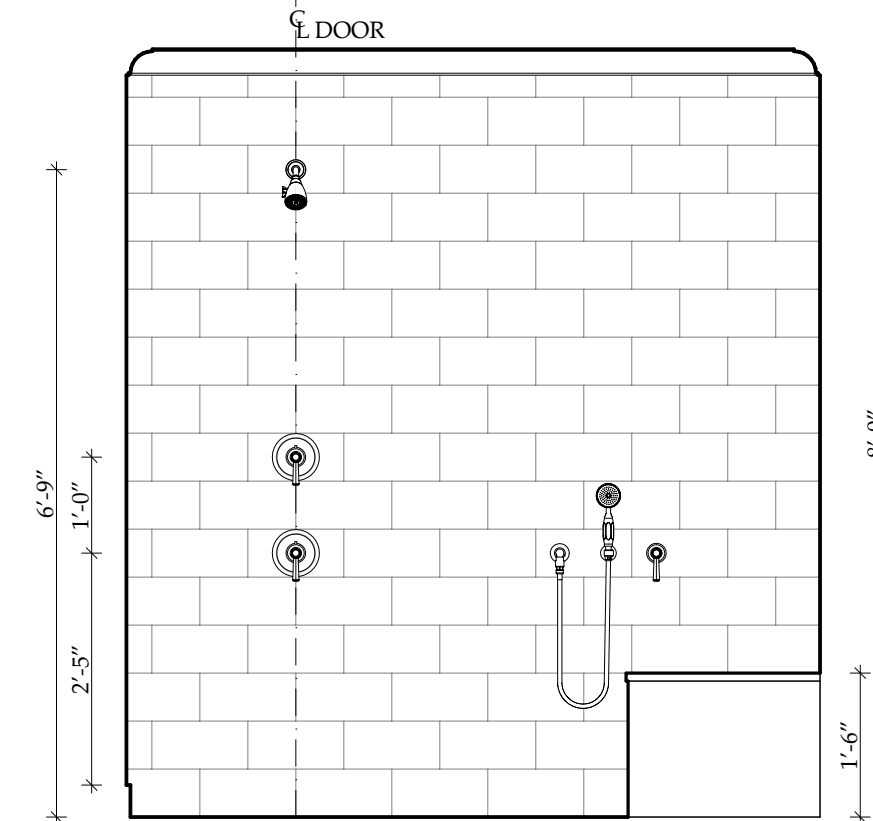
EAST

## 1 BATHROOM INTERIOR ELEVATIONS

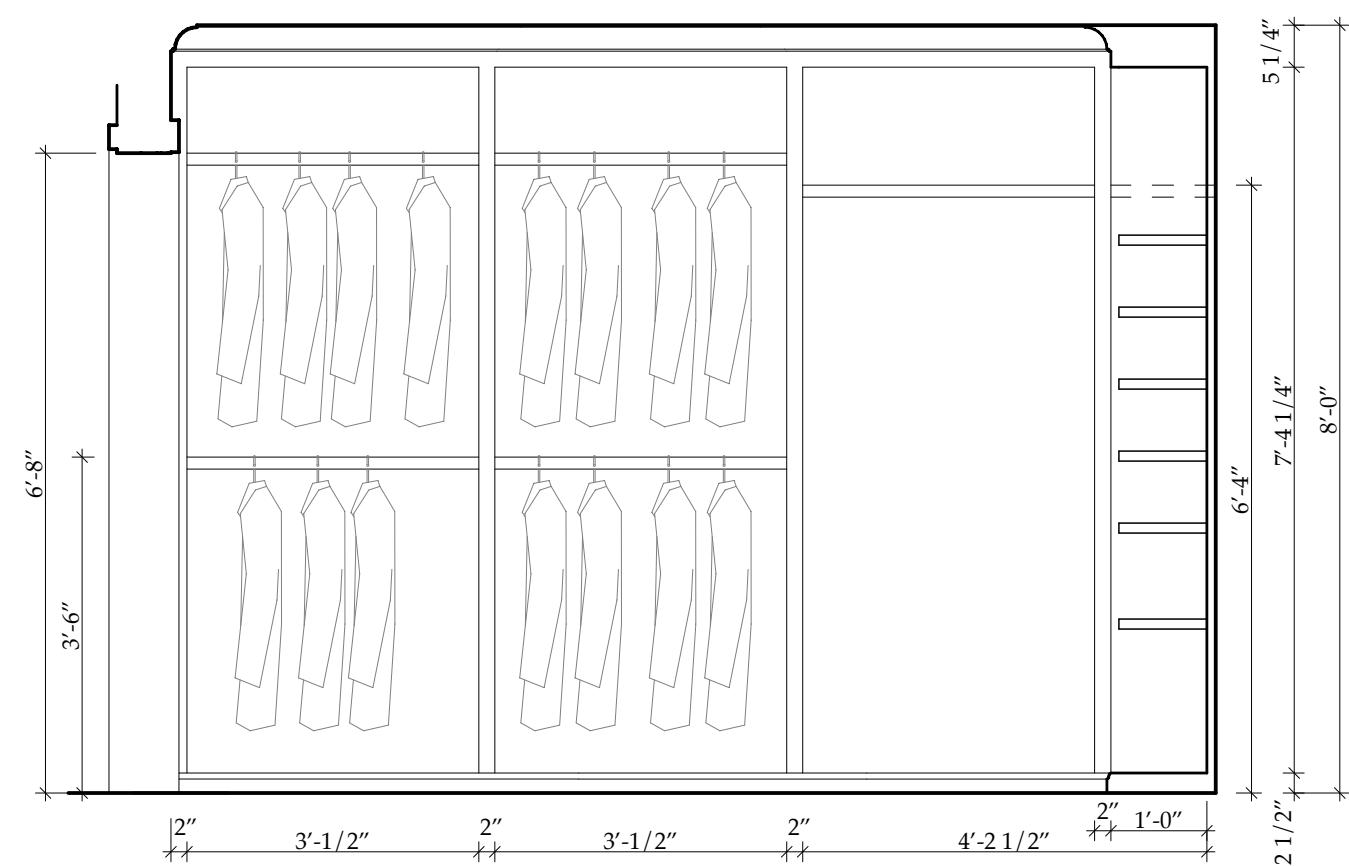
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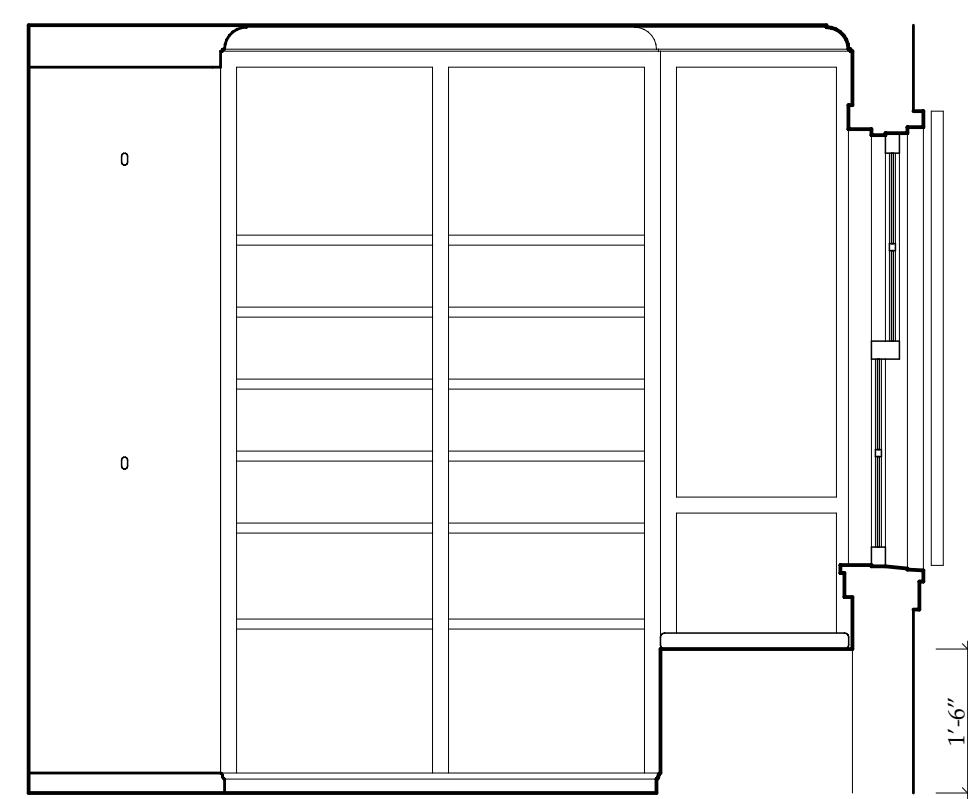
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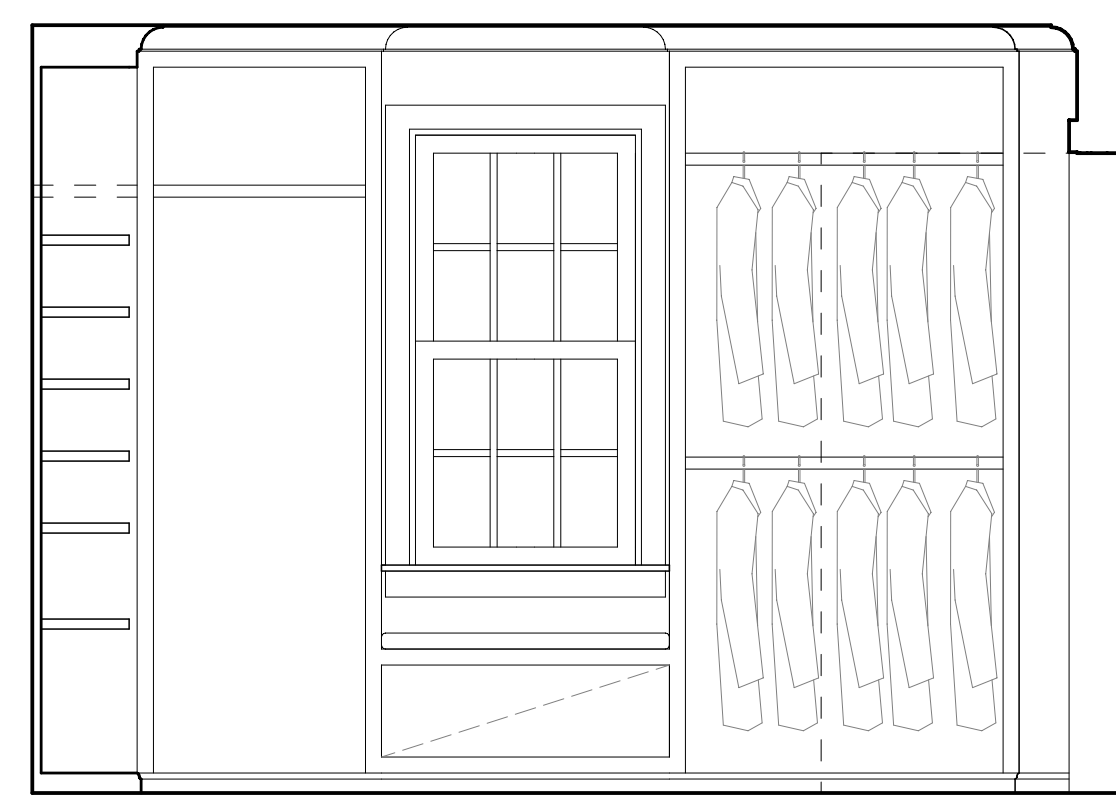
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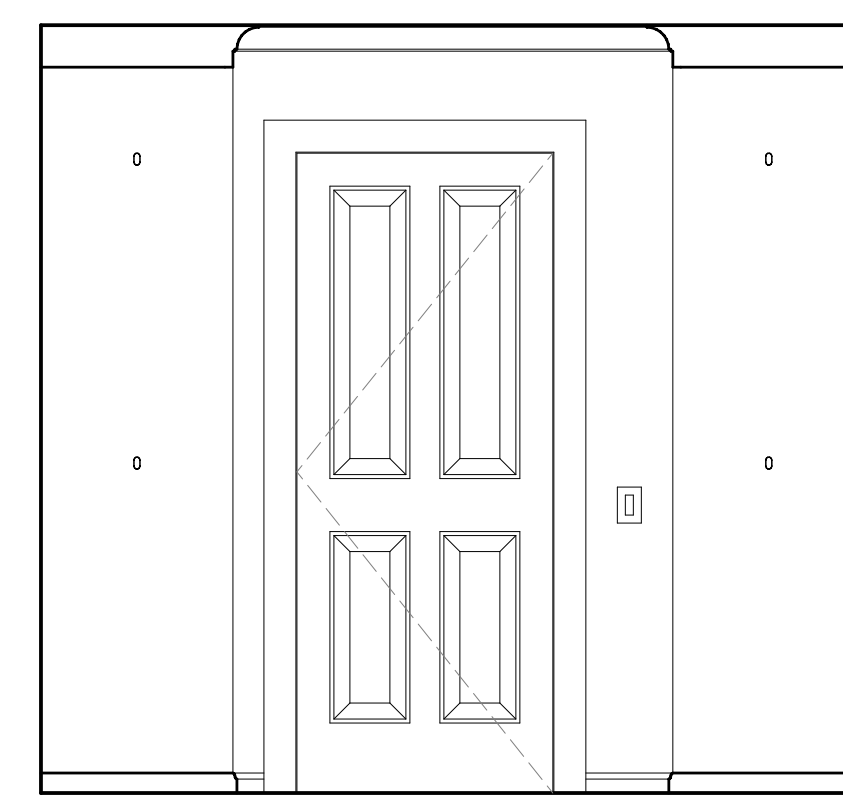
SOUTH



WEST



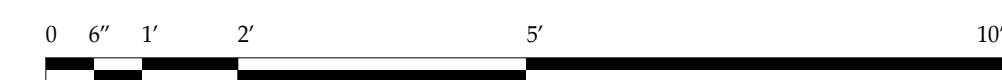
NORTH



EAST

## 2 DRESSING ROOM INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"



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DRAWING TITLE:

**INTERIOR  
ELEVATIONS**

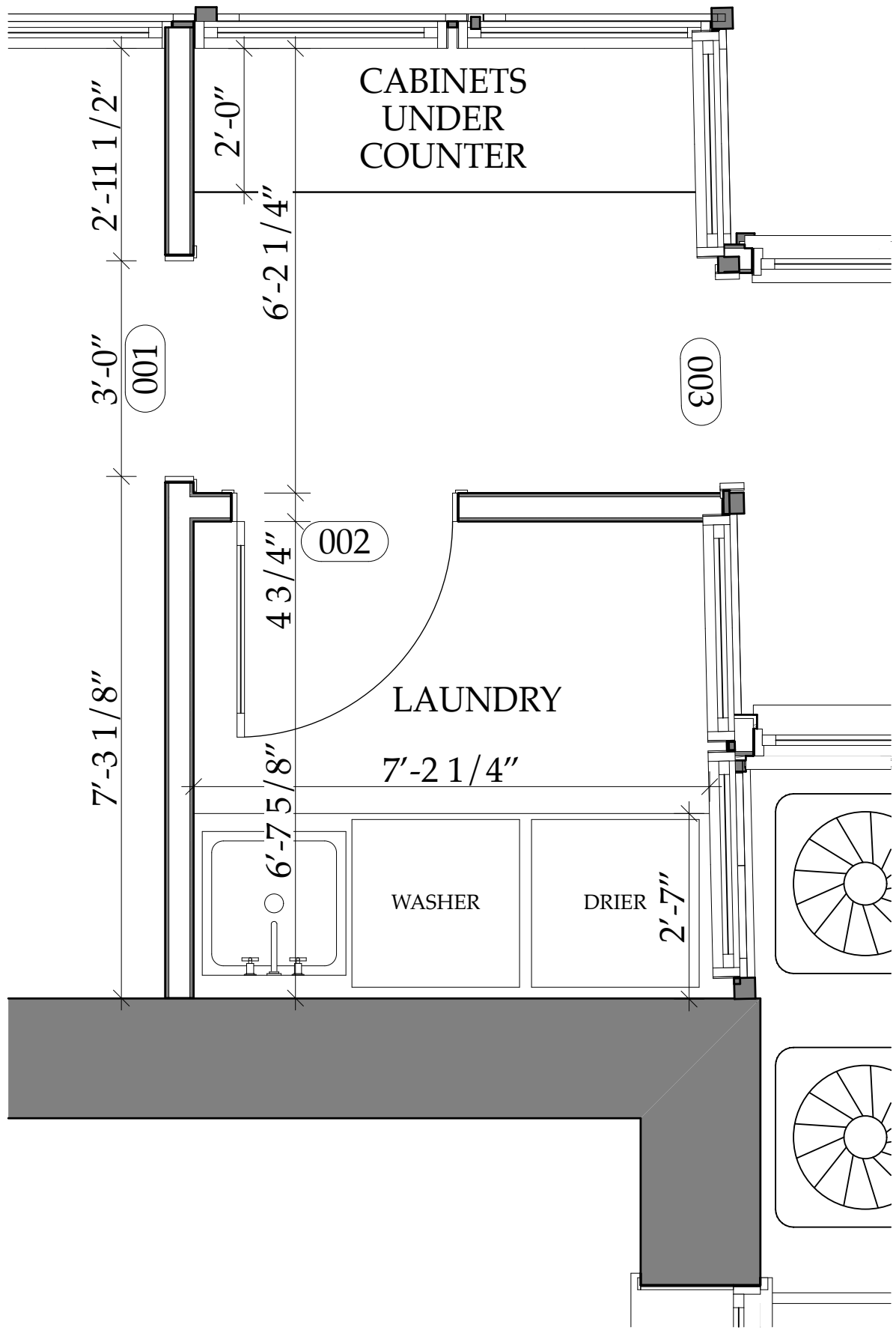
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ISSUE	DATE
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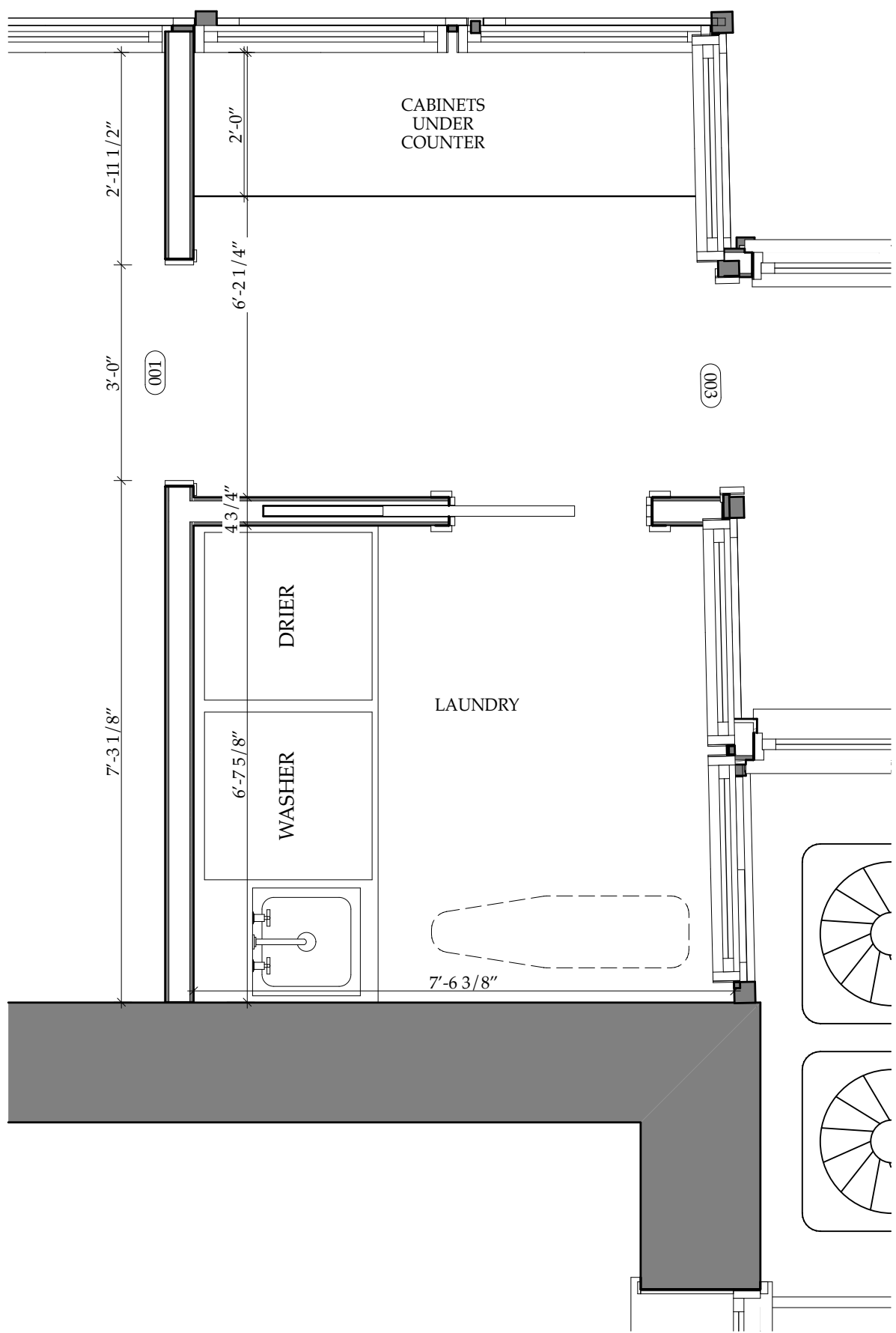
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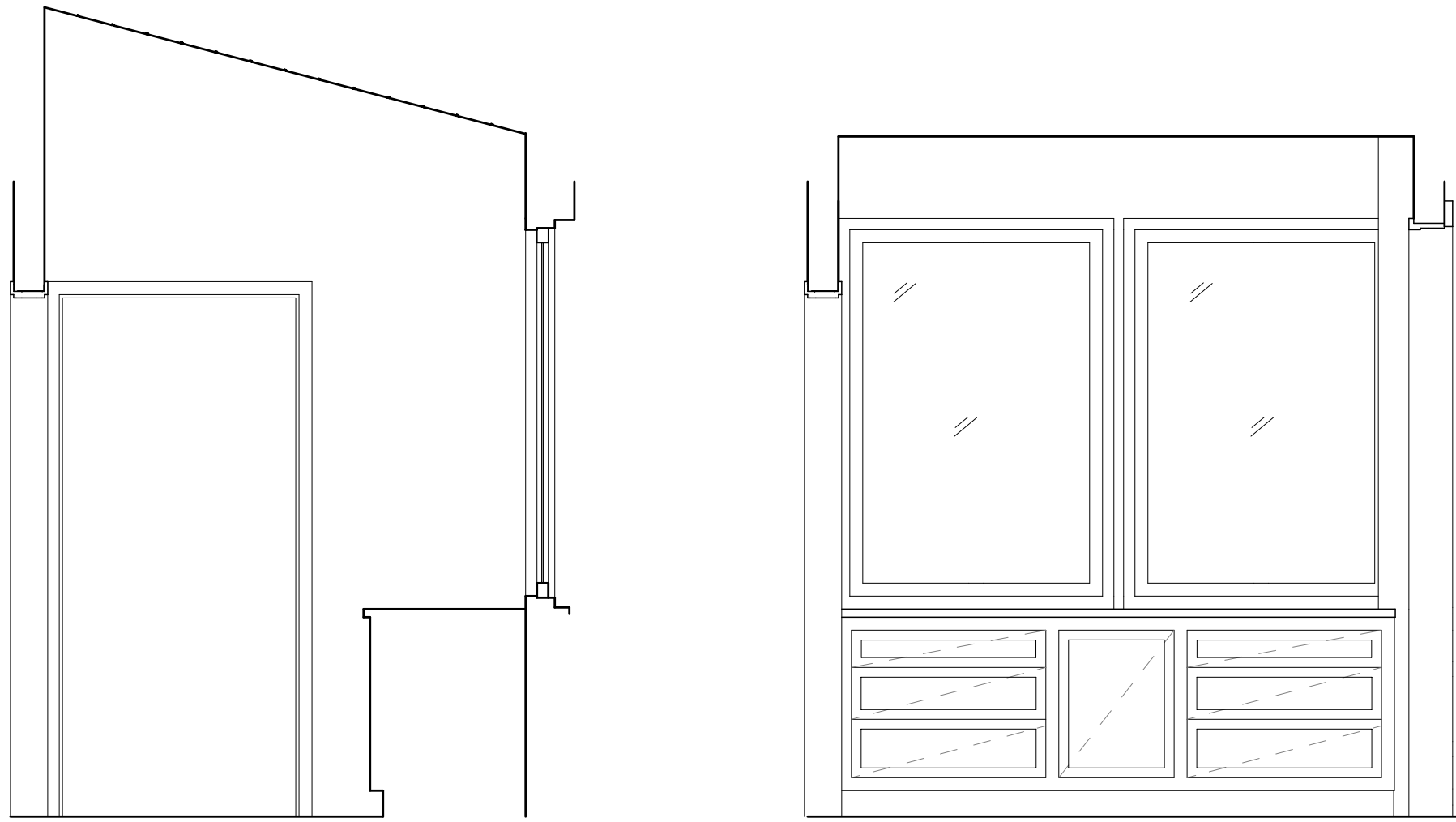
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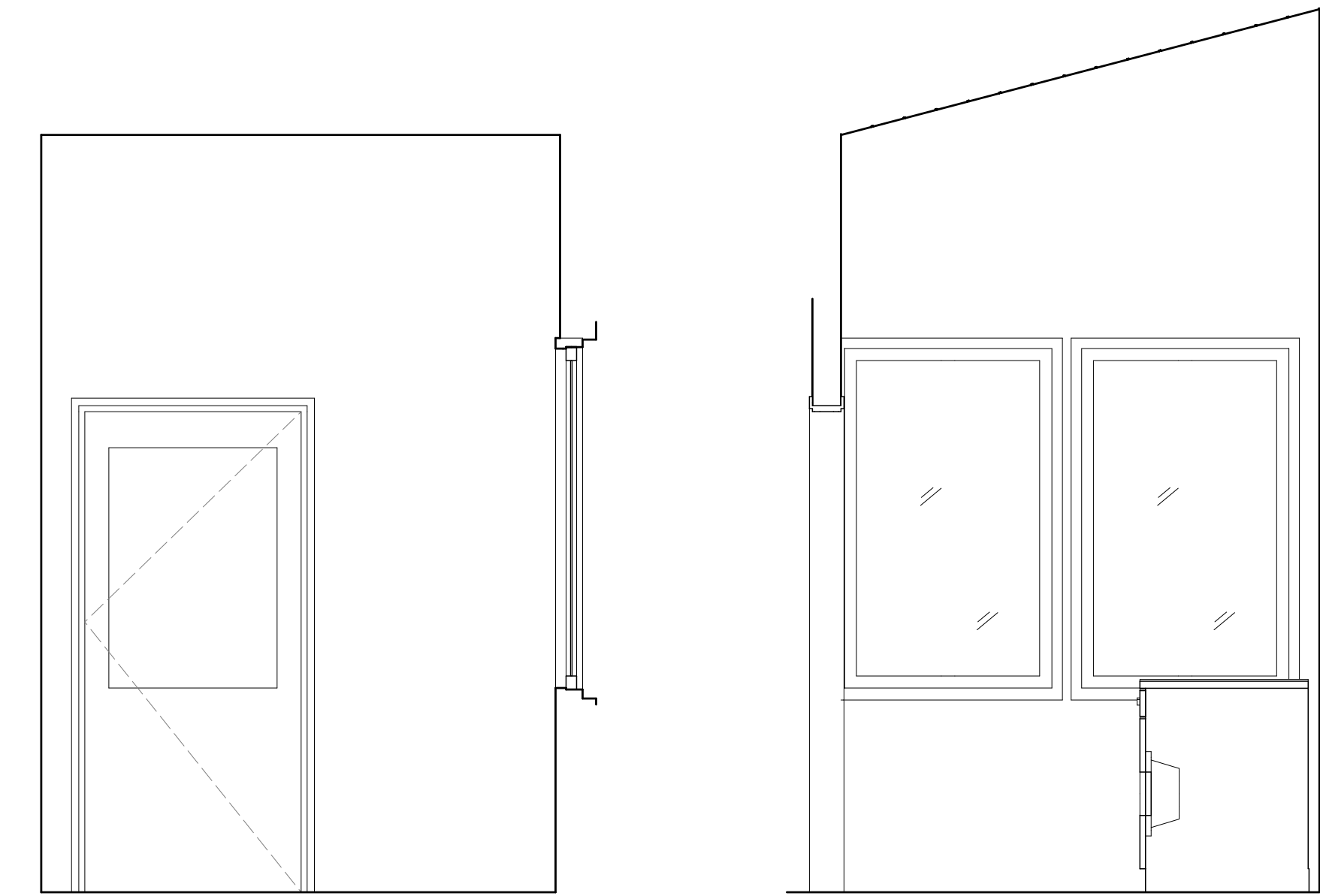
5 ENLARGED LAUNDRY PLAN - OPTION 1  
SCALE: 1/2" = 1'-0"



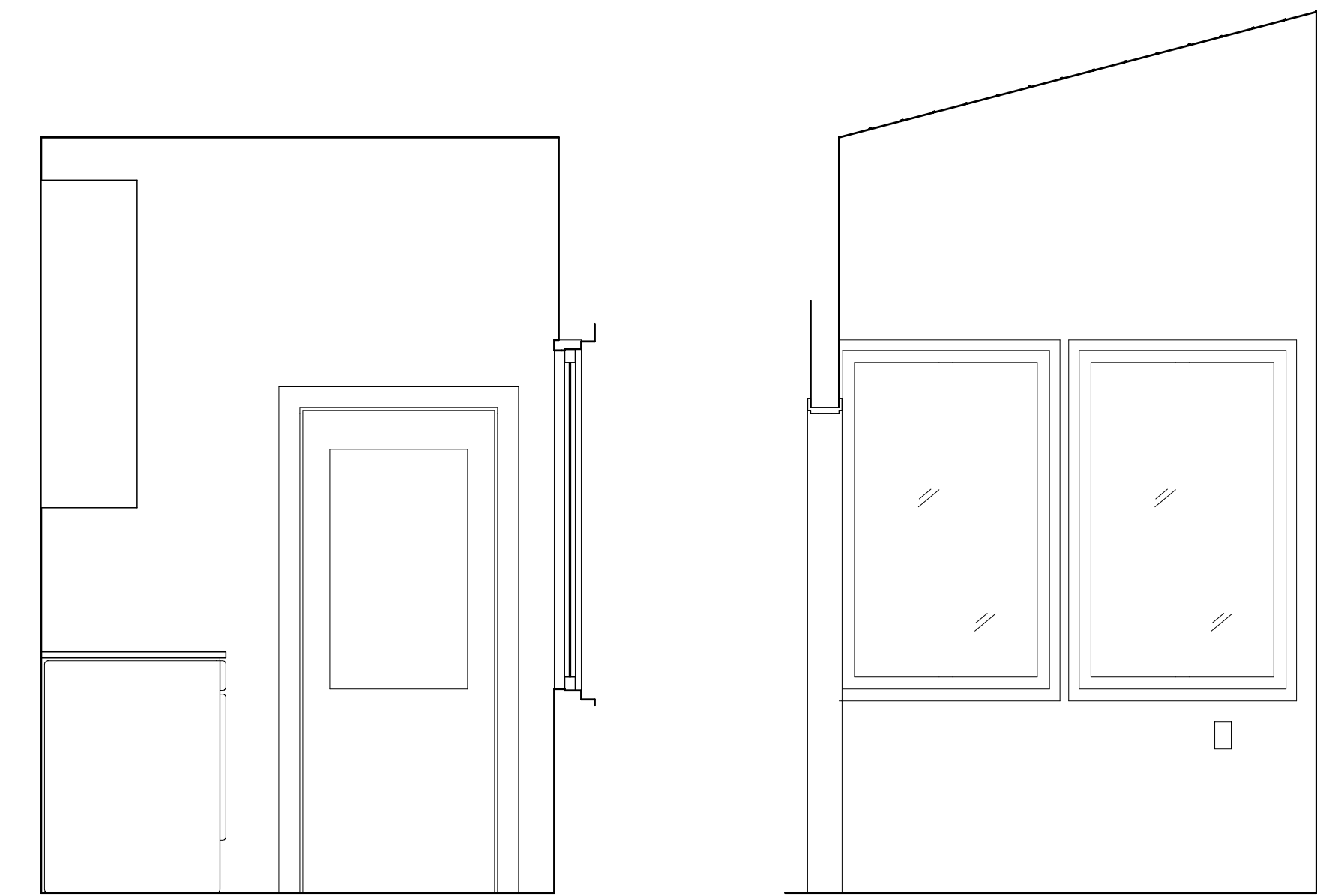
3 ENLARGED LAUNDRY PLAN - OPTION 2  
SCALE: 1/2" = 1'-0"



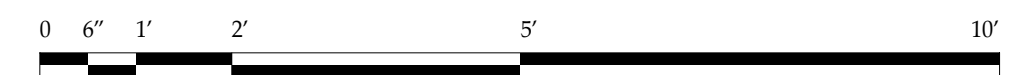
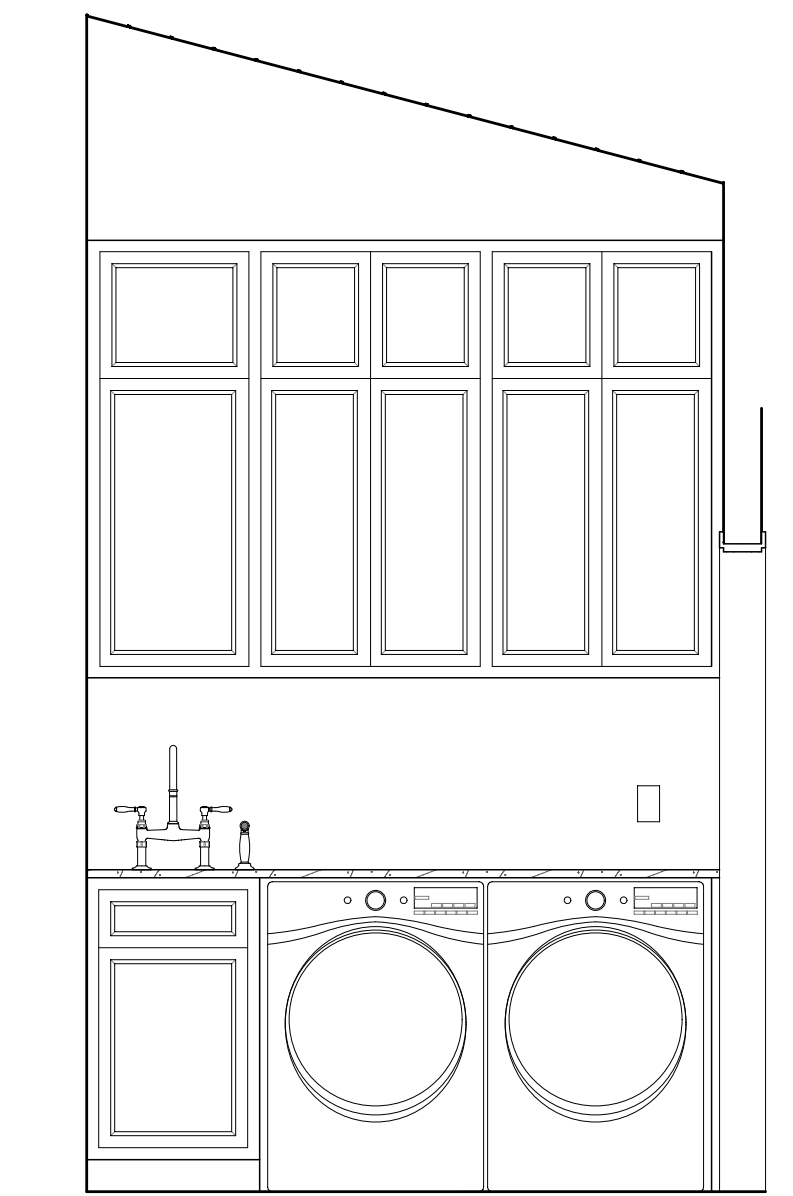
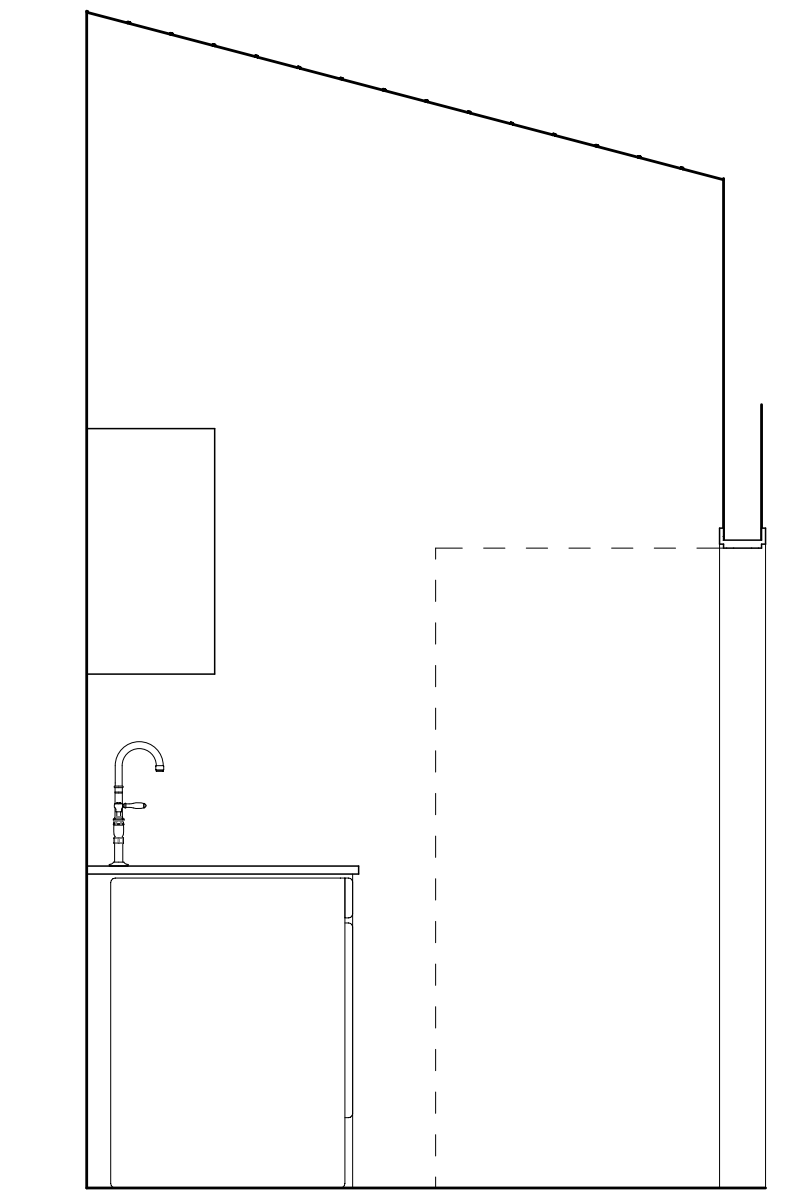
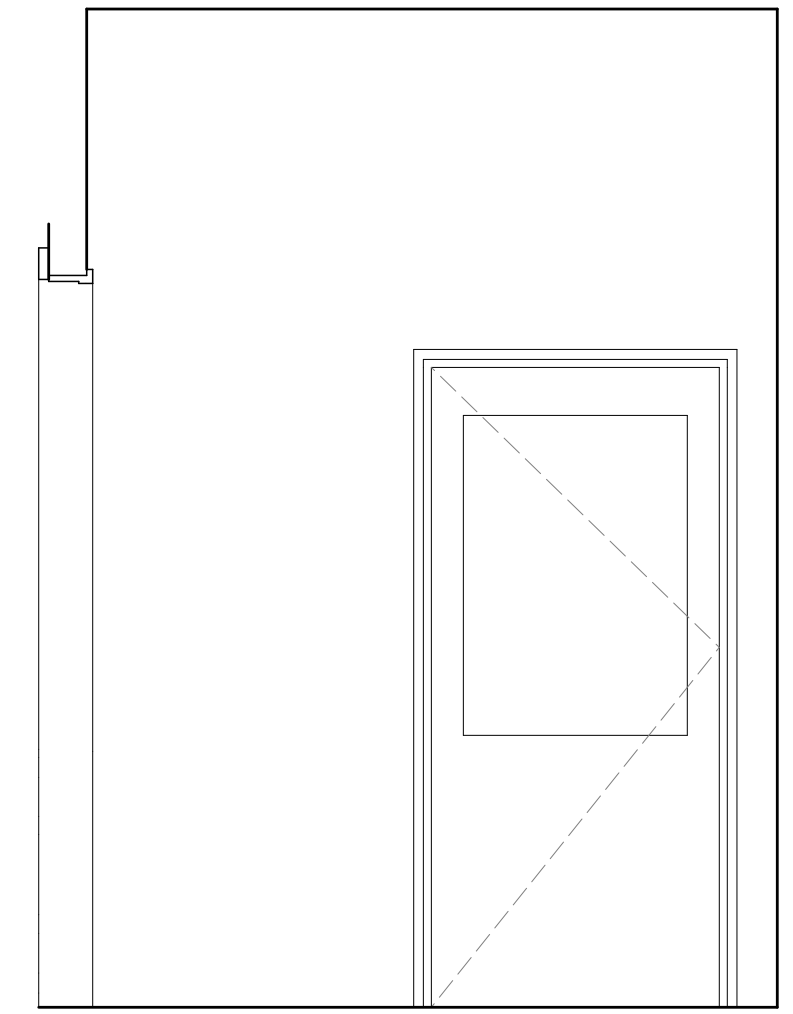
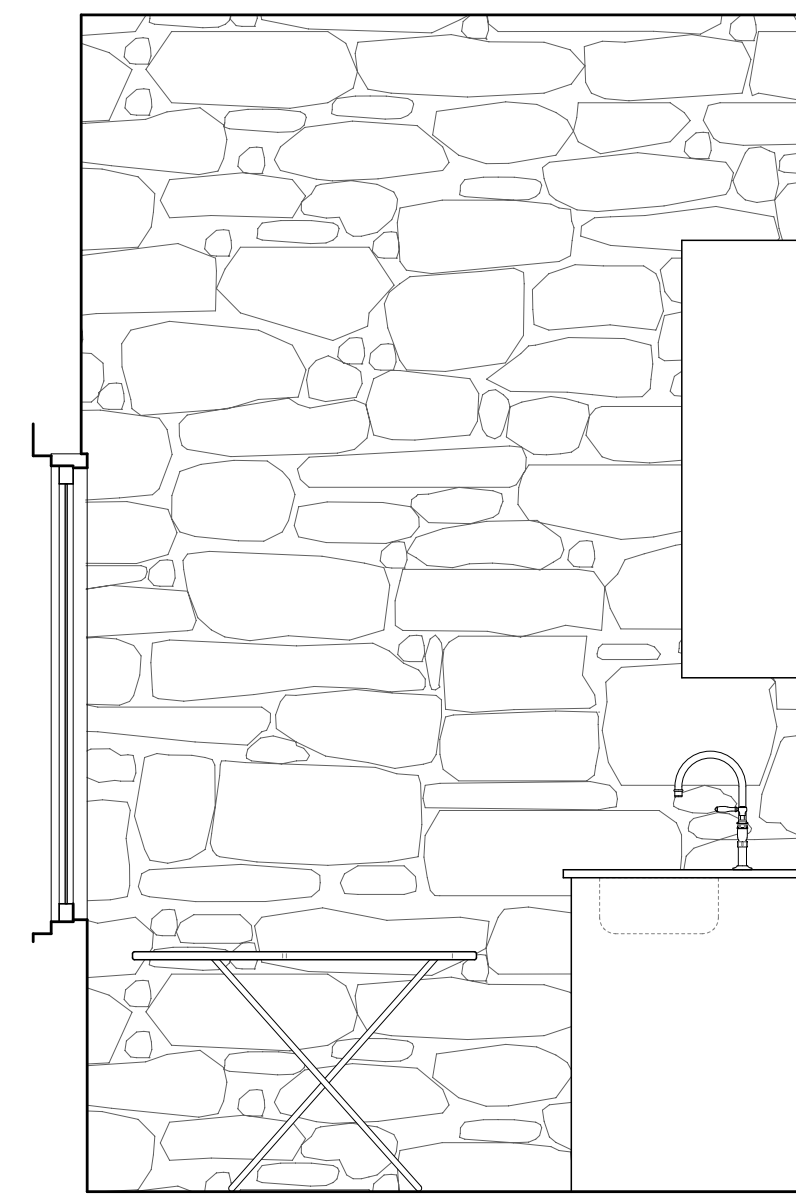
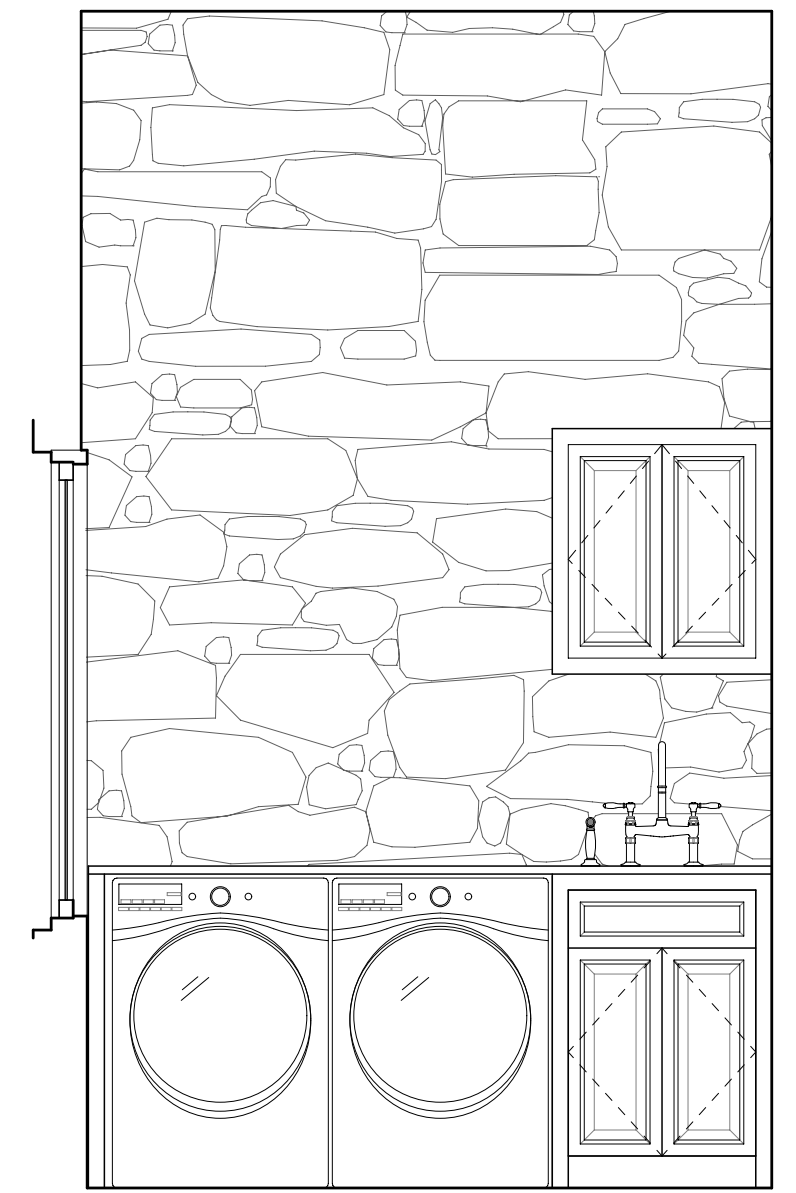
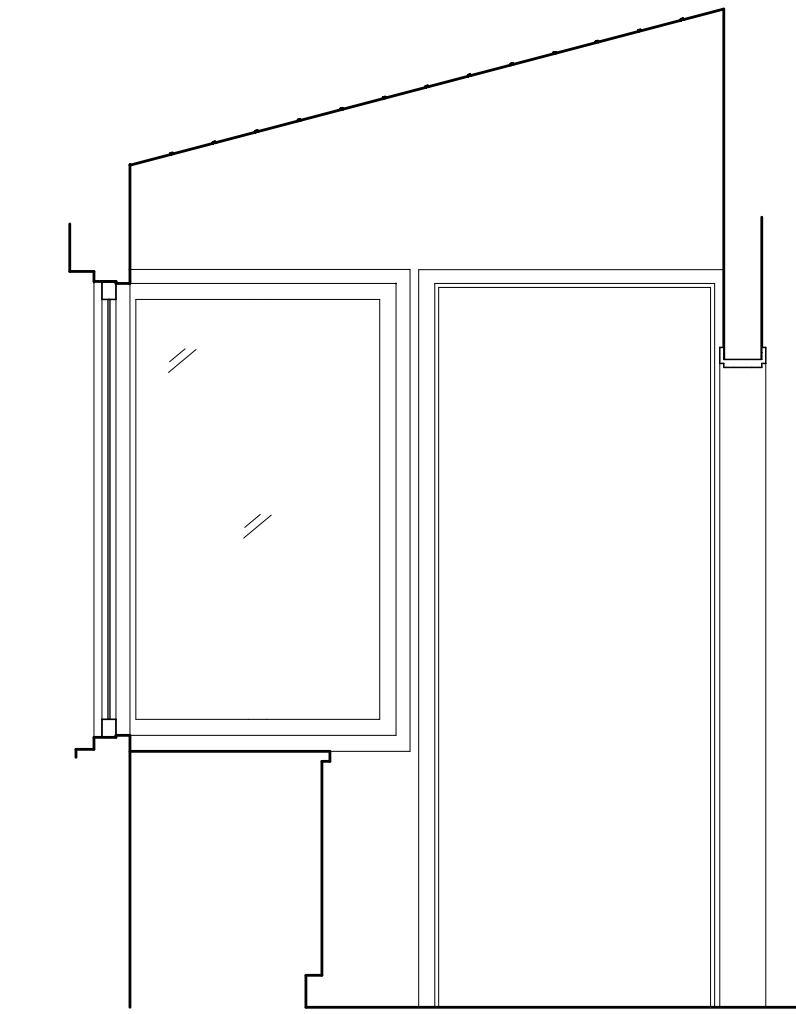
1 INERIOR ELEVATIONS OF LAUNDRY HALL  
SCALE: 1/2" = 1'-0"



4 LAUNDRY ROOM INTERIOR ELEVATIONS - OPTION 1  
SCALE: 1/2" = 1'-0"



2 LAUNDRY ROOM INTERIOR ELEVATIONS - OPTION 2  
SCALE: 1/2" = 1'-0"



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DRAWING TITLE:  
  
INTERIOR  
ELEVATIONS

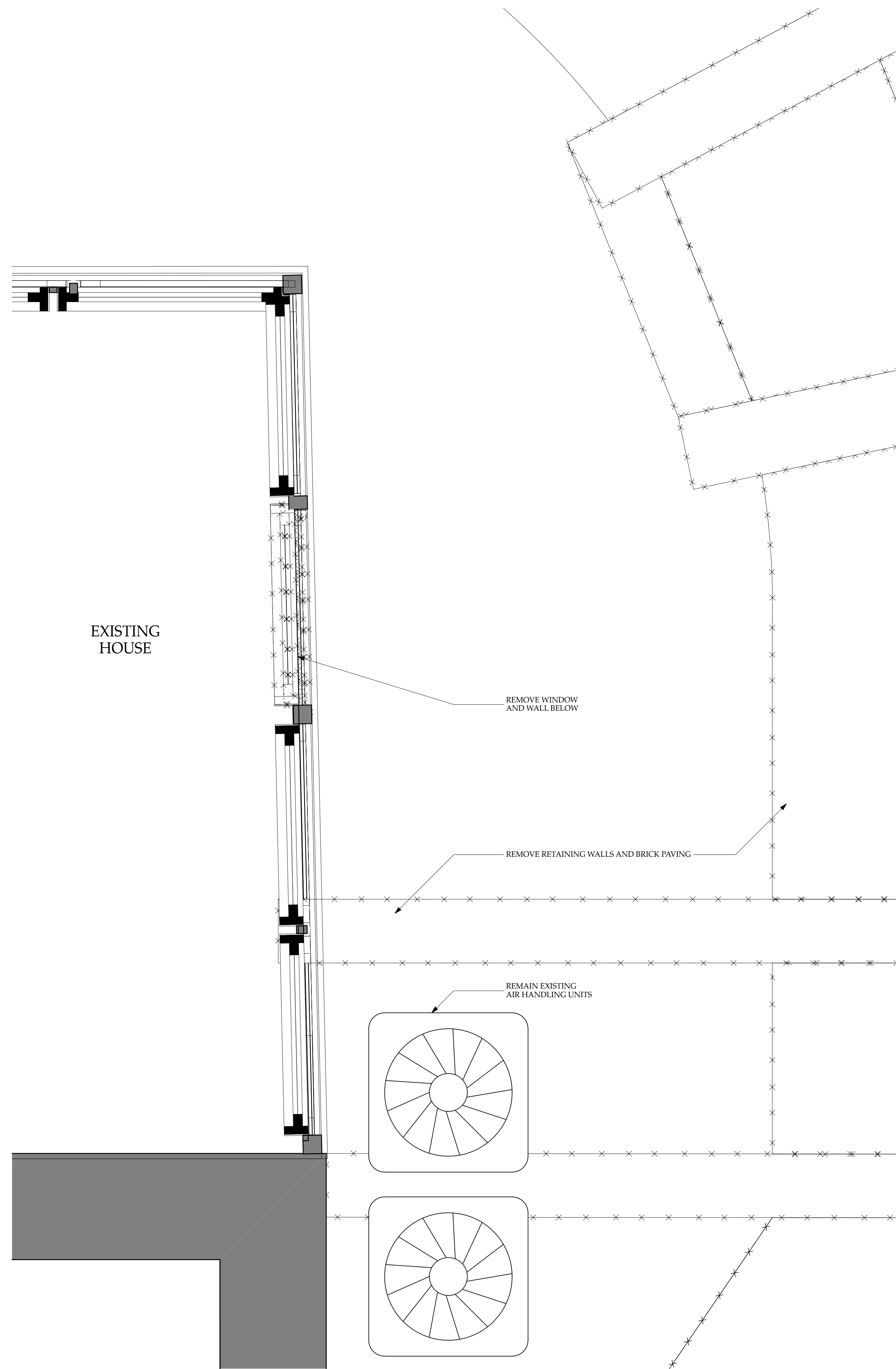
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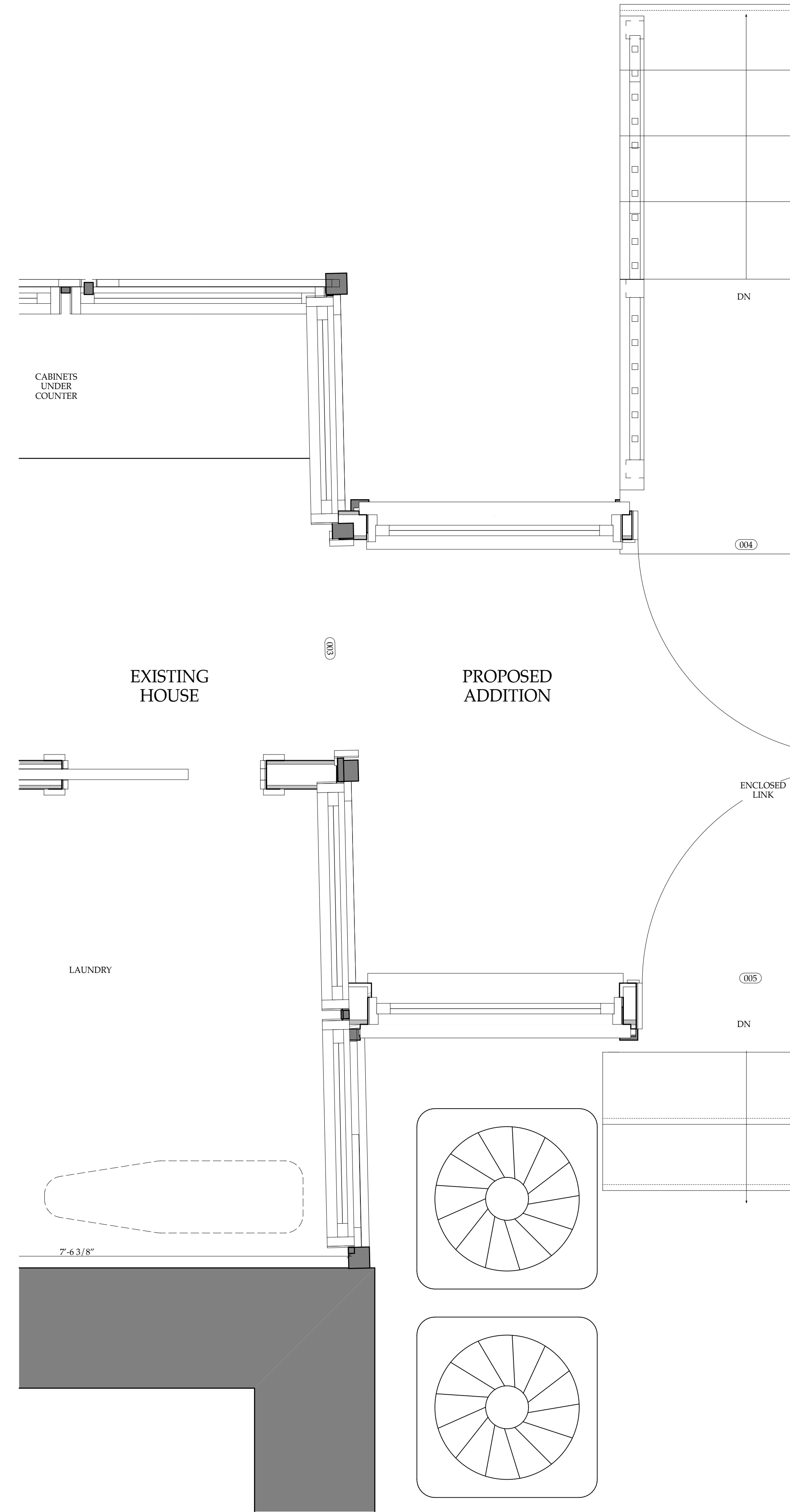
PRINT DATE 5/17/19

SHEET NO.

A501



**1** EXISTING FLOOR PLAN DETAIL AT ENCLOSED PORCH  
SCALE: 1" = 1'-0"



**2** PROP. FLOOR PLAN DETAIL AT ENCLOSED PORCH AND CONNECTOR  
SCALE: 1" = 1'-0"

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DRAWING TITLE:  
**PLAN DETAIL  
CONNECTION OF  
ADDITION TO  
EXIST. ENCLOSED  
PORCH**  
SCALE: AS NOTED

ISSUE	DATE
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PRINT DATE 5/17/19

SHEET NO.  
**A700**





1 EXISTING STONE WALL



2 STONE WALL MOCK-UP



3 SLATE ROOF MOCK UP  
SCALE: 1:5.14



4 ENLARGED VIEW OF SLATE MOCK UP  
SCALE: 1:5.14



5 DETAIL VIEW OF SLATE MOCK UP  
SCALE: 1:5.14

SLATE SHINGLES USED  
PROPOSED TO MATCH EXISTING  
IS BUCKINGHAM SLATE.

NOTE IN IMAGE 5 THAT THE  
PROPOSED SLATE VERY  
CLOSELY MATCHES THE SIDE OF  
THE DORMERS WHERE ALGAE  
AND MOSS FORM DO NOT  
DEVELOP.

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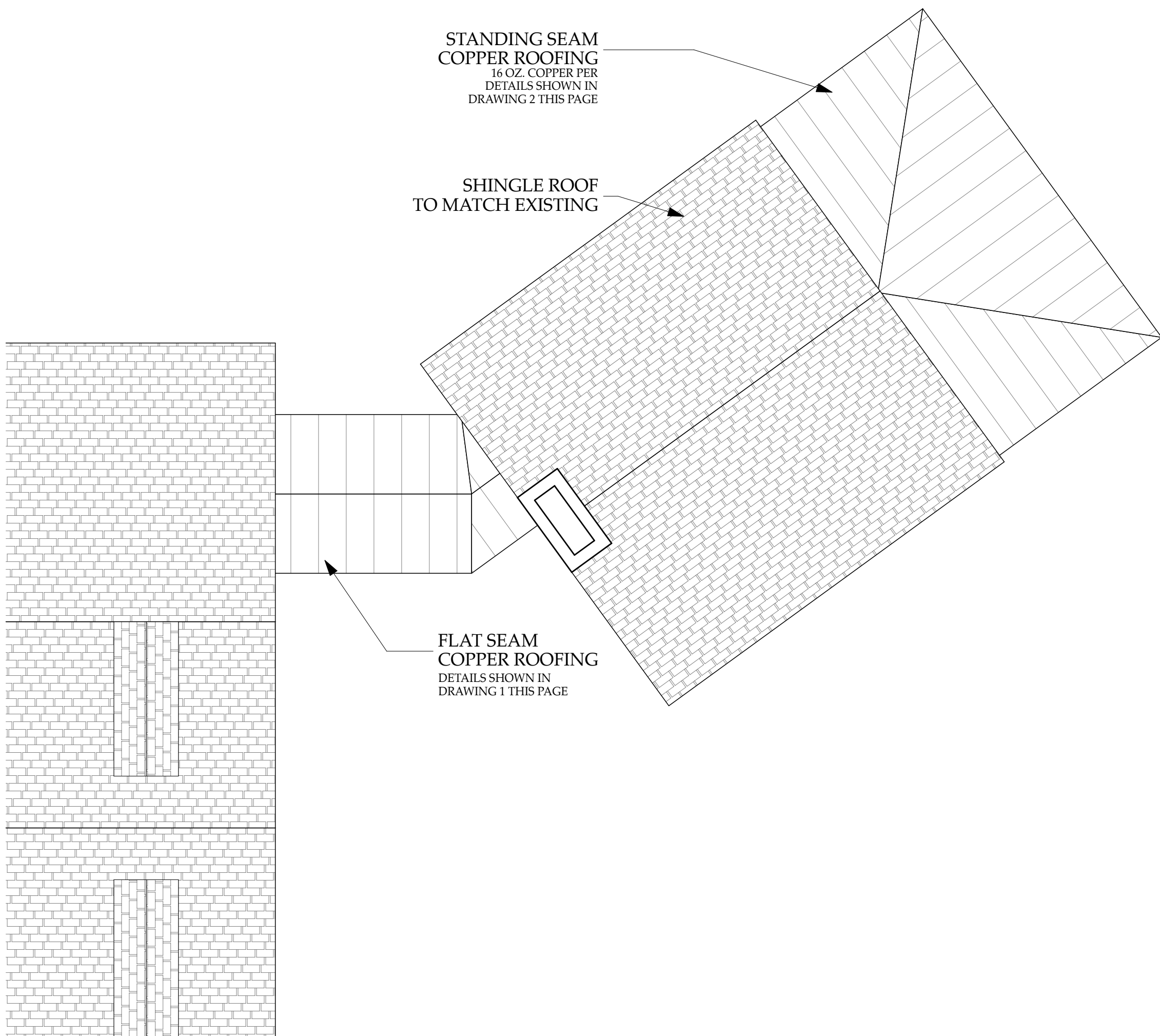
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MILTON  
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DRAWING TITLE:  
  
MATERIALS  
INFORMATION/  
MOCK UPS:  
STONE AND  
SLATE  
  
SCALE: AS NOTED

ISSUE	DATE
MHT	11/29/2018

PRINT DATE 3/19/19

SHEET NO.  
  
**A1000**



5 PARTIAL ROOF PLAN  
SCALE: 3/16" = 1'-0"

FLAT SEAM ROOFING (CONT'D.)

SECTION 3C

**Vertical walls**  
When flat seam roofing abuts a vertical wall it is locked and soldered into a 20 oz. cold rolled copper base flashing, as shown. The copper base flashing extends up the wall 8" and is counter flashed at least 3".

**Eaves and rakes**  
At both eaves and rakes narrow sheets of 20 oz. cold rolled copper, of standard lengths, are placed along the roof edge. The lower edge of these sheets hooks over the edge strip; the upper edge is locked and soldered to the typical roof sheets. Edge strips are made from 20 oz. cold rolled copper, lapped at least 1" and secured with copper or bronze nails, spaced 3" apart.

**Flat or slightly pitched decks**  
Where seams of plain copper are to be soldered, all sheet edges should be pretinned to a width of 1 1/2" before folding the edges. After the locked seams are engaged they should be malletted or dressed down and thoroughly sweated full with solder, using soldering coppers weighing not less than 10 lbs. per pair. When a gas heated soldering torch is used, the soldering copper should not weigh less than 3 lbs.

When soldering lead-coated copper, the seams should be mechanically cleaned to a bright finish. Liberal amounts of flux should be brushed into the seam and soldered, as described above.

**Steep surfaces**  
For surfaces with more than 3" per ft. slope, such as domes and spires, seams may be filled with sealant in lieu of soldering.

FLAT SEAM ROOFING (CONT'D.)

SECTION 3C

**Vertical walls**  
When flat seam roofing abuts a vertical wall it is locked and soldered into a 20 oz. cold rolled copper base flashing, as shown. The copper base flashing extends up the wall 8" and is counter flashed at least 3".

**Eaves and rakes**  
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When soldering lead-coated copper, the seams should be mechanically cleaned to a bright finish. Liberal amounts of flux should be brushed into the seam and soldered, as described above.

**Steep surfaces**  
For surfaces with more than 3" per ft. slope, such as domes and spires, seams may be filled with sealant in lieu of soldering.

1 FLAT SEAMED COPPER ROOF DETAILS ON LOW PITCHED LINK

STANDING SEAM ROOFING (CONT'D.)

SECTION 3A

**Special conditions**  
When desirable to use a standing seam on roof slopes less than 3" per ft., a high grade butyl sealing tape or, alternately, a bead of comparable sealant can be applied to the top flange of the shorter leg (Figure 1). The standing seam is then closed and finished in the usual manner (Figure 2).

**Eaves**  
At eaves, the end of each pan is hooked over a previously placed edge strip and secured with a minimum 1/2" loose lock. The edge strip may be formed as shown in Supplementary Roofing Details, Section 3F, or may take another required form. The ends of the standing seams at the eaves may be cut and folded back or turned down and locked to the edge strip. Connections to gutters are shown in Supplementary Roofing Details, Section 3F.

**Gable rakes**  
At gables the standing seam is formed by turning up the edge of the last pan 1/2" flush with the edge of the roof. The separate rake strip locks 1/4" at its lower edge over a previously placed edge strip. This rake is secured to the roof pan at its upper edge with the standing seam lock (Detail G1). The adjacent lengths of rake strip are lapped at least 3" in the direction of flow.

**Valleys**  
The sides of each valley sheet are folded 1/2" for cleating. Into these folded edges copper cleats 2" wide are applied and spaced not more than 18" apart.

The upper edge of each valley sheet is nailed or otherwise secured to the roof deck. The lower edge of the upper valley sheet is lapped over the lower sheet not less than 6" (see Valley Flashing Section 4F). This lap should not be soldered. At a distance of 6" from the side edge a continuous locking strip should be soldered to the valley sheet. Alternately, at the same distance in from the side edge, a double fold may be formed in the valley sheet (Valley Detail). Over this strip, or into the fold, the lower edge of each roof pan is hooked and dressed down. Either method of side edge construction prevents water from forcing its way past the opposite side of the valley flashing. Where the ends of the standing seam hook into the fold formed in the valley sheet or into the separately applied locking strip, these ends are turned down in the direction of flow, or they may be cut and folded back.

Where roofs are of different slopes or of unequal surface area, a 1" high inverted "V" member may be incorporated in the center of the valley, as shown under Valley Flashing Section 4F.

STANDING SEAM ROOFING (CONT'D.)

SECTION 3A

**Machine formed pans**  
Standing seam pans may be made with power panformers, using either flat sheet or coiled sheet with this equipment. Available power panformers are adjustable to provide seam spacing from 6" to 24 1/2" apart. Long rafter-length pans can be made from coiled sheet, eliminating the need for transverse seams.

Power seamers are also available providing full-finished, 1" high, double-locked standing seams. See Section 12 for further details.

**Roofs over 30 feet**  
For standing seam roofs that exceed 30' up to 45', expansion cleats should be used. Several kinds of expansion type cleats are illustrated in Basic Standard Practices, page 14. Fixed cleats should be installed at the midpoint of the roof and for a distance of 3' to 6' in both directions. The balance of the cleats toward both extremities should be expansion type.

**Hips, ridges**  
On hips and ridges the same type of standing seam should be formed, as on the roof run (see Detail, page 19). Each roof standing seam is laid flat 6" from the upper edge of the pans where it meets the ridge or hip.

2 STANDING SEAM ROOF DETAILS FOR HIPPED ROOF ADDITION

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DRAWING TITLE:

MATERIALS  
DATA/DETAILS:  
COPPER ROOFS

SCALE: AS NOTED

ISSUE	DATE
MHT	11/29/2018




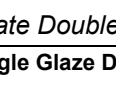
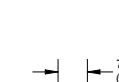
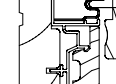
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A1001

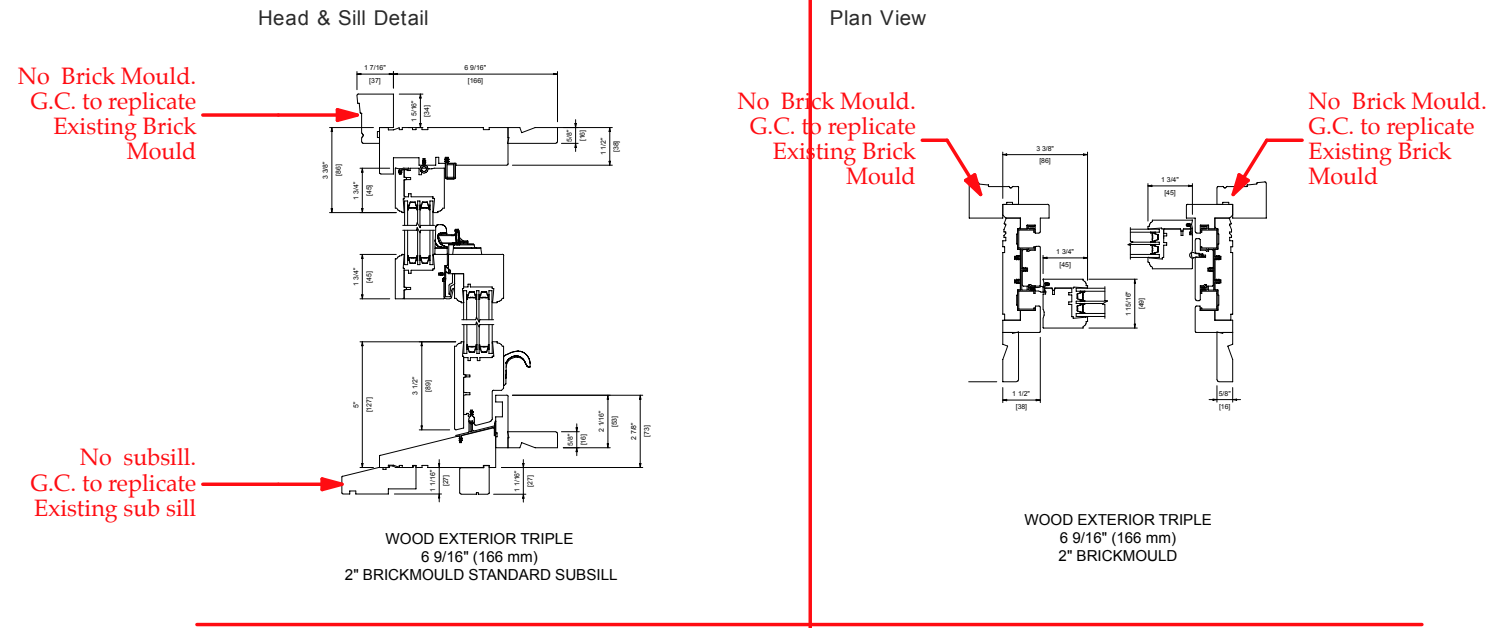
## Double/Single Hung Units

### Types of Simulated Divided Lite

Application	Available SDL	5/8" [16mm]	3/4" [19mm]	7/8" [22mm]	1-1/8" [30mm]	2" [50mm]
MC Exterior	Standard					
Interior	Standard					
MC Exterior	Putty					
NC Exterior / Interior	Putty					
Interior	Square					
Interior	Impact					
NC Exterior	Standard					

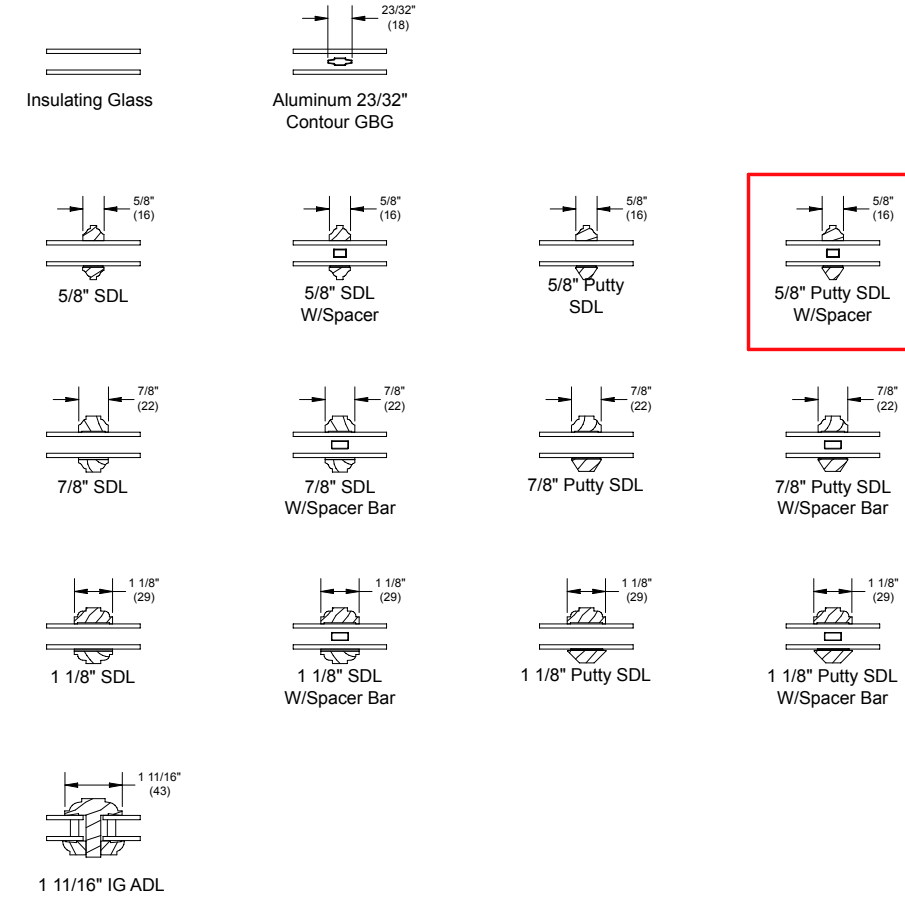


### Double/Single Hung – Double Hung Tilting Window Detail



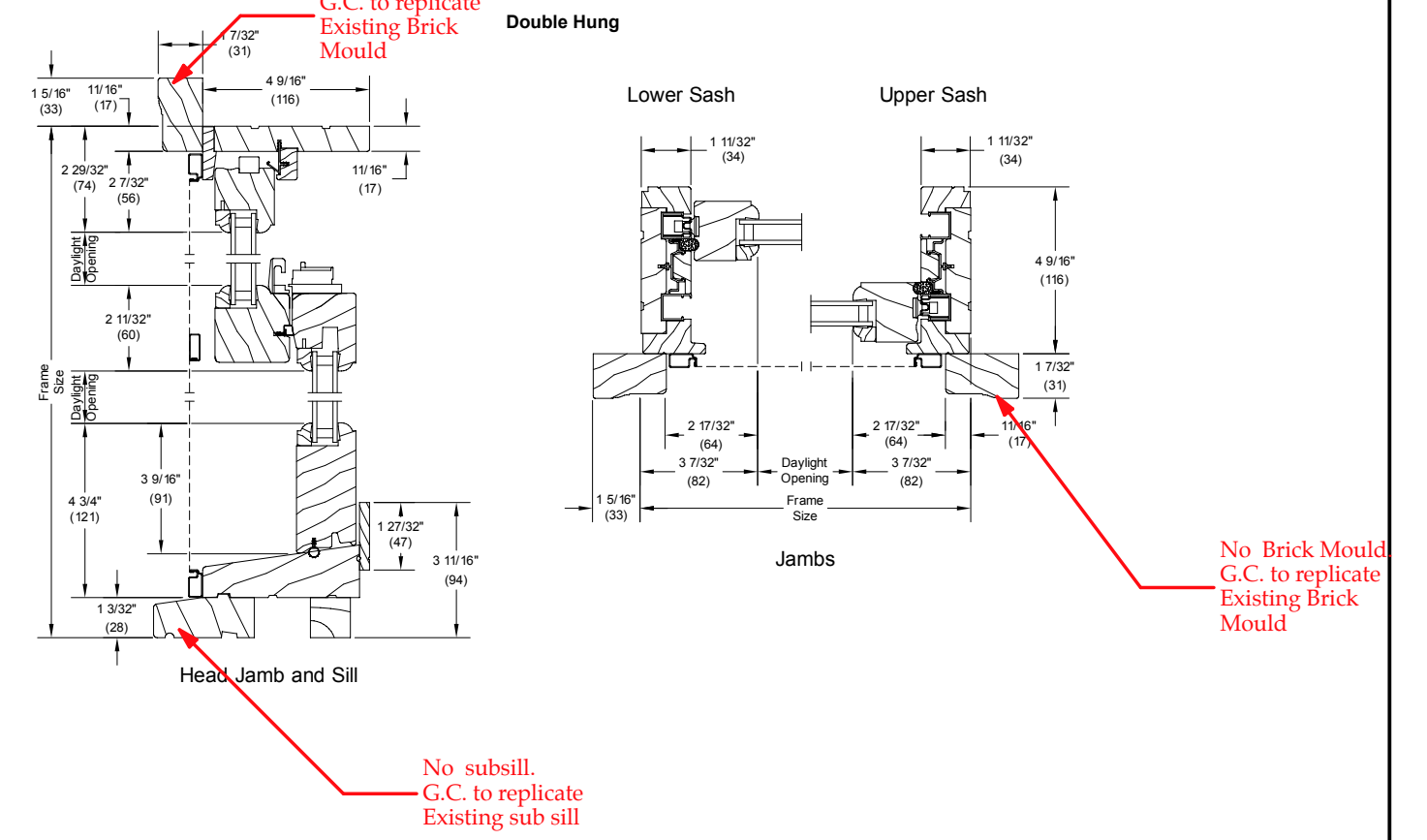
1 OPTION 1: WOOD LOEWEN INSULATED W/ SDL (W/ SPACER BARS)  
WINDOWS TYPE C, D, E, F, G, AND H (TYPES A,B, AND K SIMILAR)

**Wood Ultimate Double Hung Collection**  
**Standard Insulating Glass Divided Lite Options**



NOTE: ADL is not available with CE Mark

**Section Details: Operating**

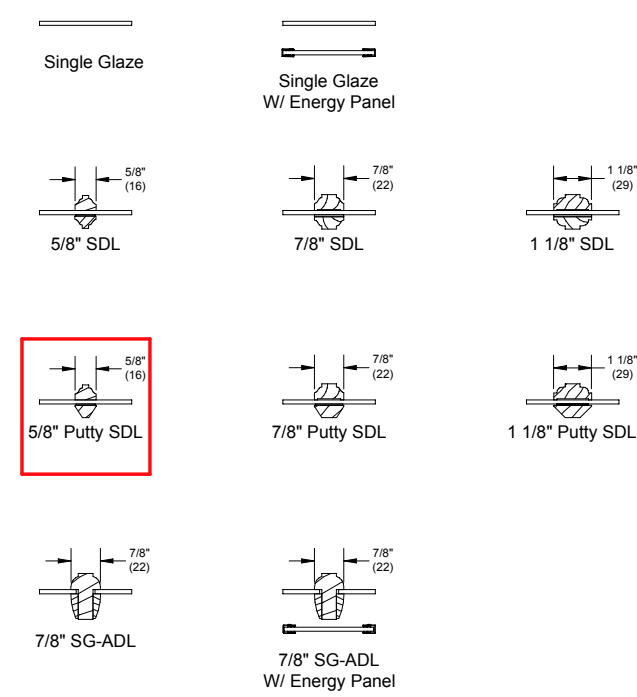


## No Brick Mould. G.C. to replicate Existing Brick Mould

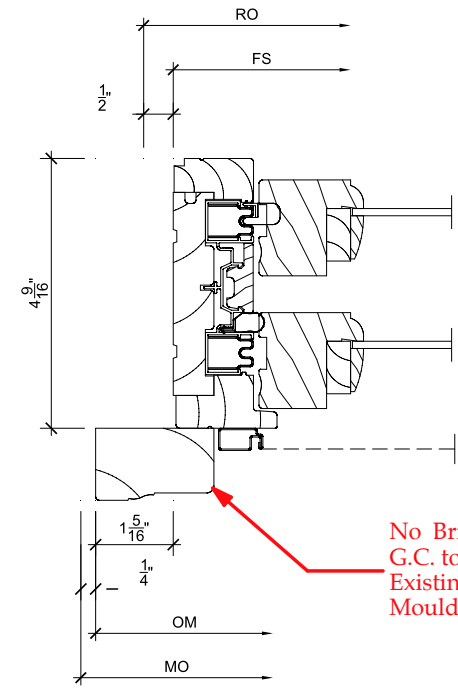
— G.C. to replicate Existing sub sill

2 OPTION 2: WOOD MARVIN DOUBLE GLAZED SDL (W/ SPACER BARS)  
WINDOWS TYPE C, D, E, F, G, AND H (TYPES A,B, AND K SIMILAR)

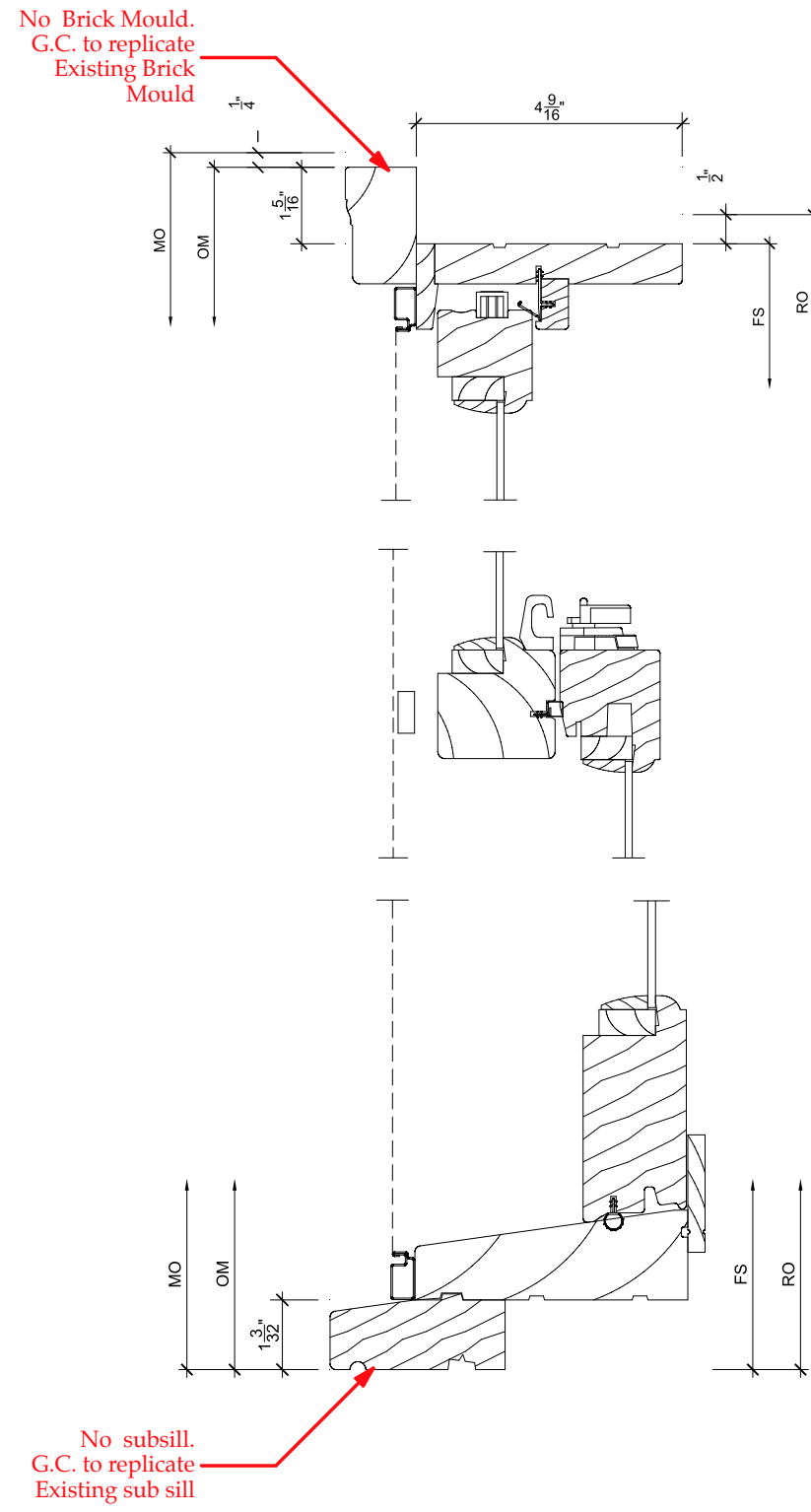
**Wood Ultimate Double Hung Collection**  
**Standard Single Glaze Divided Lite Options:**



NOTE: Single Glaze and ADL are not available with CE Mark



### No Brick Mould G.C. to replicate Existing Brick Mould

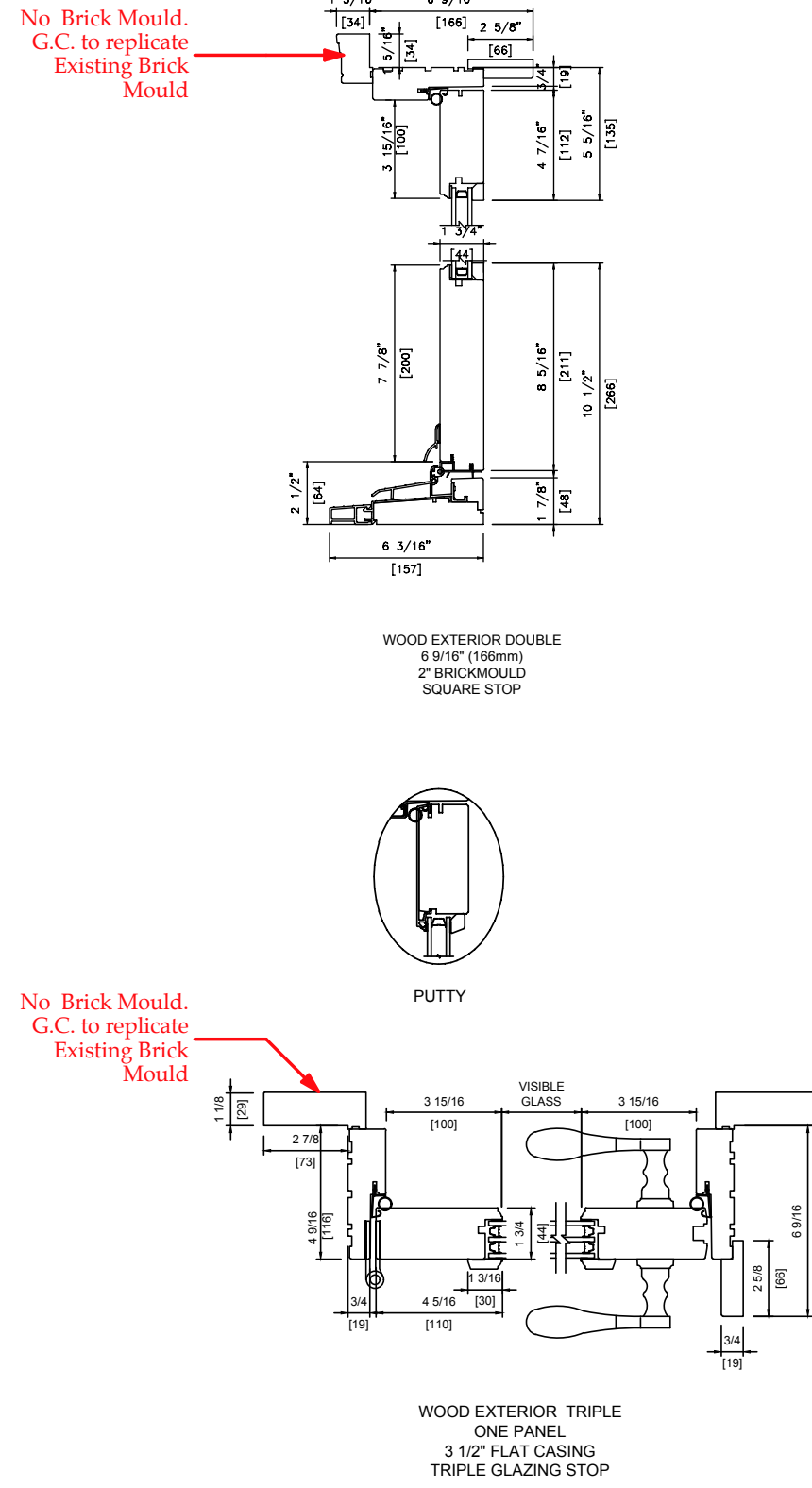


No subsill.  
G.C. to replicate  
Existing sub sill

**3** **OPTION 3: WOOD MARVIN SINGLE GLAZED TRUE DIVIDED LIGHTS**  
WINDOWS TYPE C, D, E, F, G, AND H (TYPES A,B, AND K SIMILAR)

THE OPTIONS PRESENTED ARE FOR ALL NEW DOUBLE AND TRIPLE HUNG WINDOWS. FIXED WINDOWS TO MATCH THE SAME EDGE SASH FRAME PROFILES AND MUNTIN PROFILES WHERE APPLICABLE

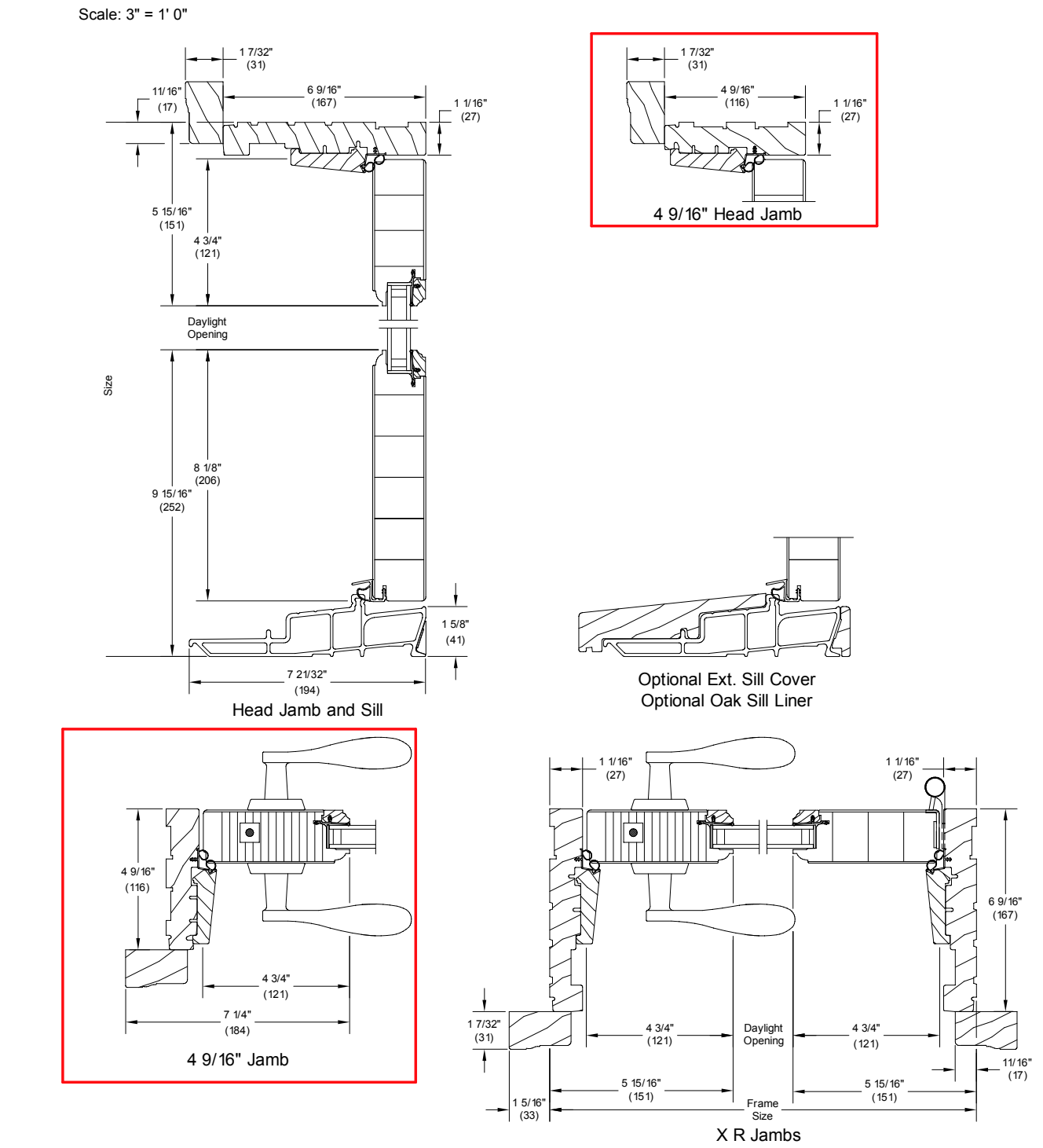
## No Brick Mould G.C. to replicate Existing Brick Mould



## No Brick Mould G.C. to replicate Existing Brick Mould

## 4 OPTION 1: LOEWEN WOOD DOOR

**1 3/4" Wood Ultimate Swinging French Doors**  
**Inswing Section Details: Operating**



Ver 2014.3 2014-10-27

WUFD WUOFD-1

19972259

5 OPTION 2: WOOD MARVIN DOOR  
DOORS 004 AND 005

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DRAWING TITLE:

## MATERIALS DATA/DETAILS: WINDOWS AND DOORS

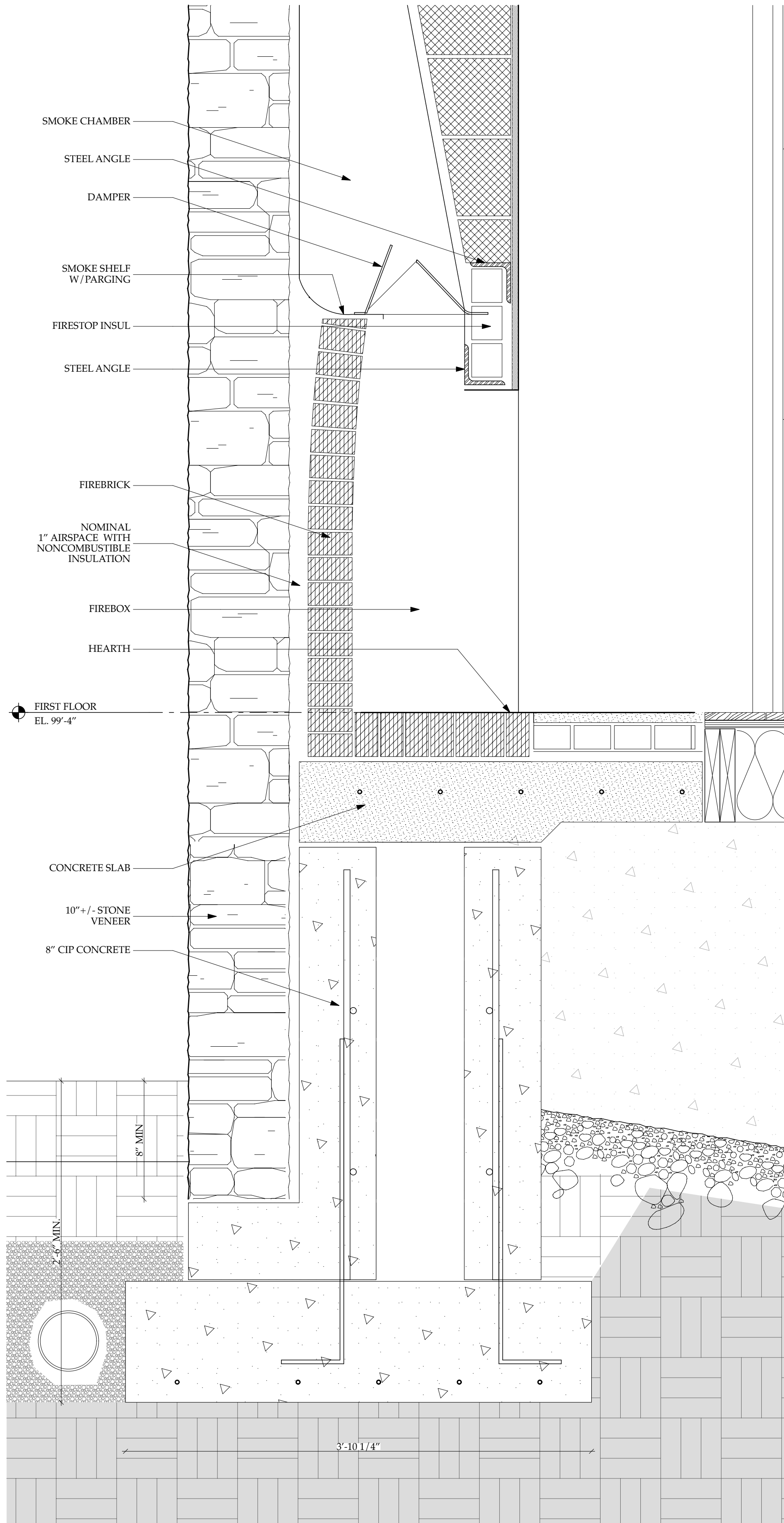
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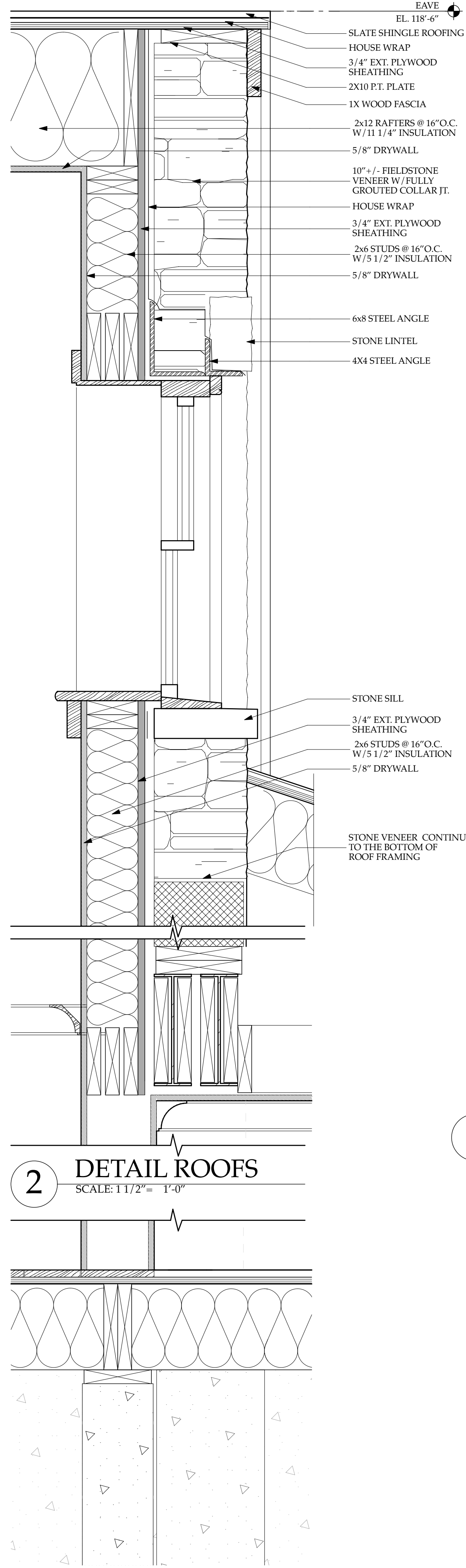
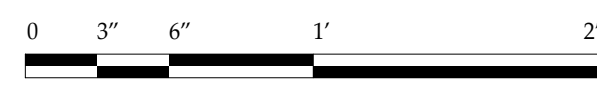
PRINT DATE 3/19/19

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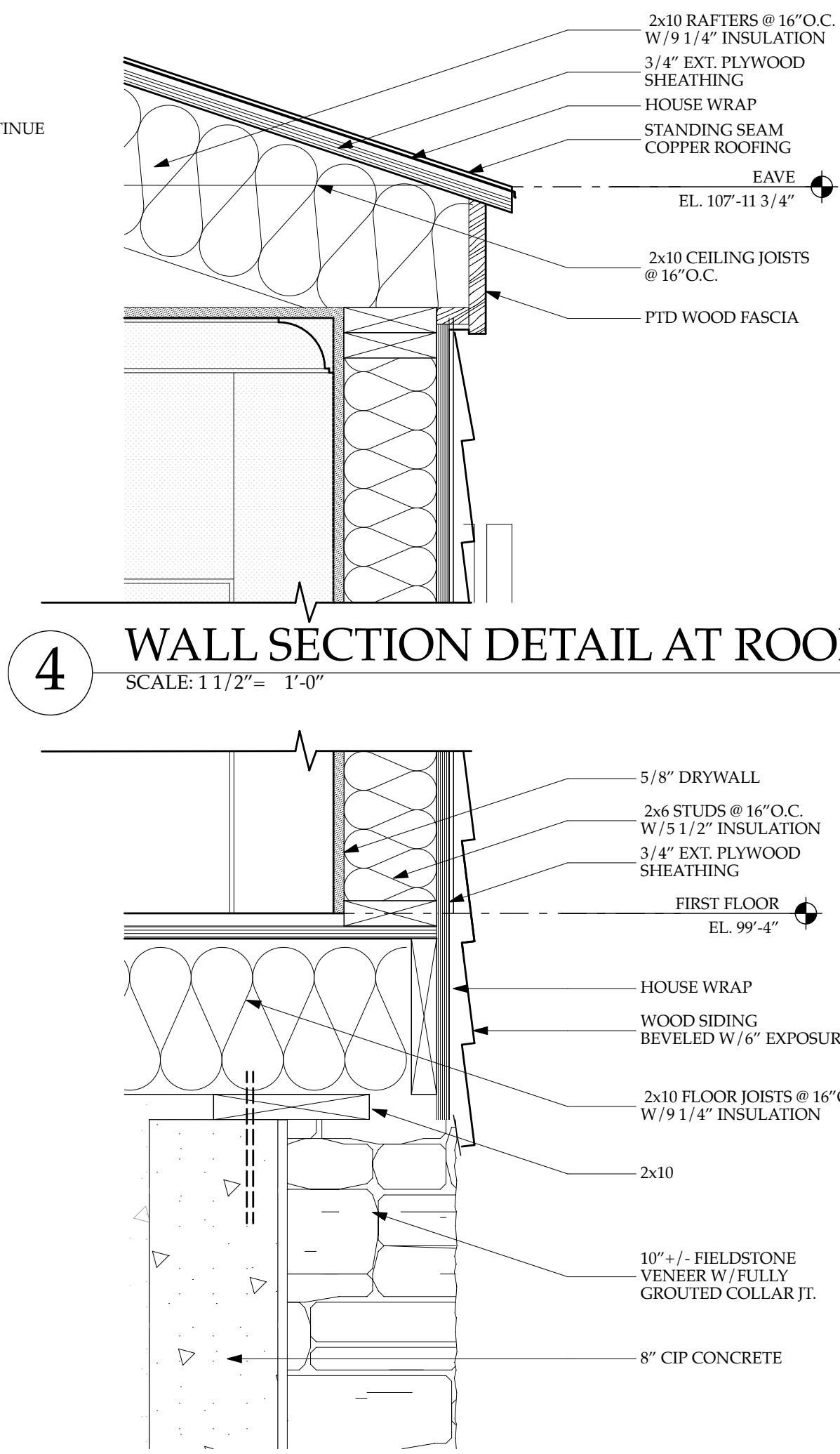


1 FIREPLACE DETAIL  
SCALE: 1 1/2" = 1'-0"



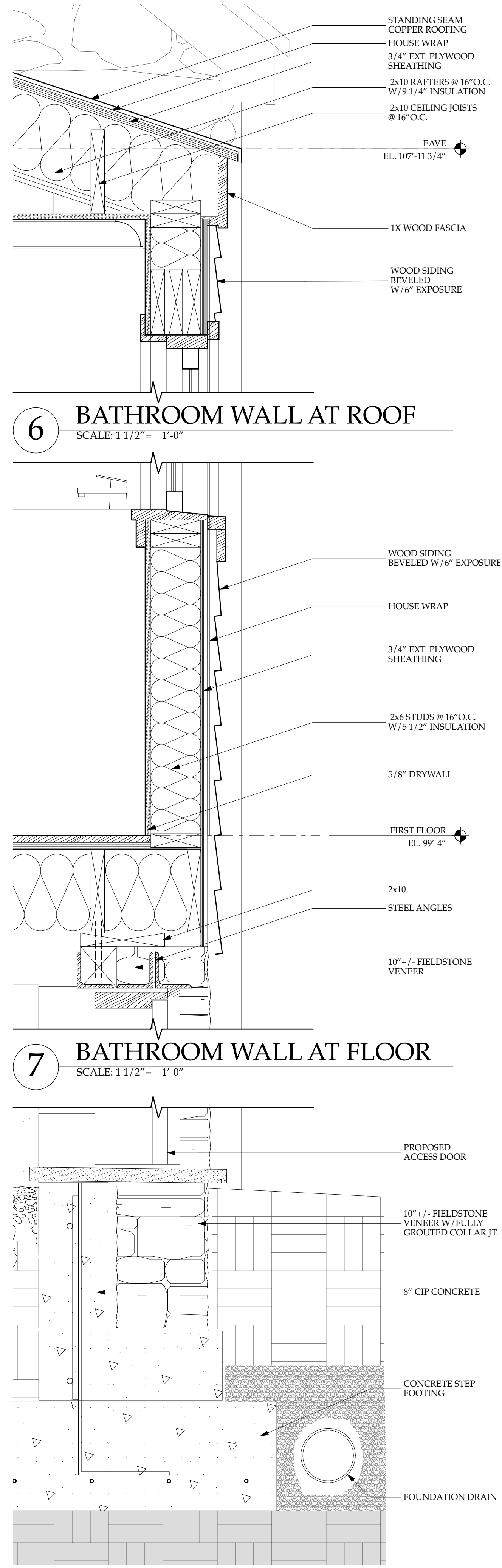
2 DETAIL ROOFS  
SCALE: 1 1/2" = 1'-0"

3 DETAIL AT FLOOR  
SCALE: 1 1/2" = 1'-0"



4 WALL SECTION DETAIL AT ROOF  
SCALE: 1 1/2" = 1'-0"

5 WALL SECTION DETAIL AT FLOOR  
SCALE: 1 1/2" = 1'-0"



6 BATHROOM WALL AT ROOF  
SCALE: 1 1/2" = 1'-0"

7 BATHROOM WALL AT FLOOR  
SCALE: 1 1/2" = 1'-0"

8 BATHROOM WALL AT FOOTING  
SCALE: 1 1/2" = 1'-0"

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SECTION DETAILS

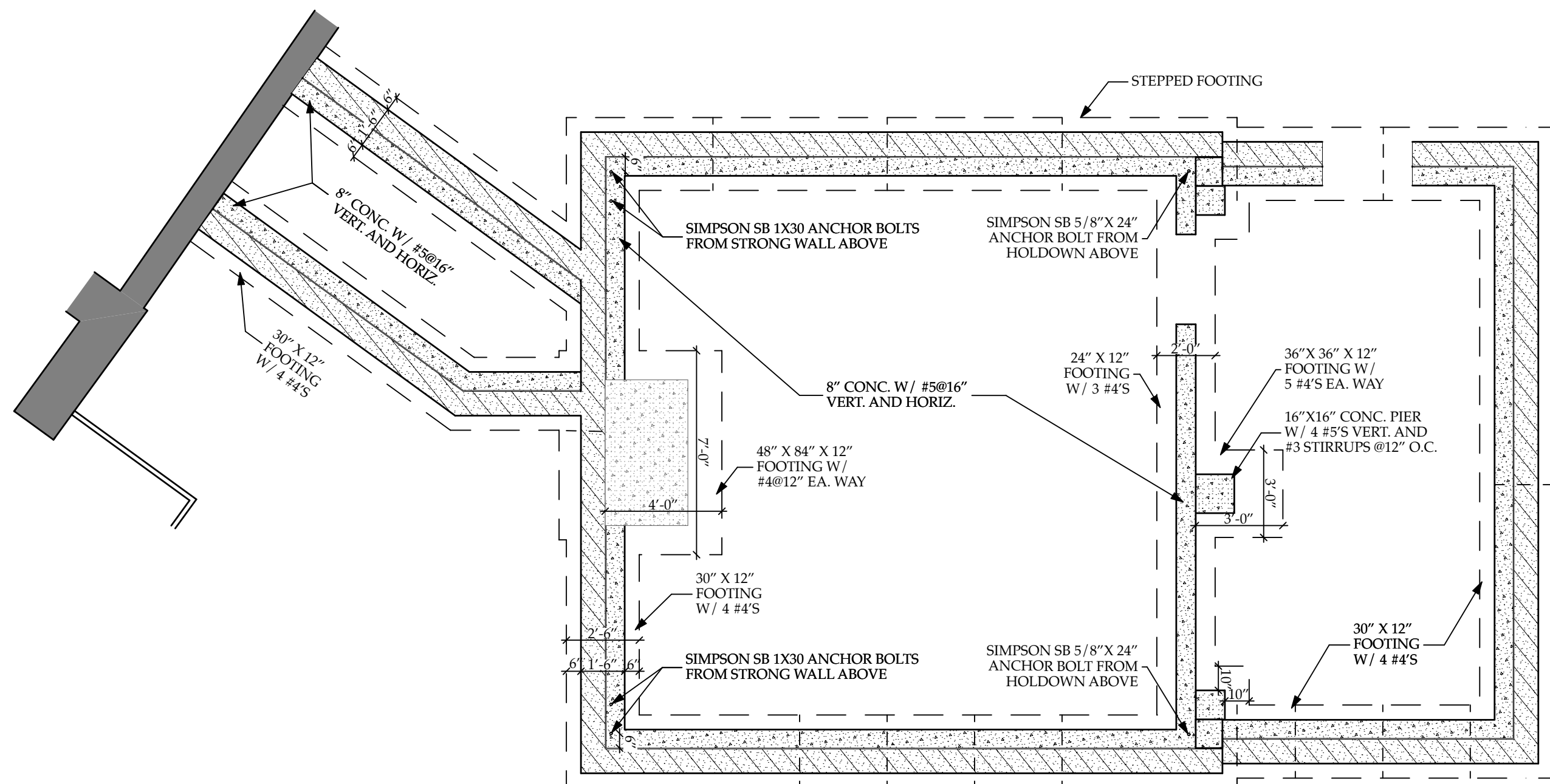
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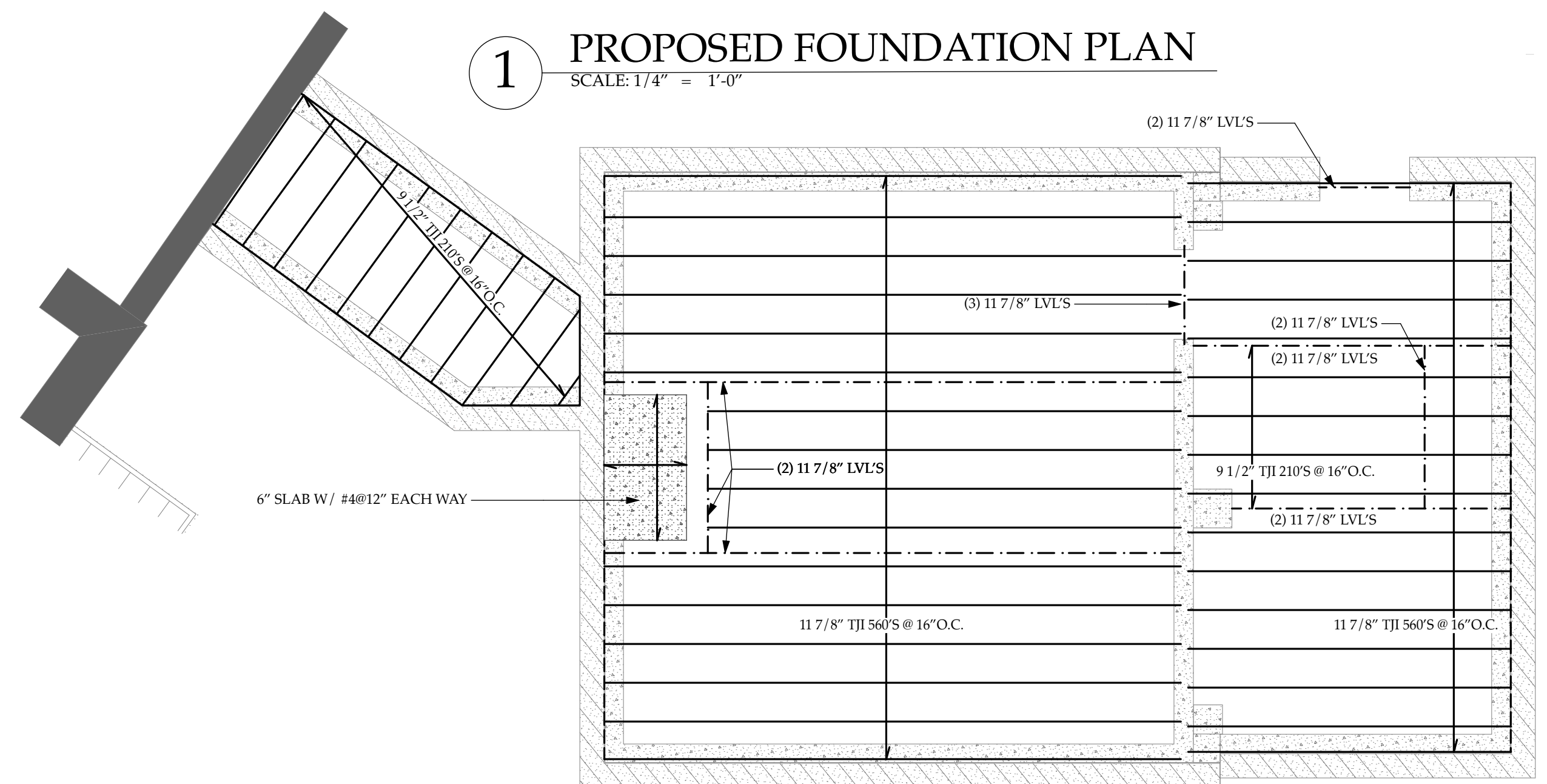
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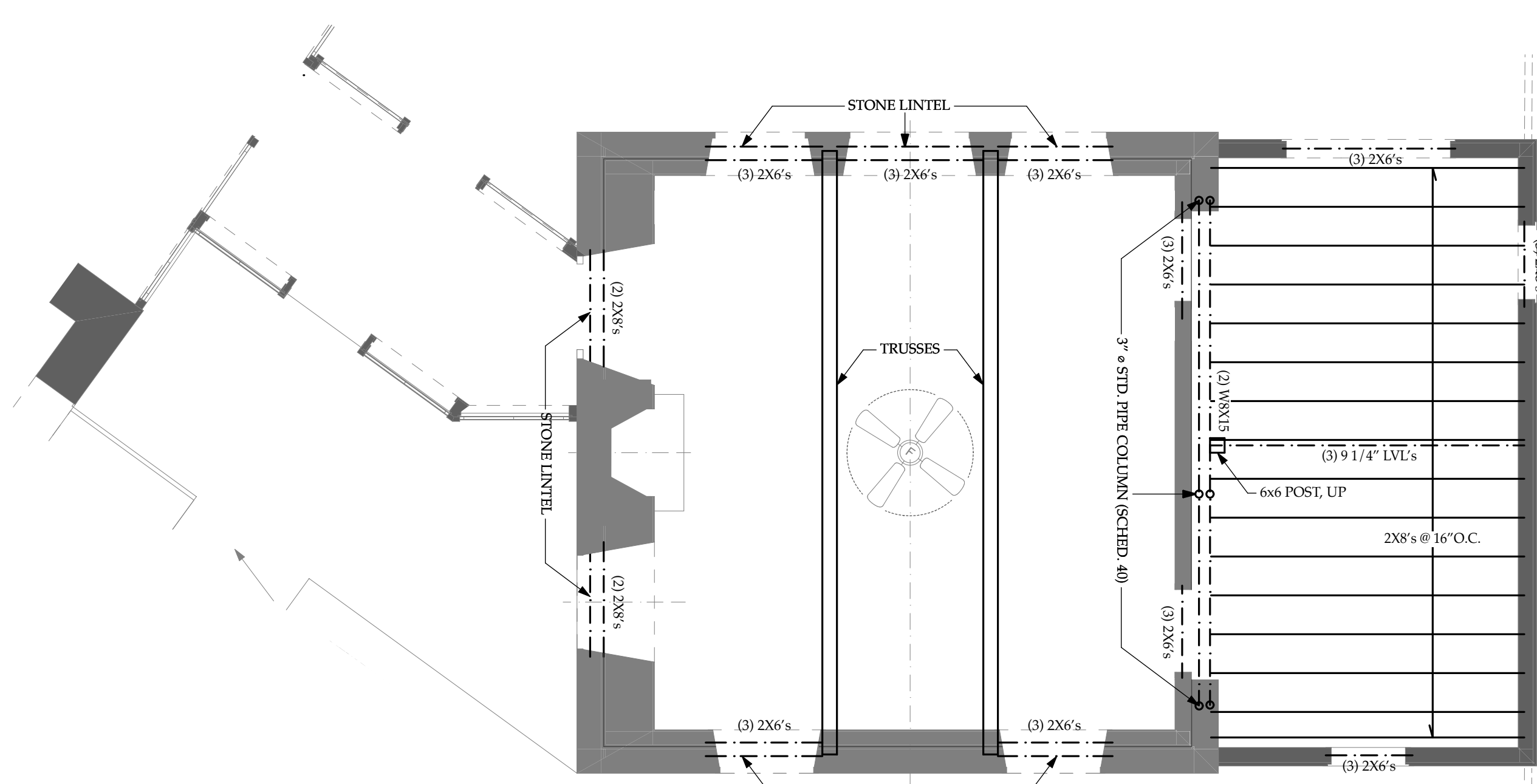
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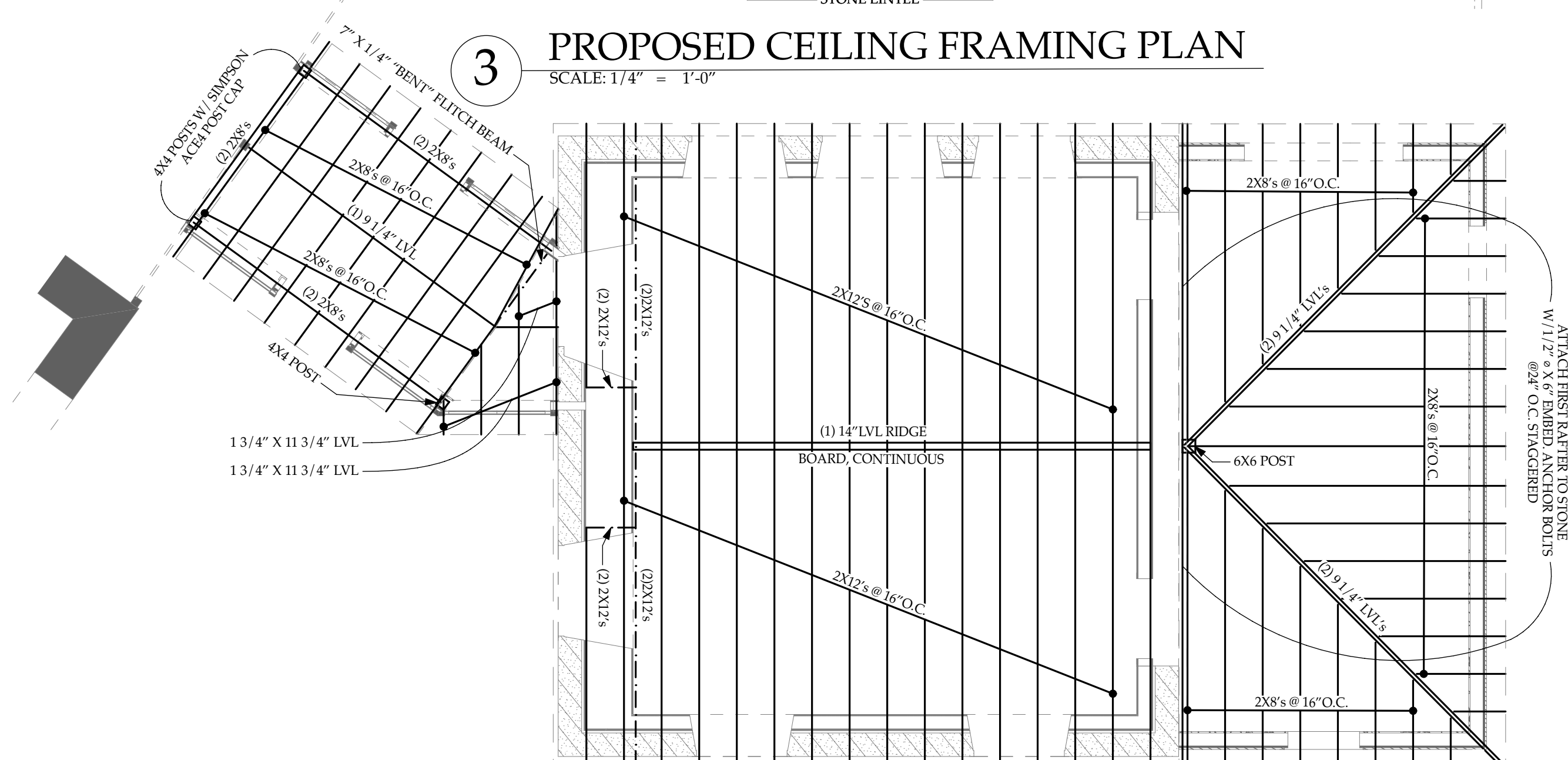
1 PROPOSED FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

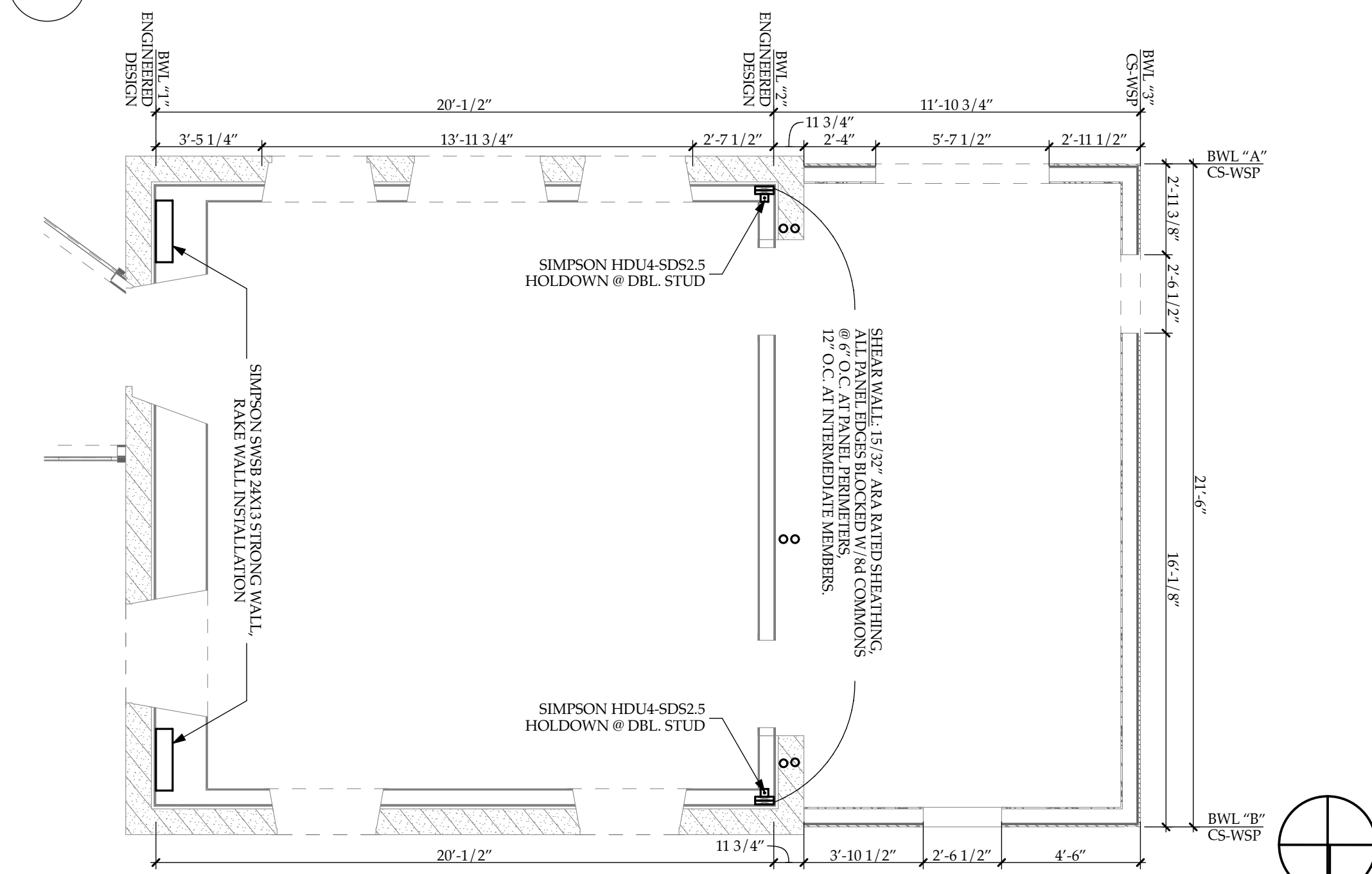


3 PROPOSED CEILING FRAMING PLAN  
SCALE: 1/4" = 1'-0"

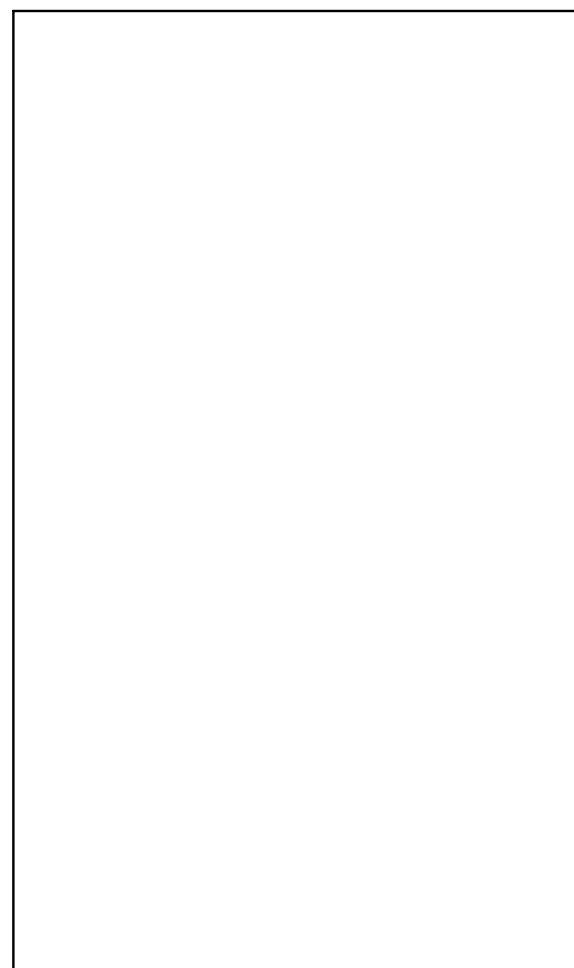


4 PROPOSED ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

GENERAL NOTES			
1.	Design loads:	Roof:	30 psf (snow)
		Dead:	10 psf (u.n.o.)
		Floors:	40 psf Living areas
			30 psf Sleeping areas
		Basic Wind Speed:	90mph, 3 sec gust
		Seismic Design:	Category B
2.	Design Codes:	IRC 2012, IBC 2012 w/ DCMR 12-2013, ASCE/SEI 7-10 where applicable.	
3.	Assumed allowable soil bearing pressure:	1500 psf	
4.	Assumed equivalent fluid pressure of soil:	45 psf/ft	
5.	All footings to bear on undisturbed soil and a minimum of 30 inches below finished grade.		
6.	Interior use lumber to be No.2 SPF with $f_b = 875$ psi and $E = 1,300,000$ psi		
7.	Exterior use lumber to be No.2 SP with $f_b = 1,500$ psi and $E = 1,600,000$ psi and preservative treated in accordance with AWPA Standard U1.		
8.	Concrete to be 3000 psi hard rock at 28 days.		
9.	Reinforcing steel to be ASTM A615 Grade 60 and placed in accordance with ACI Code.		
10.	Structural steel to be ASTM A36 fabricated in accordance with AISC Standards supplied and installed with one coat of red-oxide primer.		
11.	Contractor to provide fabrication and erection drawings for structural steel. Allow two weeks for review.		
12.	Welding of structural steel to be performed by AWS certified personnel in accordance with AWS D1.1 Code using E70XX rod.		
13.	All field welds to be cleaned and painted with red-oxide primer.		
14.	Manufactured lumber design values: $f_b = 2600$ psi and $E = 2,000,000$ psi		
15.	Volmanized manufactured lumber design values: $f_b = 1,800$ psi and $E = 1,460,000$ psi under Service level 2.		
16.	All masonry lintels to have a minimum bearing of 4" on both ends. Double angles shall be installed back-to-back unless noted otherwise.		
17.	Window and door headers to be (3) 2x6's unless noted otherwise.		
18.	Joists below non-bearing partitions that equal or exceed 50% of the span shall be doubled.		
19.	Posts supporting sawn lumber beams and headers to be a minimum of (2) 2x4's.		
20.	Posts supporting manufactured lumber beams and headers to be a minimum of (3) 2x4's.		
21.	All truss and rafter ends to be secured to tops of walls/beams with hurricane clips (Simpson H2.5A or approved equal).		
22.	Appropriately sized joist hangers to be used where joists or rafters frame into beams.		
23.	Masonry mortar to conform to ASTM C270.		
24.	Concrete block manufacture to conform to ASTM C90 with a minimum prism strength of 1500 psi.		
25.	Brick manufacture to conform to ASTM C62.		
26.	Wood exterior walls to be 2x6's @16" on center.		
27.	Prefabricated truss manufacture and design to conform to ANSI/TPI 1 and WTCA standards. General contractor to provide truss layout plans and shop drawings to structural engineer for review and approval no less than 2 weeks before truss order is due.		
28.	All sheathing material to be APA-rated for the spans indicated. Minimum sheathing thicknesses required:		
	a. Roofs: 19/32"		
	b. Walls: 15/32"		
	c. Floors: 23/32" STURD-I-FLOOR		
29.	The use of adjustable, screw-type steel columns is NOT permitted.		
30.	Masonry grout to conform to ASTM C476		
31.	Tubular steel to conform to ASTM A501		
32.	All floor joists to have bridging/x-bracing at 7'o.c.		
33.	Bolts for ledger boards to be threaded rod manufactured in accordance with ASTM A36 or F1554 and installed with Powers AC-100+ Gold adhesive. See drawings for bolt diameters, embedments, spacings and locations. Bolts to be installed into solid back up only (either poured concrete, grout-filled CMU or solid brick).		
34.	Wall bracing shall be continuous sheathed wood structural panels per Section R602.10.4 of IRC 2012. Where wall bracing is insufficient, alternate means shall be provided and engineered per ASCE 7 for the above basic wind speed.		
35.	The design and installation of any temporary shoring of existing structure is the sole responsibility of the contractor. Temporary shoring may be required in order to support existing structure laterally as well as vertically.		
36.	Contractor to provide helical pile design calculations and shop drawings (to include method of fastening to new foundation) no less than 14 days prior to installation of piles. Design calculations to be stamped by a professional engineer registered in the project jurisdiction. Design and installation of piles to comply with ASCE 20-96 standard guidelines for the design and installation of pile foundations.		



5 BRACED WALL PLAN  
SCALE: 1/4" = 1'-0"



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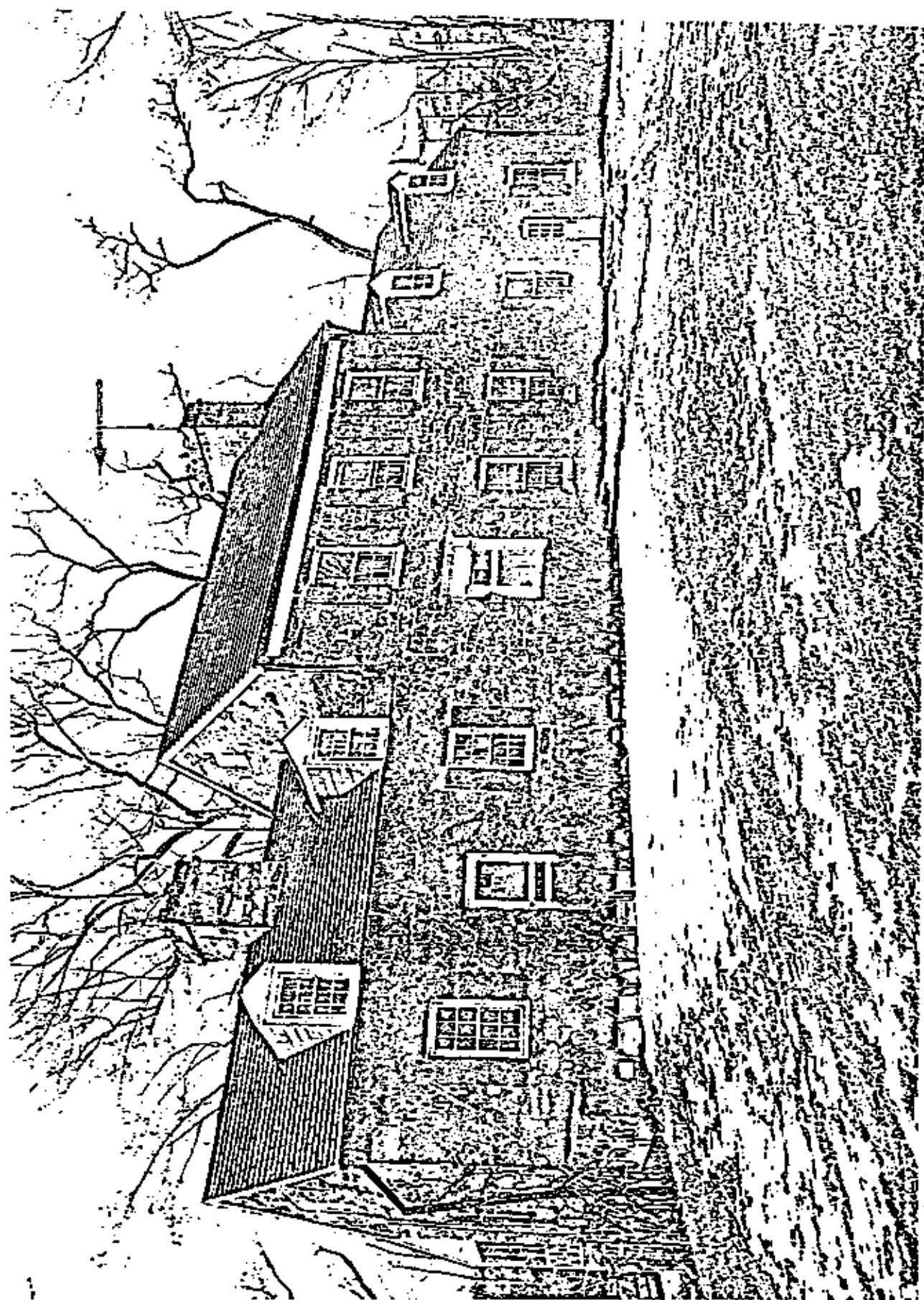
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STRUCTURAL  
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NOTES  
  
SCALE: AS NOTED

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NORTHEAST FACADE OF MAIN HOUSE

SCALE:

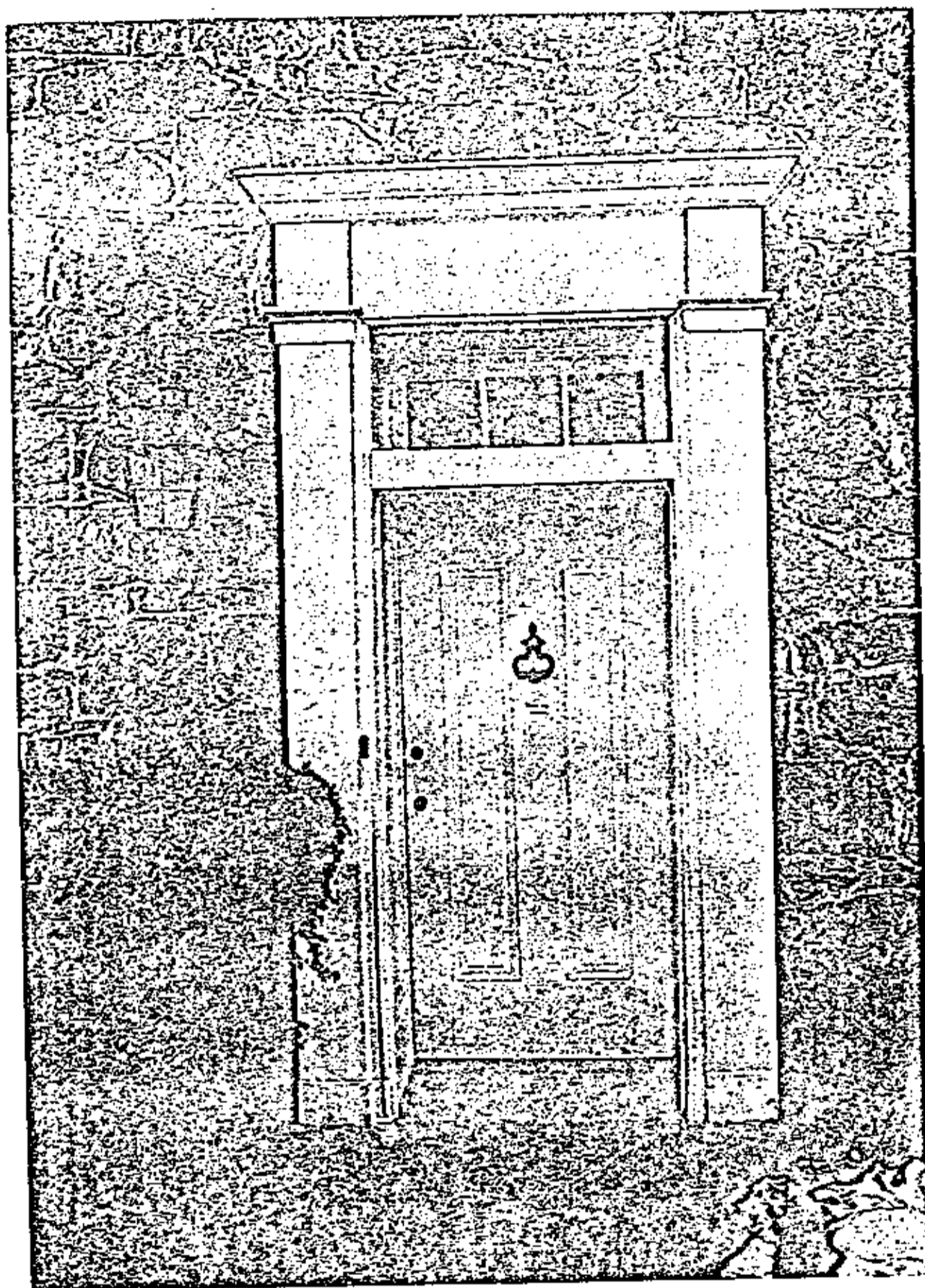
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MAIN ENTRANCE, NORTHEAST FACADE

SCALE:

PREPARED: 3/77

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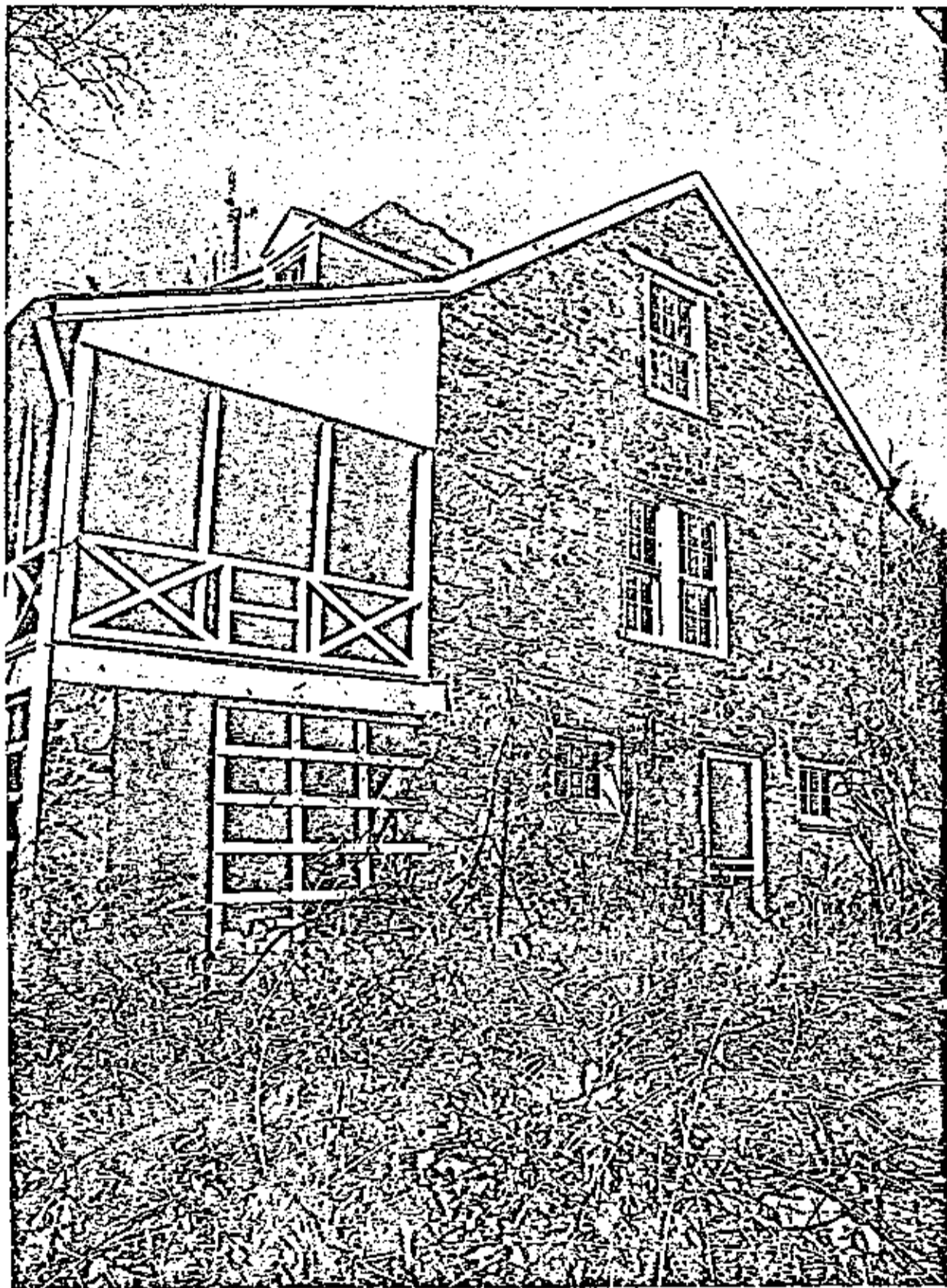
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SOUTHEAST FACADE OF MAIN HOUSE  
SCALE:

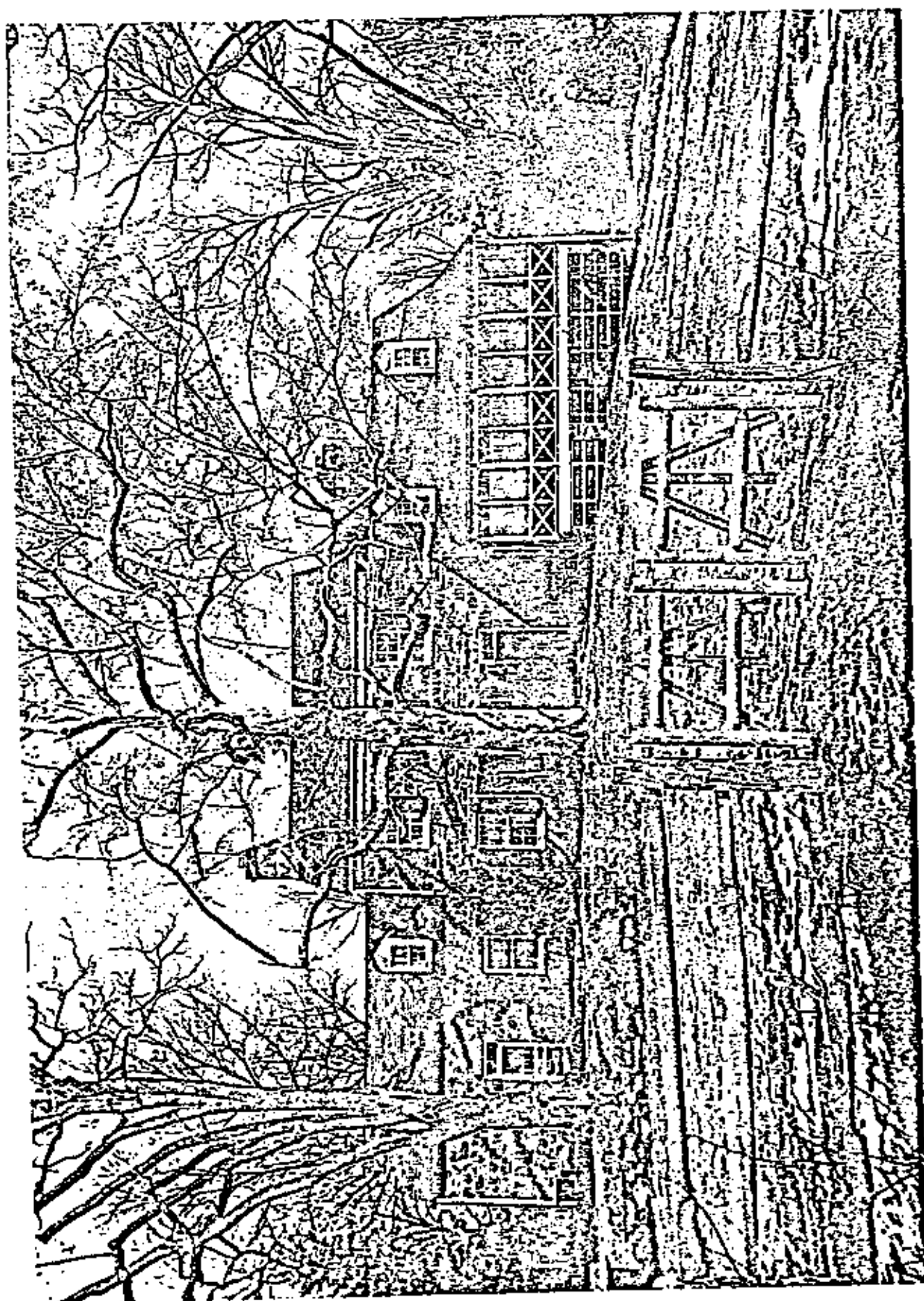
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SOUTHWEST FACADE OF MAIN HOUSE

SCALE:

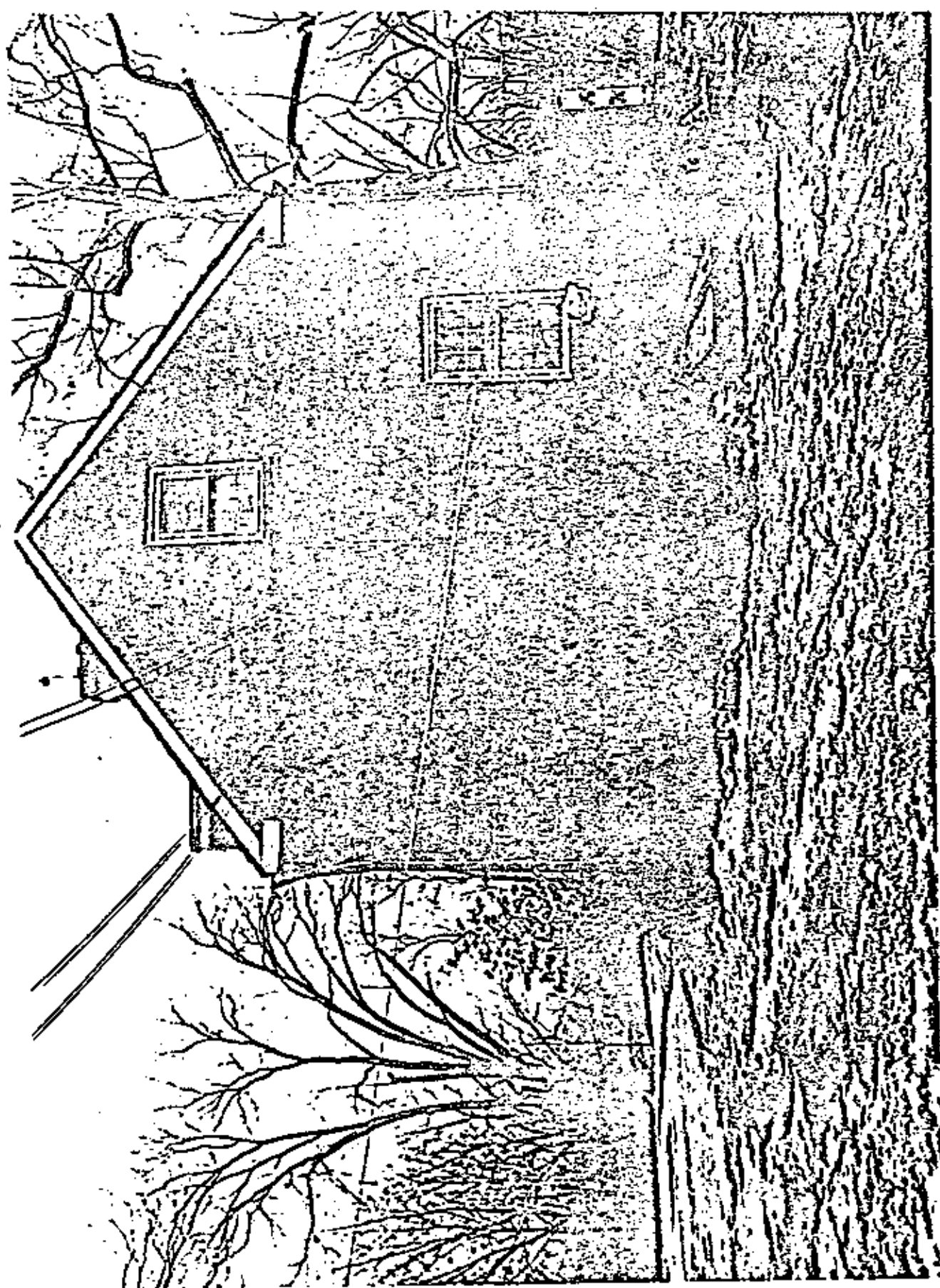
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NORTHWEST FACADE OF MAIN HOUSE

SCALE:

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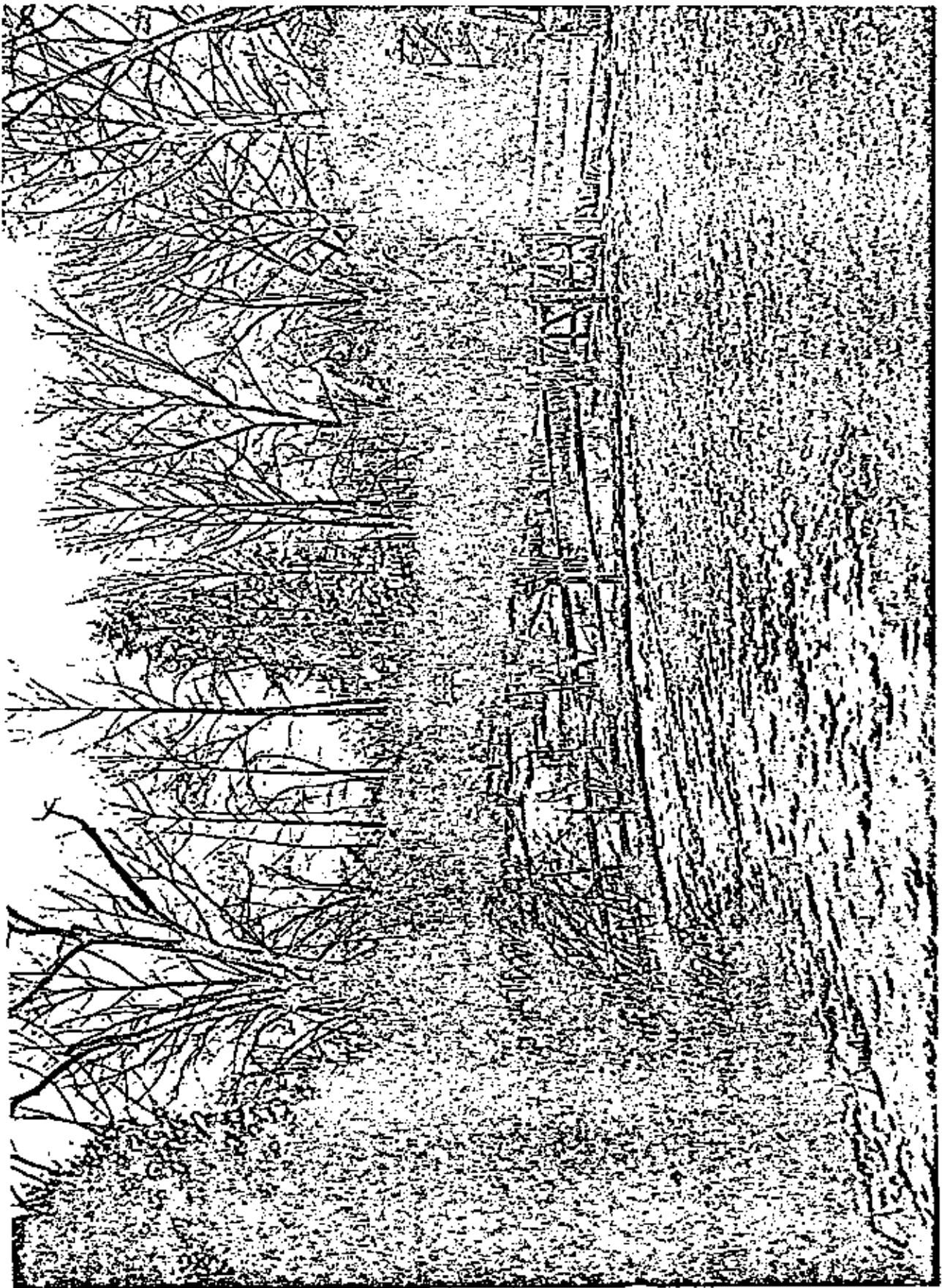
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EASEMENT EXHIBIT NO. A , page 8 of 25

LOOKING SOUTHWEST TOWARD ICE HOUSE  
FROM MAIN HOUSE  
SCALE:

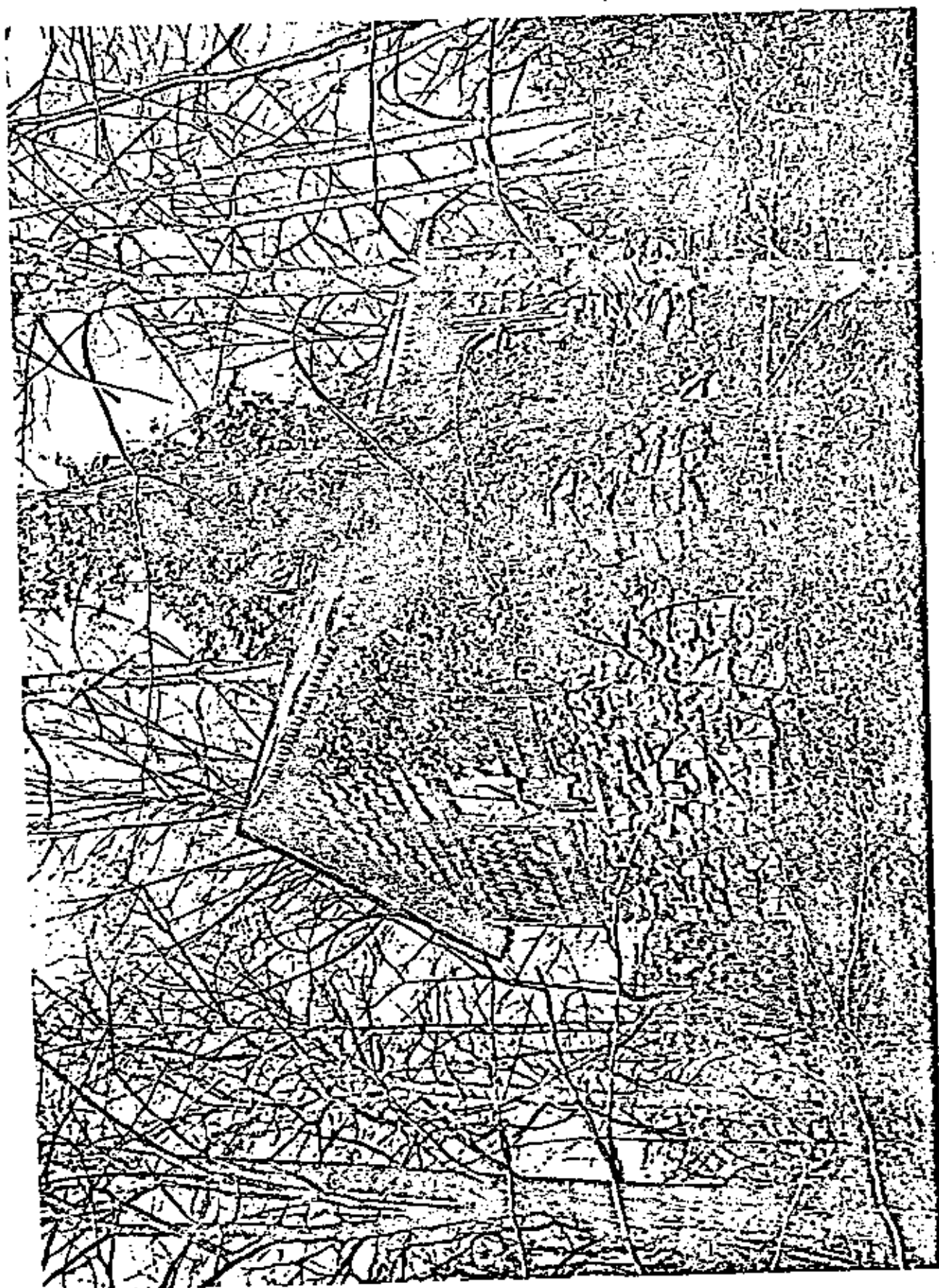
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SOUTHWEST CORNER OF ICE HOUSE

SCALE:

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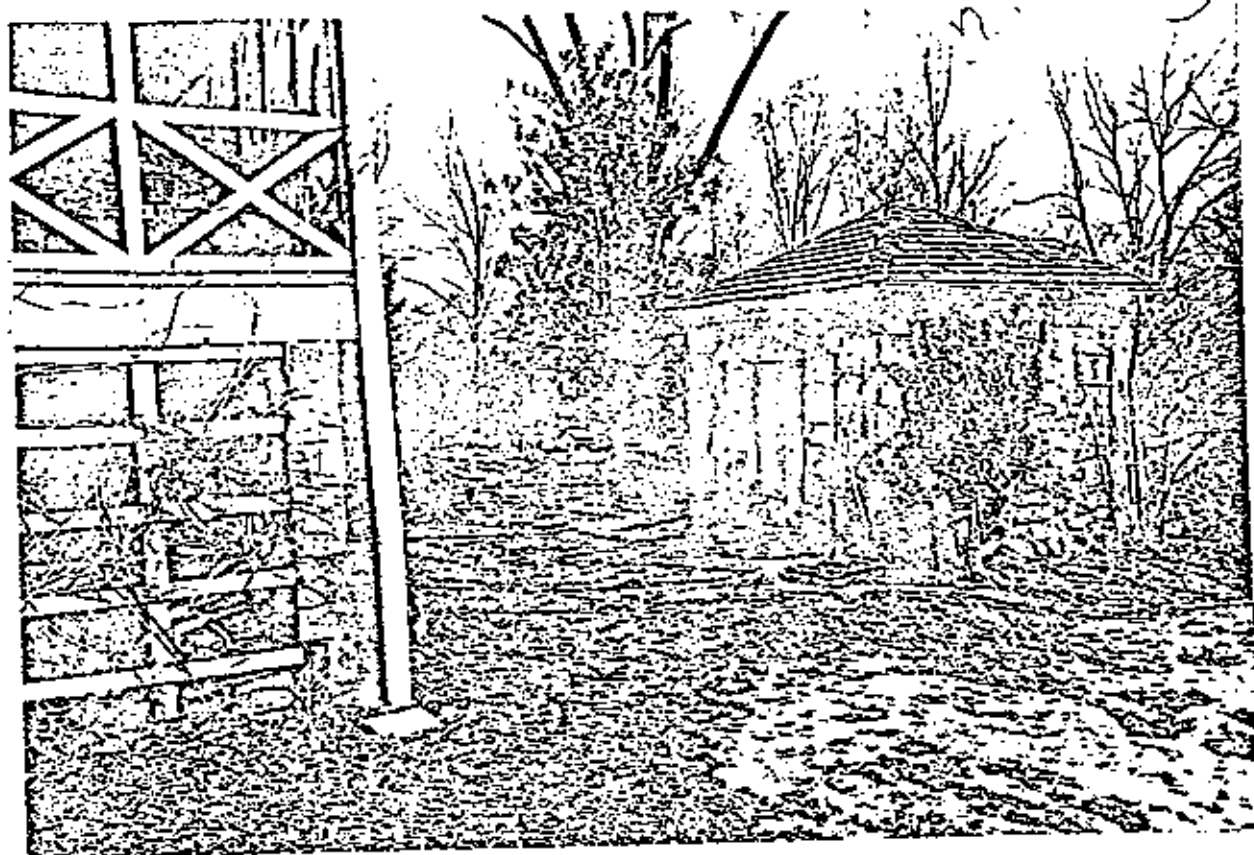
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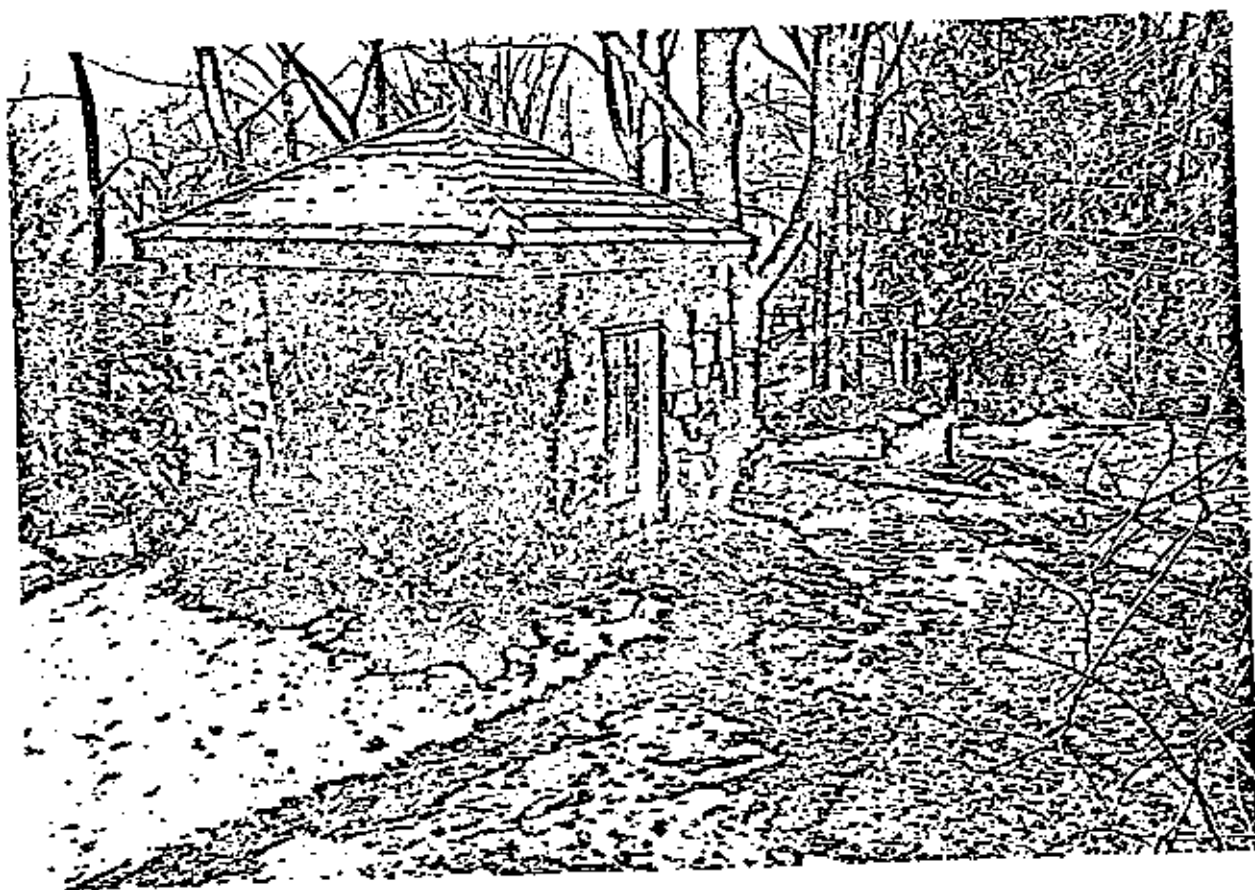
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SMOKEHOUSE FROM WEST



SMOKEHOUSE FROM NORTH

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PHOTOGRAPHS AS NOTED

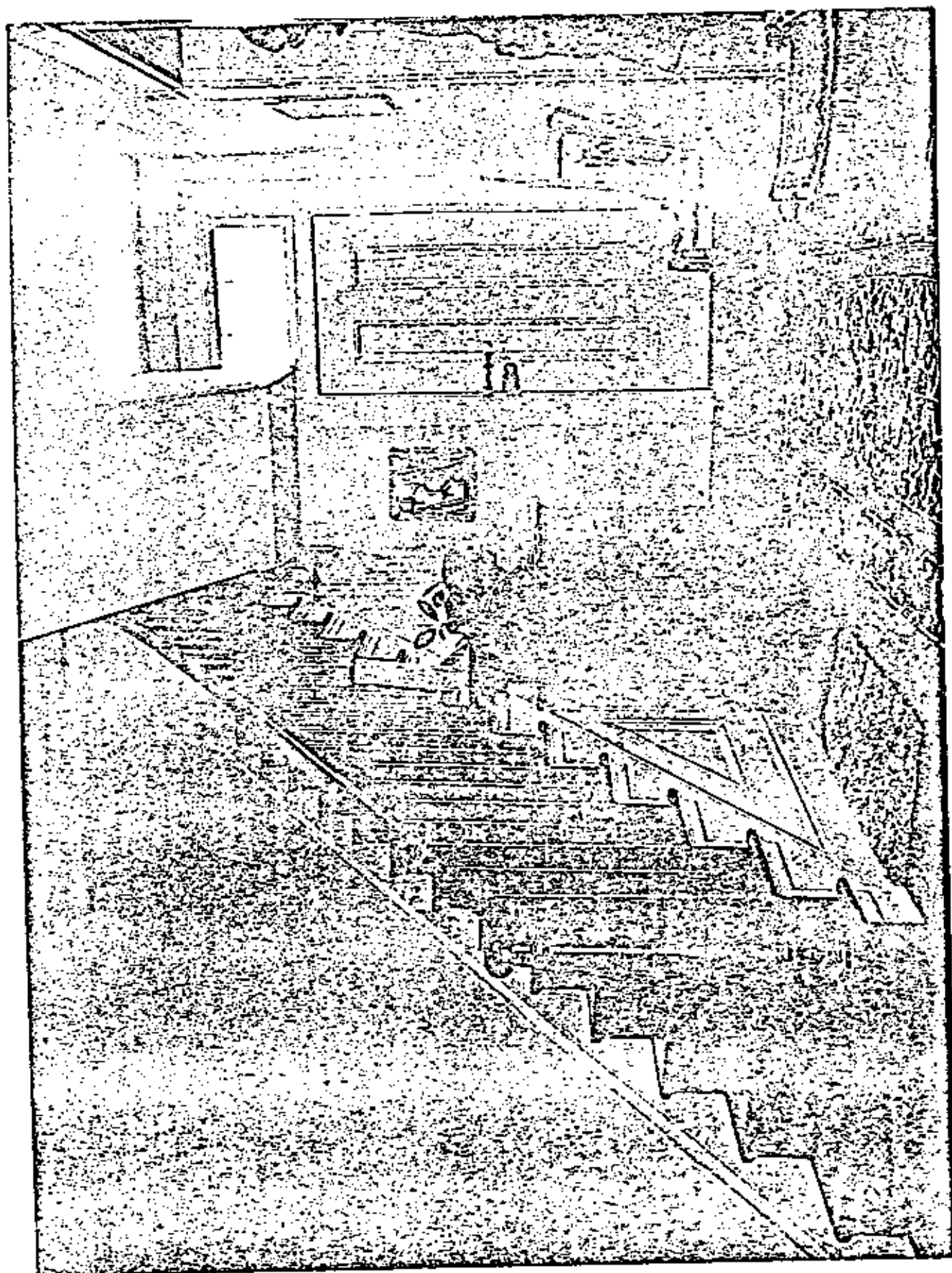
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FIRST FLOOR HALL LOOKING SOUTH-  
WEST  
SCALE:

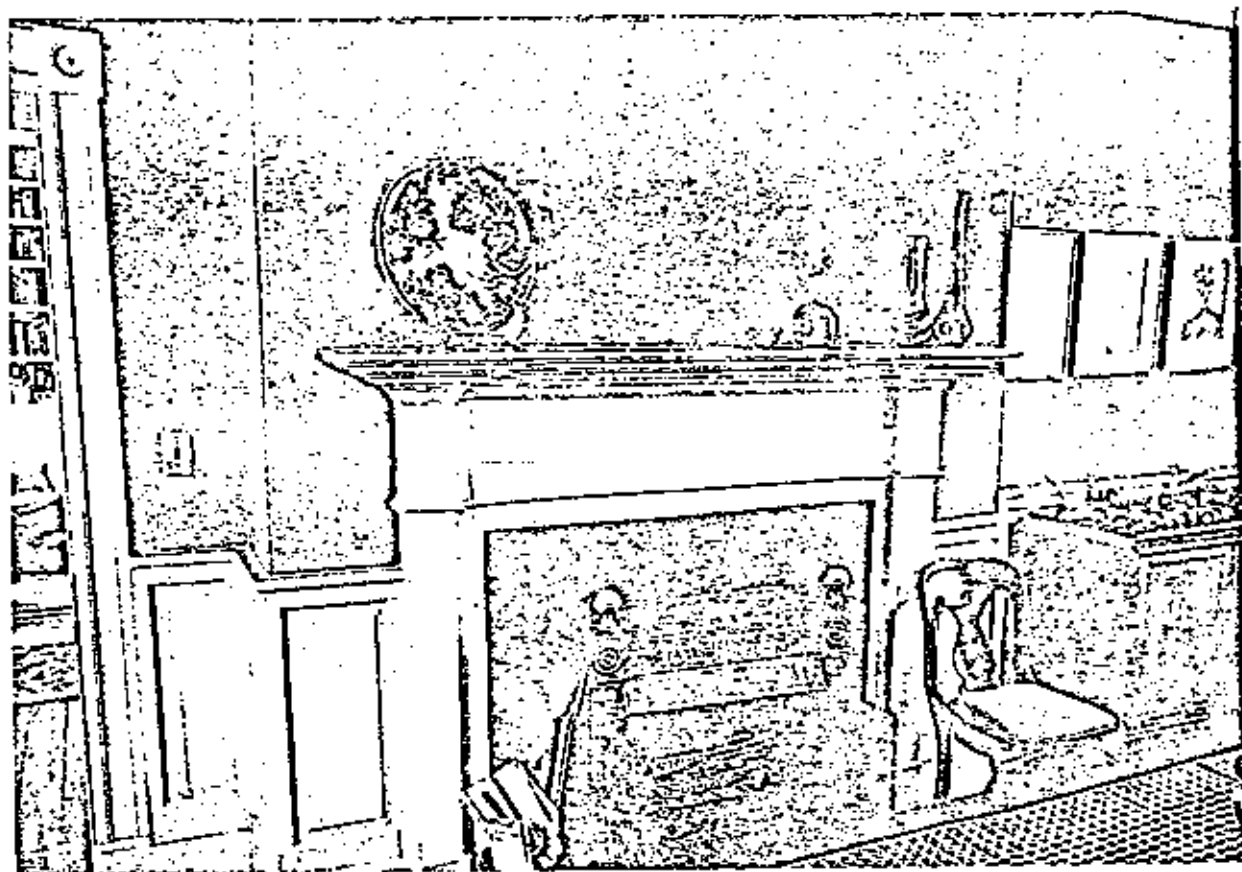
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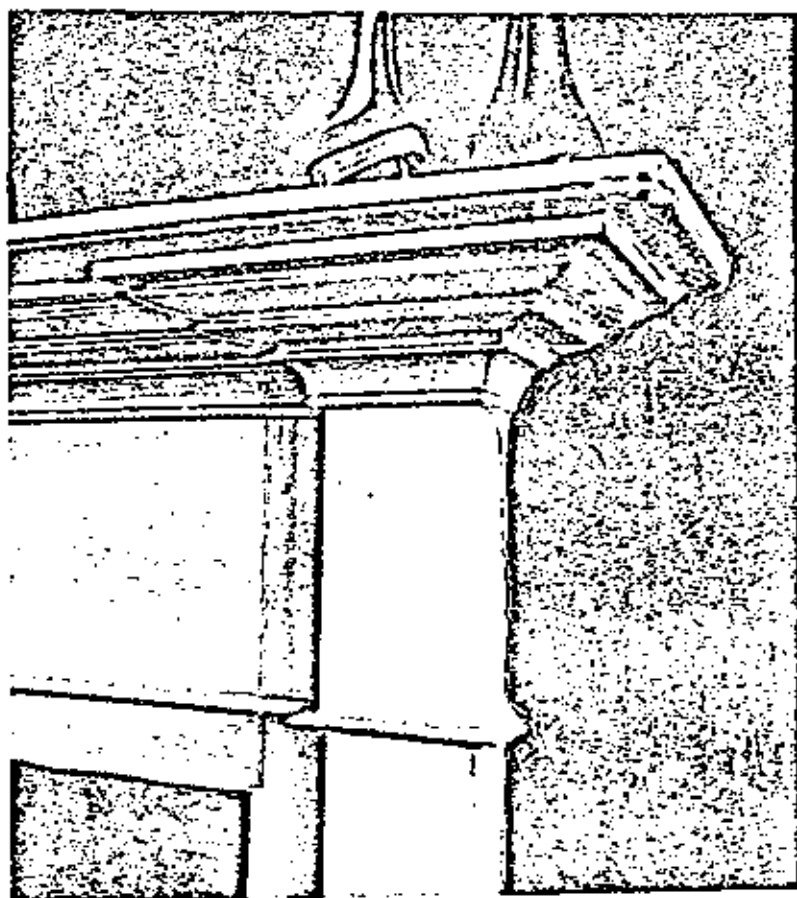
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- FIREPLACE - DINING ROOM



- MANTLE DETAIL - DINING ROOM

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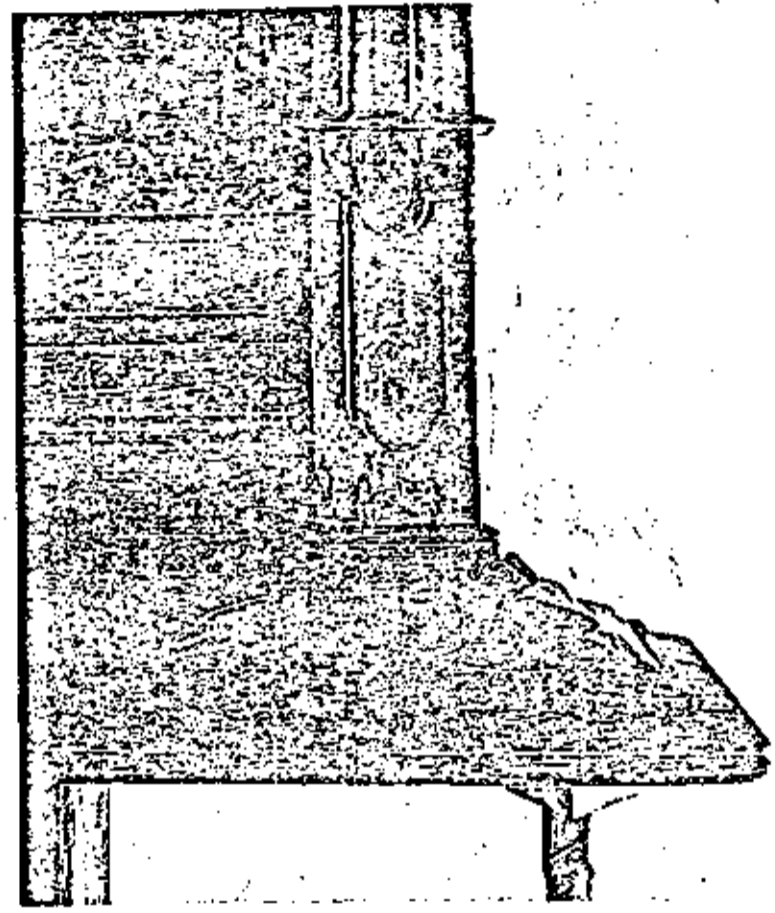
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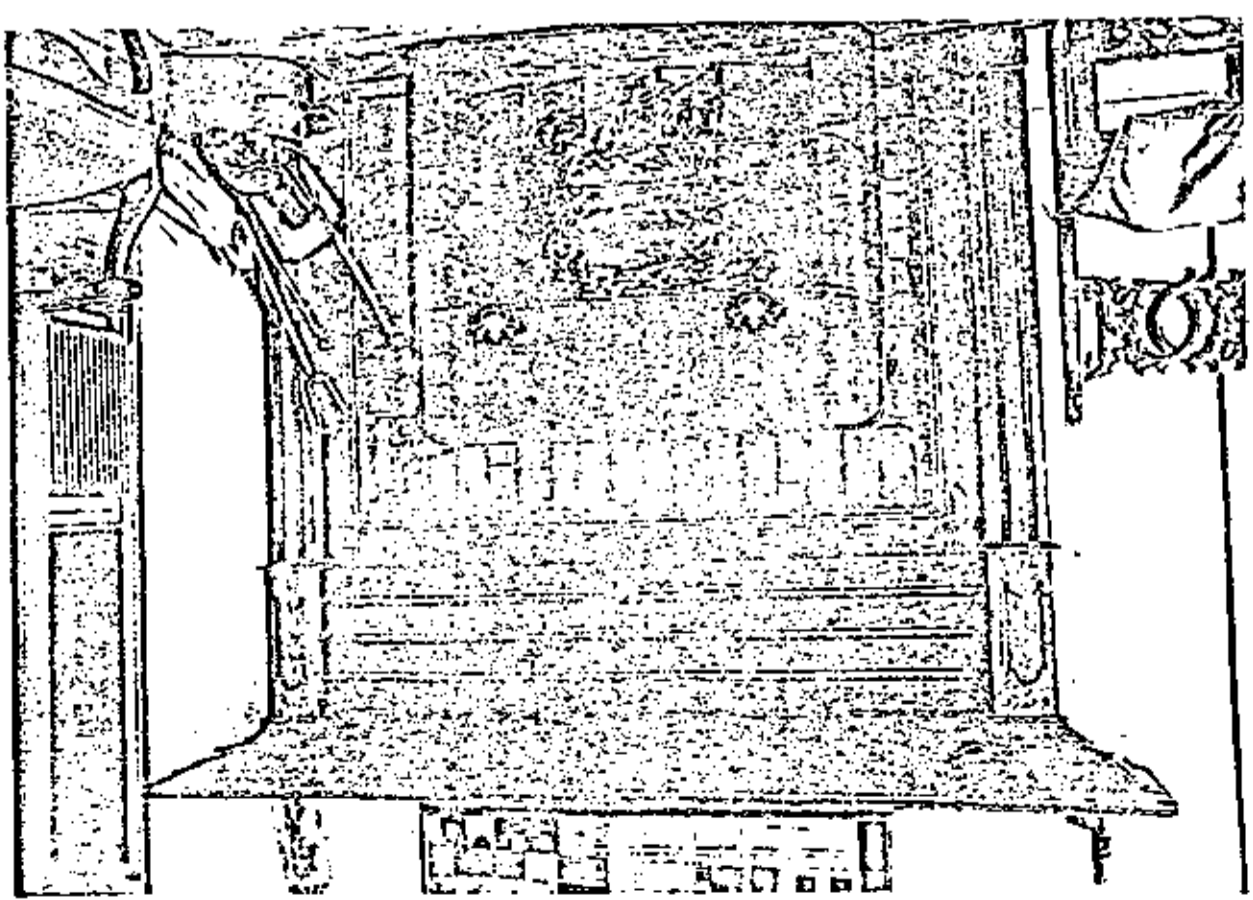
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OLD LOUGHBOROUGH BETHESDA MONTGOMERY COUNTY		PHOTOGRAPHS AS NOTED	

MANTLE DETAIL - LIVING ROOM 1

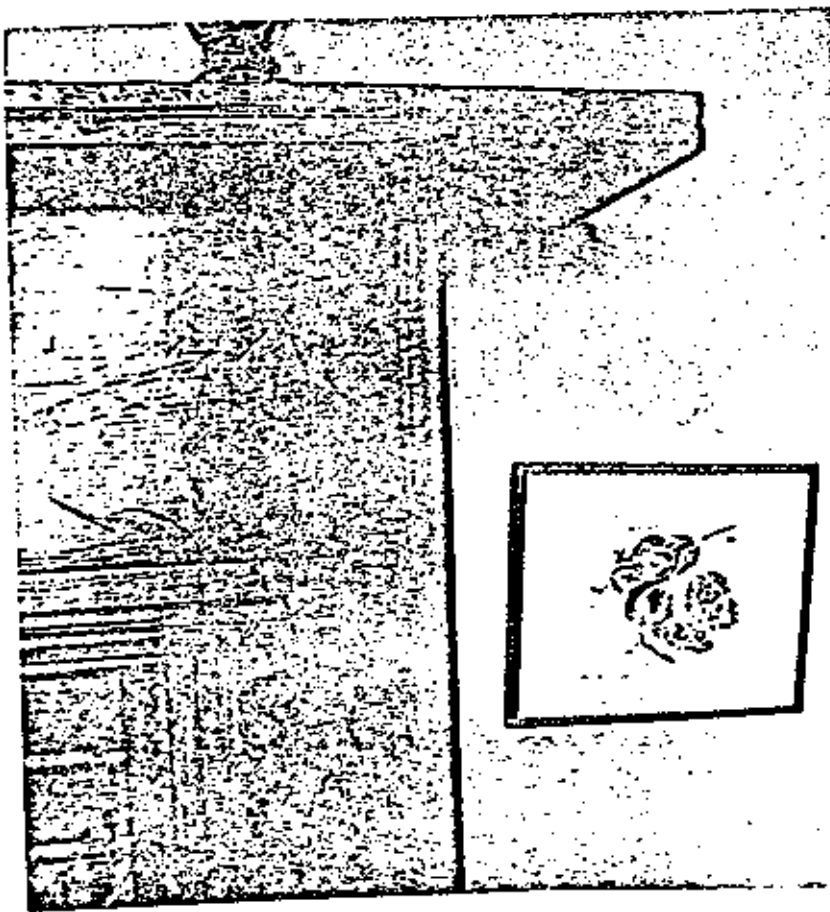


FIREPLACE - LIVING ROOM 1





FIREPLACE - LIVING ROOM 2



MANTLE DETAIL - LIVING ROOM 2

OLD LOUGHBOROUGH  
BETHESDA  
MONTGOMERY COUNTY

EASEMENT EXHIBIT NO. A, page 14 of 25

PHOTOGRAPHS AS NOTED

SCALE:  
PREPARED: 3/77 JAC  
MARYLAND HISTORICAL TRUST

NORTH

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GRANTOR

GRANTEE



OLD LOUGHBOROUGH  
BETHESDA  
MONTGOMERY COUNTY

EASEMENT EXHIBIT NO. A, page 15 of 25

STAIRWAY; LIVING ROOM 2

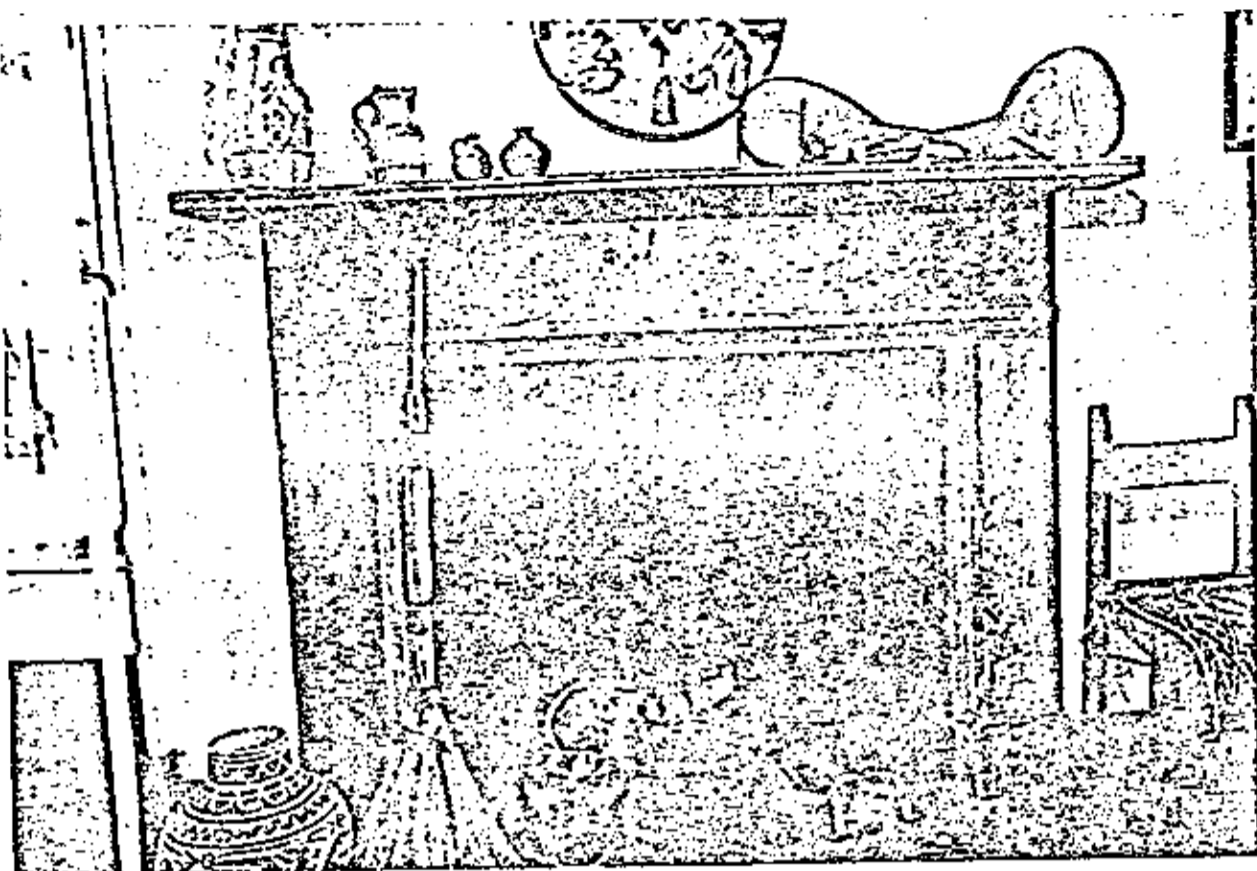
SCALE:  
PREPARED: 3/77 JAC  
MARYLAND HISTORICAL TRUST

NORTH

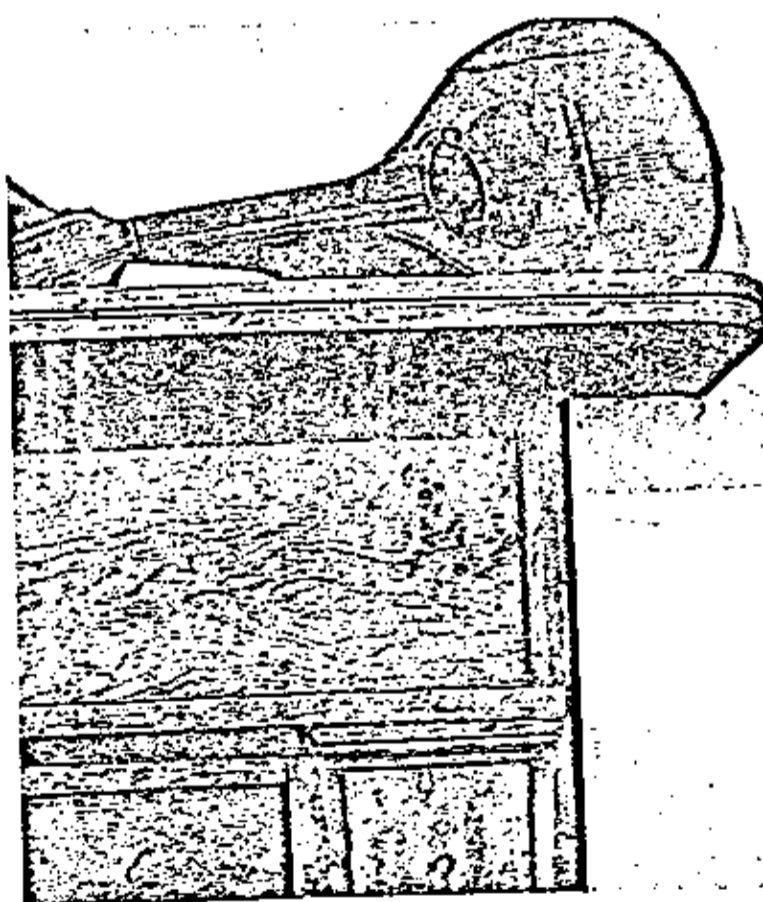
SIGNED ORIGINAL ON FILE WITH THE M.H.T.

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FIREPLACE - BEDROOM 2



MANTLE DETAIL - BEDROOM 2

OLD LOUGHBOROUGH  
BETHESDA  
MONTGOMERY COUNTY

EASEMENT EXHIBIT NO. A, page 16 of 25

PHOTOGRAPHS AS NOTED

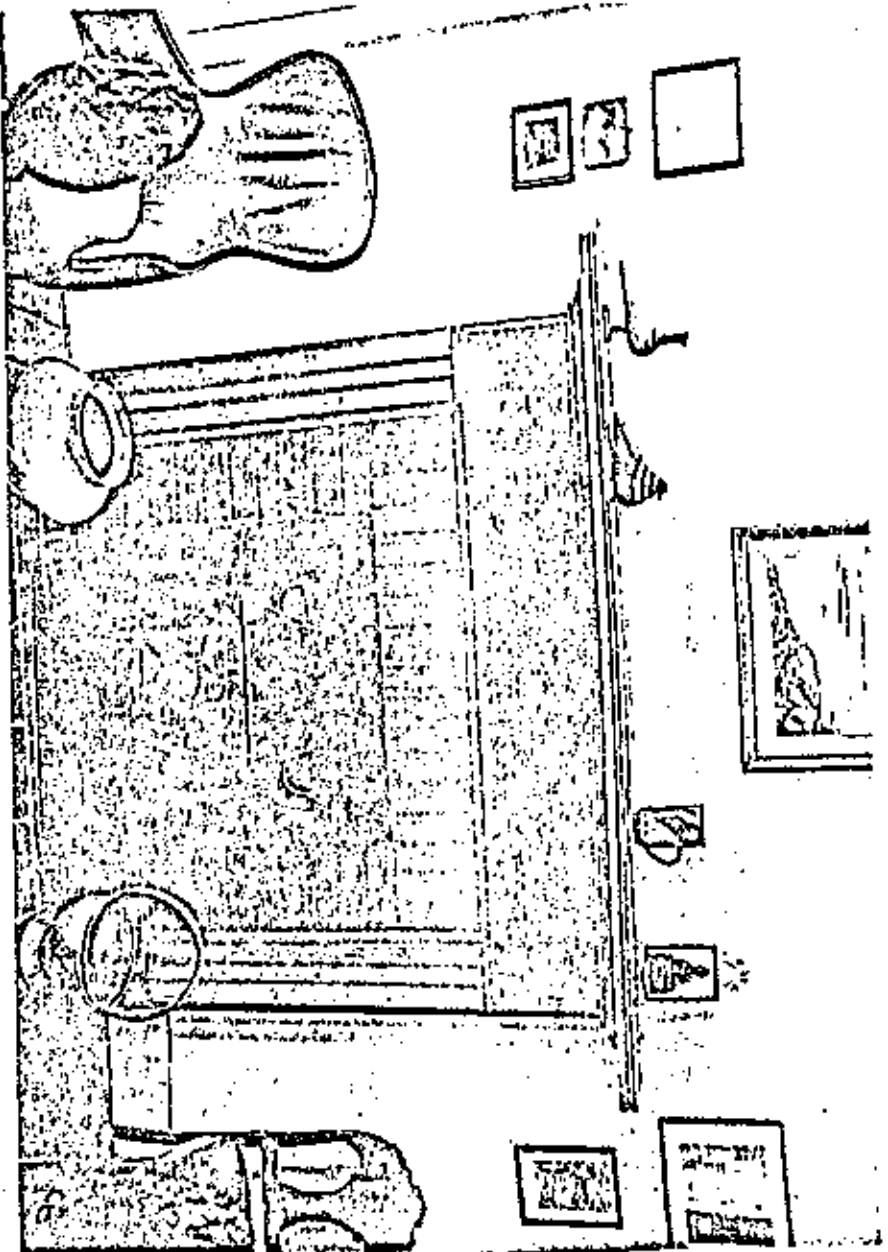
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MARYLAND HISTORICAL TRUST

NORT

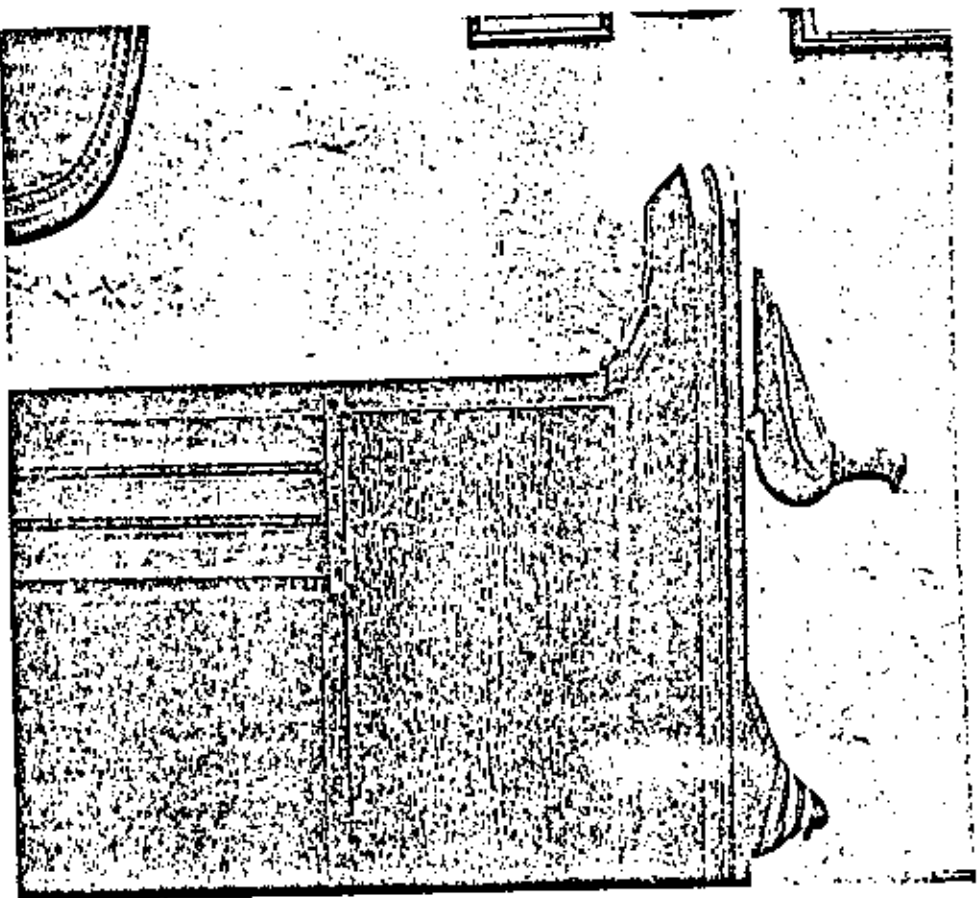
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FIREPLACE - BEDROOM 3



MANTEL DETAIL - BEDROOM 3

OLD LOUGHBOROUGH  
BETHESDA  
MONTGOMERY COUNTY

EASEMENT EXHIBIT NO. A, page 17 of 25

PHOTOGRAPHS AS NOTED

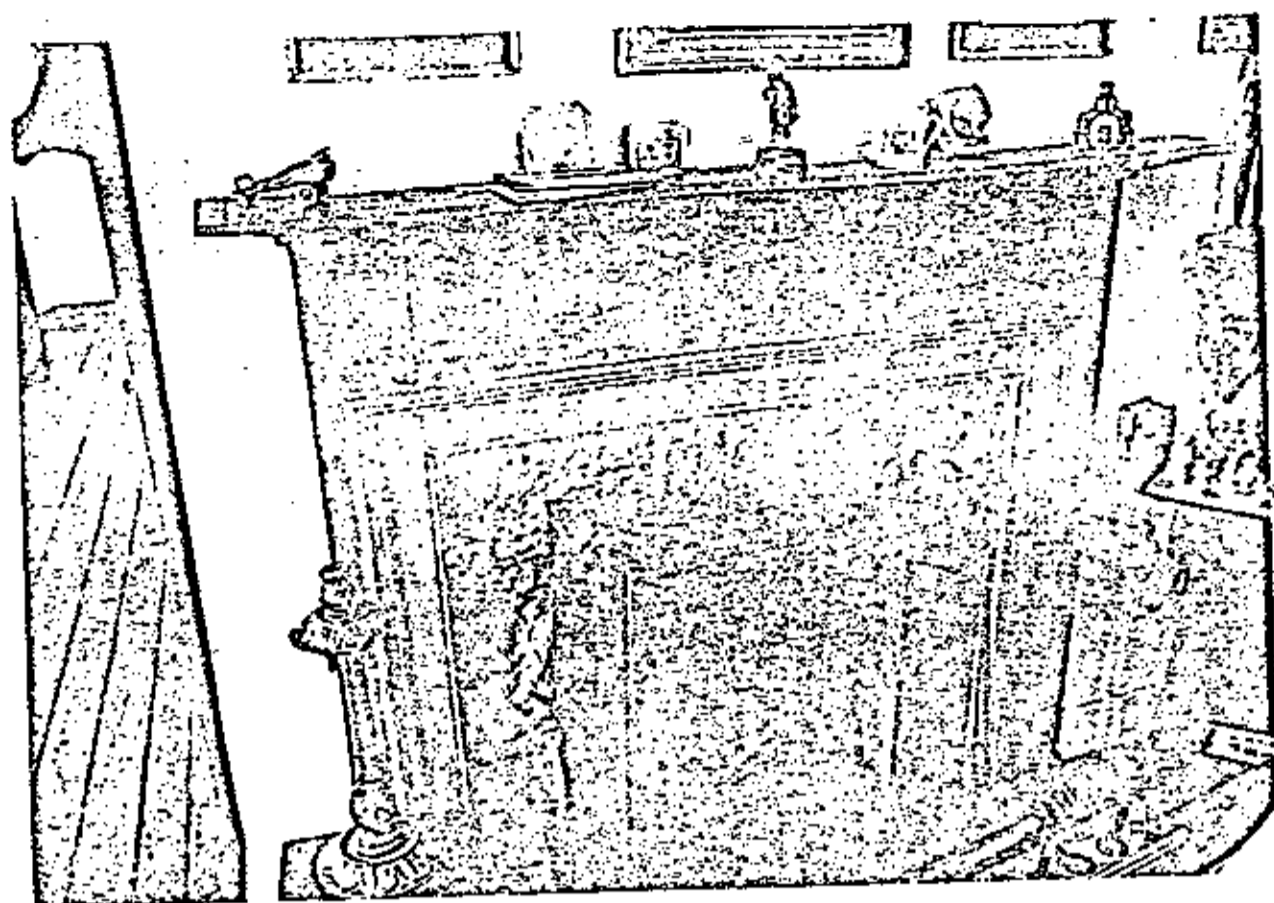
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MARYLAND HISTORICAL TRUST

NORTH

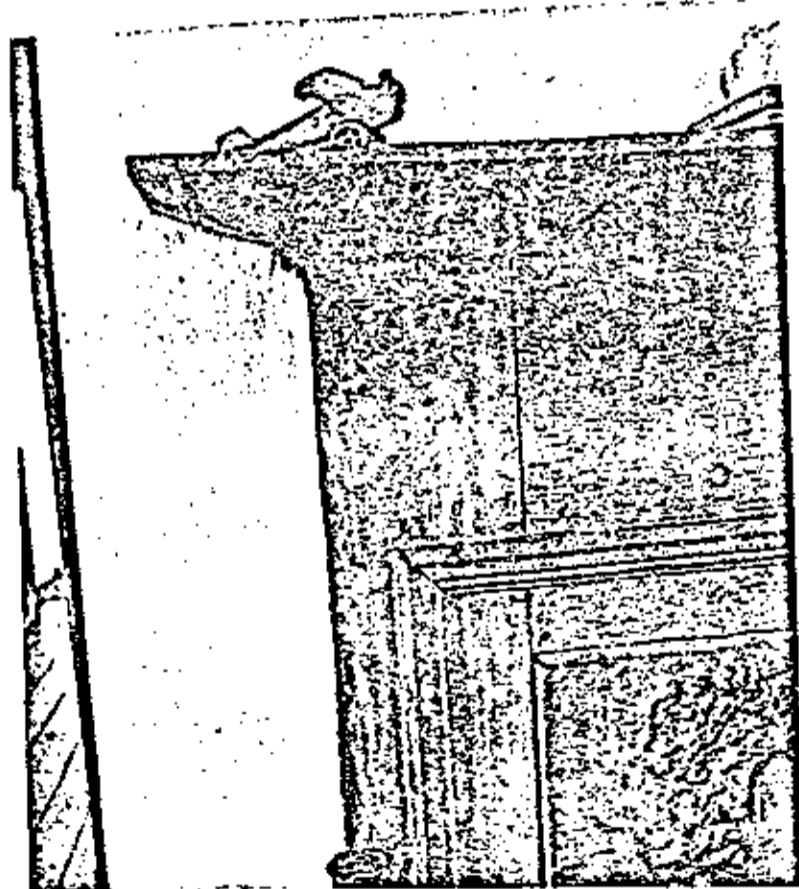
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✓ FIREPLACE - BEDROOM 4



✓ MANTLE DETAIL - BEDROOM 4

OLD LOUGHBOROUGH  
BETHESDA  
MONTGOMERY COUNTY

EASEMENT EXHIBIT NO. A, page 18 of 25

PHOTOGRAPHS AS NOTED

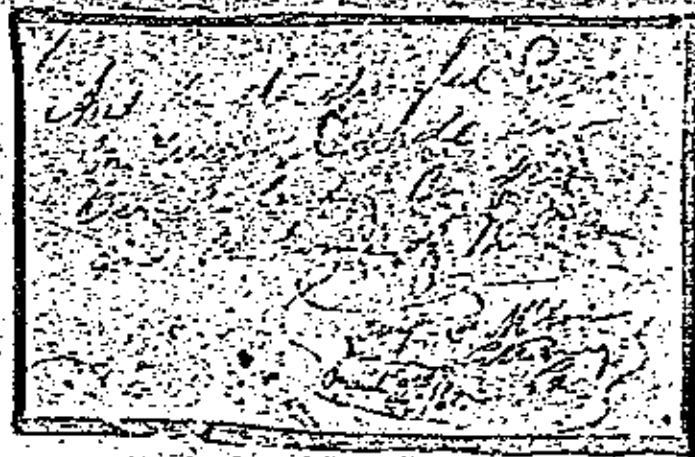
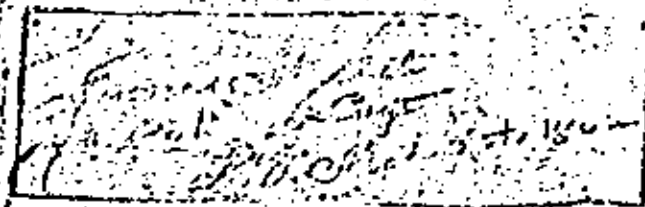
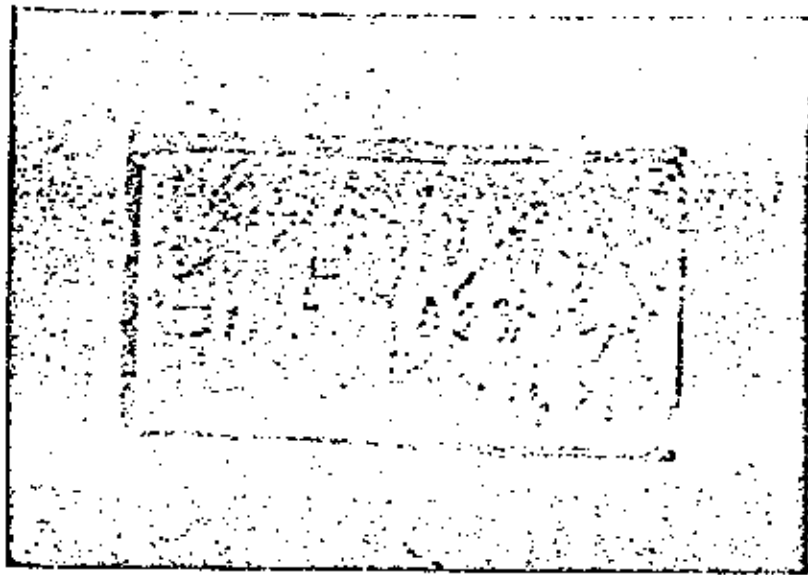
SCALE:  
PREPARED: 3/77 JAC  
MARYLAND HISTORICAL TRUST

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OLD LOUGHBOROUGH  
BETHESDA  
MONTGOMERY COUNTY

EASEMENT EXHIBIT NO. A, page 19 of 25

SIGNATURES ON WALLS OF BEDROOM 1

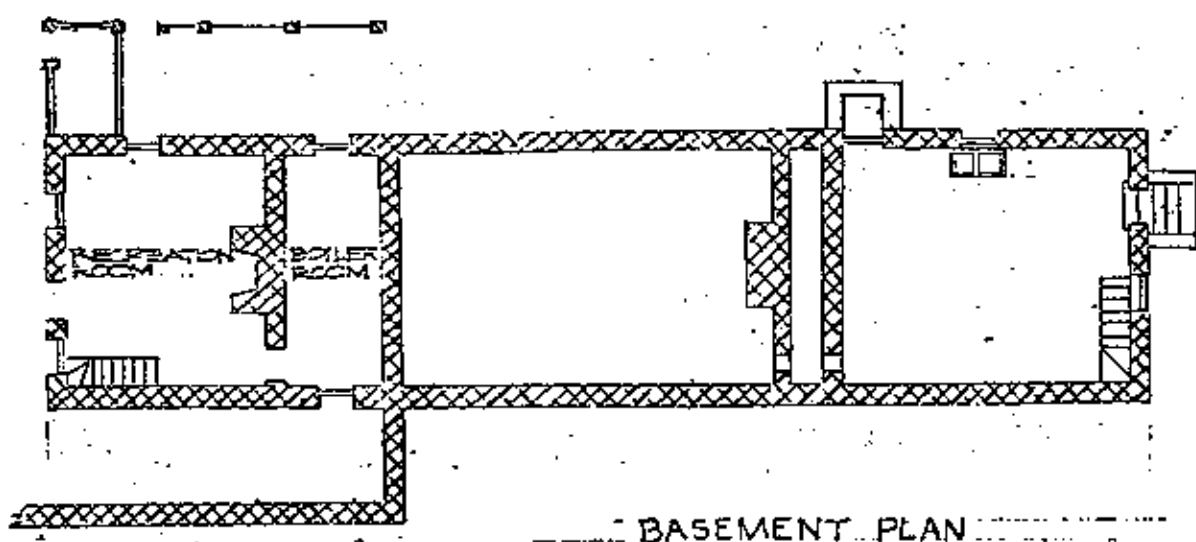
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PREPARED: 3/77 JAC  
MARYLAND HISTORICAL TRUST

NORTH

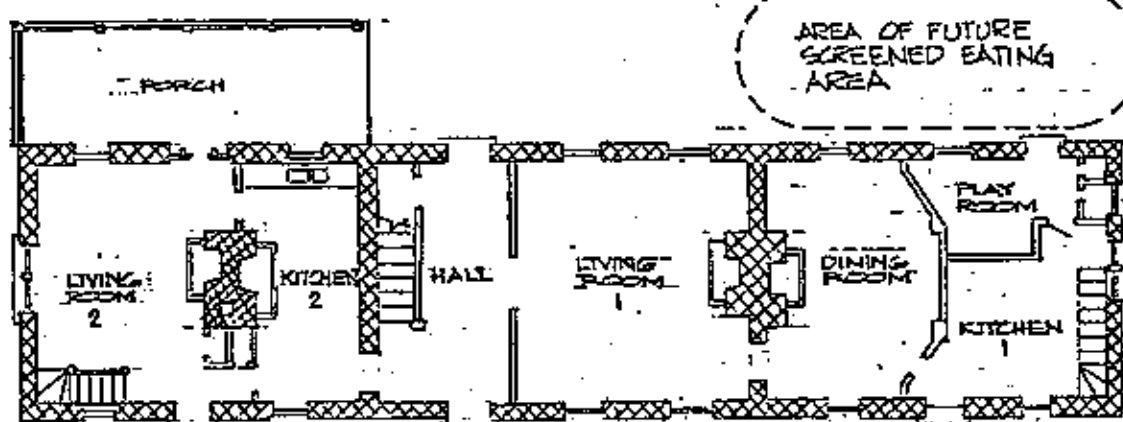
SIGNED ORIGINAL ON FILE WITH THE M.H.T.

GRANTOR

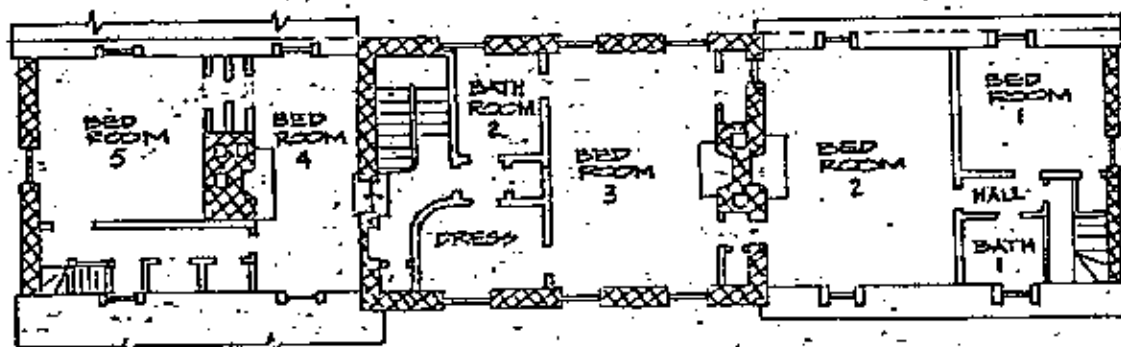
GRANTEE



BASEMENT PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN.

AREAS EXCLUDED FROM INTERIOR  
RESTRICTIONS OF THIS EASEMENT  
ARE AS FOLLOWS:  
KITCHENS 1 AND 2  
PLAYROOM  
BATHROOMS 1 AND 2

OLD LOUGHBOROUGH  
BETHESDA  
MONTGOMERY COUNTY

FLOOR PLANS-MAIN HOUSE

SCALE: 1/16"=1'-0"

PREPARED: 2/77

MARYLAND HISTORICAL TRUST



NORTH

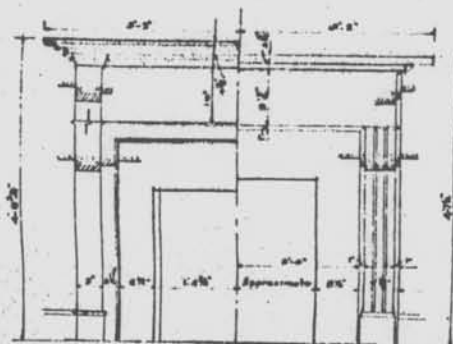
EASEMENT EXHIBIT NO. A, page 20 of 25

SIGNED ORIGINAL ON FILE WITH THE M.H.T.

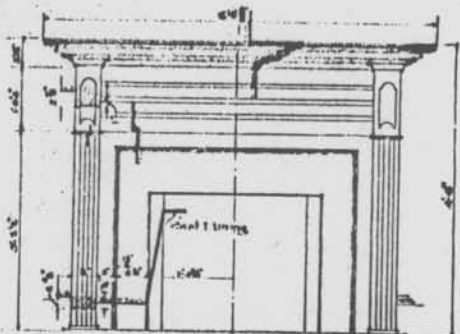
GRANTOR

GRANTEE

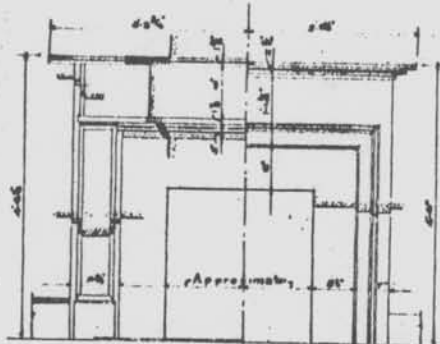
35/35 MILTON



Half Elevation of Mantel in Room No. 2.

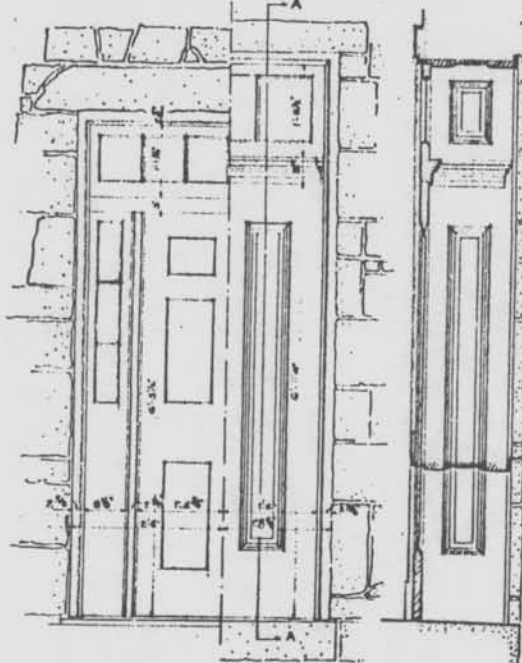


Elevation of Mantel in Room No. 1.



Half Elevation of Mantel in Room No. 3.

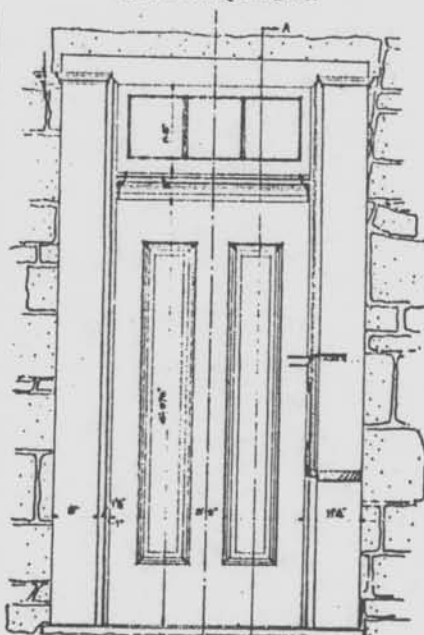
Half Elevation of Mantel in Room No. 1.



Half Elevation Door to Room No. 1.

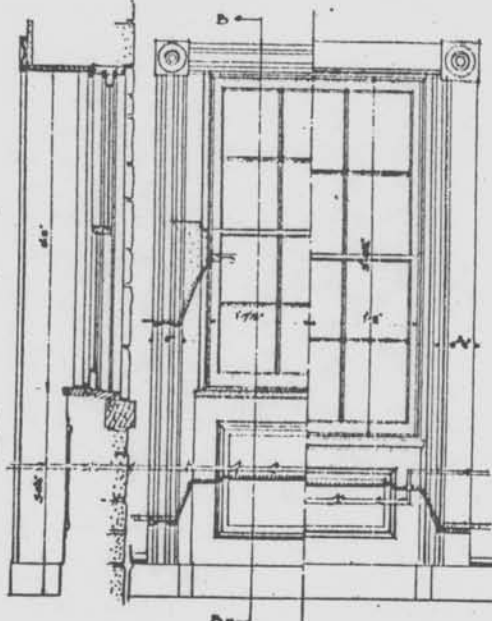
Half Elevation Rear Door.

Section on Line 'A-A'



Jamb of Rear Door Typical of Rear Door - See Section 'A-A' - A

Elevation of Front Door



Section on Half Elevation of Window Room No. 4. Half Elevation Window Room No. 3.

Chas. J. McDowell - Del.

U.S. DEPARTMENT OF THE INTERIOR  
OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS  
BRANCH OF PLANS AND DESIGN

*River Road*  
*Montgomery County*

NAME OF STRUCTURE  
**MILTON**  
THE LOUNGBROUGH HOUSE

*State of Maryland*

SURVEY NO.  
**10-1**  
JAN 16 1934

HISTORIC AMERICAN  
BUILDINGS SURVEY  
SHEET 3 OF 3 SHEETS

INDEX NO.

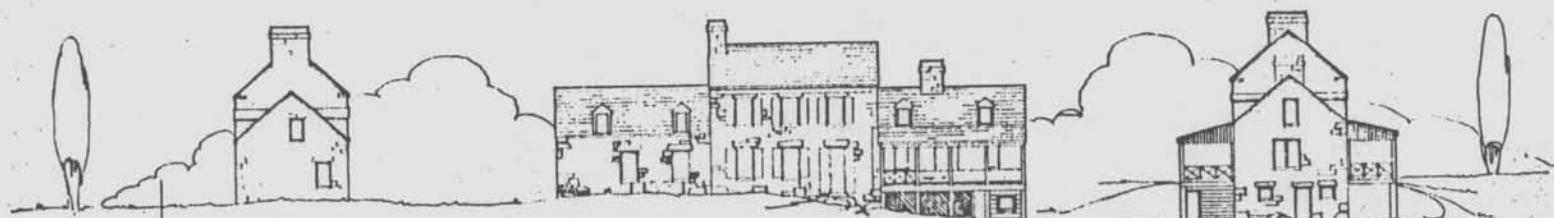
(reduced)

Scale  $\frac{1}{8}'' = 1'-0''$



M: 35-35

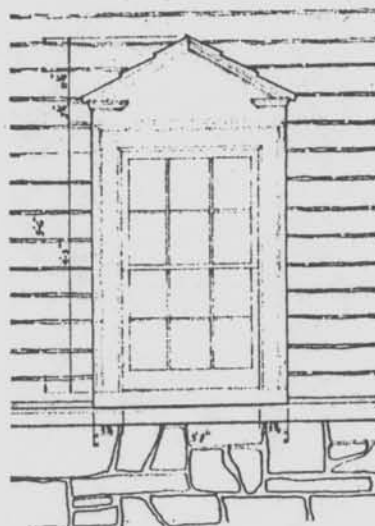
35135 MILTON



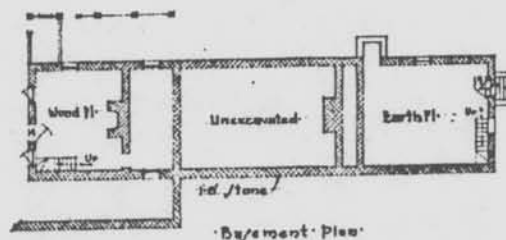
West End Elevation

Rear Elevation  
Scale 1/8" = 1'-0"

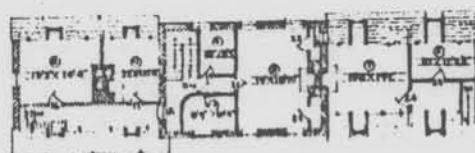
East End Elevation



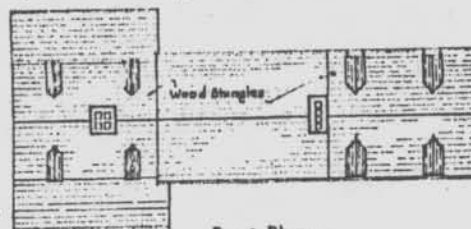
Elevation



Basement Plan



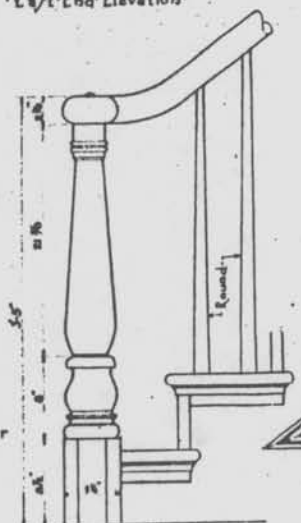
Second Floor Plan



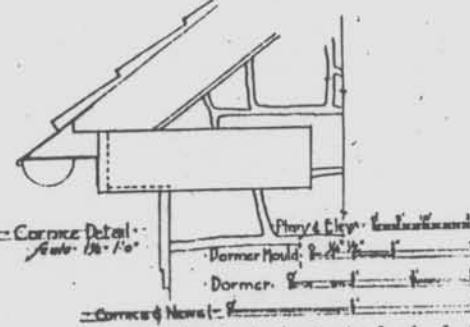
Roof Plan  
Scale 1/8" = 1'-0"  
(reduced)



Molding on Dormer  
Full Size



Newel Post, Main Stair  
Scale 1/8" = 1'-0"



Cornice Detail  
Scale 1/8" = 1'-0"

Wood Dormer Detail, Plan 1047  
Volner O'Chare Del. Scale 3/4" = 1'-0"

U.S. DEPARTMENT OF THE INTERIOR  
OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS  
BRANCH OF PLANS AND DESIGN

River Road  
Montgomery County

NAME OF STRUCTURE  
**MILTON**  
THE LEONARDOROUGH HOUSE

State of  
Maryland

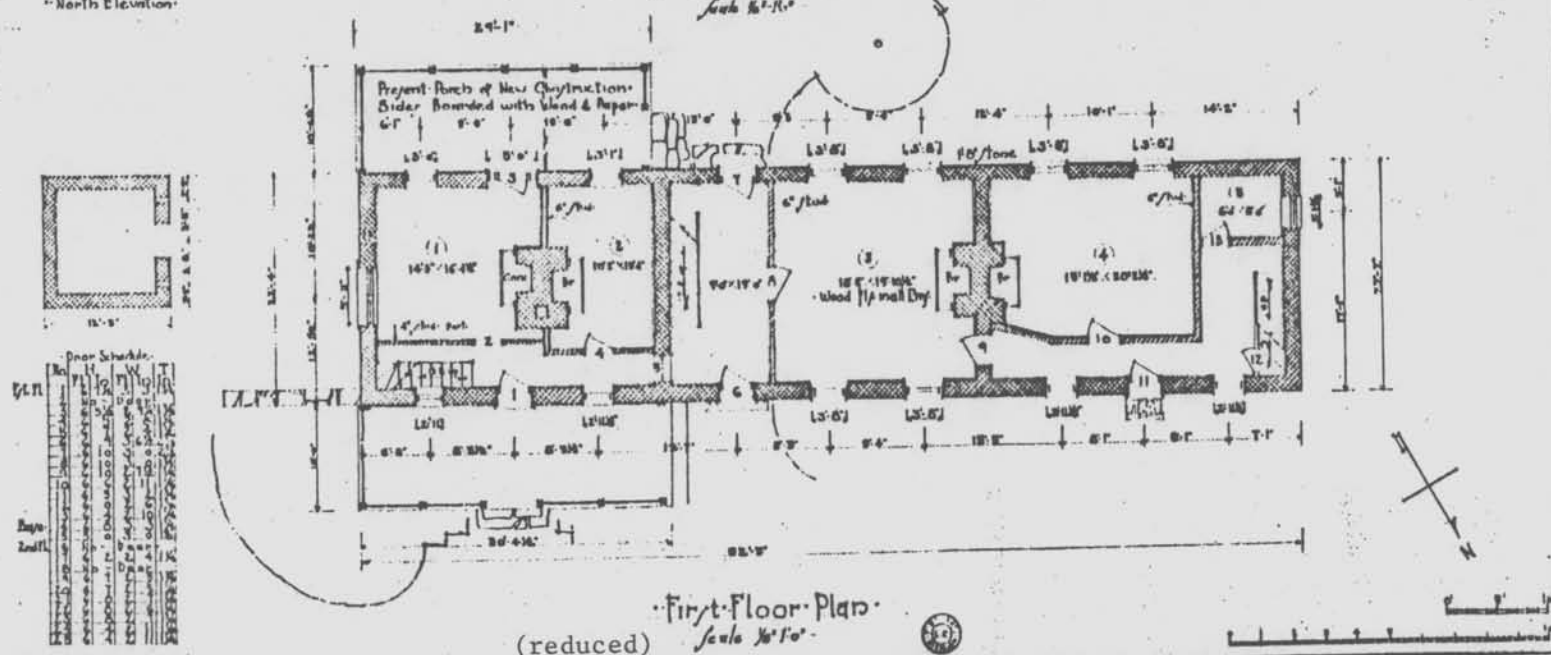
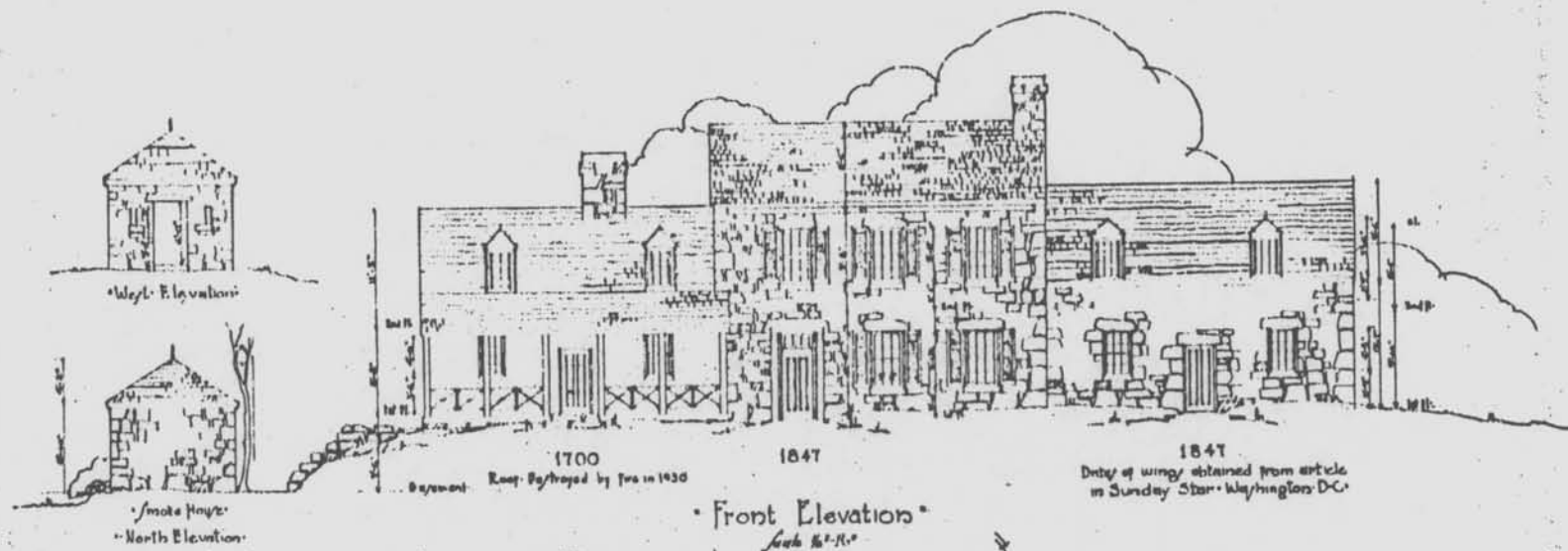
SURVEY NO.  
**10-1**  
JAN 16-1934

HISTORIC AMERICAN  
BUILDINGS SURVEY  
SHEET 2 OF 3 SHEETS

INDEX NO.

M: 35-35

35/35 MILTON



Paul Pr Goettschmann Del.

U.S. DEPARTMENT OF THE INTERIOR  
OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS  
BRANCH OF PLANS AND DESIGN

River Road  
Montgomery County

NAME OF STRUCTURE  
MILTON  
THE LOUGHBOROUGH HOUSE

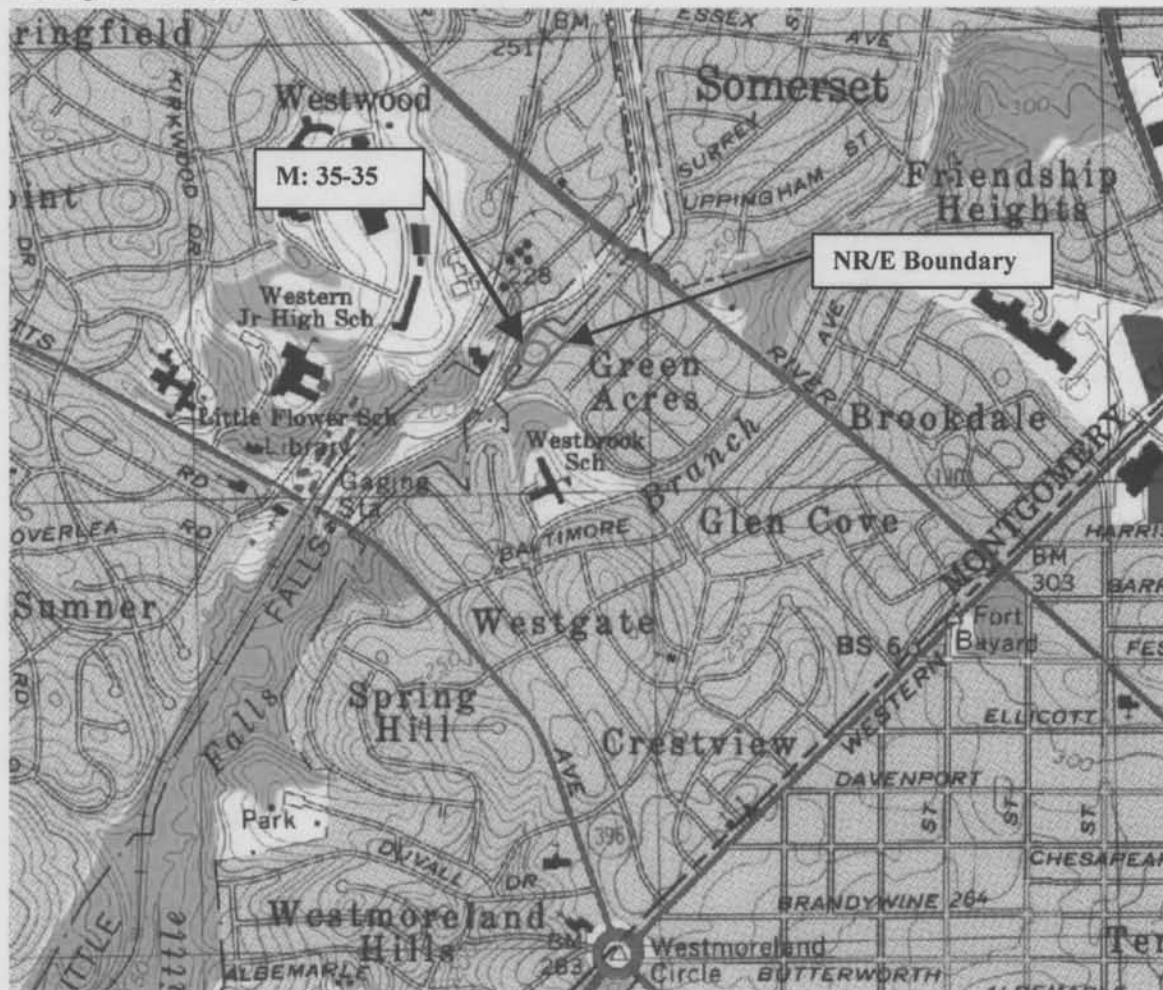
State of  
Maryland

SURVEY NO.  
10-1  
JAN 16 1954

HISTORIC AMERICAN  
BUILDINGS SURVEY  
SHEET 2 OF 3 SHEETS

INDEX NO.

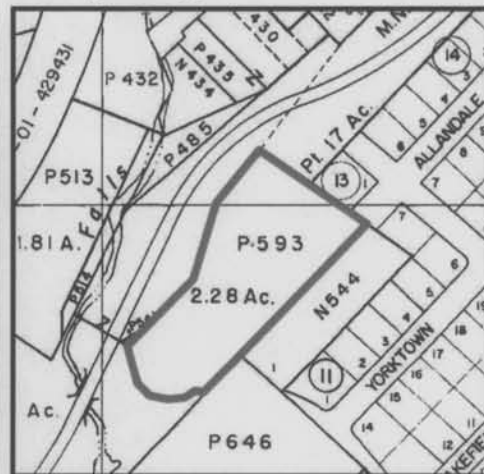
M: 35-35  
 Milton (Old Loughborough)  
 5312 Allandale Road, Bethesda  
 Washington West Quadrangle



1993-95 Aerial Photo



Tax Map HM23, p. 593





NAME

MILTON/LOUGHBOO HOUSE

M. # 35-35

LOCATION

ALLANDALE RD., BETHESDA, MD.

FACADE

W

PHOTO TAKEN

6/10/74

M. DEYER



NAME

MILTON / LOUGHBORO - MEATHOUSE

M: #35-35

LOCATION

ALLANDALE Rd BETHESDA Md

FACADE

NW

PHOTO TAKEN

6/10/74 MDWVER



NAME MILTON/LOUGHBORO HOUSE

MI #35-35

LOCATION ALLANDALE RD, BETHESDA, MD.

FACADE E

PHOTO TAKEN 6/10/74

M. Dwyer



NAME MILTON / LOUGHBORO HSE

LOCATION ALLANDALE Rd BETHESDA Md

FACADE E

PHOTO TAKEN 6/10/74 MDWYER